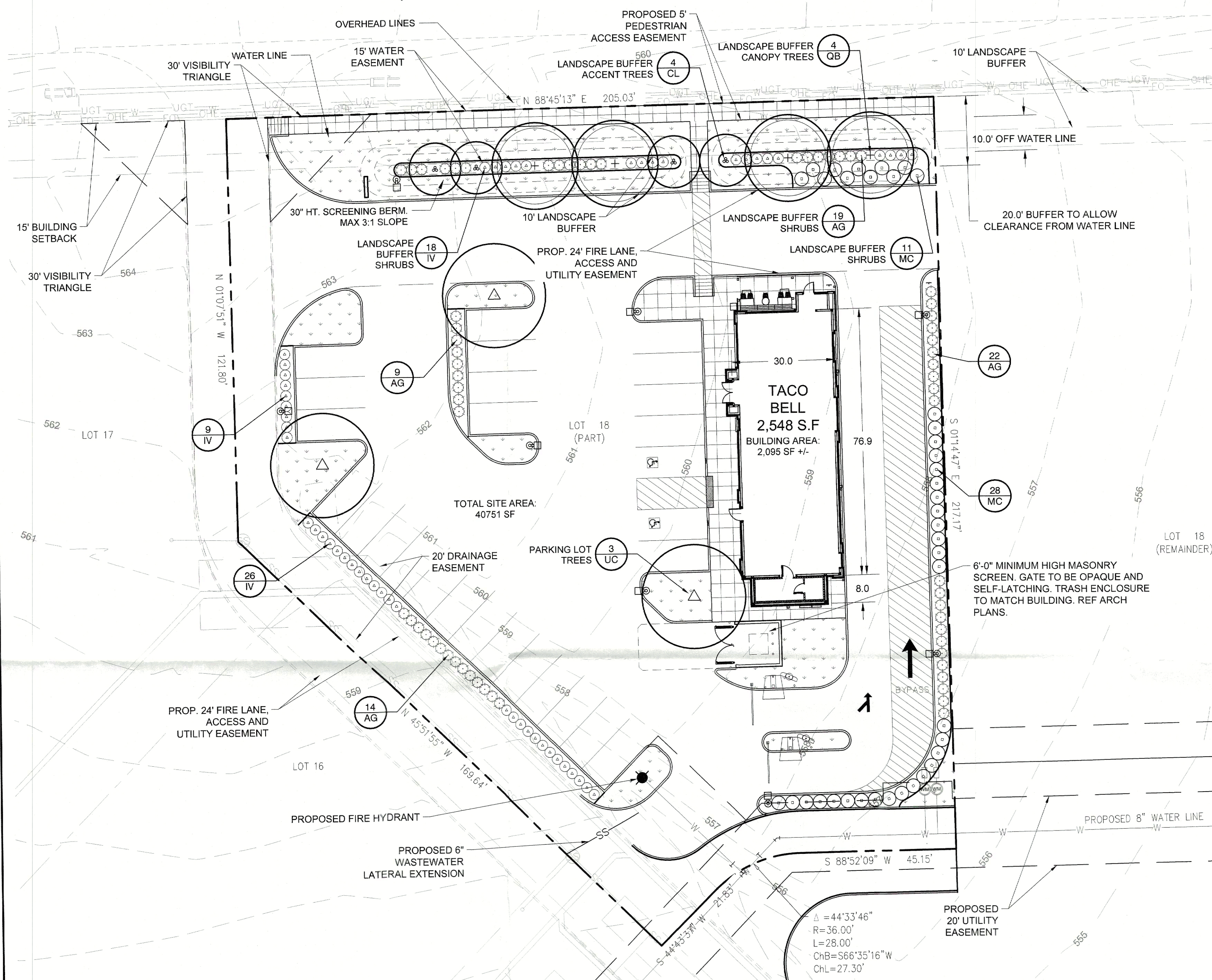


SHEET

C3.0



# STATE HIGHWAY 549 (VARIABLE WIDTH RIGHT-OF-WAY)



## IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL MEET THE REQUIREMENTS OF THE UDC.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

## CAUTION NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



## PLANT SCHEDULE

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES						
CL	4	CHILOPSIS LINEARIS 'TIMELESS BEAUTY'	TIMELESS BEAUTY DESERT WILLOW	MIN. 4' HT.	PER PLAN	
QB	4	QUERCUS BUCKLEYI	TEXAS RED OAK	MIN. 4" CAL.	PER PLAN	
UC	3	ULMUS CRASSIFOLIA	CEDAR ELM	MIN. 4" CAL.	PER PLAN	
SHRUBS						
AG	64	ABELIA GRANDIFLORA 'ROSE CREEK'	ROSE CREEK ABELIA	5 GAL.	2' O.C.	
IV	53	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	5 GAL.	3' O.C.	
MC	39	MYRICA CERIFERA 'DON'S DWARF'	DON'S DWARF WAX MYRTLE	5 GAL.	4' O.C.	
GROUND COVER						
	6733 SF	SOD: CYNODON DACTYLON 'TIF TUF'	TIF TUF BERMUDA GRASS	SOD		

## LANDSCAPE CALCULATIONS

PERMITTING AUTHORITY:	CITY OF ROCKWALL, TX
ZONING:	C
ADJACENT ZONING:	C
OVERALL	
TOTAL SITE AREA:	40,751 SF
LANDSCAPE AREA REQUIRED:	8,150 SF (20% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	8,594 SF
% OF REQ. AREA IN FRONT AND SIDE YARDS:	91.7% (MIN. 50%)
IMPERVIOUS AREA ON SITE:	32,157 SF

LANDSCAPE BUFFER ALONG S FM 549, MIN. WIDTH 10'	
LENGTH OF FRONTAGE:	192 LF (NOT INCL WIDTH OF DRIVEWAY)
CANOPY TREES REQUIRED:	4 CANOPY TREES (1 PER 50 LF)
CANOPY TREES PROVIDED:	4 CANOPY TREES
ACCENT TREES REQUIRED:	4 ACCENT TREES (1 PER 50 LF)
ACCENT TREES PROVIDED:	4 ACCENT TREES
SHRUBS REQUIRED:	48 SHRUBS PROVIDED
BERM REQUIRED:	30" BERM - SEE CIVIL PLANS FOR FINAL GRADES
NOTE:	ADDITIONAL SHRUBS HAVE BEEN ADDED TO PROVIDE AN ENHANCED SCREEN AT THE DRIVE THROUGH.

PARKING LOT HEAD LIGHT SCREENING PROVIDED AS REQUIRED.

PARKING LOT LANDSCAPING	
SIZE OF PARKING AND MANEUVERING AREA:	22,382 SF
QUANTITY OF PARKING SPACES:	27 PARKING SPACES
CANOPY TREES REQUIRED:	3 CANOPY TREES (1 PER 10 PARKING SPACES)
CANOPY TREES PROVIDED:	3 CANOPY TREES
NOTE:	NO PARKING SPACE MAY BE MORE THAN 80 LF FROM THE TRUNK OF A CANOPY TREE.

## GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

## ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

## MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

## PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

ENGINEER/APPLICANT  
THE DIMENSION GROUP  
10755 SANDHILL ROAD  
DALLAS, TX, 75238  
PHONE: (214) 343-9400  
CONTACT: KEATON L. MAI, PE

OWNER  
PRUDENT DEVELOPMENT  
10755 SANDHILL ROAD  
DALLAS, TEXAS 75238  
PHONE: (214) 271-4630  
CONTACT: MICHAEL HAMPTON

DEVELOPER  
VALLEY BELLS ENTERPRISES, LLC  
101 E. CHEROKEE STREET  
JACKSONVILLE, TX 75766  
PHONE: (903) 586-1524  
CONTACT: MIKE STRANSBERRY



10/06/25

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LANDSCAPE PLAN

SHEET

LP-1

LANDSCAPE PLAN  
LOT 18, BLOCK A, CREEKSIDE COMMONS  
ADDITION  
NWC STATE HIGHWAY 205 & F.M. 549  
A 0.936 ACRE TRACT OF LAND IN THE  
WILLIAM W. FORD SURVEY, ABST. NO 80  
CITY OF ROCKWALL, ROCKWALL  
COUNTY, TEXAS  
CITY PROJECT #SP2025-039  
October 6, 2025

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of October 2025.

WITNESS OUR HANDS, this 14 day of October 2025.

Planning & Zoning Commission, Chairman  
Director of Planning and Zoning



PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.
- C. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
  2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
  3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS IF ANY.
  4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- D. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  3. TRENCING NEAR EXISTING TREES
  - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1'-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT-BREAST-HEIGHT (4'5" ABOVE THE AVERAGE GRADE AT THE TRUNK).
  - b. ALL EXCAVATION WORK WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
  - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
  - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- E. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
  2. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  3. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE FINISH SURROUNDING GRADE.
  4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
  5. REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES BE PLANTED, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
  - a. 2-1/2" STAKES PER TREE
  - b. 2-1/2" x 4" TREES
  - c. TREES OVER 4" CALIPER
  - d. MULTI-TRUNK TREES
  - e. TWO STAKES PER TREE
  - f. THREE STAKES PER TREE
  - g. GUY AS NEEDED
  - h. THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS). UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PLACE MULCH WITHIN 6" OF THE TRUNK.
8. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
- a. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL TESTED TO MEET RECOMMENDATIONS.
- b. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING AREAS (EXCEPT FOR SODDED AND SEEDING AREAS), LEAVING NO EXPOSED GROUND.
9. SODDING
- a. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
- b. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
- c. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
- d. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SODS ROOT SYSTEM WITH THE SOIL UNDERNEATH.
- e. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- F. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
  2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROJECT ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- G. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- H. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
  2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
  3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- I. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  2. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
  3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - a. THE LANDSCAPE CONTRACTOR SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY), ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDING (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.
- J. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDING/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
  3. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
- K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDING/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
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- L. RECORD DRAWING
1. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A RECORD DRAWING TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  2. SOIL TESTING
  - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
  - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR), AND NITROGEN CONTENT.
  - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
  - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - e. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  - f. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
  - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
  - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
  - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
  - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
  - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
  - ii. 12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
  - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
  - c. IRON SULPHATE - 2 LBS. PER CU. YD.
  - d. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - e. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - f. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - g. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - h. AFTER INSTALLING SOIL AMENDMENTS IN SHRUB AREAS AND IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, ENSURE THAT THE FINISH GRADE IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 3" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
  - i. AFTER INSTALLING SOIL AMENDMENTS IN TURF AREAS, ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 1" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
  - j. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  - k. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

CAUTION NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

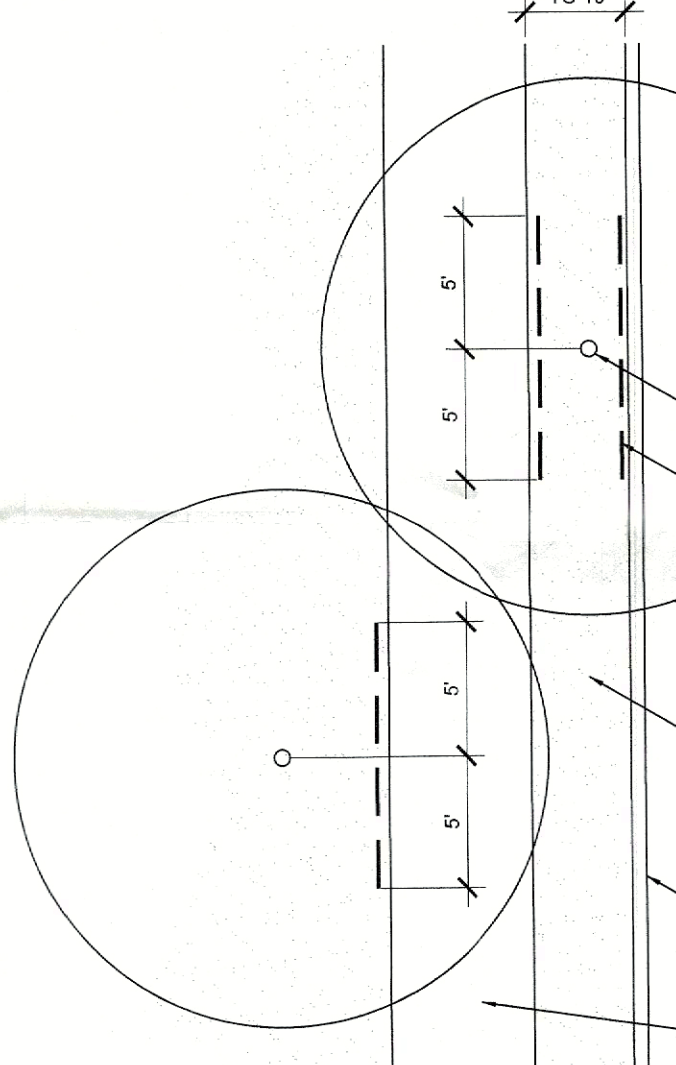
- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
  2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
  3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS IF ANY.
  4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  3. TRENCING NEAR EXISTING TREES
  - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1'-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT-BREAST-HEIGHT (4'5" ABOVE THE AVERAGE GRADE AT THE TRUNK).
  - b. ALL EXCAVATION WORK WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
  - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
  - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
  2. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  3. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE FINISH SURROUNDING GRADE.
  4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
  5. REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES BE PLANTED, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
  - a. 2-1/2" STAKES PER TREE
  - b. 2-1/2" x 4" TREES
  - c. TREES OVER 4" CALIPER
  - d. MULTI-TRUNK TREES
  - e. TWO STAKES PER TREE
  - f. THREE STAKES PER TREE
  - g. GUY AS NEEDED
  - h. THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS). UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PLACE MULCH WITHIN 6" OF THE TRUNK.
8. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
- a. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL TESTED TO MEET RECOMMENDATIONS.
- b. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING AREAS (EXCEPT FOR SODDED AND SEEDING AREAS), LEAVING NO EXPOSED GROUND.
9. SODDING
- a. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
- b. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
- c. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
- d. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SODS ROOT SYSTEM WITH THE SOIL UNDERNEATH.
- e. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- F. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
  2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROJECT ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- G. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- H. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
  2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
  3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- I. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  2. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
  3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - a. THE LANDSCAPE CONTRACTOR SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY), ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDING (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.
- J. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDING/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
  3. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
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STEEL EDGING

SCALE: NOT TO SCALE

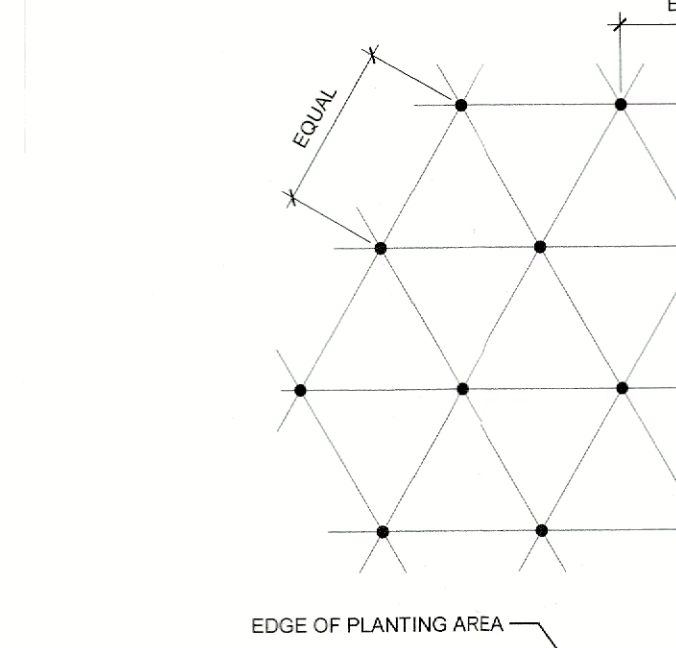
OPEN LANDSCAPE

PARKWAY OR ISLAND



ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:  
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

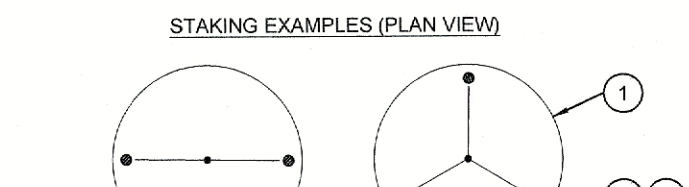
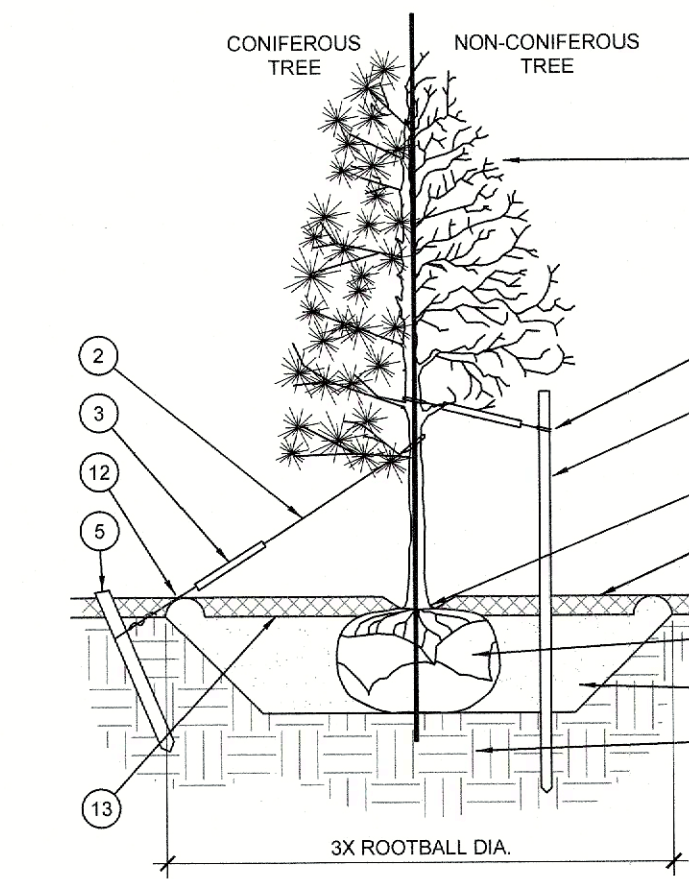
PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.36	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER  
STEP 1: 100 SF / 1.95 = 51 PLANTS  
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

PLANT SPACING

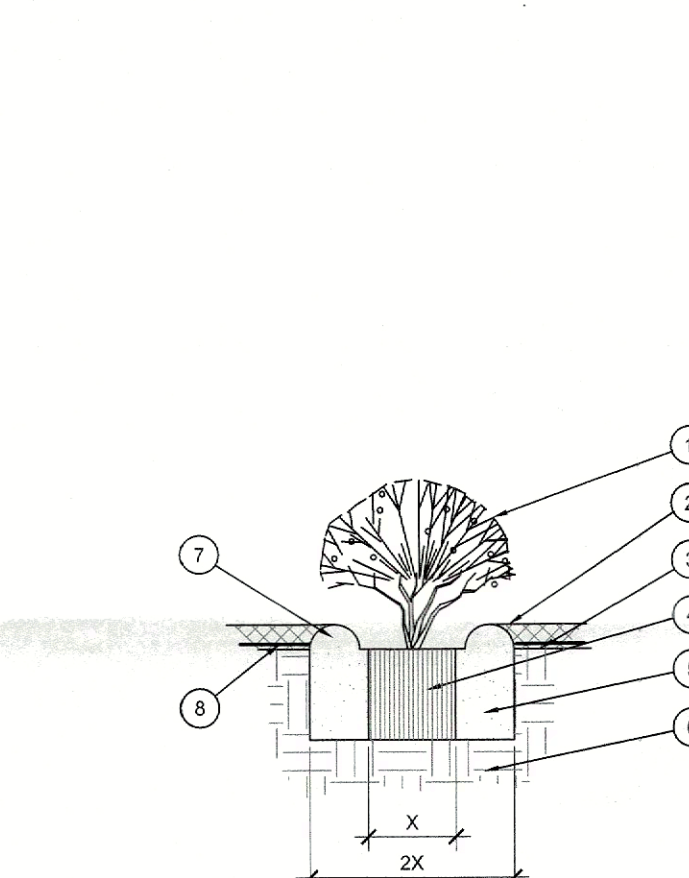
SCALE: NTS



NOTES:  
1. INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.  
2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.  
3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

TREE PLANTING

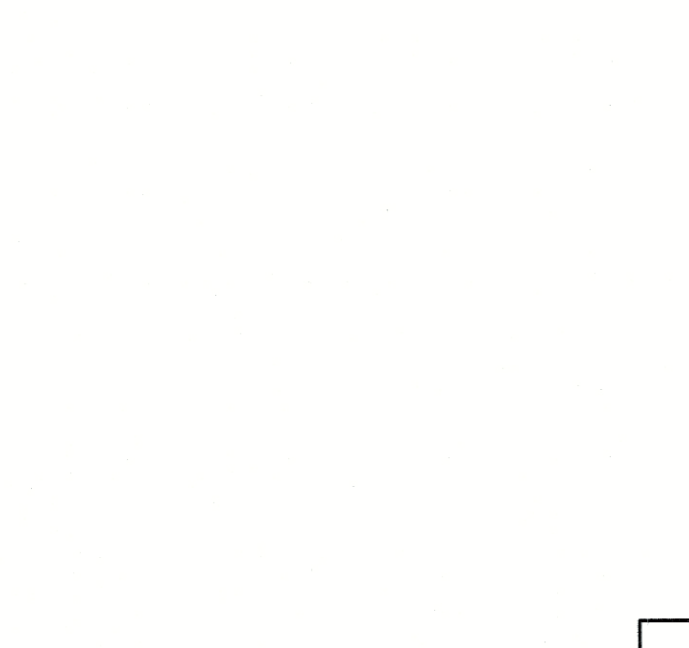
SCALE: NOT TO SCALE



NOTES:  
1. INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.  
2. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

SHRUB AND PERENNIAL PLANTING

SCALE: NTS



1. TREE CANOPY.
2. CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.), BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.
13. FINISH GRADE.

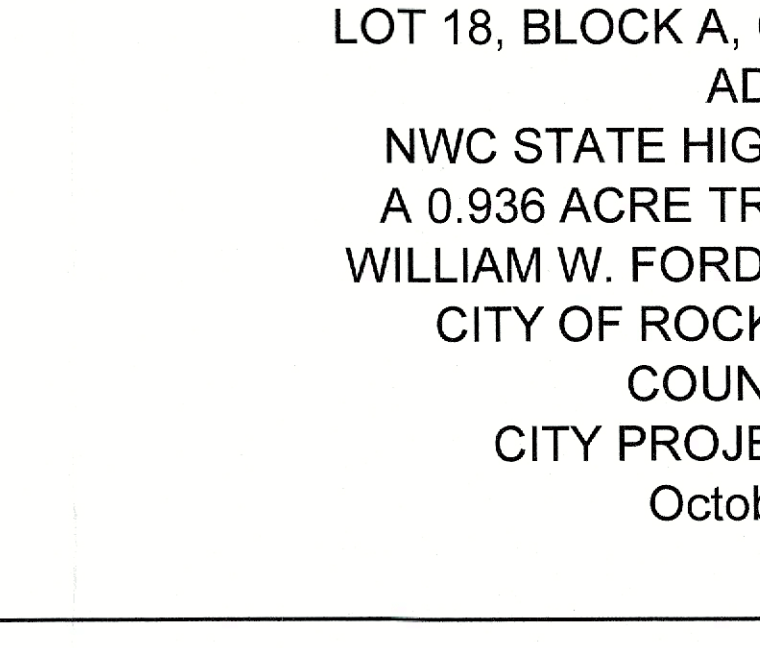
NOTES:  
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.  
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 12" ABOVE FINISH GRADE.  
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.  
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.  
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED FABRIC UNDER MULCH.

NOTES:  
1. INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.  
2. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

SHRUB AND PERENNIAL PLANTING

SCALE: NTS



APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of October 2025.

WITNESS OUR HANDS, this 14 day of October 2025.

Debra L. Bailey, Planning & Zoning Commission, Chairman  
Brie, Director of Planning and Zoning

National Presence. Local Expertise.

**EVERGREEN DESIGN GROUP**



# FACADE CALCULATIONS

OVERALL EXCLUDING OPENINGS = 1,556 SQ. FT.  
STUCCO = 110 SQ. FT. STUCCO = 7%  
STONE = 126 SQ. FT. STONE = 8%  
BRICK = 1,320 SQ. FT. BRICK = 85%



## SIDE ELEVATION - WEST - SECONDARY BUILDING FACADE

1/4" = 1'-0"

1

**PAINTING**  
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.  
PRIMER: 1 COAT SW A24W8300  
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.  
A-100 EXTERIOR LATEX SATIN.

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
<b>TOWER</b>			
V-03.14W	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
<b>SIDE ENTRY</b>			
V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
V-200.EN	1	SIDE ENTRY AWNING 6'4" X 4'0" BLACK	A4.0
<b>DRIVE THRU</b>			
V-101.DT	1	DT AWNING (OVER DT) 9'0" X 4'0" BLACK	A4.1
V-102.DT	1	DT AWNING (OVER DT) 4'0" X 4'0" BLACK	A4.1
<b>EYEBROW AWNINGS</b>			
V-202.EN	1	FRONT EYEBROW (WINDOW) 13'8" X 6'6" H X 1'4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7'8" L X 6'6" H X 1'4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12'6" H X 1'4" D BLACK	A4.0

**MISCELLANEOUS**  
A. SEE SHEET A1.1 'WINDOW TYPES' FOR WINDOW ELEVATIONS.  
**SEALERS (REFER TO SPECS)**  
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

**CRITICAL DIMENSIONS**  
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 408 CO2 FILLER VALVE & COVER.
- 416 HOSE BIB BOX AT 18" A.F.F.
- 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.

## KEY NOTES

A

DATE	REMARKS

PLAN DATE: 09-08-25  
BUILDING TYPE: END. MED40  
PLAN VERSION: SEPT. 2023  
BRAND DESIGNER: TBD  
SITE NUMBER: TBD  
STORE NUMBER: TBD  
PA/PM: LS  
DRAWN BY: WCS  
JOB NO.: 25602

**TACO BELL**  
LOT 18, BLOCK A,  
CREEKSIDE COMMONS  
NWC STATE HWY 205 & FM 549  
ROCKWALL, TX



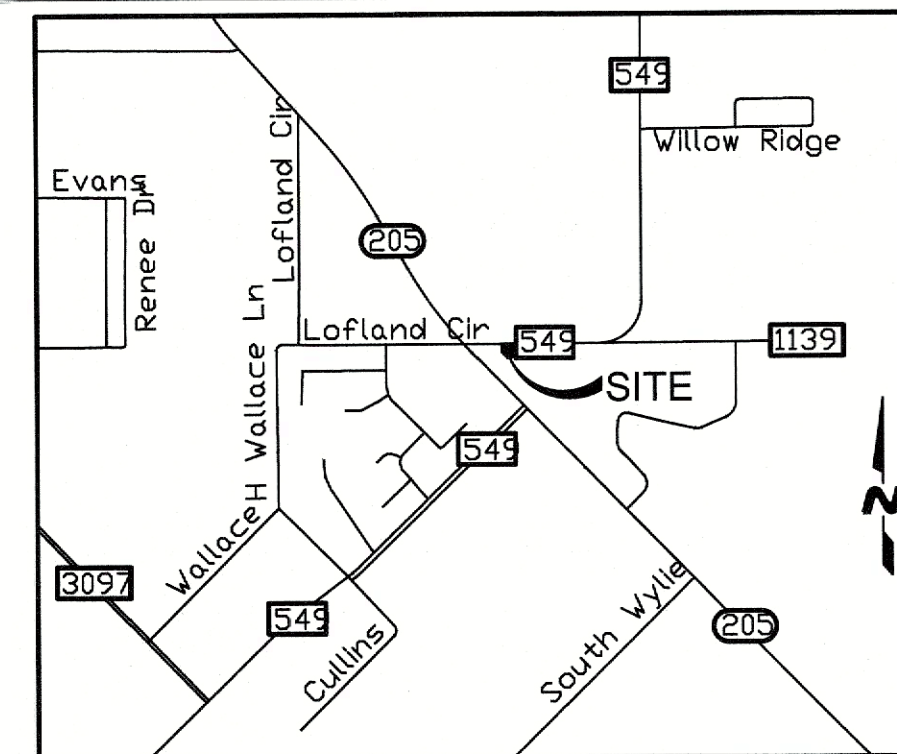
ENDEAVOR 2.0  
EXTERIOR  
ELEVATIONS

A4.0

SYMBOL	ITEM/MATERIAL	MANUFACTURER	COLOR
1A	BRICK	ACME BRICK	MUSHROOM BROWN
1B	BRICK	ACME BRICK	EBONY
1C	STONE	BLACKSON BRICK	COTTONWOOD (VERIFY)
2	SCUPPERS & DOWNSPOUTS	-	CYBERSPACE (SW7076) KYNAR 500 COATING
3	HOLLOW METAL DOOR	-	CYBERSPACE (SW7076) KYNAR 500 COATING
4	AWNINGS	SIGNAGE VENDOR	BLACK BY THE SIGNAGE VENDOR
5	METAL PARAPET CAP	-	CYBERSPACE (SW7076) KYNAR 500 COATING
6	STUCCO	-	IMPULSIVE PURPLE (SW6632), SEMI-GLOSS
7	PATIO STRUCTURE	-	RAL 9011 GRAPHITE BLACK

## EXTERIOR FINISH SCHEDULE

D



VICINITY MAP  
N.T.S.

APPROVED:  
I hereby certify that the above Color Renderings for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of October 2025.  
WITNESS OUR HANDS, this 14 day of October 2025.  
*Da Juan Bailey* Planning & Zoning Commission Chairman  
*hlic* Director of Planning and Zoning

**ENGINEER/APPLICANT**  
THE DIMENSION GROUP  
10755 SANDHILL ROAD  
DALLAS, TX. 75238  
PHONE: (214) 343-9400  
CONTACT: KEATON L. MAI, PE

**OWNER**  
PRUDENT DEVELOPMENT  
10755 SANDHILL ROAD  
DALLAS, TEXAS 75238  
PHONE: (214) 271-4630  
CONTACT: MICHAEL HAMPTON

**DEVELOPER**  
VALLEY BELLS ENTERPRISES, LLC  
101 E. CHEROKEE STREET  
JACKSONVILLE, TX 75766  
PHONE: (903) 586-1524  
CONTACT: MIKE STRANSBERRY

B

**LONNIE SMITH**  
ARCHITECT

phone 859-771-5638  
P.O. BOX 1925  
Richmond, KY 40475



**ANNIE SMITH**  
 ARCHITECT  
 phone 859-771-5638  
 P.O. BOX 1925  
 Richmond, KY 40475

DATE	REMARKS

PLAN DATE: 09-08-25  
 BUILDING TYPE: END. MED40  
 PLAN VERSION: SEPT. 2023  
 BRAND DESIGNER: TBD  
 SITE NUMBER: TBD  
 STORE NUMBER: TBD  
 PA/PM: LS  
 DRAWN BY: WCS  
 JOB NO.: 25602

**TACO BELL**  
 LOT 18, BLOCK A,  
 CREEKSIDE COMMONS  
 NWC STATE HWY 205 & FM 549  
 ROCKWALL, TX



ENDEAVOR 2.0  
 EXTERIOR  
 ELEVATIONS

A4.1

**FACADE CALCULATIONS**  
 OVERALL EXCLUDING OPENINGS = 1,814 SQ. FT.  
 STUCCO = 88 SQ. FT. STUCCO = 5%  
 STONE = 376 SQ. FT. STONE = 20%  
 BRICK = 1,350 SQ. FT. BRICK = 75%

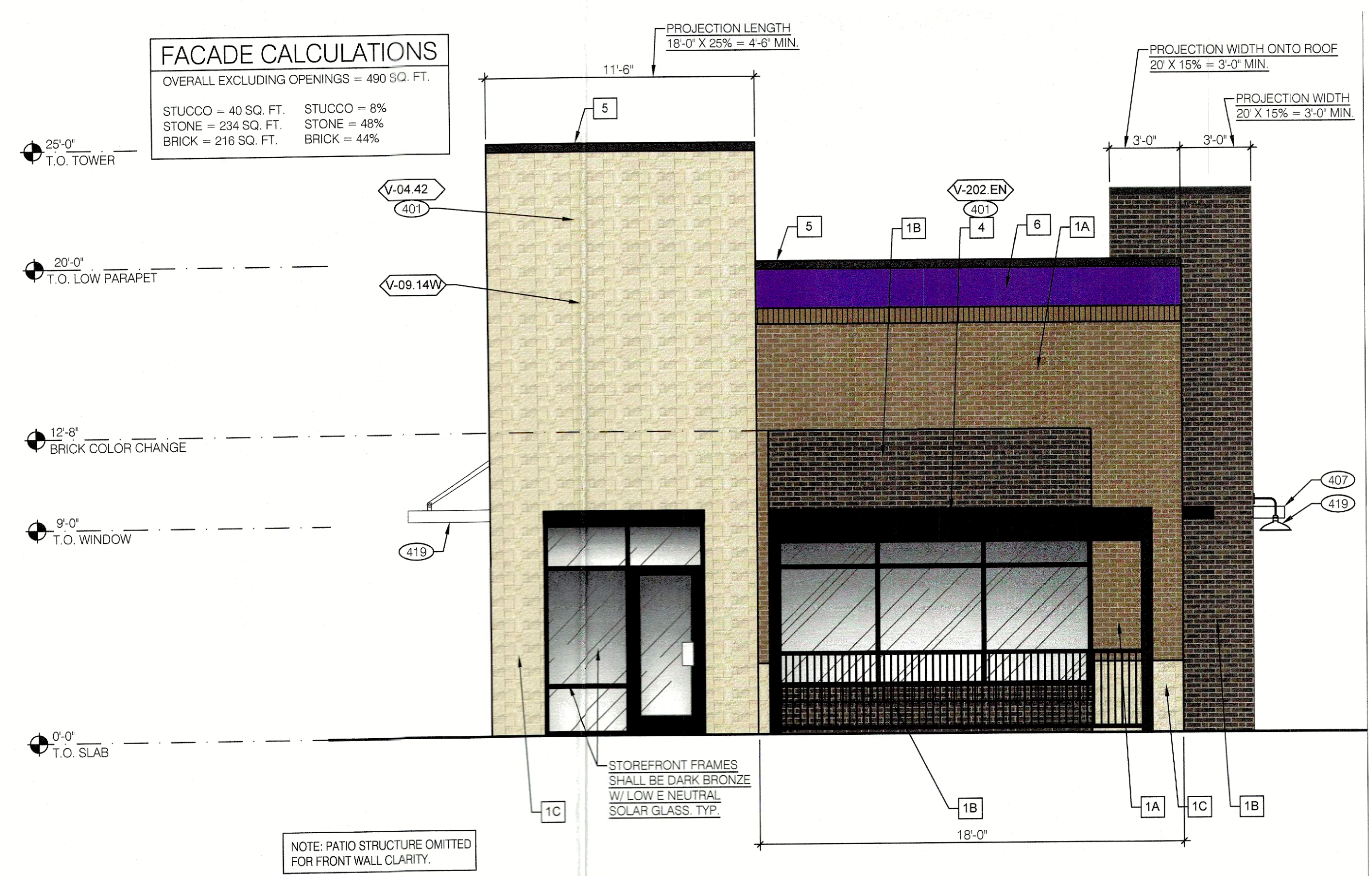


SIDE ELEVATION - EAST - SECONDARY BUILDING FACADE 1/4" = 1'-0" 1

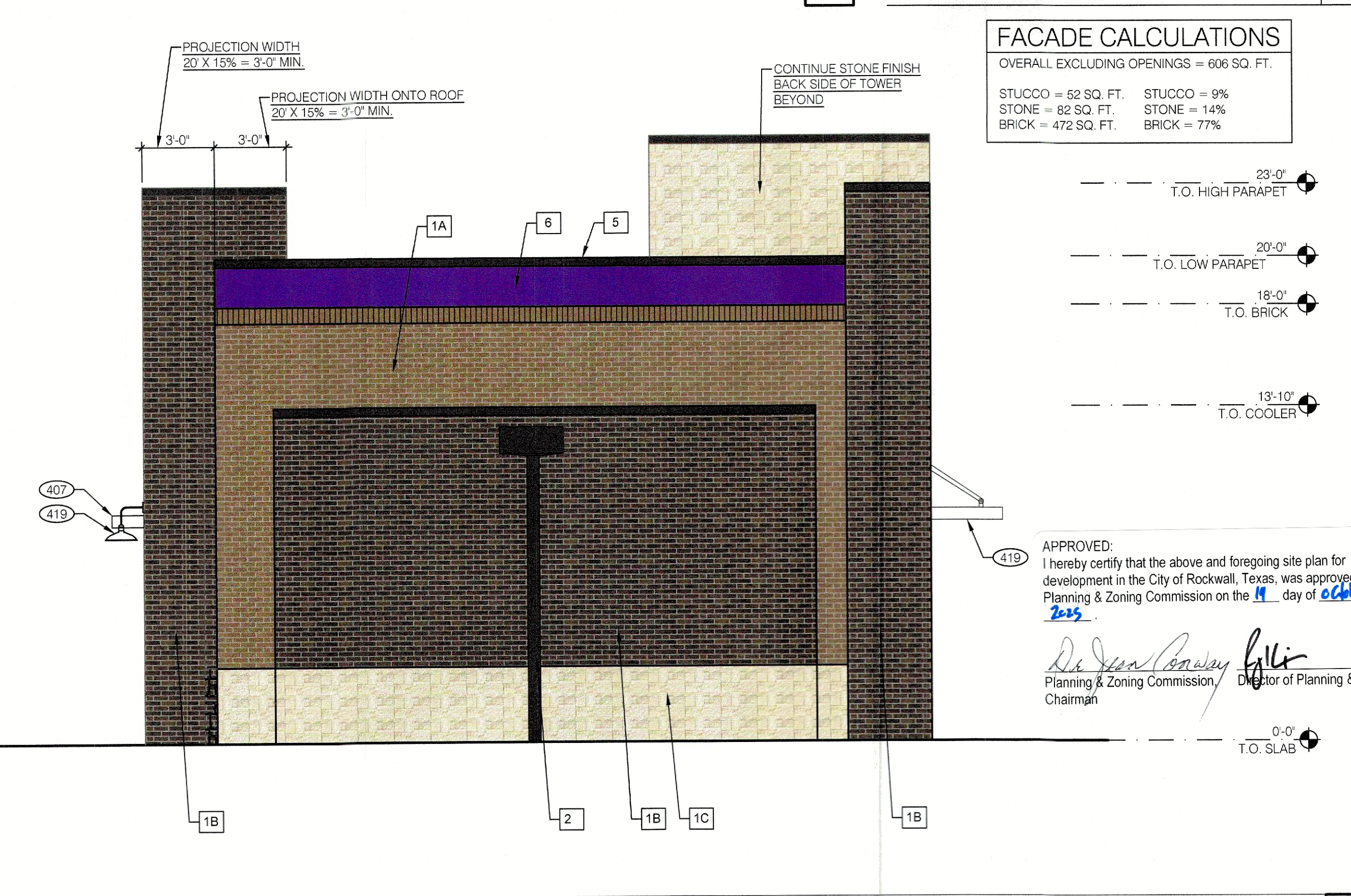
KEY NOTES

**FACADE CALCULATIONS**  
 OVERALL EXCLUDING OPENINGS = 490 SQ. FT.  
 STUCCO = 40 SQ. FT. STUCCO = 8%  
 STONE = 234 SQ. FT. STONE = 48%  
 BRICK = 216 SQ. FT. BRICK = 44%

**FACADE CALCULATIONS**  
 OVERALL EXCLUDING OPENINGS = 606 SQ. FT.  
 STUCCO = 52 SQ. FT. STUCCO = 9%  
 STONE = 82 SQ. FT. STONE = 14%  
 BRICK = 472 SQ. FT. BRICK = 77%



FRONT ELEVATION - NORTH - PRIMARY BUILDING FACADE 1/4" = 1'-0" 2



REAR ELEVATION - SOUTH - SECONDARY BUILDING FACADE 1/4" = 1'-0" 3



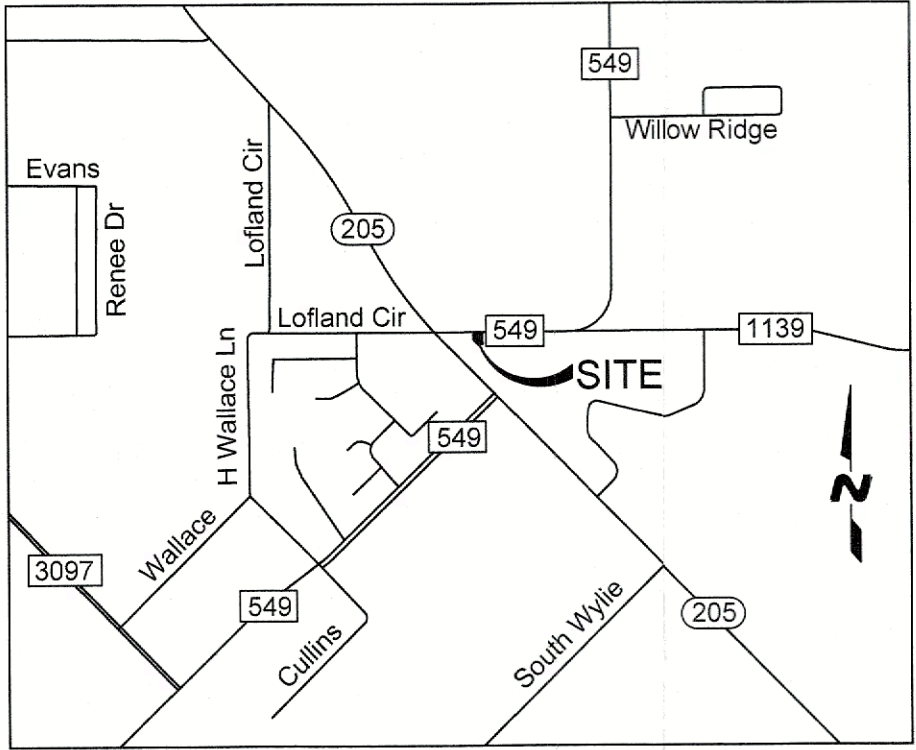
### SITE PLAN KEYNOTES:

- ① CONSTRUCT 6" CURB & GUTTER
- ② CONSTRUCT 6" CONCRETE PAVEMENT SECTION
- ③ INSTALL SIDEWALK PAVEMENT
- ④ INSTALL HANDICAP VAN AND CAR SIGN
- ⑤ 4" WHITE PAVEMENT SOLID PARKING STRIPES
- ⑥ HANDICAP VAN PARKING
- ⑦ STANDARD AREA LIGHT POLE
- ⑧ MONUMENT SIGN
- ⑨ NEW BARRIER FREE RAMPS
- ⑩ PROPOSED ESCAPE LANE
- ⑪ CLEARANCE BAR
- ⑫ MENU BOARD
- ⑬ ORDER SPEAKER
- ⑭ "ONE WAY DO NOT ENTER" SIGN
- ⑮ PROPOSED 4' BOLLARD

### GENERAL NOTES

1. The contractor shall assume sole and complete responsibility for his means and methods of construction, job site conditions and job site safety, including safety of all persons and property. This requirement shall apply continuously and not be limited to working hours. The contractor shall save, protect, indemnify defend and hold harmless the owner, the architect and the engineer from any claim of liability, real or alleged, arising out of the performance of any work on this project. The contractor shall name the owner, the architect and the engineer as "additional insured" on his insurance policies.
2. Existing above ground utilities have been shown based on information shown on a survey of the property. Underground utilities are shown based on recorded data and may not be complete or exact. The contractor shall be responsible for verifying the locations and depths of all above ground and underground utilities prior to construction. The contractor shall be responsible for damage to existing above ground or underground utilities, including those not shown on the plans. The contractor is advised to contact the city and all franchise utility companies, easement holders, etc. at least 48 hours prior to beginning excavation in the vicinity of any underground utility.
3. The contractor shall comply with all building codes and regulations, federal, state, county, and city safety codes and inspection requirements.
4. The contractor shall provide dust protection during construction. All trash and debris shall be picked up at all times. Commercial construction debris/solid waste hauler permit required.
5. There will be no outside storage or above ground storage tanks. (Subsection 01.05, of Article 05, UDC)
6. Per the Engineering Standards of Design and Construction, dumpster areas will need to drain to oil/water separator and then to storm lines.

USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	40,751.89 S.F. (0.936 ACRES)
BUILDING SQUARE FOOTAGE	2,384 S.F.
FAR	0.061
BUILDING HEIGHT	23'-0"
TOTAL PERVIOUS COVER	8,743 S.F. OR 21%
TOTAL IMPERVIOUS COVER	32,008 S.F. OR 79%
PARKING REQUIRED	27 SPACES (1/100 G.F.A.)
PARKING PROVIDED	27 SPACES
HANDICAP PARKING REQUIRED	2 SPACES
HANDICAP PARKING PROVIDED	2 SPACES



VICINITY MAP  
N.T.S.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of October, 2025.

WITNESS OUR HANDS, this 14 day of October, 2025.

*De Ann Conway*  
Planning & Zoning Commission, Chairman

6/14  
Director of Planning and Zoning

# CITY OF ROCKWALL MONUMENTS

COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND WAY DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.  
N: 7018063.113, E: 2609533.682 ELEVATION: 800.48'

COR-9: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER OF CURB INLET ±180 FOOT EAST INTERSECTION OF DISCOVERY/CORPORATE.  
N: 7020550.132, E: 2607463.893 ELEVATION: 595.63'

**ENGINEER/APPLICANT**  
**THE DIMENSION GROUP**  
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101 E. CHEROKEE STREET  
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PHONE: (903) 586-1524  
CONTACT: MIKE STRANSBERRY

**CAUTION NOTICE TO CONTRACTORS**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

**811**  
®  
CALL BEFORE YOU DIG

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	0.64	5.6	0.0	N.A.	N.A.
PARKING LOT & DRIVE-THRU SURFACE	1.64	5.6	0.0	N.A.	N.A.

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES

Summary Schedule										
System	Qty	Label	Arrangement	Unit	Quantity	DAF	OCF	Itemname	Weight	Description
				Sub-systems				Watts	Mounting	
3	A	SINGLE	4852	0.9000	45000K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	B	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	C	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	D	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	E	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	F	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	G	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	H	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	I	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	J	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	K	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	L	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	M	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	N	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	O	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	P	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	Q	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	R	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	S	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	T	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	U	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	V	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	W	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	X	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	Y	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	Z	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AA	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
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3	AC	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AD	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AE	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AF	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AG	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AH	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AI	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AJ	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AK	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AL	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AM	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AN	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AO	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AP	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AQ	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AR	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AS	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	AT	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
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3	AZ	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BA	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BB	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BC	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BD	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BE	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BF	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BG	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BH	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BI	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BJ	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BK	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BL	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BM	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BN	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BO	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BP	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BQ	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BR	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BS	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BT	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BU	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BV	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BW	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BX	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BY	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	BZ	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CA	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CB	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CC	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CD	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CE	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CF	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CG	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CH	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CI	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CJ	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CK	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CL	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CM	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CN	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CO	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CP	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CQ	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CR	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CS	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CT	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CU	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CV	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CW	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CX	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CY	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	CZ	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	DA	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	DB	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	DC	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	DD	SINGLE	7332	0.9000	4500K	48	12.5	SSM-48W-D55-011	17	118V-700M-45-1
3	DE	SINGLE	4852	0.9000	4500K	48	22.5	SSM-48W-D55-011	17	118V-700M-45-1
3	DF	SINGLE	7332	0.9000	4500K					

SHEET		PHOTOMETRIC PLAN		REVISION DESCRIPTION		BY
LDE-1.0	TACO BELL NWC STATE HIGHWAY 205 & FM 549 ROCKWALL, TEXAS 75032	#	DATE			
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		△				
		△				
		△				
		project no.	250-340	drawn by		
		date	10/06/2025 — 9:34 am	designed by		
				approved by		
				dwg.	LDE-1.0-100625.dwg	