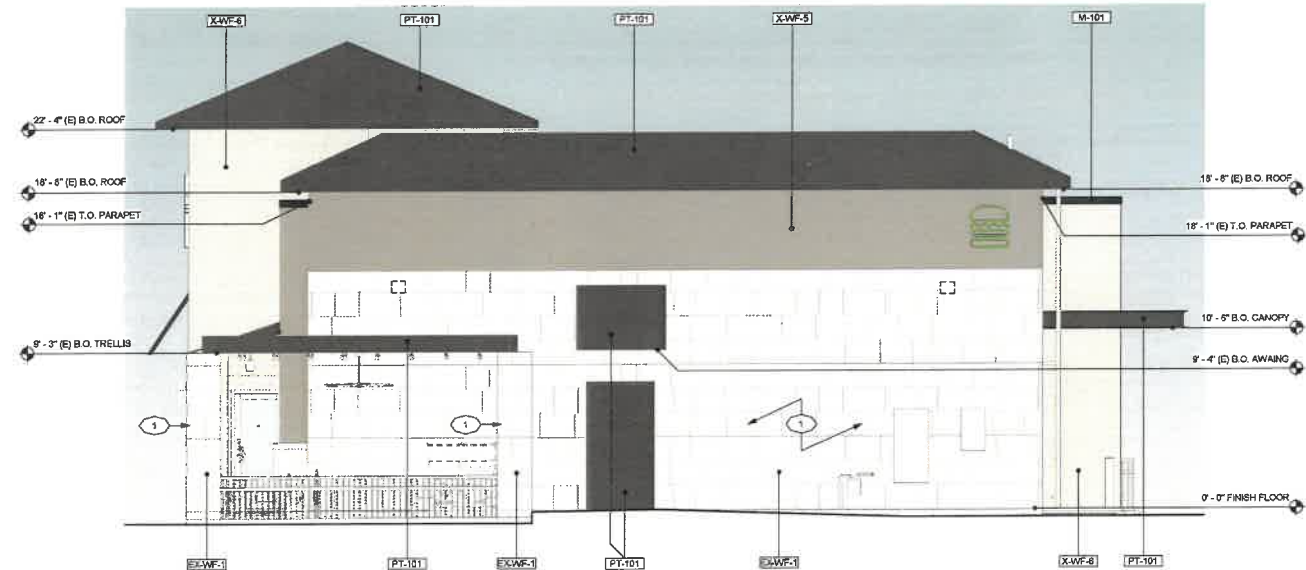
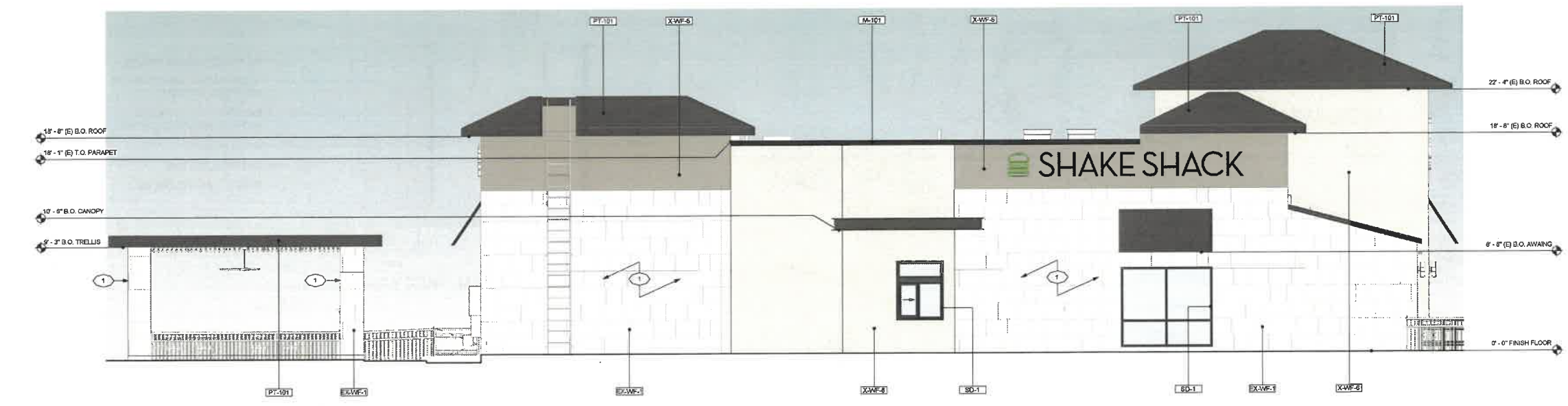


E
D
C
B
A



EXTERIOR ELEVATION - WEST C3
SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION - SOUTH A1
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7052 GRAY AREA	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7008 ALABASTER
LOCATION: EXTERIOR FACADE MATERIAL: EXISTING STONE NOTE: TO REMAIN AS IS; PATCH AND REPAIR AS NEEDED	LOCATION: ROOF MATERIAL: EXTERIOR PAINT FINISH: LOW SHEEN COLOR: SW 7099 IRON ORE
LOCATION: CANOPY MATERIAL: EXTERIOR PAINT FINISH: EGGSHELL COLOR: SW 7088 IRON ORE	LOCATION: PARAPET MATERIAL: METAL COPING MANUFACTURER: PAC CLAD COLOR: BLACK
LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL FINISH: NEW PAINT COLOR: BLACK	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL FINISH: NEW PAINT COLOR: WHITE

KEYNOTES

- 1 (E) STONE TO REMAIN AS IS; PATCH AND REPAIR AS NEEDED.

zebra
ZEBRA PROJECTS, INC.
14614 N KIERLAND BLVD SUITE 2000
SCOTTSDALE, ARIZONA 85254
PHONE: 480.912.1169 zbr.global

STORE NO:
TX #1745

SHAKE SHACK
ROCKWALL, TX
546 E. ROCKWALL BLVD. SUITE 303
ROCKWALL, TX 75087

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Director on the 16 day of June, 2025

6/14
Director of Planning & Zoning

REVISION

DATE	DESCRIPTION

STATUS:
PERMIT SET / BID SET

PRELIMINARY:
This drawing is preliminary and is for design purposes only and not intended for construction. It is subject to change without notice. The user assumes all responsibility for any errors or omissions. The user agrees to hold Zebra Projects, Inc. harmless from all claims, damages, or expenses, including reasonable attorneys' fees, arising from the use of this drawing.

NOT FOR CONSTRUCTION

FIELD VERIFICATION:
The user shall verify all field dimensions and conditions of the project site and verify that the information is accurate. They must report any discrepancies to the user of Zebra Projects, Inc.

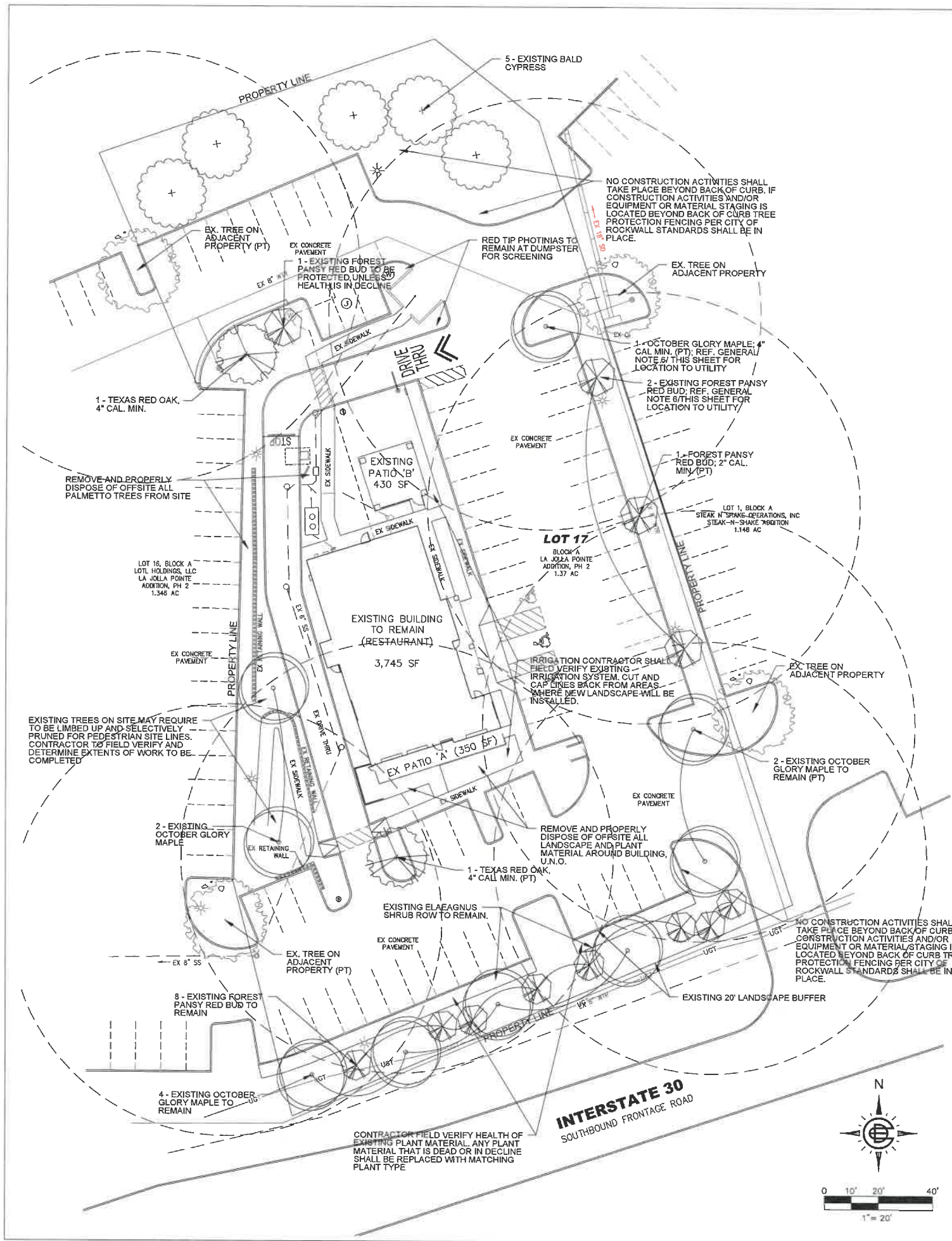
COPYRIGHT © 2025
Zebra Projects, Inc. shall retain all common law, statutory and all other copyright rights. Nothing in this agreement shall be construed to limit the user's right to use the information herein for the purposes of the project.

SHEET NAME:
COLORED ELEVATIONS

DATE: 06/05/25 PROJECT NO: 40402

DRAWN: JF SCALE:

SHEET NO:
A204



SITE DATA	
LOT AREA:	1.37 ACRES (59,877 SF)
ZONING:	C (COMMERCIAL)
CURRENT USE:	RESTAURANT
PROPOSED USE:	RESTAURANT
BUILDING AREA:	3,745 SQ. FT.
FLOOR/AREA RATIO:	0.08
PARKING REQUIRED:	38 SPACES (1/100 SF)
PARKING PROVIDED:	68 SPACES (1/55 SF)

TREE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
CANOPY AND ORNAMENTAL TREES				
1 EA	1	OCTOBER GLORY MAPLE	<i>Acer rubrum 'October Glory'</i>	100 gal.; 8'-10' ht. x 6" sp., 4" caliper min.
2 EA	2	TEXAS RED OAK	<i>Quercus buckleyi</i>	100 gal.; 8'-10' ht. x 6" sp., 4" caliper min.
1 EA	1	FOREST PANSY RED BUD	<i>Cercia canadensis 'Forest Pansy'</i>	45 gal.; 6'-8' ht. x 6" sp., 2" caliper min.

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.

APPROVED:

I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Director on the 14 day of June 2025

Director of Planning & Zoning

TREE LEGEND

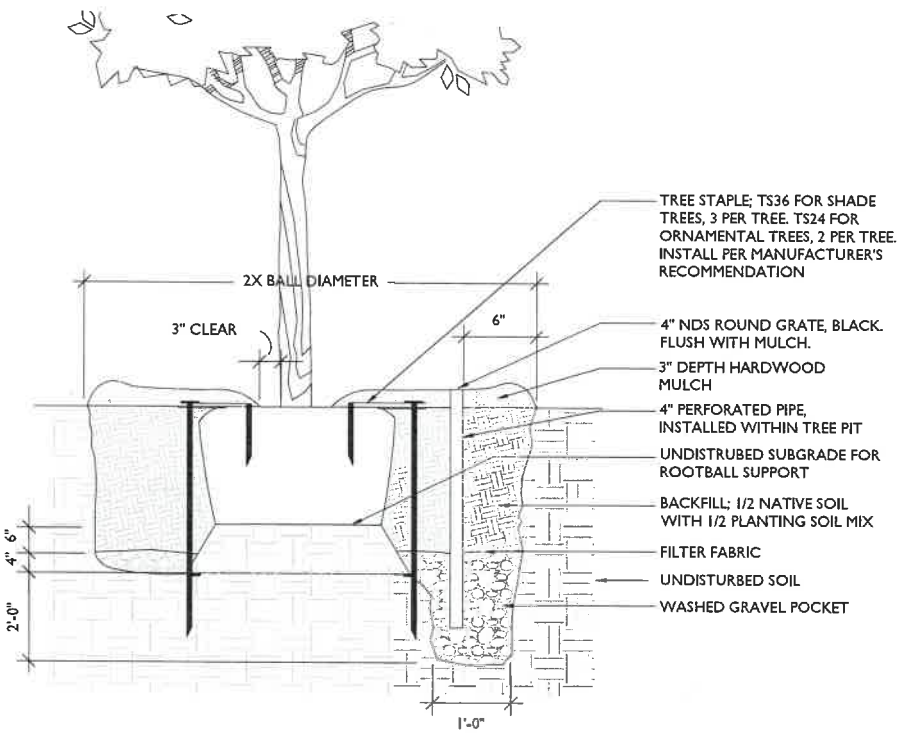
PT = PARKING LOT TREES

SITE TREE REQUIREMENTS

- REQUIRED:
- 10' MIN. WIDTH LANDSCAPE BUFFER ALONG I-30 FRONTAGE
- STREET TREES:
- 1 CANOPY AND 1 ORNAMENTAL (ACCENT) TREE PER 50 LINEAR FEET FRONTAGE
- SITE AND PARKING TREES:
- 1 TREE PER 10 PARKING SPACES
68 PARKING SPACES = 7 TREES
- ALL PARKING SPACES REQUIRED TO BE WITHIN 80' OF A TREE PROVIDED.
- 20' WIDTH EXISTING LANDSCAPE BUFFER ALONG I-30 FRONTAGE
- STREET TREES:
- EXISTING TREES ALONG STREET FRONTAGE TO REMAIN
4 CANOPY TREES AND 8 ORNAMENTAL (ACCENT TREES)
- SITE AND PARKING TREES:
- 5 TREES LOCATED WITHIN ISLANDS AT PARKING STALLS MIX OF EXISTING AND REPLACEMENT. 2 ADDITIONAL TREES LOCATED ON ADJACENT PROPERTY IN ISLANDS (WEST SIDE OF SITE) WHERE PARKING TERMINATES MEET PARKING REQUIREMENTS.
- ALL TREES PROVIDED ARE WITHIN 80' OF A PARKING SPACE

GENERAL NOTES

- REFERENCE LANDSCAPE PLAN, L1.2, FOR ADDITIONAL INFORMATION.
- EXISTING PLANT MATERIAL TO REMAIN IS LABELED AND IDENTIFIED BASED ON APPROVED LANDSCAPE PLAN PREPARED BY OTHERS FROM 2007 FOR PREVIOUS OCCUPANT.
- ANY EXISTING PLANT MATERIAL THAT IS LABELED TO REMAIN THAT IS NOT IN HEALTHY STATE SHALL BE REPLACED WITH THE SAME PLANT SPECIES. CONTRACTOR SHALL FIELD VERIFY AND REPLACE PLANT MATERIAL AS NEEDED.
- CONTRACTOR SHALL PROTECT TREES FROM DAMAGE THAT ARE LOCATED ON PROPERTY AND ADJACENT PROPERTIES DURING CONSTRUCTION, IF APPLICABLE.
- CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
- NEWLY PLANTED TREES SHALL NOT BE PLANTED WITHIN 5' FROM ANY WATER AND WASTEWATER LINES THAT ARE 10" OR LESS. TREES SHALL BE PLANTED NO CLOSER THAN 10 FEET FROM WATER OR WASTEWATER LINES THAT ARE 10" IN DIAMETER OR LARGER. CONTRACTOR TO FIELD VERIFY PRIOR TO FINAL TREE LOCATIONS BEING DETERMINED.
- A PERMANENT, AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM EXISTS ON SITE AND WILL BE REPROFITED TO MEET THE PROPOSED SITE IMPROVEMENTS. CONTRACTOR SHALL FIELD VERIFY EXTENTS OF SYSTEM AND CUT AND CAP LINE BACK PRIOR TO START OF CONSTRUCTION ACTIVITIES.



A CANOPY AND ORNAMENTAL TREE STAKING SECTION NOT TO SCALE

OVERALL TREE AND LANDSCAPE DEMOLITION PLAN

RESTAURANT	
568 E INTERSTATE 30	
CITY OF ROCKWALL, TEXAS	
ENGINEER	
PRELIMINARY FOR REVIEW ONLY These documents are for Design Review and not intended for Construction, Building or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806	
CROSS TIMBERS STUDIO	
CLIFTON HALL, ASLA GRANDVIEW, TX 76050 PH: 972-896-1900 TBAE REG. NUMBER: BR 3558	
ISSUE DATE 06/13/25	DEC FILE NO. 105621
CITY FILE NO. -	SHEET NO. L1.1

SITE DATA	
LOT AREA:	1.37 ACRES (59,677 SF)
ZONING:	C (COMMERCIAL)
CURRENT USE:	RESTAURANT
PROPOSED USE:	RESTAURANT
BUILDING AREA:	3,745 SQ. FT.
FLOOR/AREA RATIO:	0.06
PARKING REQUIRED:	38 SPACES (1/100 SF)
PARKING PROVIDED:	68 SPACES (1/55 SF)

LANDSCAPE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
SHRUBS/ORNAMENTAL PLANTS				
19 EA		GULF MUHLY REGAL MIST (GM)	<i>Muhlenbergia capillaris 'Regal Mist'</i>	7 gal., 12"-15" ht. x 8"-10" sp., full
32 EA		DWARF INDIAN HAWTHORNE 'CLARA' (IH)	<i>Raphiolepis indica 'Clara'</i>	5 gal., 12"-15" ht. x 8"-10" sp., full
44 EA		SUNJOY MINI SAFFRON BARBERRY (SJ)	<i>Barberis thunbergii 'Kasia'</i>	3 gal., 6"-8" ht. x 8"-10" sp.
8 EA		COLOR GUARD YUCCA (CY)	<i>Yucca filamentosa 'Color Guard'</i>	3 gal., 6"-8" ht. x 8"-10" sp.
GROUND COVER				
169 EA		ELIJAH BLUE FESCUE (BF)	<i>Festuca glauca 'Elijah Blue'</i>	1 gal., 5"-6" ht. x 5"-6" sp, 12" o.c. spacing
TURF AND AGGREGATE				
+/-1,692 SF		GRASS - SOD	N/A	sod, full, match existing grass type on site
+/-228 SF		DECORATIVE GRAVEL		6" depth, chipped basalt, or .5" to 1" aggregate, or other Owner selection

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.

SITE LANDSCAPE REQUIREMENTS

REQUIRED:
10' MIN. WIDTH LANDSCAPE BUFFER ALONG I-30 FRONTAGE
COMMERCIAL (C) DIST. = 20% REQUIRED LANDSCAPING
SITE 59,677 SF x 20% = 11,935 SF
50% OF REQUIRED LOCATED IN FRONT AND SIDE OF BUILDING = 5,968 SF
PROVIDED:
20' WIDTH EXISTING LANDSCAPE BUFFER ALONG I-30 FRONTAGE
COMMERCIAL (C) DIST. PROVIDED LANDSCAPE = 19,846 SF
LANDSCAPE AT FRONT AND SIDE OF BUILDING = 6,032 SF

GENERAL NOTES

- REFERENCE LANDSCAPE DETAILS, L1.3, FOR ADDITIONAL INFORMATION.
- EXISTING PLANT MATERIAL TO REMAIN IS LABELED AND IDENTIFIED BASED ON APPROVED LANDSCAPE PLAN PREPARED BY OTHERS FROM 2007 FOR PREVIOUS OCCUPANT.
- ANY EXISTING PLANT MATERIAL THAT IS LABELED TO REMAIN THAT IS NOT IN HEALTHY STATE SHALL BE REPLACED WITH THE SAME PLANT SPECIES AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL. CONTRACTOR SHALL FIELD VERIFY AND REPLACE PLANT MATERIAL AS NEEDED.
- CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
- A PERMANENT, AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM EXISTS ON SITE AND WILL BE RETROFITTED TO MEET THE PROPOSED SITE IMPROVEMENTS. CONTRACTOR SHALL FIELD VERIFY EXTENTS OF SYSTEM AND CUT AND CAP LINE BACK PRIOR TO START OF CONSTRUCTION ACTIVITIES.

APPROVED:

I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Director on the 16 day of June, 2025

Director of Planning & Zoning

LANDSCAPE PLAN

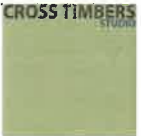
RESTAURANT

568 E INTERSTATE 30

CITY OF ROCKWALL, TEXAS

PRELIMINARY FOR REVIEW ONLY
These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:
Clifton D. Hall
L.A.#2806

ENGINEER
DEC
5300 TOWN & COUNTRY BOULEVARD, SUITE 190
FRIEDRICH, TEXAS 75040
409-850-0080 | dec-en.com
TYPE 1906 NO. F-00035
ISSUE DATE: 06/13/25
CITY FILE NO.:
DEC FILE NO.: 105621
SHEET NO.: L1.2



CROSS TIMBERS STUDIO
CLIFTON HALL, ASLA
GRANDVIEW, TX 76050
PH: 972-896-1900
TBAE REG. NUMBER: BR 3558

