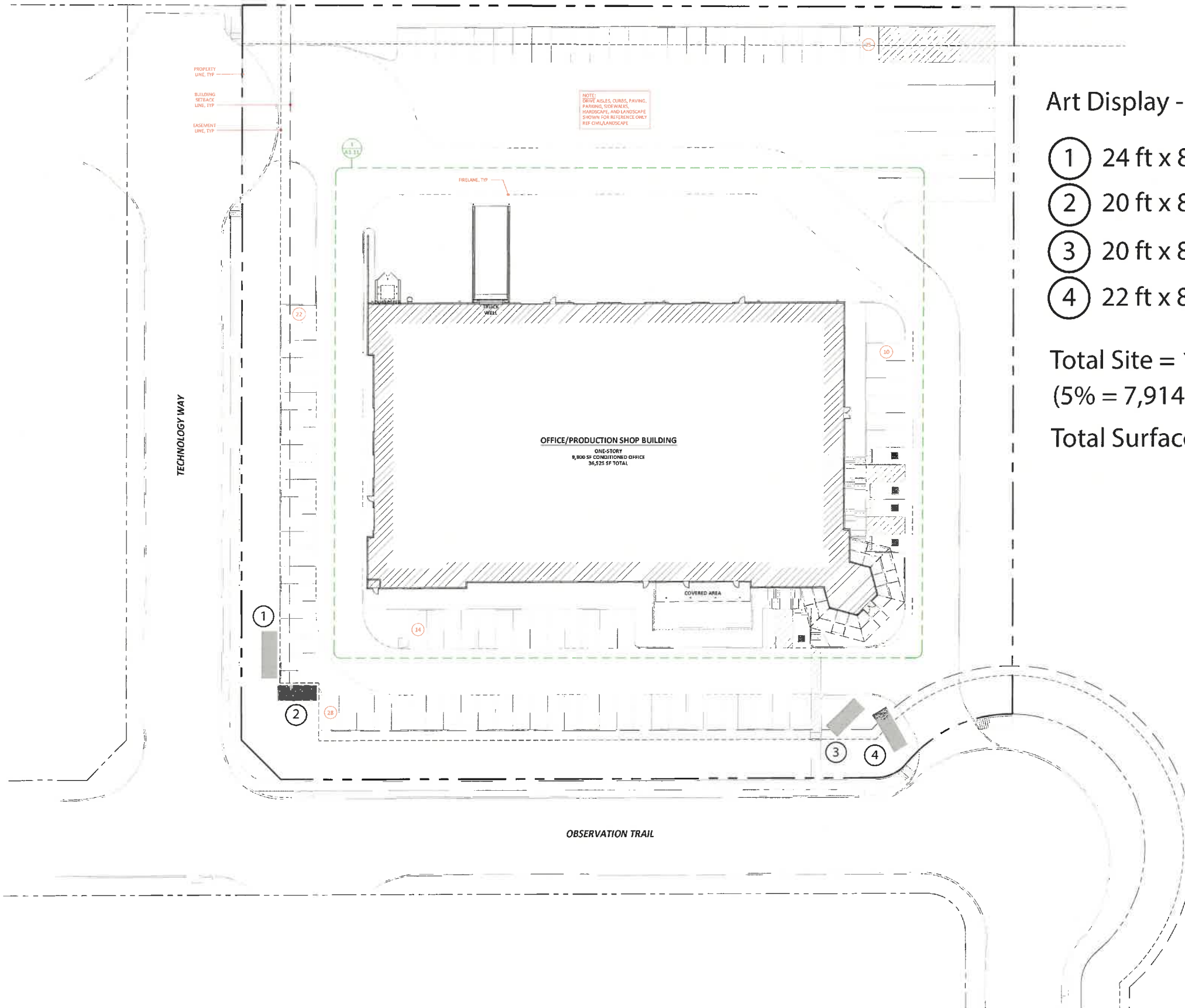


# Amended Site Plan



## Art Display - Incidental Display

- ① 24 ft x 8 ft = 192 sq ft
- ② 20 ft x 8 ft = 160 sq ft
- ③ 20 ft x 8 ft = 160 sq ft
- ④ 22 ft x 8 ft = 176 sq ft

Total Site = 158,297 sq ft  
(5% = 7,914 sq ft.)

Total Surface Area = 688 sq ft

SITE PLAN NOTES	
1.	ALL CONCRETE PAVING AT BUILDING TO BE 4" THICK AND SLOPE MAX 2% AWAY FROM THE BUILDING TO MEET EXISTING SIDEWALK OR GRADE. EXISTING CONCRETE SURFACE TO BE FLUSH WITH INTERIOR SURFACE AT THRESHOLD. VERIFY WITH CIVIL.
2.	ALL EXTERIOR SIDEWALK JOINTS TO BE FILLED.
3.	VERIFY GRADES AT ALL DOOR LOCATIONS. ENSURE PAVING SLOPED AWAY FROM BUILDING.
4.	ALL PAVING / FLATWORK SHOULD MATCH OR ENHANCE EXISTING SITE DRAINAGE.
5.	REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN, INCLUDING LANDSCAPING.
6.	MONUMENT SIGN TO BE DESIGNED BY OTHERS AND APPROVED BY ARCHITECT/OWNER.

SITE SUMMARY	
AREA	
TOTAL SITE AREA	158,297 SF = 3.634 AC
GRASS BUILDING AREA	36,525 SF
SETBACKS	
BUILDING SETBACKS	20'-0"
LANDSCAPE BUFFERS	20'-0"
PARKING	
TOTAL PARKING REQUIRED (1,500/SF)	36,525 / 500 = 72
TOTAL PARKING PROVIDED	59
ACCESSIBLE PARKING REQUIRED	4 (B VAN) 5 (D VAN)
ACCESSIBLE PARKING PROVIDED	

ARCHITECT  
**KILLIAN**  
STUDIO OF ARCHITECTURE  
10670 N CENTRAL EXPWY | STUDIO 600  
DALLAS, TEXAS 75231  
214.457.3652

DRRAWINGS AND SPECIFICATIONS AND INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE LOANED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

KENNETH R. KILLIAN, AIA  
TX REG. NO. 33480

SEAL

OWNER  
LIME MEDIA GROUP  
4051 GRESHAM DRIVE  
ROWLETT, TEXAS 75088  
972.475.3209  
CONTACT: HEATH HILL, PRESIDENT

CONTRACTOR  
2 CONSTRUCTORS  
201 WEST KAUFMAN STREET  
RICHARDSON, TEXAS 75081  
972.682.1435  
CONTACT: SETH WILLIAMS, CEO

CIVIL ENGINEER  
CLAY MOORE ENGINEERING  
1503 CENTRAL DRIVE | SUITE 405  
BEDFORD, TEXAS 76021  
817.281.0572  
CONTACT: MATT MOORE, P.E.

LANDSCAPE ARCHITECT  
CONTACT: -

STRUCTURAL ENGINEER  
ME ENGINEERS & ASSOCIATES, INC  
400 CHEROKEE PLACE | SUITE 108  
PLANO, TEXAS 75075  
214.501.2854  
CONTACT: MOHAMMAD KABIR, P.E.

M.E.P. ENGINEER  
SCHMIDT & STACY  
2711 W. HASKELL | SUITE 400  
DALLAS, TEXAS 75204  
214.874.0200  
CONTACT: STRIDER STEELE, P.E.

INTERIOR DESIGNER  
CONTACT: -

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 30<sup>th</sup> day of December, 2024.

*[Signature]*  
Planning & Zoning Commission,  
Chairman

*[Signature]*  
Director of Planning & Zoning

PROJECT  
**LIMEMEDIA**  
OFFICE/WAREHOUSE

PROJECT ADDRESS  
ROCKWALL TECHNOLOGY PARK  
ROCKWALL, TEXAS 75032

REV.	DATE	ISSUE
1	12.20.18	DESIGN DEVELOPMENT
2	01.15.19	CD PROGRESS
3	02.08.19	PERMIT

2018.108  
PROJECT NUMBER  
OVERALL  
ARCHITECTURAL  
SITE PLAN  
**A1.01**  
SHEET NUMBER

Feb 09, 2019 - 7:33am - USER: Muncie@lime.com  
 FILE: A1.01.01.01 - LIME MEDIA - OBSERVATION TRAIL - A1.01 ARCHITECTURAL SITE PLAN.dwg  
 A1.01 ARCHITECTURAL SITE PLAN.dwg