

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CLEAN OUT DITCH TO ENSURE PROPER DRAINAGE (SEE GRADING PLAN)

CONNECT TO STREET & CONSTRUCT CONC. TO ASPHALT HEADER (PER CITY REQUIREMENTS)

REMOVE OLD ASPHALT GRAVEL, ADD LANDSCAPING BETWEEN ROAD AND CONCRETE

PROPOSED HANDICAP PARKING W/ WHEEL STOP & SIGN

CONNECT NEW 18" RCP TO EXISTING 18" RCP GROUT JOINT
PROPOSED 8" CURB (TYP)

CONNECT TO STREET & CONSTRUCT CONC. TO ASPHALT HEADER (PER CITY REQUIREMENTS)

PROPOSED 18" RCP W/ PSET HEADWALL

CLEAN OUT DITCH TO ENSURE PROPER DRAINAGE (SEE GRADING PLAN)

GENERAL NOTES

- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
- Fire lanes shall be designed and constructed per city standards.
- Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
- Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
- All signage contingent upon Building Inspection Department.
- Approval of the site plan is not final until all engineering plans are approved.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Please contact the Building Inspection Department to determine the type of construction and occupancy group.
- All electrical transmission, distribution and service lines must be underground.

** NOTICE TO CONTRACTORS **

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **CSG SURVEYING TEXAS LLC OF GARLAND, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

NOTES:

- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & MCDOT STANDARDS AND DETAILS 5th EDITION.
- ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
- SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

MIMS ROAD
PUBLIC R.O.W.

20 10 0 20
1" = 20'



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FMH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- SM = EXISTING SS MANHOLE
- TI = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- C = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- [] = PROPOSED FIRELANE
- [] = PROPOSED NON FIRELANE (PARKING) SEE PAVING NOTES
- [] = PROPOSED DUMPSTER PAVING SEE PAVING NOTES

NOTE:
EXISTING WATER & SEWER SERVICE TO REMAIN AS IS

PAVING NOTES:

- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 5 1/2 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- NO SAND UNDER PAVING.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



8/12/25

PROJECT #: SP2025-031

SITE & DIMENSION CONTROL PLAN 626 NATIONAL

LOT 7, BLOCK A, 1.95 ACRES
NATIONAL ADDITION
City of Rockwall, Rockwall County, Texas 75087

PREPARED BY
CFL LANDSCAPES
ZACHARY CONTI
469.264.9260

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8781

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PROJECT NO.: 2025-3 REG. NO.: F-2567

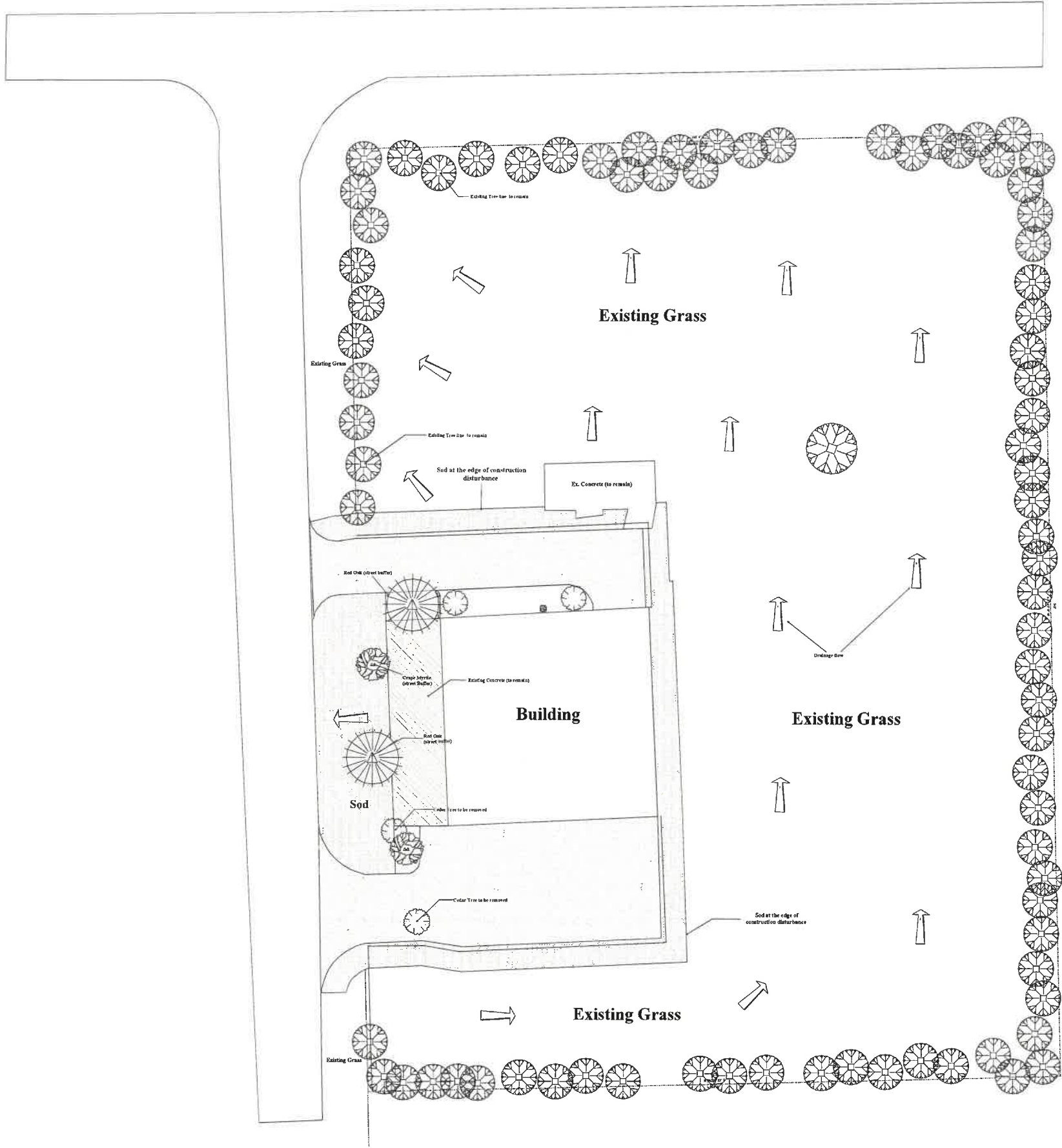
date: 8/12/25 scale: 1" = 20' sheet: C101

APPROVED:

I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 26 day of August 2025.

Chairman

Director of Planning & Zoning



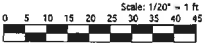
Trees to be removed: 2
Type of tree: Cedar
New Trees:
Nellie Stevens Holly (accent) see LP 1.0
Red Oak (canopy) see LP 1.0
Crape Myrtle (accent) LP 1.0
Tree Count : 86

Symbol	Qty	Common Name	Container	Height and Spread
Trees\Deciduous				
	1	Crape Myrtle(street Buffer)	3"	8'
	81	Existing Tree	N/A	N/A
	2	Red Oak (street buffer)	3"	10'
Trees\Evergreen				
	2	Cedar Tree to be removed	N/A	N/A
	2	Nellie Stevens Holly	30 Gal	6'

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 24 day of August, 2025.

Planning & Zoning Commission,
Chairman

Director of Planning & Zoning



PLEASE BE ADVISED
This design is intellectual property of Clients First Landscape Solutions. We have the exclusive right to use, alter and profit from it. You do not have are permission to install it.

Revisions

Notes

1)

2)

CLIENTS FIRST
LANDSCAPE SOLUTIONS

Tree Plan

626 National Dr.
Rockwall Texas, 75032

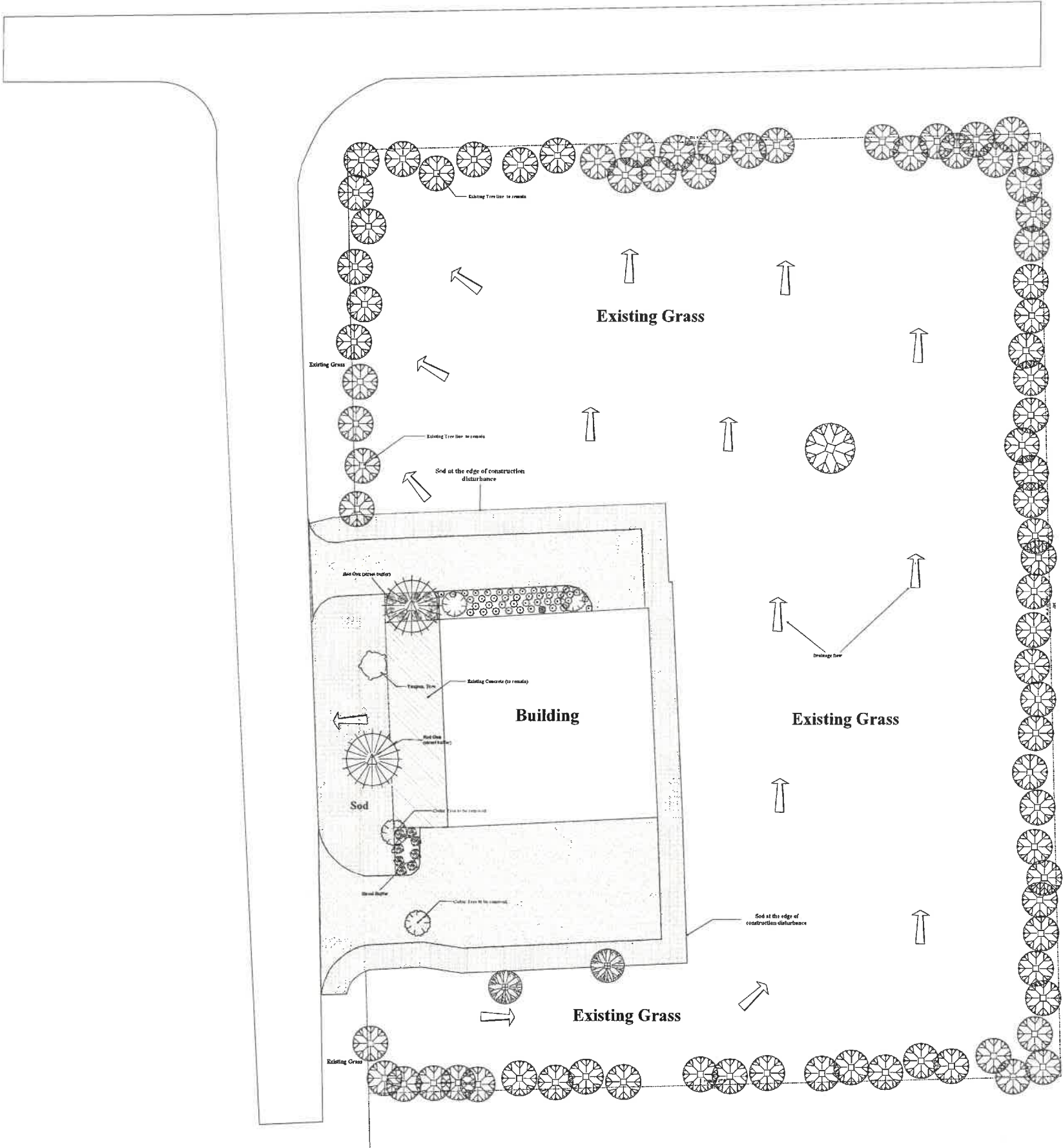
Project Number: 86

Date: 07/17/25

Scale: 1" = 20'

Sheet No.

LP-1.1



Landscape area

Required: (20%) 17,000 Sq. Ft.

Provided:

New landscaping - 7,270.96 Sq ft.

Total provided landscaping - 76,670.96

Trees to be removed : 2

Trees to be added: 4

Street buffer:

Four Trees

Red Oak 3" (2)

Yaupon Holly 3" (2)

Ground Cover - Bermuda Sod

Shrub buffer - Mexican Feather grass

Irrigation Note: Irrigation will meet the requirements of the UDC.

Symbol	Qty	Common Name	Container	Height and Sprea
Groundcovers\Ornamental Grass				

	16	Big Blue Lilyturf, Bloomed	1 Gal.	10" H x 8" W
	16	Mexican Feather Grass	3 Gal	18" H x 12" W

Groundcovers\Perennials				
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	10	Chinese Fringe Flower	3 Gal	12" H x 18" W
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Shrubs\Evergreen				
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	17	Golden Vicary Privet	3 Gal.	18" H x 12" W
	2	Yaupon, Tree	Full Size	

Trees\Deciduous				
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	79	Existing Tree	Full Size	
	1	Red Oak (street buffer)	3" Cal	10'
	1	Red Oak (street buffer)	Full Size	

Trees\Evergreen				
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	2	Live Oak	Full Size	
	2	Nellie Stevens Holly	30 Gal	6'

Fill Style	Finish	Spec.
	Existing Concrete	N/A
	Proposed Concrete	3500 PSI, Reenforced rebar
	Bermuda Sod	T&F 419

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Planning & Zoning Commission,
Chairman

Director of Planning & Zoning

CLIENTS FIRST
LANDSCAPE SOLUTIONS

**Overall
Landscape Plan**

626 National Dr.
Rockwall Texas, 75032

Project Number: 87

Date: 08/19/2025

Scale: 1" = 20'

Sheet No.

LP-1.0

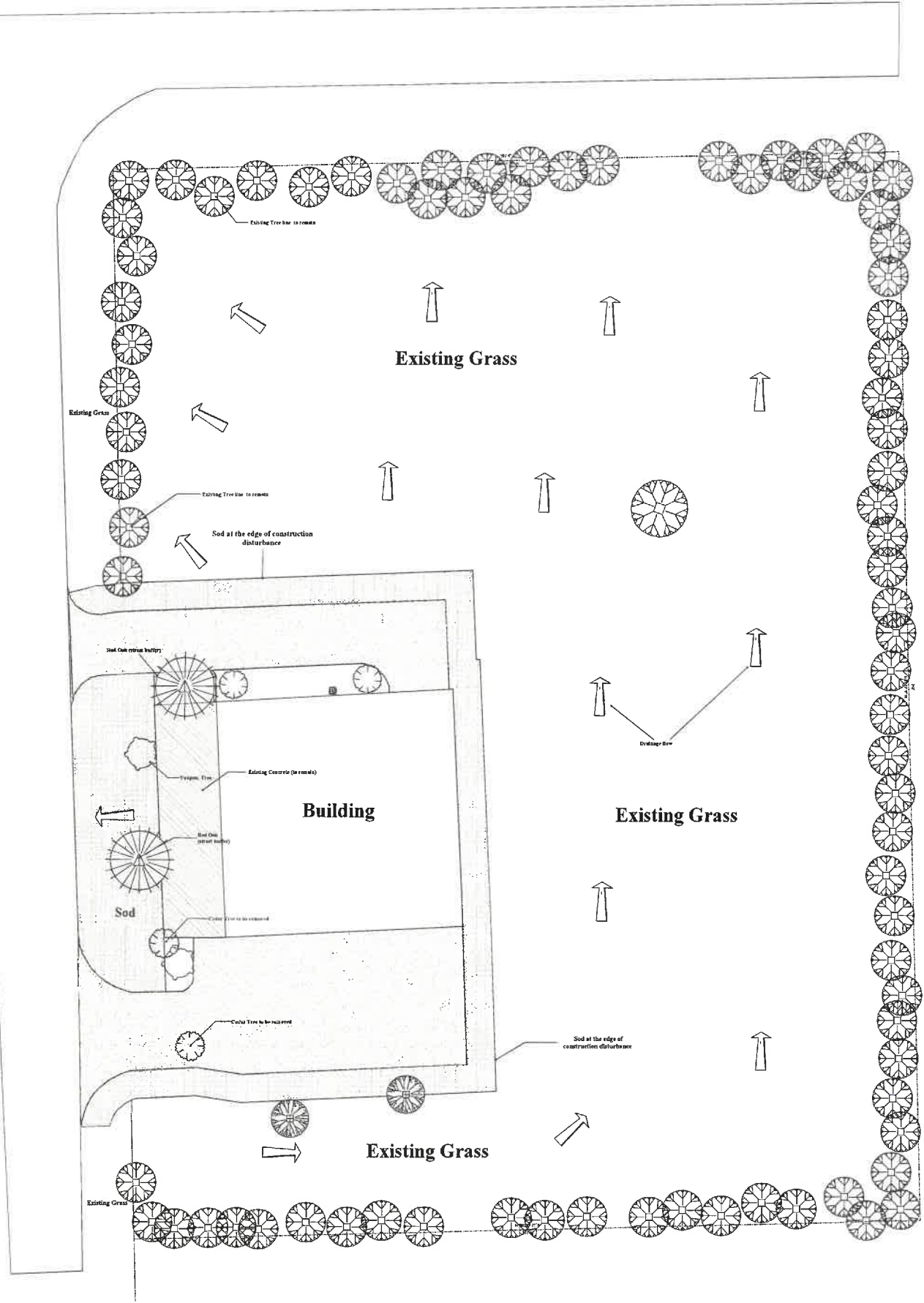


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Notes:

1)

2)



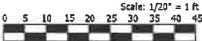
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Symbol	Qty	Common Name	Container	Height and Spread
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	2	Live Oak	3"	
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Tree Plan

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626 National Dr.
Rockwall Texas, 75032

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Revisions	1)	2)
Notes	1)	2)