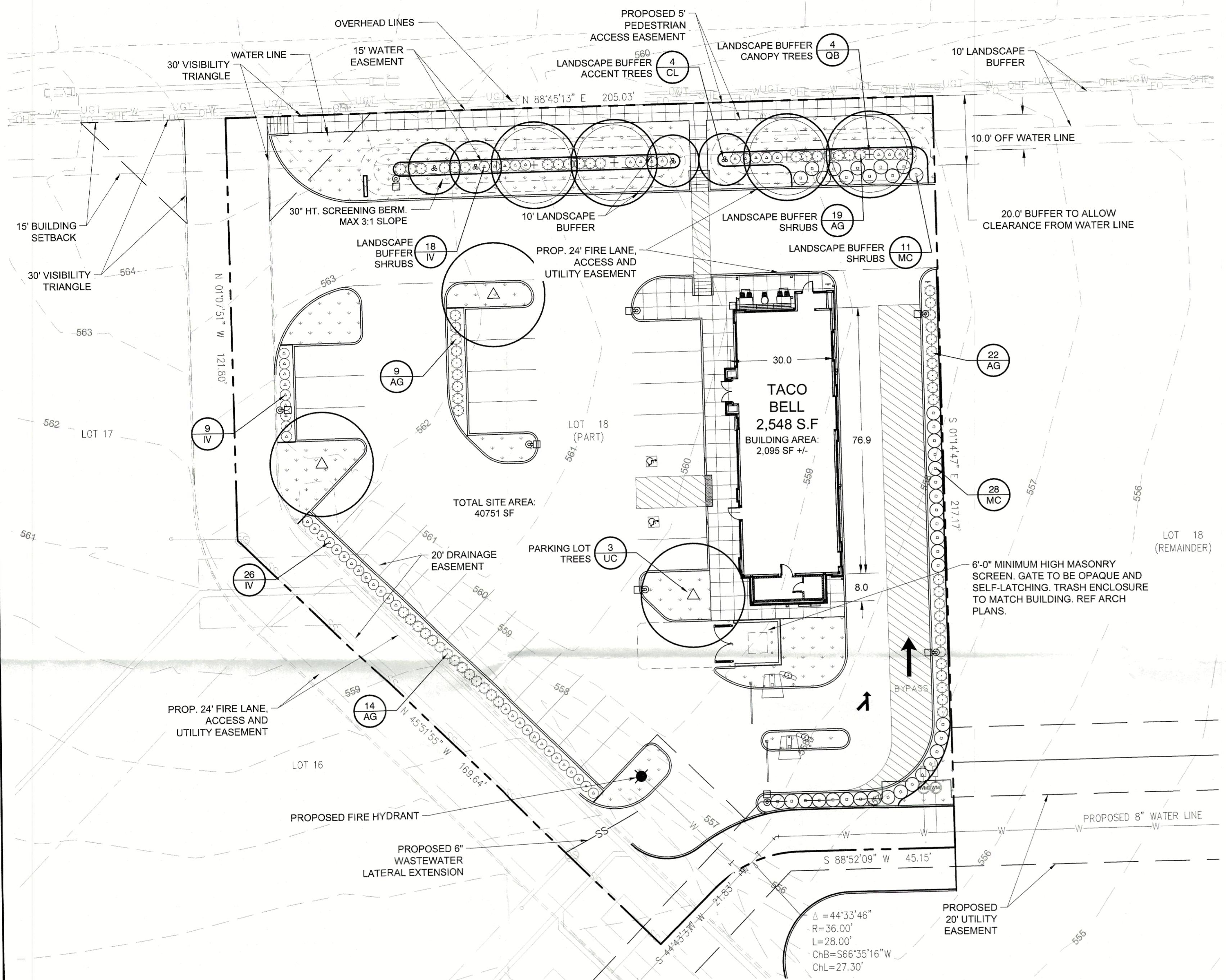


STATE HIGHWAY 549

(VARIABLE WIDTH RIGHT-OF-WAY)



IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL MEET THE REQUIREMENTS OF THE UDC.
3. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
4. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
5. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

CAUTION NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

LANDSCAPE CALCULATIONS

PERMITTING AUTHORITY:	CITY OF ROCKWALL, TX
ZONING:	C
ADJACENT ZONING:	C

OVERALL	
TOTAL SITE AREA:	40,751 SF
LANDSCAPE AREA REQUIRED:	8,150 SF (20% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	8,594 SF
% OF REQ. AREA IN FRONT AND SIDE YARDS:	91.7% (MIN. 50%)
IMPERVIOUS AREA ON SITE:	32,157 SF

LANDSCAPE BUFFER ALONG S FM 549, MIN. WIDTH 10'

LENGTH OF FRONTAGE:	192 LF (NOT INCL WIDTH OF DRIVEWAY)
CANOPY TREES REQUIRED:	4 CANOPY TREES (1 PER 50 LF)
CANOPY TREES PROVIDED:	4 CANOPY TREES
ACCENT TREES REQUIRED:	4 ACCENT TREES (1 PER 50 LF)
ACCENT TREES PROVIDED:	4 ACCENT TREES
SHRUBS REQUIRED:	48 SHRUBS PROVIDED
BERM REQUIRED:	30" BERM - SEE CIVIL PLANS FOR FINAL GRADES
NOTE: ADDITIONAL SHRUBS HAVE BEEN ADDED TO PROVIDE AN ENHANCED SCREEN AT THE DRIVE THROUGH.	

PARKING LOT HEAD LIGHT SCREENING
PROVIDED AS REQUIRED.

PARKING LOT LANDSCAPING
SIZE OF PARKING AND MANEUVERING AREA: 22,382 SF
QUANTITY OF PARKING SPACES: 27 PARKING SPACES
CANOPY TREES REQUIRED: 3 CANOPY TREES (1 PER 10 PARKING SPACES)
CANOPY TREES PROVIDED: 3 CANOPY TREES
NOTE: NO PARKING SPACE MAY BE MORE THAN 80 LF FROM THE TRUNK OF A CANOPY TREE.

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
6. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
7. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of October, 2025.

WITNESS OUR HANDS, this 14 day of October 2025.

Dr. Jon Bailey Felix
Planning & Zoning Commission, Chairman Director of Planning and Zoning

ENGINEER/APPLICANT
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JACKSONVILLE, TX 75766
PHONE: (903) 586-1524
CONTACT: MIKE STRANSBERRY

SHEET

LP-1



SIDE ELEVATION - WEST - SECONDARY BUILDING FAÇADE

1

PAINING
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
PRIMER: 1 COAT SW A24W8300
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.
A-100 EXTERIOR LATEX SATIN.

TYPE	MARK	QTY	ITEM DESCRIPTION	LOC
TOWER	V-09.14W	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
SIDE ENTRY	V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE LT	A4.1
	V-200.EN	1	SIDE ENTRY AWNING 6'4" X 4'0" BLACK	A4.0
DRIVE THRU	V-101.DT	1	DT AWNING (OVER DT) 9'0" X 4'0" BLACK	A4.1
	V-102.DT	1	DT AWNING (OVER DT) 4'0" X 4'0" BLACK	A4.1
EYEBROW AWNINGS	V-202.EN	1	FRONT EYEBROW (WINDOW) 13'8" X 6' H X 1'4" D BLACK	A4.1
	V-203.EN	1	DT EYEBROW (WINDOW) 7'8" X 6' H X 1'4" D BLACK	A4.1
	V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12'6" H X 1'4" D BLACK	A4.0

PAINT NOTES

F

SIGNAGE

E

SYMBOL	ITEM/MATERIAL	MANUFACTURER	COLOR
1A	BRICK	ACME BRICK	MUSHROOM BROWN
1B	BRICK	ACME BRICK	EBONY
1C	STONE	BLACKSON BRICK	COTTONWOOD (VERIFY)
2	SCUPERS & DOWNSPOUTS	-	CYBERSPACE (SW7076) KYNAR 500 COATING
3	HOLLOW METAL DOOR	-	CYBERSPACE (SW7076) KYNAR 500 COATING
4	AWNINGS	SIGNAGE VENDOR	BLACK BY THE SIGNAGE VENDOR
5	METAL PARAPET CAP	-	CYBERSPACE (SW7076) KYNAR 500 COATING
6	STUCCO	-	IMPULSIVE PURPLE (SW6832), SEMI-GLOSS
7	PATIO STRUCTURE	-	RAL 9011 GRAPHITE BLACK

MISCELLANEOUS
A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)

- A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
- B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
- C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

Critical Dimensions

- A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

GENERAL NOTES

C

401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
408 CO2 FILLER VALVE & COVER.
416 HOSE BIB BOX AT 18" A.F.F.
419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.

KEY NOTES

DATE	REMARKS

PLAN DATE: 09-08-25

BUILDING TYPE: END. MED40

PLAN VERSION: SEPT. 2023

BRAND DESIGNER: TBD

SITE NUMBER: TBD

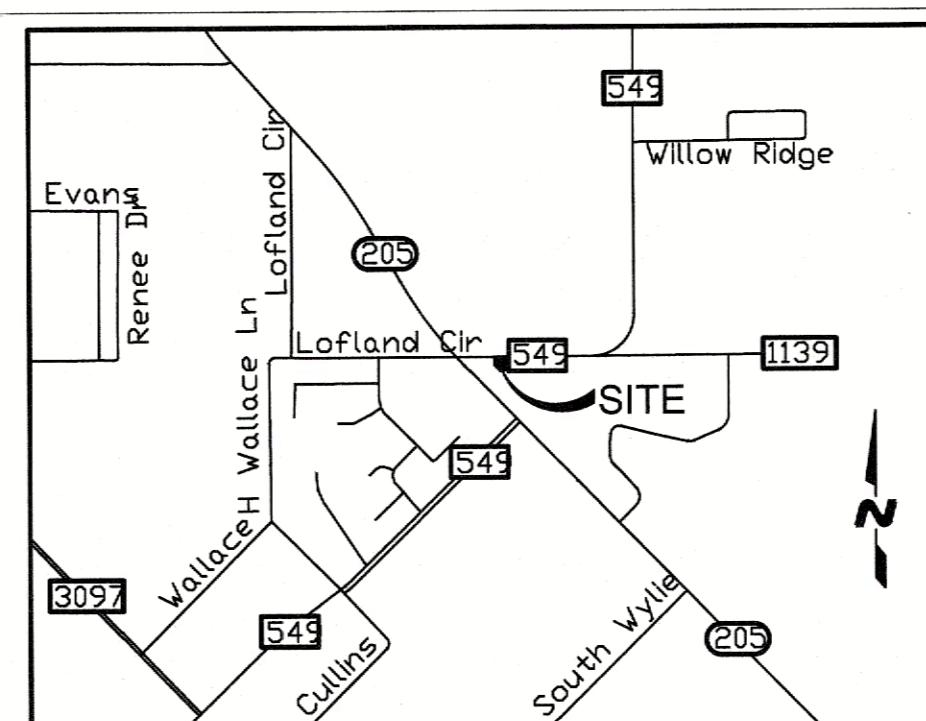
STORE NUMBER: TBD

PA/PM: LS

DRAWN BY: WCS

JOB NO.: 25602

TACO BELL
LOT 18, BLOCK A,
CREEKSIDES COMMONS
N.W.C. STATE HWY 205 & F.M. 549
ROCKWALL, TX



COLOR RENDERINGS

LOT 18, BLOCK A, CREEKSIDES COMMONS
ADDITION

N.W.C. STATE HWY 205 & F.M. 549
A 0.936 ACRE TRACT OF LAND IN THE
WILLIAM W. FORD SURVEY, ABST. NO 80
CITY OF ROCKWALL, ROCKWALL
COUNTY, TEXAS
CITY PROJECT #SP2025-XXX
August 27, 2025

APPROVED:
I hereby certify that the above Color Renderings for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of October, 2025.

WITNESS OUR HANDS, this 14 day of October, 2025.

John L. Mai *Director of Planning and Zoning*
Planning & Zoning Commission Chairman

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ENDEAVOR 2.0
EXTERIOR
ELEVATIONS

EXTERIOR FINISH SCHEDULE

B

A4.0

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