

**CITY OF ROCKWALL**

**ORDINANCE NO. 06-34**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT ALLOWING FOR A HAIR SALON WITHIN (PD-50) PLANNED DEVELOPMENT NO. 50 DISTRICT, ON A TRACT OF LAND KNOWN AS LOT 1, BLOCK A, CONSELMAN ADDITION AND LOCATED AT 802 N. GOLIAD STREET; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, a Specific Use Permit for a hair salon within the (PD-50) Planned Development No. 50 District has been requested by Kelley Winner of Mirror Mirror Hair Studio on the property known as Lot 1, Block A, Conselman Addition and located at 802 N. Goliad Street; City and County of Rockwall, Texas; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit for a hair salon within the (PD-50) Planned Development No. 50 District on the property known as Lot 1, Block A, Conselman Addition and located at 802 N. Goliad Street; City and County of Rockwall, Texas; and

**Section 2.** That the Specific Use Permit shall be subject to the conditions set forth in the City of Rockwall Unified Development Code (Ord. No. 04-38) as heretofore amended and as may be amended in the future, and shall be subject to the following additional conditions:

1. The hair salon use shall conform to the site plan, attached as exhibit "A" and floor plan, attached as exhibit "B".
2. The City Council reserves the right to review the Specific Use Permit granted herein upon the expiration of one (1) year from the date hereof.
3. The hours of operation shall be limited to between 8 a.m. to 8 p.m.
4. No parking will be allowed in the SH205 right of way or in front of the building.
5. Approval by engineering and fire departments.

**Section 3.** That all ordinances of the City of Rockwall in conflict with the provisions of this


ordinance be, and the same are hereby repealed to the extent of that conflict.


**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

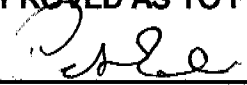
**Section 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

**Section 6.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 5<sup>th</sup> day of September, 2006.**

  
\_\_\_\_\_  
William R. Cecil, Mayor

**ATTEST:**  
  
\_\_\_\_\_  
Dorothy Brooks, City Secretary

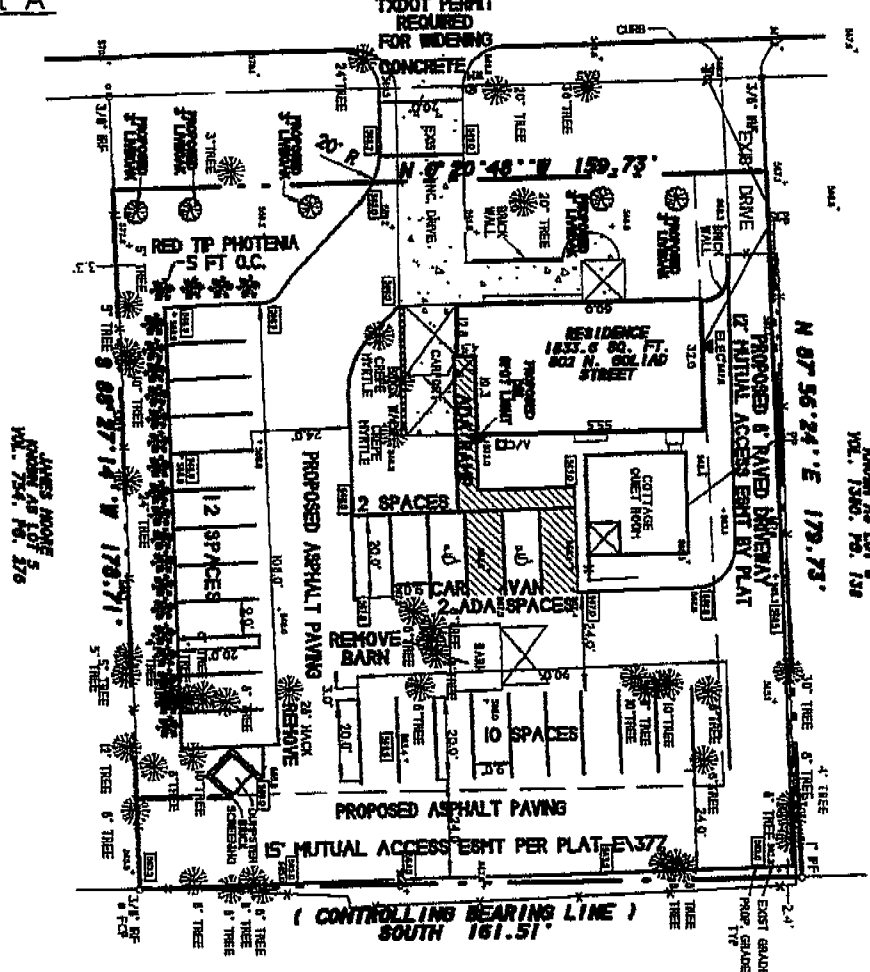
**APPROVED AS TO FORM:**  
  
\_\_\_\_\_  
Pete Eckert, City Attorney

**1<sup>st</sup> Reading: 08-21-06**  
**2<sup>nd</sup> Reading: 09-05-06**



Exhibit "A"

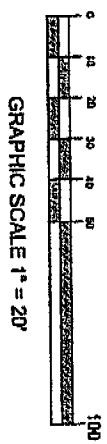
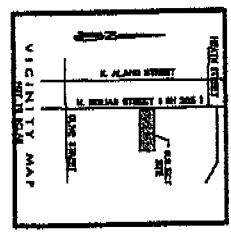
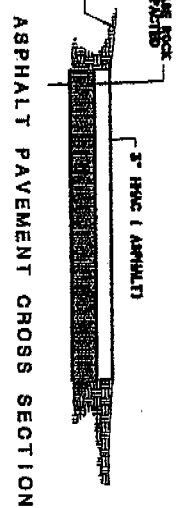
N. GOLIAD STREET ( S.H. 205 )



PARKING CALCULATIONS  
 MAIN RESIDENCE - 133' x 90' x 50' x 116' SQ. FT.  
 1 SPACE PER 250 SQ. FT. REQUIRED FOR USE  
 111 OF 8 SPACES REQUIRED  
 2 ADA HANDICAP SPACES & RAMP

TREE MITIGATION  
 REMOVE 20\"/>

JOHN HANROTT  
 11000 HAWKINS AVE  
 DOWNSIDE, MO. 64118  
 VOL. 17360, PG. 138



PROPOSED SITE PLAN  
 LOT 1, BLOCK A  
 CONSELMAN ADDITION  
 CAB. E, SLIDE 377  
 P.R.R.C.T.

**RSCI**  
 RICHMOND SURVEYING & CONSULTING CO., INC.  
 LAND SURVEYING  
 1104 N. 27th Street, Normal, IL 61754-2000  
 312-261-1100

SYMBOL LEGEND	
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	300\"/>

Exhibit "B"

CURB

15' DEDICATED BY PLAT

EXIST. CONC. DRIVE

3/8" IRF EXIS DRIVE

BRICK WALL

LANDSCAPE

BRICK WALL

ADA ACCESS

LANDSCAPE

PROPOSED 8' PAVED DRIVEWAY  
12' MUTUAL ACCESS ESMT BY PL

N 87° 56' 24" E 194.73

ELEC

32.0

HAIR 6 STATIONS

RECEPTION AREA

60.0

HAIR ROOM

MASSAGE ROOM

12.8 5

55.5

SHAMPOO ROOM / DRESS

WAITING ROOM

ADA BATH ROOM

HAIR 3 STATIONS

BATH ROOM

BATH ROOM

RECEPTIONIST

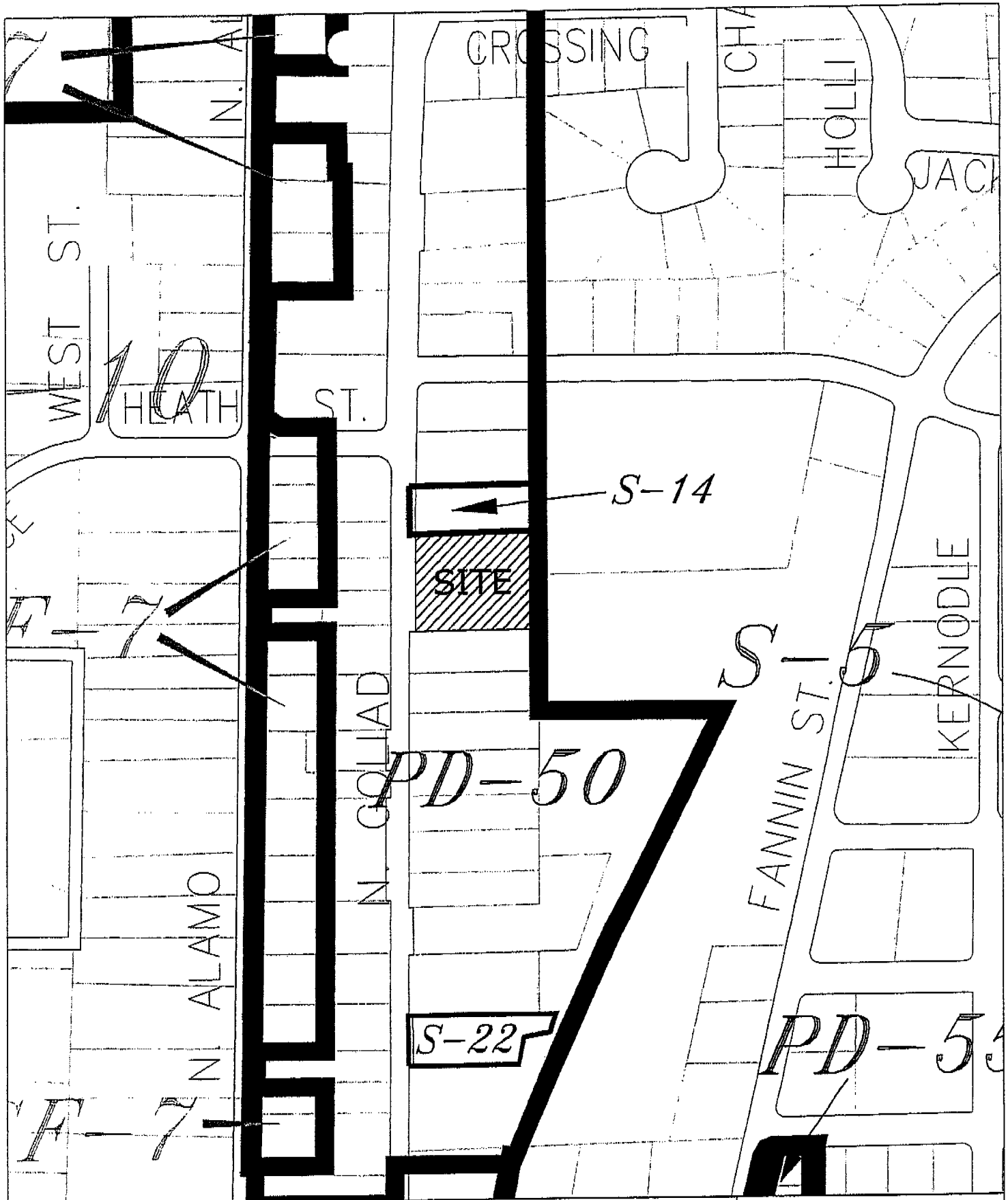
16.5

A/C

OFFICE /  
BREAK AREA

6 SPACES

LANDSCAPE DRIVE WALL



**Z2006-014**

**Mirror-Mirror Hair Studio**

**802 N. Goliad**



**1" = 200'**