

# SITE PLAN

## FOR

# SRS DISTRIBUTION - ROCKWALL - KRISTY

## 2065 KRISTY LANE, CITY OF ROCKWALL

## ROCKWALL COUNTY, TEXAS 75087

**PROPERTY:**  
 2065 KRISTY LANE  
 ROCKWALL, ROCKWALL COUNTY  
 TEXAS 75087

ROCKWALL COUNTY CAD # 14306  
 AREA: 43,747 SF (1.0043 ACRES)  
 ZONING USE: LI (LIGHT INDUSTRIAL)

**OWNER:**  
 JCH REDHAWK LLC  
 2461 N STEMMONS FWY  
 DALLAS, TEXAS 75207

**APPLICANT:**  
 SRS DISTRIBUTION  
 744 STATE HIGHWAY 121  
 MCKINNEY, TEXAS 75070  
 PHONE: (877) 744-7740

**ENGINEER:**  
 INDEPENDENCE ENGINEERING LLC  
 1777 SENTRY PARKWAY WEST  
 BUILDING 12, SUITE 103  
 BLUE BELL, PENNSYLVANIA 19422  
 PHONE: (215) 798-4450

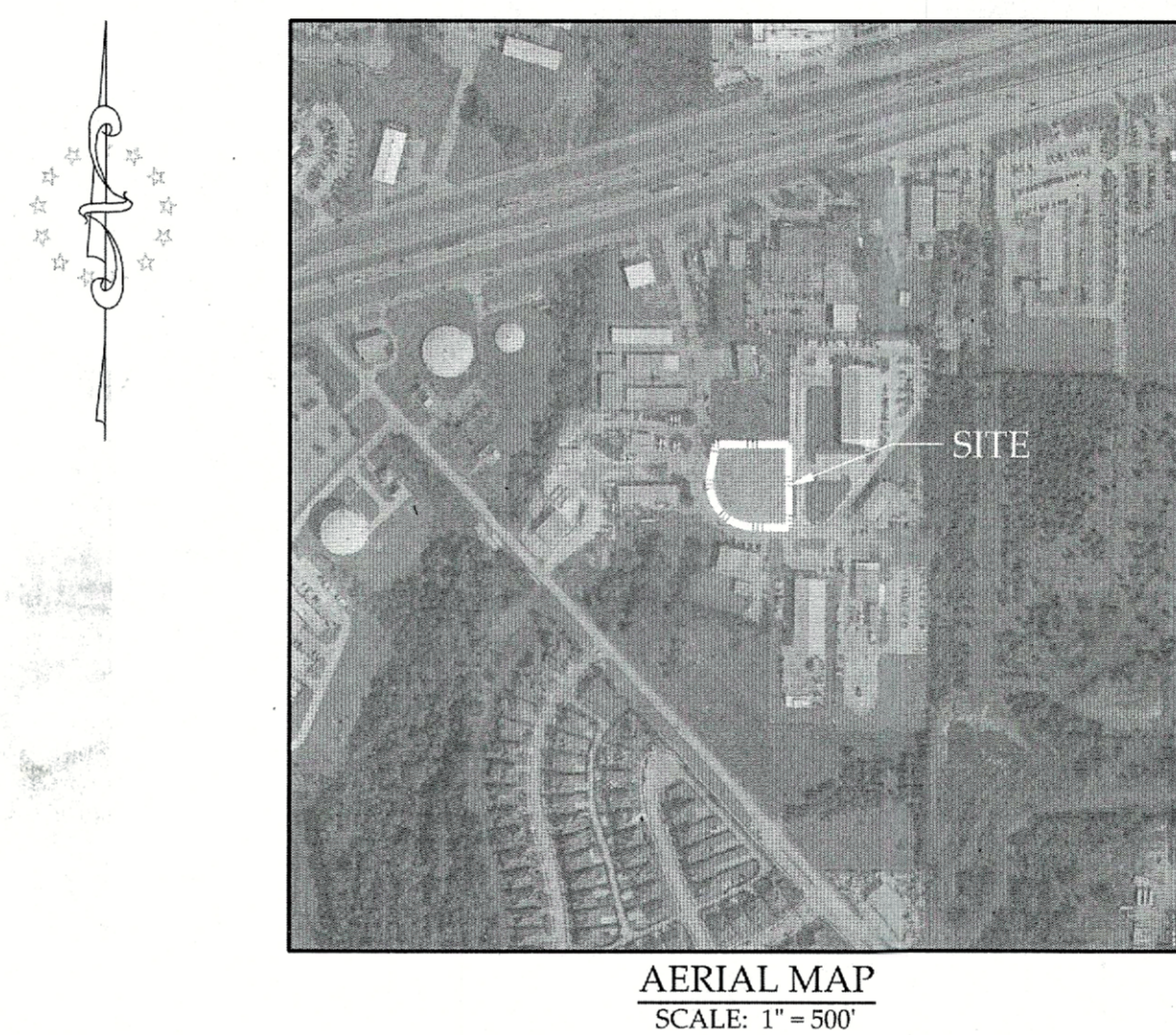
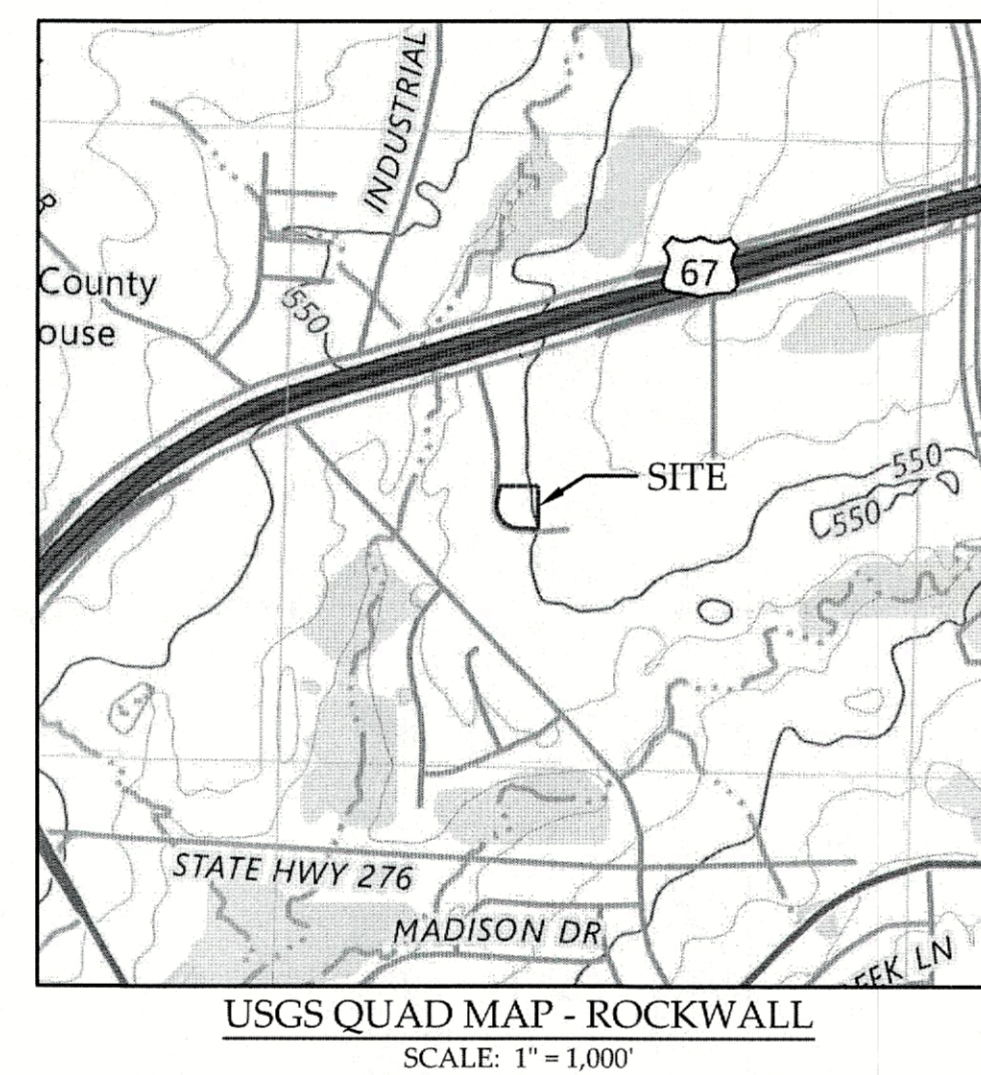
**ARCHITECT:**  
 RANDALL PAULSON ARCHITECTS  
 85-A MILL STREET, SUITE 200  
 ROSWELL, GEORGIA 30075  
 PHONE: (770) 650-7558

**SURVEYOR:**  
 BENCHMARK GROUP OF TEXAS  
 899 PRESIDENTIAL DRIVE, SUITE 110  
 RICHARDSON, TEXAS 75081  
 PHONE: (972) 680-3037

**GEOTECHNICAL CONSULTANT:**  
 DDG CONSULTANTS  
 1314 AVENUE A  
 KATY, TEXAS 77493  
 PHONE: (445) 230-2031

**DEVELOPMENT DESCRIPTION:**  
 THIS DEVELOPMENT PROPOSES THE CONSTRUCTION OF A HAZMAT CONTAINMENT ROOM AND ASSOCIATED PAVED PARKING.

**VARIANCES:**  
 ARTICLE 8 §5.01(C) BUILDINGS AND PAVING WITHIN A REQUIRED LANDSCAPE BUFFER  
 ARTICLE 8 §5.03(A) TOTAL LANDSCAPING REQUIREMENTS  
 ARTICLE 8 §5.02(A) LOADING DOCK AND OUTSIDE STORAGE AREA SCREENING



**SHEET INDEX**

SHEET NO.	REFERENCE	SHEET TITLE
1	C000	COVER SHEET
2	C300	DEMOLITION PLAN
3	C400	SITE PLAN
4	C500	GRADING PLAN
5	C800	DETAILS
6	C900	LANDSCAPE PLAN

**ZONING CHART:**

ZONE LI: LIGHT INDUSTRIAL	REQUIRED	EXISTING	PROPOSED
MINIMUM NET LOT AREA:	12,500 SF	43,747 SF	43,747 SF
MINIMUM LOT WIDTH:	100 FT	222 FT	222 FT
MINIMUM LOT DEPTH:	125 FT	198 FT	198 FT
MINIMUM FRONT YARD:	25 FT	16.8 FT*	16.8 FT*
MINIMUM REAR YARD:	10 FT	2.2 FT*	10 FT
MINIMUM SIDE YARD:	15 FT	19.6 FT	19.6 FT
MAXIMUM BUILDING HEIGHT:	60 FT	21 FT	21 FT
MAXIMUM LOT BUILDING COVERAGE:	60%	52%	53%
FLOOR AREA RATIO:	2:1	0.5:1	0.5:1
MAXIMUM IMPERVIOUS PARKING	90-95%	85%	85%
MAXIMUM NUMBER OF ENTRANCES / EXITS	1 / 50	2*	2*

\*EXISTING NON-CONFORMING CONDITION

**PARKING REQUIREMENTS:**

BUILDING AREA:	23,503 SF
REQUIRED PARKING SPACES:	AS DETERMINED BY THE DIRECTOR*
PROVIDED PARKING SPACES:	19 SPACES (INCL. 1 ADA)
REQUIRED ADA SPACES:	1 SPACE
PROVIDED ADA SPACES:	1 SPACE

\*AS PER ARTICLE 6 §6 TABLE 5 FOR WAREHOUSE DISTRIBUTION CENTER OF THE 2020 UDC OF ROCKWALL, TEXAS.

**SITE PLAN SIGNATURE BLOCK**

APPROVED: I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Director on the 28 day of January, 2025.

*[Signature]*  
 Director of Planning and Zoning

PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING



REV	DATE	DESCRIPTION	BY
1	12/20/24	REVISED PER TOWN COMMENTS	JWH
2	01/10/25	REVISED PER TOWN COMMENTS	JWH

TBPE FIRM# F-20114

*Independence*  
 ENGINEERING LLC  
 1777 SENTRY PARKWAY WEST  
 BUILDING 12, SUITE 103  
 BLUE BELL, PENNSYLVANIA 19422  
 (215) 798-4450  
 INDEPENDENCE ENGINEERING  
 NEW JERSEY - PENNSYLVANIA - MASSACHUSETTS

SITE PLAN  
 COVER SHEET  
 FOR  
 SRS DISTRIBUTION - ROCKWALL - KRISTY  
 2065 KRISTY LANE, CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS



PROJECT	030-224
DATE	11/07/2024
SCALE	DRAWN
AS NOTED	ESC
DESIGNED	CHECKED
JWJ	NES



C000

SHEET	OF
1	6

DEMOLITION NOTES:

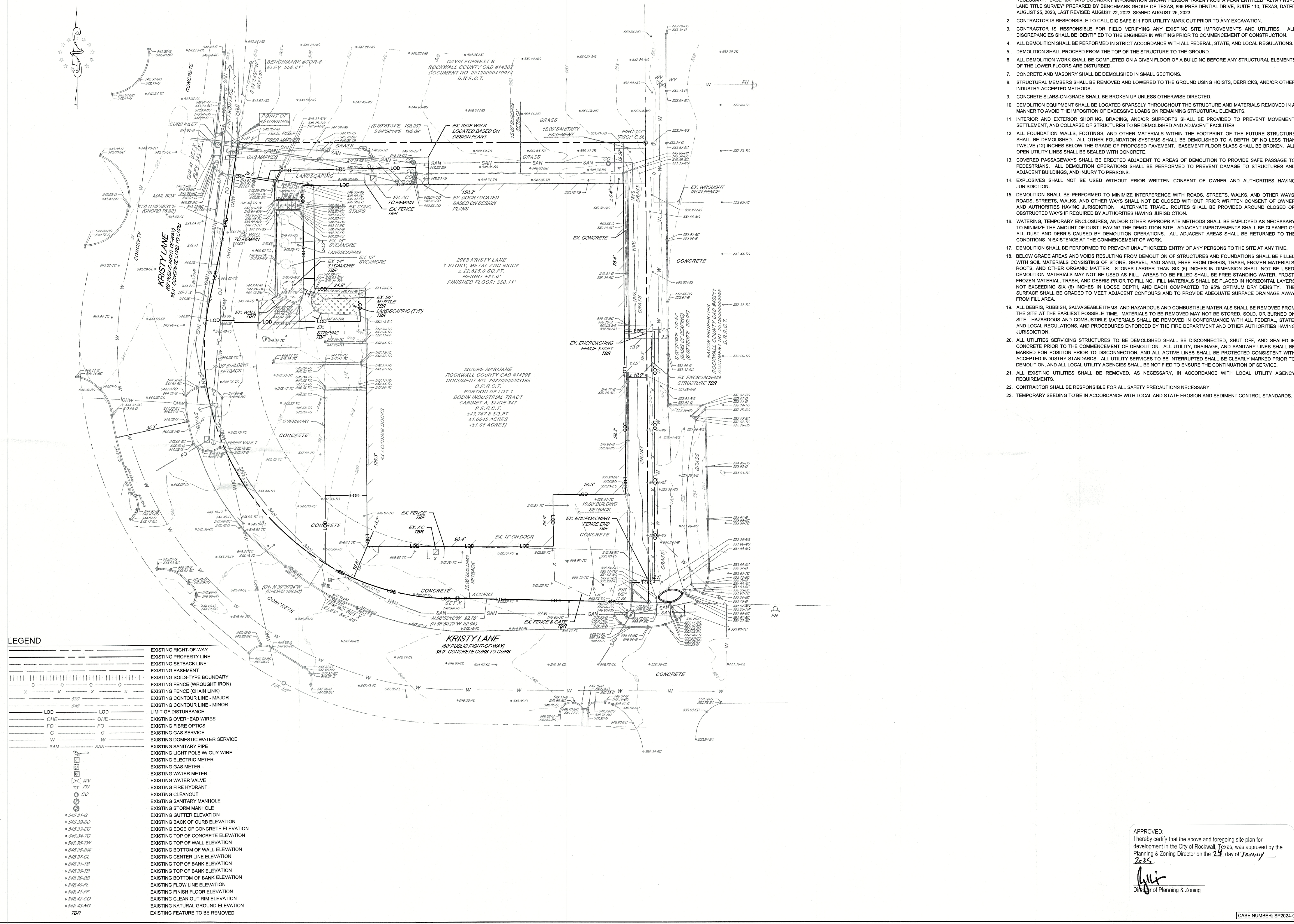
- 1. ALL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING A BID, AND SHALL BE ADJUSTED IF NECESSARY. BASE MAP AND BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED 'ALTA' N/SPS LAND TITLE SURVEY' PREPARED BY BENCHMARK GROUP OF TEXAS, 899 PRESIDENTIAL DRIVE, SUITE 110, TEXAS, DATED AUGUST 25, 2023, LAST REVISED AUGUST 22, 2023, SIGNED AUGUST 25, 2023.
2. CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 FOR UTILITY MARK OUT PRIOR TO ANY EXCAVATION.
3. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ANY EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL DEMOLITION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
5. DEMOLITION SHALL PROCEED FROM THE TOP OF THE STRUCTURE TO THE GROUND.
6. ALL DEMOLITION WORK SHALL BE COMPLETED ON A GIVEN FLOOR OF A BUILDING BEFORE ANY STRUCTURAL ELEMENTS OF THE LOWER FLOORS ARE DISTURBED.
7. CONCRETE AND MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS.
8. STRUCTURAL MEMBERS SHALL BE REMOVED AND LOWERED TO THE GROUND USING HOISTS, DERRICKS, AND/OR OTHER INDUSTRY-ACCEPTED METHODS.
9. CONCRETE SLABS-ON-GRADE SHALL BE BROKEN UP UNLESS OTHERWISE DIRECTED.
10. DEMOLITION EQUIPMENT SHALL BE LOCATED SPARSELY THROUGHOUT THE STRUCTURE AND MATERIALS REMOVED IN A MANNER TO AVOID THE IMPOSITION OF EXCESSIVE LOADS ON REMAINING STRUCTURAL ELEMENTS.
11. INTERIOR AND EXTERIOR SHORING, BRACING, AND/OR SUPPORTS SHALL BE PROVIDED TO PREVENT MOVEMENT, SETTLEMENT, AND COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES.
12. ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE FOOTPRINT OF THE FUTURE STRUCTURE SHALL BE DEMOLISHED. ALL OTHER FOUNDATION SYSTEMS SHALL BE DEMOLISHED TO A DEPTH OF NO LESS THAN TWELVE (12) INCHES BELOW THE GRADE OF PROPOSED PAVEMENT. BASEMENT FLOOR SLABS SHALL BE BROKEN. ALL OPEN UTILITY LINES SHALL BE SEALED WITH CONCRETE.
13. COVERED PASSAGEWAYS SHALL BE ERECTED ADJACENT TO AREAS OF DEMOLITION TO PROVIDE SAFE PASSAGE TO PEDESTRIANS. ALL DEMOLITION OPERATIONS SHALL BE PERFORMED TO PREVENT DAMAGE TO STRUCTURES AND ADJACENT BUILDINGS, AND INJURY TO PERSONS.
14. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND AUTHORITIES HAVING JURISDICTION.
15. DEMOLITION SHALL BE PERFORMED TO MINIMIZE INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER WAYS. ROADS, STREETS, WALKS, AND OTHER WAYS SHALL NOT BE CLOSED WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND AUTHORITIES HAVING JURISDICTION. ALTERNATE TRAVEL ROUTES SHALL BE PROVIDED AROUND CLOSED OR OBSTRUCTED WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
16. WATERING, TEMPORARY ENCLOSURES, AND/OR OTHER APPROPRIATE METHODS SHALL BE EMPLOYED AS NECESSARY TO MINIMIZE THE AMOUNT OF DUST LEAVING THE DEMOLITION SITE. ADJACENT IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. ALL ADJACENT AREAS SHALL BE RETURNED TO THE CONDITIONS IN EXISTENCE AT THE COMMENCEMENT OF WORK.
17. DEMOLITION SHALL BE PERFORMED TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS TO THE SITE AT ANY TIME.
18. BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES AND FOUNDATIONS SHALL BE FILLED WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER. STONES LARGER THAN SIX (6) INCHES IN DIMENSION SHALL NOT BE USED. DEMOLITION MATERIALS MAY NOT BE USED AS FILL. AREAS TO BE FILLED SHALL BE FREE STANDING WATER, FROST, FROZEN MATERIAL, TRASH, AND DEBRIS PRIOR TO FILLING. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING SIX (6) INCHES IN LOOSE DEPTH, AND EACH COMPACTED TO 95% OPTIMUM DRY DENSITY. THE SURFACE SHALL BE GRADED TO MEET ADJACENT CONTOURS AND TO PROVIDE ADEQUATE SURFACE DRAINAGE AWAY FROM FILL AREA.
19. ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, AND HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED FROM THE SITE AT THE EARLIEST POSSIBLE TIME. MATERIALS TO BE REMOVED MAY NOT BE STORED, SOLD, OR BURNED ON SITE. HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, AND PROCEDURES ENFORCED BY THE FIRE DEPARTMENT AND OTHER AUTHORITIES HAVING JURISDICTION.
20. ALL UTILITIES SERVICING STRUCTURES TO BE DEMOLISHED SHALL BE DISCONNECTED, SHUT OFF, AND SEALED IN CONCRETE PRIOR TO THE COMMENCEMENT OF DEMOLITION. ALL UTILITY, DRAINAGE, AND SANITARY LINES SHALL BE MARKED FOR POSITION PRIOR TO DISCONNECTION, AND ALL ACTIVE LINES SHALL BE PROTECTED CONSISTENT WITH ACCEPTED INDUSTRY STANDARDS. ALL UTILITY SERVICES TO BE INTERRUPTED SHALL BE CLEARLY MARKED PRIOR TO DEMOLITION, AND ALL LOCAL UTILITY AGENCIES SHALL BE NOTIFIED TO ENSURE THE CONTINUATION OF SERVICE.
21. ALL EXISTING UTILITIES SHALL BE REMOVED, AS NECESSARY, IN ACCORDANCE WITH LOCAL UTILITY AGENCY REQUIREMENTS.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
23. TEMPORARY SEEDING TO BE IN ACCORDANCE WITH LOCAL AND STATE EROSION AND SEDIMENT CONTROL STANDARDS.

Table with columns: REV, DATE, DESCRIPTION, COMMENTS. Includes revision 1 on 12/20/2024 and revision 2 on 07/13/2025.

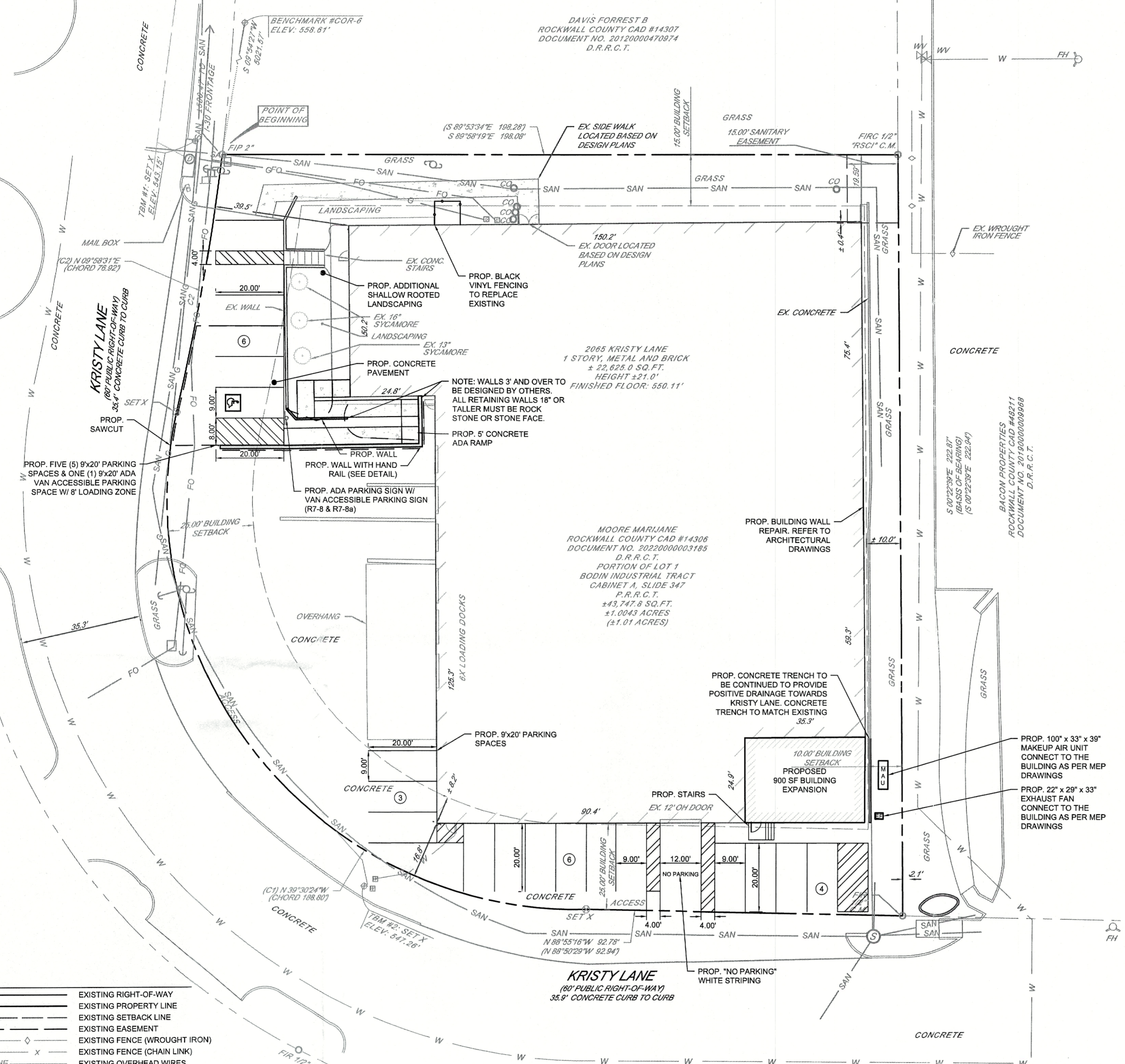
Independence ENGINEERING LLC
1777 SENTRY PARKWAY WEST
BUILDING 12, SUITE 103
BLUE BELL, PENNSYLVANIA 19422
(215) 798-4550
INDEPENDENCE@INDEPENDENCEENGINEERING.COM
NEW JERSEY \* PENNSYLVANIA \* MASSACHUSETTS

Demolition Plan for SRS Distribution - Rockwall - Kristy
2065 KRISTY LANE, CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PROJECT 030-224
DATE 11/07/2024
SCALE 1" = 20'
DRAWN ESC
DESIGNED JWJ
CHECKED NES
APPROVED: Neil E. Sander, 131830, Licensed Professional Engineer
C300 SHEET 2 OF 6
CASE NUMBER: SP2024-047



LEGEND
EXISTING RIGHT-OF-WAY
EXISTING PROPERTY LINE
EXISTING SETBACK LINE
EXISTING EASEMENT
EXISTING SOILS-TYPE BOUNDARY
EXISTING FENCE (WROUGHT IRON)
EXISTING FENCE (CHAIN LINK)
EXISTING CONTOUR LINE - MAJOR
EXISTING CONTOUR LINE - MINOR
LIMIT OF DISTURBANCE
EXISTING OVERHEAD WIRES
EXISTING FIBRE OPTICS
EXISTING GAS SERVICE
EXISTING DOMESTIC WATER SERVICE
EXISTING SANITARY PIPE
EXISTING LIGHT POLE W/ GUY WIRE
EXISTING ELECTRIC METER
EXISTING GAS METER
EXISTING WATER METER
EXISTING WATER VALVE
EXISTING FIRE HYDRANT
EXISTING CLEANOUT
EXISTING SANITARY MANHOLE
EXISTING STORM MANHOLE
EXISTING GUTTER ELEVATION
EXISTING BACK OF CURB ELEVATION
EXISTING EDGE OF CONCRETE ELEVATION
EXISTING TOP OF CONCRETE ELEVATION
EXISTING TOP OF WALL ELEVATION
EXISTING BOTTOM OF WALL ELEVATION
EXISTING CENTER LINE ELEVATION
EXISTING TOP OF BANK ELEVATION
EXISTING BOTTOM OF BANK ELEVATION
EXISTING FLOW LINE ELEVATION
EXISTING FINISH FLOOR ELEVATION
EXISTING CLEAN OUT RIM ELEVATION
EXISTING NATURAL GROUND ELEVATION
EXISTING FEATURE TO BE REMOVED



**LEGEND**

	EXISTING RIGHT-OF-WAY
	EXISTING PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING EASEMENT
	EXISTING FENCE (WROUGHT IRON)
	EXISTING FENCE (CHAIN LINK)
	EXISTING OVERHEAD WIRES
	EXISTING FIBRE OPTICS
	EXISTING GAS SERVICE
	EXISTING DOMESTIC WATER SERVICE
	EXISTING SANITARY PIPE
	EXISTING LIGHT POLE W/ GUY WIRE
	EXISTING ELECTRIC METER
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING CLEANOUT
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	PROPOSED SAW CUT LINE

**SITE NOTES:**

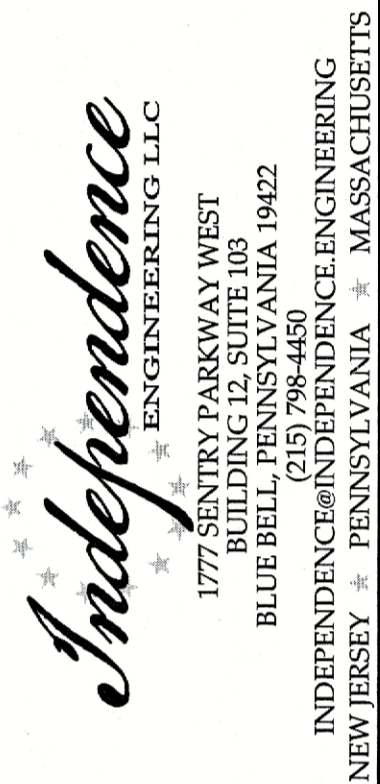
- PROPERTY: 2065 KRISTY LANE, ROCKWALL, TEXAS 75087, ROCKWALL COUNTY CAD # 14306, AREA: 43,747 SF (1.0043 AC), ZONE USE: LI (LIGHT INDUSTRIAL)
- OWNER: JCH REDHAWK LLC, 2461 N. STEMMONS FWY, DALLAS, TEXAS 75207
- APPLICANT: SRS DISTRIBUTION, 744 STATE HIGHWAY 121, MCKINNEY, TEXAS 75070, PHONE: (877) 744-7740
- ENGINEER: INDEPENDENCE ENGINEERING LLC, 1777 SENTRY PARKWAY WEST, BUILDING 12, SUITE 103, BLUE BELL, PENNSYLVANIA 19422, PHONE: (215) 798-4450
- ARCHITECT: RANDALL PAULSON ARCHITECT, 85-A MILL STREET, SUITE 200, ROSWELL, GEORGIA 30075, PHONE: (770) 650-7558
- SURVEYOR: BENCHMARK GROUP OF TEXAS, 899 PRESIDENTIAL DRIVE, SUITE 110, RICHARDSON, TEXAS 75081, PHONE: (972) 880-3037
- GEOTECHNICAL CONSULTANT: DDG CONSULTANTS, LLC, 1314 AVENUE A, KATY, TEXAS 77493, PHONE: (405) 230-2031
- ALL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING A BID, AND SHALL BE ADJUSTED IF NECESSARY. NO ADDITIONAL COMPENSATION WILL BE GRANTED AFTER A BID AWARD FOR ANY EQUIPMENT, MATERIAL, OR LABOR REQUIRED TO MODIFY THE DESIGN TO MATCH FIELD CONDITIONS.
- BASE MAP AND BOUNDARY INFORMATION SHOWN HERON TAKEN FROM A PLAN ENTITLED "ALTA / NSPS LAND TITLE SURVEY" PREPARED BY BENCHMARK GROUP OF TEXAS, OF 899 PRESIDENTIAL DRIVE, SUITE 110, DATED AUGUST 25, 2023, LAST REVISED SEPTEMBER 22, 2023, SIGNED AUGUST 25, 2023.
- A REPORT OF GEOTECHNICAL ENGINEERING WAS PREPARED BY DDG CONSULTANTS, DATED AUGUST 30, 2024.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUESTED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS PROVIDED BY ALL APPLICABLE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC. CONTRACTOR SHALL REPAIR ANY DISTURBED AREAS TO EXISTING CONDITION, INCLUDING PAVED AREAS AND LANDSCAPED AREAS.
- SOLID WASTE SHALL BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL UNSUITABLE EXCAVATED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING CONSTRUCTION. SHORING SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH CURRENT OSHA STANDARDS. CONTRACTOR SHALL MAKE SUFFICIENT ADDITIONAL PROVISIONS TO ENSURE STABILITY OF ALL CONTIGUOUS AND ADJACENT STRUCTURES, AS FIELD CONDITIONS MAY DICTATE.
- CONTRACTOR AND ANY SUBCONTRACTORS SHALL CARRY STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS' LIABILITY INSURANCE, AND COMMERCIAL GENERAL LIABILITY INSURANCE AT REQUIRED LIMITS OF COVERAGE. ALL CONTRACTORS SHALL HAVE CGL POLICIES ISSUED TO INCLUDE INDEPENDENCE ENGINEERING LLC, WITH ITS SUBCONTRACTANTS LISTED AS ADDITIONAL INSURED. ALL CONTRACTORS MUST FURNISH INDEPENDENCE ENGINEERING LLC WITH CERTIFICATES OF INSURANCE PRIOR TO THE COMMENCEMENT OF WORK, AND UPON RENEWAL OF EACH POLICY DURING THE TERM OF CONSTRUCTION. CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS INDEPENDENCE ENGINEERING LLC AND ITS SUBCONSULTANTS AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY CONTRACTOR'S EMPLOYEES, TO THE FULLEST EXTENT PERMITTED BY LAW.
- NEITHER THE PROFESSIONAL ACTIVITIES OF INDEPENDENCE ENGINEERING LLC NOR THE PRESENCE OF ITS EMPLOYEES AT THE PROJECT SITE SHALL RELIEVE THE CONTRACTOR OF ITS DUTIES, OBLIGATIONS, AND/OR RESPONSIBILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MEANS, METHODS, SEQUENCING AND/OR PROTOCOLS NECESSARY FOR PERFORMING, COORDINATING, AND/OR SUPERINTENDING THE WORK IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND APPLICABLE HEALTH AND SAFETY REGULATIONS. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR SITE SAFETY PLANNING, PROVISIONING, IMPLEMENTATION, AND MAINTENANCE. INDEPENDENCE ENGINEERING LLC BEARS NO AUTHORITY TO EXERCISE CONTROL OVER CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH CONSTRUCTION.
- INDEPENDENCE ENGINEERING LLC SHALL REVIEW AND TAKE APPROPRIATE ACTION ON SUBMITTALS TO BE SUBMITTED BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS, PRODUCT DATA, AND MATERIAL SAMPLES. INDEPENDENCE ENGINEERING LLC SHALL REVIEW SUBMITTALS ONLY FOR CONSISTENCY WITH THE DESIGN DRAWINGS AND PROJECT DOCUMENTS. SUBMITTALS SHALL NOT BE REVIEWED FOR CONSTRUCTION MEANS AND METHODS, COORDINATION OF TRADES, OR SITE SAFETY, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. INDEPENDENCE ENGINEERING LLC SHALL NOT BE LIABLE FOR DEVIATIONS OR THE RESULTS THEREFROM FROM THE APPROVED CONSTRUCTION DRAWINGS, UNLESS SAID DEVIATIONS ARE PROVIDED IN WRITING BY THE CONTRACTOR PRIOR TO IMPLEMENTATION, AND APPROVED IN WRITING BY INDEPENDENCE ENGINEERING LLC.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES THEREON, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM INDEPENDENCE ENGINEERING LLC AND THE PROJECT OWNER. SHOULD THE CONTRACTOR DEVIATE FROM THE APPROVED PROJECT DOCUMENTS, HE SHALL BEAR SOLE RESPONSIBILITY FOR FINES, PENALTIES, AND ALL COMPENSATORY AND PUNITIVE DAMAGES RESULTING THEREFROM. IN SUCH CASE, THE CONTRACTOR SHALL INDEMNIFY AND HOLD INDEPENDENCE ENGINEERING LLC HARMLESS AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY CONTRACTOR'S EMPLOYEES, TO THE FULLEST EXTENT PERMITTED BY LAW.
- DISPUTES BETWEEN INDEPENDENCE ENGINEERING LLC AND THE CONTRACTOR SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL INCLUDE A PROVISION IN THEIR CONTRACTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, AND SUPPLIERS, PROVIDING FOR MEDIATION AS THE PRIMARY METHOD OF DISPUTE RESOLUTION BETWEEN THOSE PARTIES.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION, INCLUDING LOCALLY ADOPTED REVISIONS THERE TO.
- BUILDING SETBACKS SHOWN HEREON ARE MEASURED FROM THE EXTERIOR FACE OF BUILDING WALLS. SETBACKS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ARCHITECTURAL ELEMENTS, SIGNAGE, OR OTHER EXTERIOR EXTENSION UNLESS OTHERWISE NOTED.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES AND CONNECTION POINTS ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY IN THE FIELD AND WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY "DIG SAFE 811" 72 HOURS PRIOR TO ANY EXCAVATION ON SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER AUTHORITIES TO MARK OUT THEIR SYSTEMS.
- THE CONTRACTOR SHALL COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER. STONES SHALL NOT BE LARGER THAN 6 INCHES IN ANY DIMENSION. DEMOLITION MATERIALS MAY NOT BE USED AS FILL. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- ALL DEBRIS, RUBBISH, SALVAGE, HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED AT THE EARLIEST POSSIBLE TIME. REMOVED MATERIALS MAY NOT BE STORED, SOLD, OR BURNED ON SITE. HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED IN ACCORDANCE WITH PROCEDURES ADOPTED BY THE LOCAL FIRE DEPARTMENT AND OTHER JURISDICTIONAL AGENCIES.
- THIS PLAN DOES NOT PROPOSE THE INSTALLATION OR REMOVAL OF ANY DRAINAGE INFRASTRUCTURE.
- ALL PROPOSED PAVEMENT IS TO BE REINFORCED CONCRETE, ROCK, GRAVEL, OR ASPHALT ARE NOT ALLOWED.
- THIS DESIGN IS IN ACCORDANCE WITH THE 2023 STANDARDS OF DESIGN AND CONSTRUCTION MANUAL OF THE CITY OF ROCKWALL.
- NO SIGNAGE IS ALLOWED WITHIN EASEMENTS OR RIGHT-OF-WAY.
- NO STRUCTURES OR FENCES ARE ALLOWED WITHIN EASEMENTS.
- THE PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIR, AND REPLACEMENT OF THE ON-SITE DRAINAGE SYSTEM AS NECESSARY.

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Director on the 24 day of January, 2025.

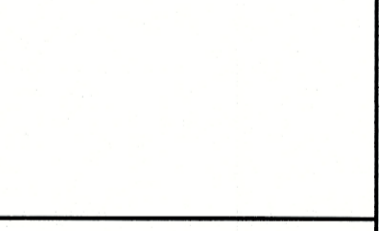
*[Signature]*  
Director of Planning & Zoning

BY	JCH
DATE	12/20/2024
DESCRIPTION	REVISED PER TOWN COMMENTS
REV	1
DATE	07/23/2025
DESCRIPTION	REVISED PER TOWN COMMENTS
REV	2

TBPE FIRM# F-20114



SITE PLAN FOR  
**SITE PLAN**  
FOR  
SRS DISTRIBUTION - ROCKWALL - KRISTY  
2065 KRISTY LANE, CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS



PROJECT	030-224
DATE	11/07/2024
SCALE	1" = 20'
DRAWN	ESC
DESIGNED	CHECKED
JWJ	NES



**C400**  
SHEET 3 OF 6  
CASE NUMBER: SP2024-047

**GRADING NOTES:**

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING, OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT (IF ONE HAS BEEN PREPARED). ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED IN THE STATE IN WHICH THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, CURBS, AND MINIMUM 0.7% SLOPE ON ALL CONCRETE AND ASPHALT SURFACES TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OF PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH KNOWN DESIGN TOLERANCE DISCREPANCIES SHALL BE AT THE CONTRACTOR'S RISK.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY, AS DETERMINED BY MODIFIED PROCTOR METHOD.
- IN CASE OF DISCREPANCIES BETWEEN THE PLANS, THE SITE PLAN SHALL SUPERSEDE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS-SLOPE OF 2.0% ON ALL SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTES, AND ACCESSIBLE STRIPING AREAS.
- OWNER SHALL RETAIN A QUALIFIED GEOTECHNICAL ENGINEER TO TEST PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF BASIN BOTTOM MATERIALS, INCLUDING INFILTRATION AND RETENTION BASINS. CONTRACTOR SHALL REMOVE UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK MATERIAL AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND PLACED FILL SHALL HAVE A PERMEABILITY GREATER THAN OR EQUAL TO DESIGN CRITERIA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION TO CONFIRM MEANS, METHODS, AND MATERIALS, AND TO SCHEDULE REQUIRED INSPECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
- PERMANENT SEEDING TO BE IN ACCORDANCE WITH LOCAL AND STATE EROSION AND SEDIMENT CONTROL STANDARDS.

REV	DATE	DESCRIPTION
1	12/20/2024	REVISED PER TOWN COMMENTS
2	01/23/2025	REVISED PER TOWN COMMENTS

TBPE FIRM# F-20114

**Independence**  
ENGINEERING LLC  
1777 SENTRY PARKWAY WEST  
BLUE BELLE, TEXAS 75008  
INDEPENDENCE@INDEPENDENCEENGINEERING.COM  
PH: (214) 798-4459  
NEW JERSEY \* PENNSYLVANIA \* MASSACHUSETTS

**SITE PLAN FOR GRADING PLAN**  
FOR  
**SRS DISTRIBUTION - ROCKWALL - KRISTY**  
2065 KRISTY LANE, CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

GRAPHIC SCALE: 1" = 20'

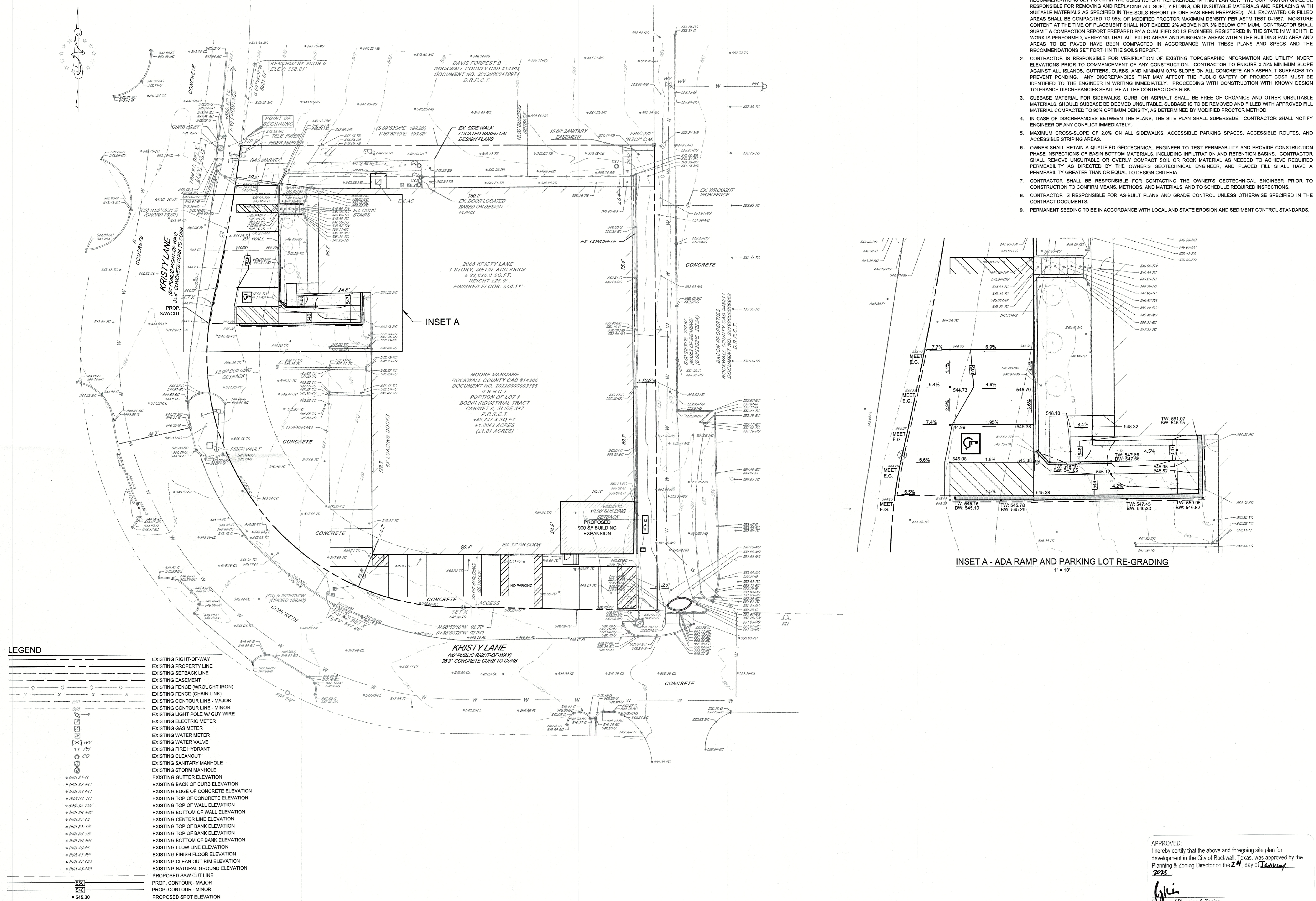
PROJECT	030-224
DATE	11/07/2024
SCALE	1" = 20'
DRAWN	ESC
DESIGNED	JWJ
CHECKED	NES

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Director on the 24 day of January, 2025.

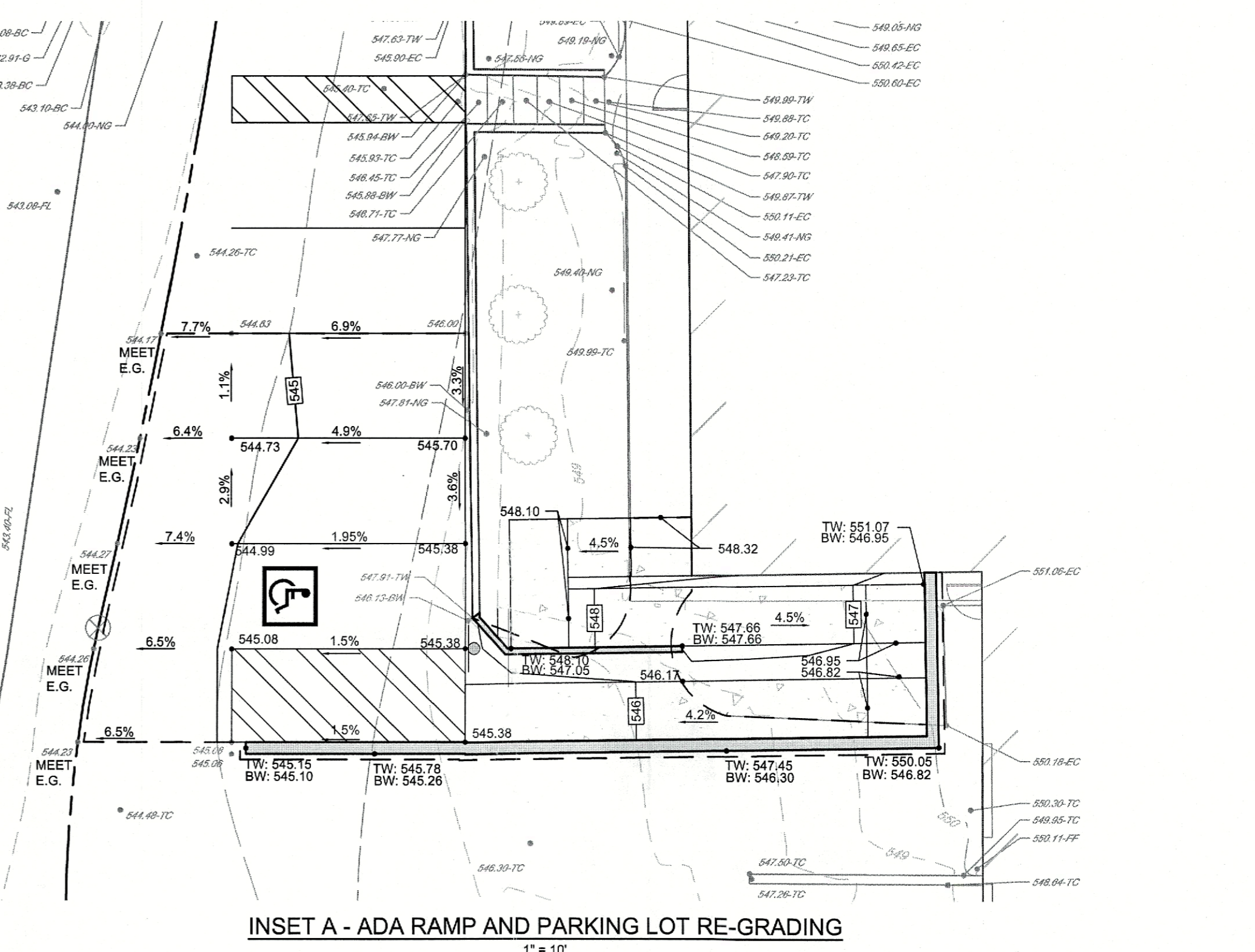
*Neil E. Sander*  
NEIL E. SANDER  
131830  
LICENSED PROFESSIONAL ENGINEER  
01/XX/2025

**C500**  
SHEET 4 OF 6

CASE NUMBER: SP2024-047



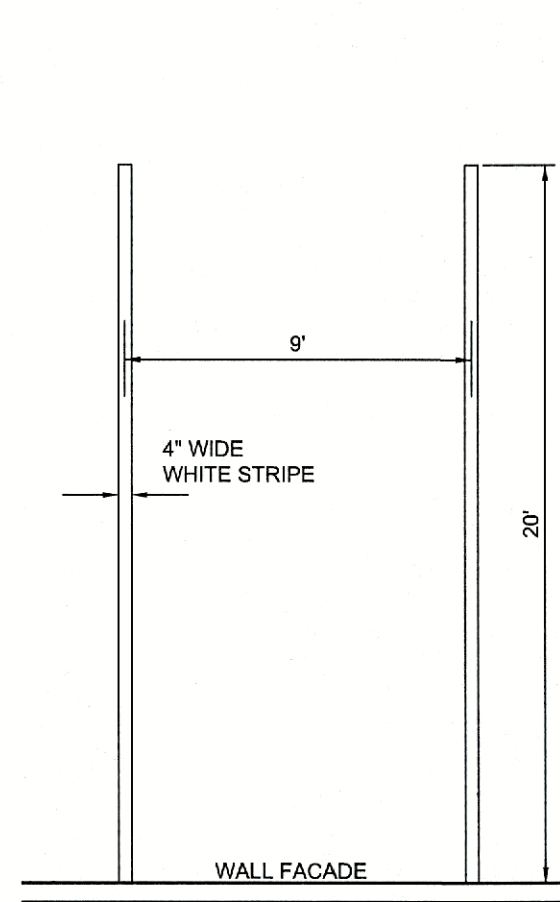
**INSET A**



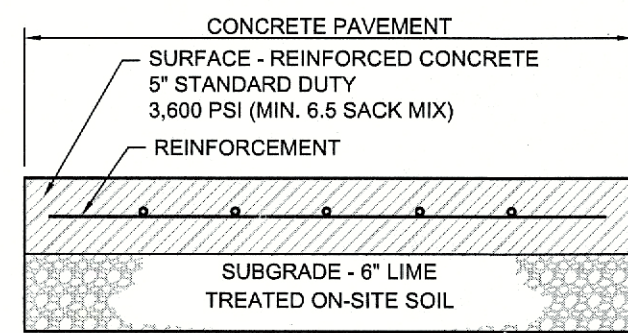
**LEGEND**

	EXISTING RIGHT-OF-WAY
	EXISTING PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING EASEMENT
	EXISTING FENCE (WROUGHT IRON)
	EXISTING FENCE (CHAIN LINK)
	EXISTING CONTOUR LINE - MAJOR
	EXISTING CONTOUR LINE - MINOR
	EXISTING LIGHT POLE W/G WIRE
	EXISTING ELECTRIC METER
	EXISTING GAS METER
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING CLEANOUT
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING GUTTER ELEVATION
	EXISTING BACK OF CURB ELEVATION
	EXISTING EDGE OF CONCRETE ELEVATION
	EXISTING TOP OF CONCRETE ELEVATION
	EXISTING TOP OF WALL ELEVATION
	EXISTING BOTTOM OF WALL ELEVATION
	EXISTING CENTER LINE ELEVATION
	EXISTING TOP OF BANK ELEVATION
	EXISTING TOP OF BANK ELEVATION
	EXISTING BOTTOM OF BANK ELEVATION
	EXISTING FLOW LINE ELEVATION
	EXISTING FINISH FLOOR ELEVATION
	EXISTING CLEAN OUT RIM ELEVATION
	EXISTING NATURAL GROUND ELEVATION
	PROPOSED SAW CUT LINE
	PROP. CONTOUR - MAJOR
	PROP. CONTOUR - MINOR
	PROPOSED SPOT ELEVATION

M:\030 326\024 ROCKWALL TX - KRISTY PROJECT ENGINEERING\DRAWINGS\2024\224-S-GRADING - JORDAN.HILL.20250113



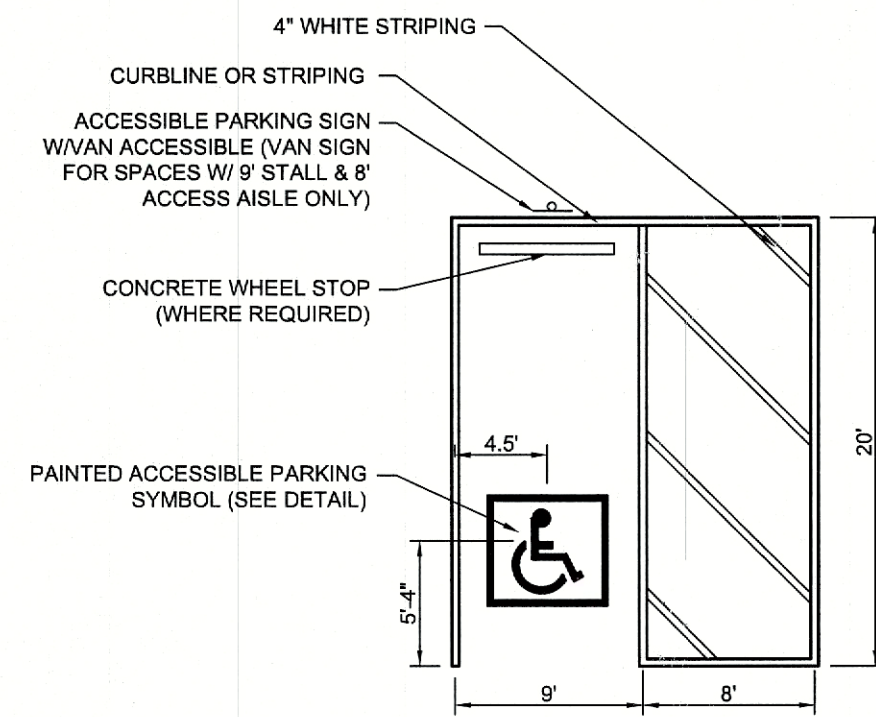
**PARKING STALL DETAIL**  
NTS



**NOTES:**

1. PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE GEOTECHNICAL REPORT PREPARED BY DGS CONSULTANTS LLC, DATED AUGUST 30, 2024, OR AS DIRECTED BY CITY ENGINEERS.
2. THE PERFORMANCE OF THE PAVEMENT IS CONTINGENT ON PROPER CONSTRUCTION, INSPECTION, AND MAINTENANCE.
3. MINIMUM REINFORCING STEEL SPECIFIED AS # 3 BARS PLACED AT 18-IN. ON CENTER IN BOTH DIRECTIONS.
4. MINIMUM DOWEL SIZING SPECIFIED AS 3/4-IN. BARS, 18-IN. IN LENGTH, WITH ONE (1) END TREATED TO SLIP, SHALL BE SPACED AT 12-IN. ON CENTER AT EACH JOINT.
5. MAXIMUM CONTROL JOINT SPACING SHOULD BE 15-FT. IF SAWCUT. CONTROL JOINTS SHALL BE CUT AS SOON AS THE CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING.
6. EXPANSION JOINTS SHALL BE USED IN AREAS ADJACENT TO STRUCTURES, SUCH AS MANHOLES AND WALLS.

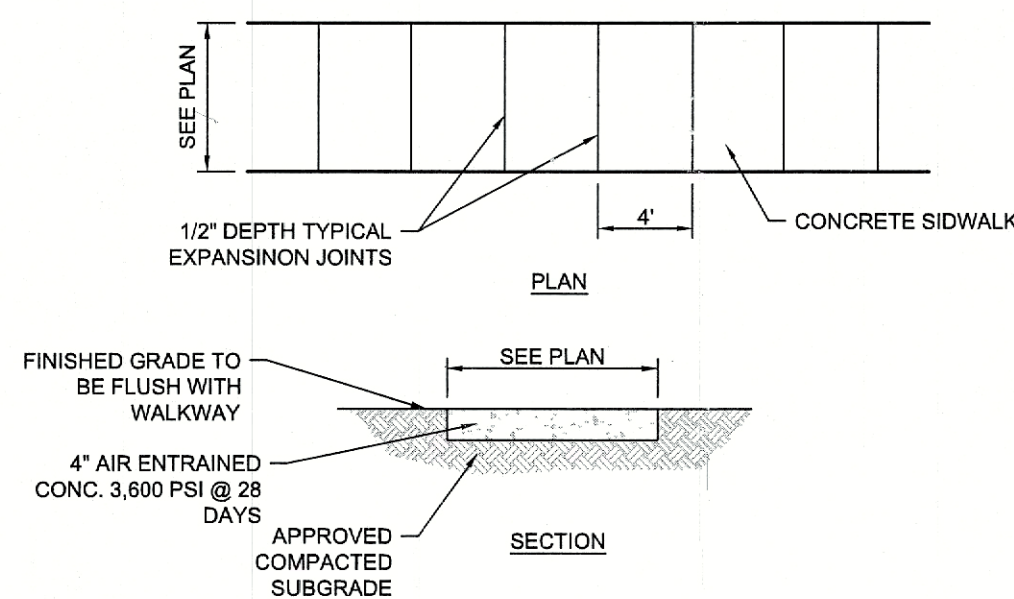
**STANDARD DUTY RIGID PAVEMENT DETAIL**  
NTS



**NOTES:**

1. ALL PAVEMENT STRIPING, MARKINGS AND SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ACCESSIBILITY STANDARDS.

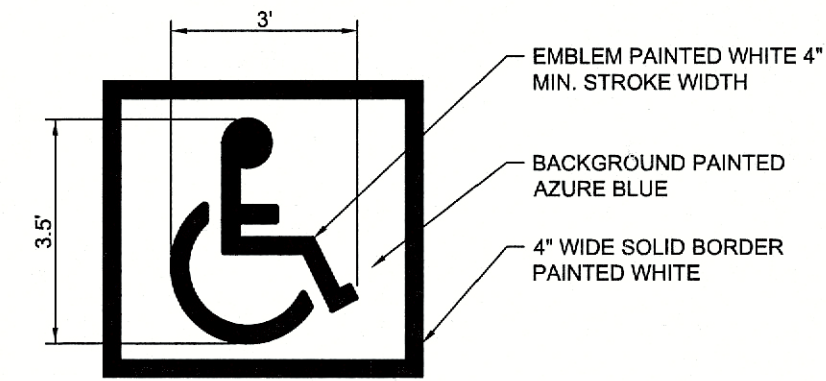
**ACCESSIBLE PARKING STALL STRIPING DETAIL**  
NTS



**NOTES:**

1. MAX. GROSS SLOPE 1/4\"/>
2. PROVIDE 1/2\"/>
3. REFER TO SITE PLAN FOR WIDTH.
4. PROVIDE A BROOM FINISH TO PROVIDE A SLIP RESISTANT WEARING SURFACE IN ACCORDANCE WITH A.D.A. REGULATIONS.

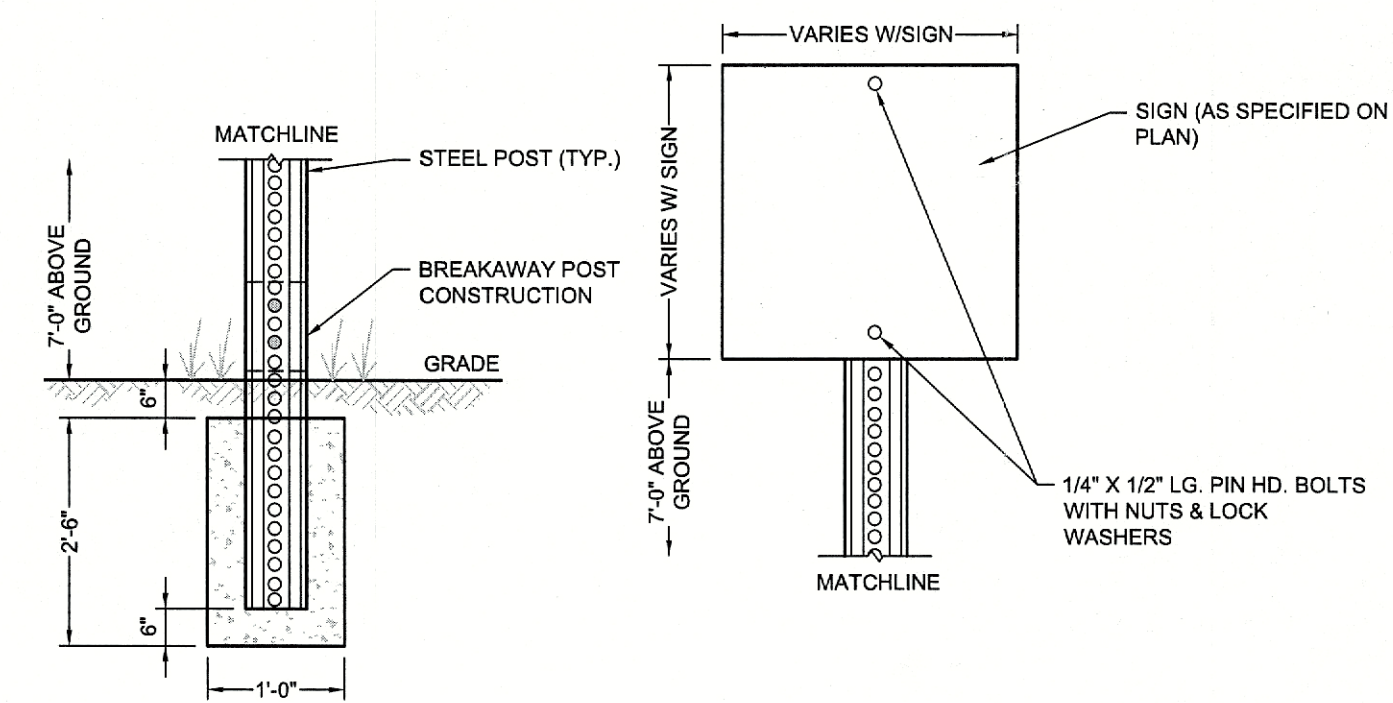
**CONCRETE RAMP DETAIL**  
NTS



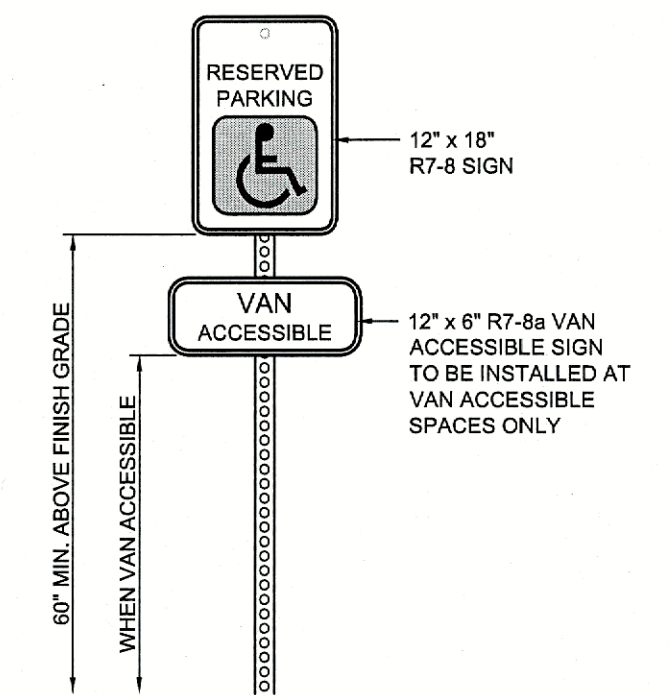
**NOTES:**

- ALL PAVEMENT STRIPING, MARKINGS & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ACCESSIBILITY STANDARDS.

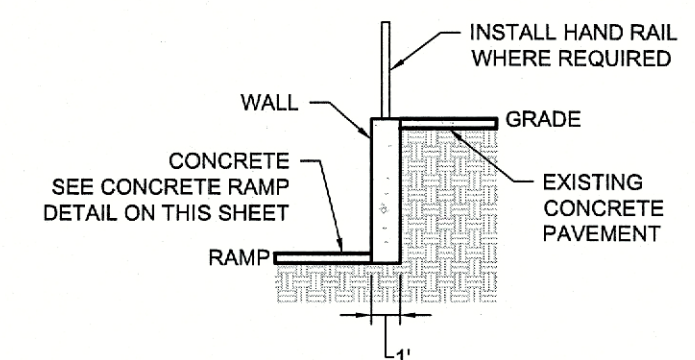
**PAINTED ACCESSIBLE PARKING SYMBOL DETAIL**  
NTS



**SIGN POST AND FOOTING DETAIL**  
NTS



**ACCESSIBLE PARKING SIGN WITH VAN ACCESSIBLE SIGN DETAIL**  
NTS



**RETAINING WALL W/ HAND RAIL DETAIL (BY OTHERS)**  
NTS

REV	DATE	DESCRIPTION
1	12/20/2024	REVISED PER TOWN COMMENTS
2	01/30/2025	REVISED PER TOWN COMMENTS

TBPE FIRM# F-20114

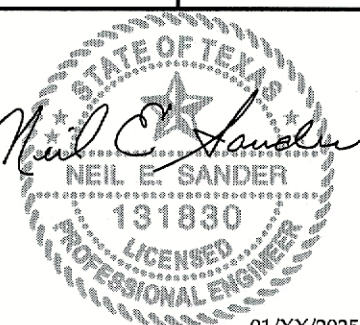
**Independence**  
ENGINEERING LLC  
1777 SENTRY PARKWAY WEST  
BUILDING 12, SUITE 103  
BLUE BELL, PENNSYLVANIA 19422  
INDEPENDENCE ENGINEERING  
NEW JERSEY, PENNSYLVANIA, MASSACHUSETTS

SITE PLAN  
DETAILS  
FOR  
SRS DISTRIBUTION - ROCKWALL - KRISTY  
2065 KRISTY LANE, CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

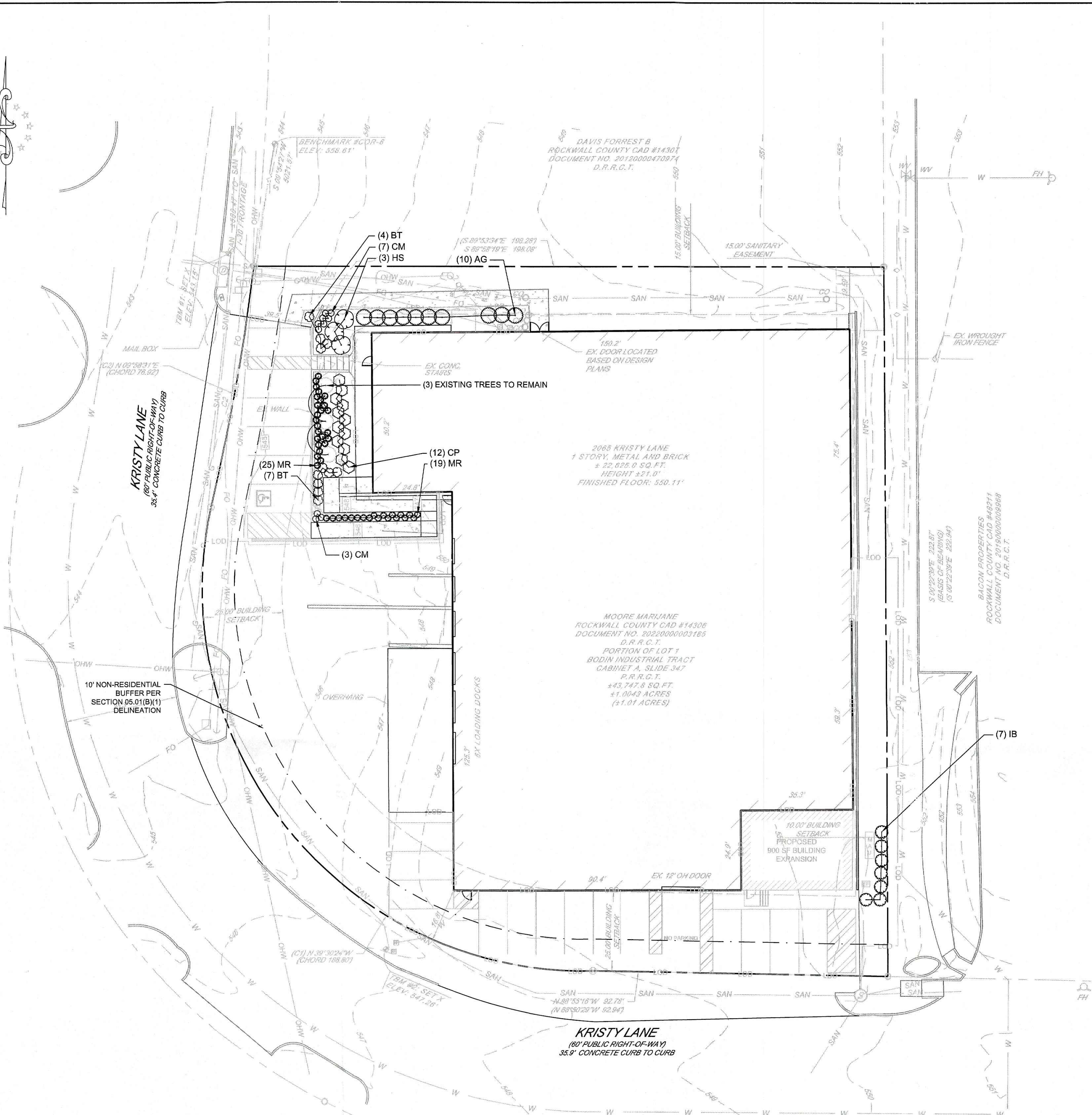
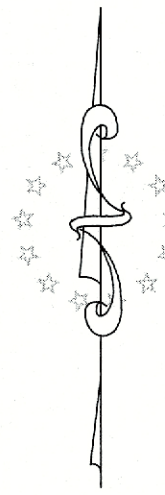
PROJECT 030-224	
DATE 11/07/2024	
SCALE NTS	DRAWN ESC
DESIGNED JWJ	CHECKED NES

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Director on the 24<sup>th</sup> day of January, 2025.

*[Signature]*  
Director of Planning & Zoning



**C800**  
SHEET OF  
5 6



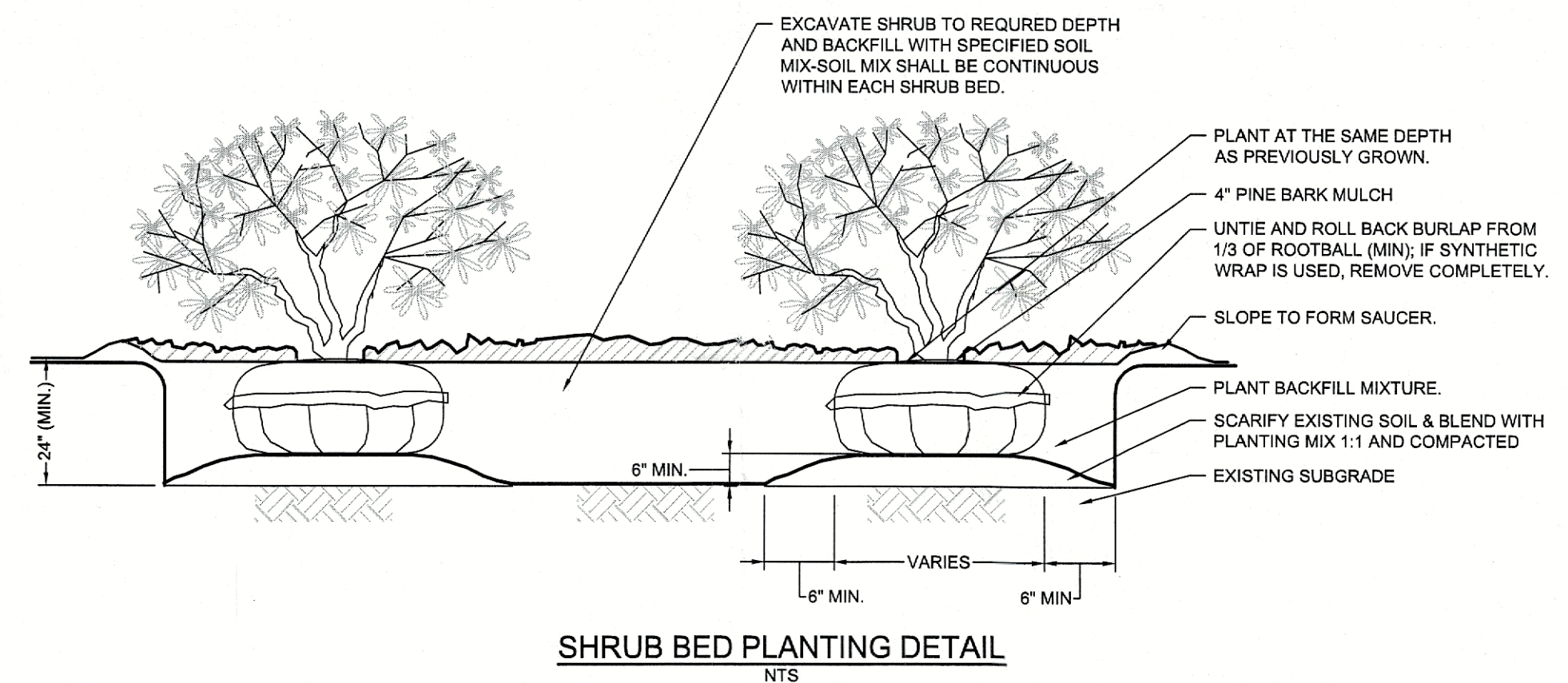
- LANDSCAPE & MAINTENANCE NOTES:**
- REQUIRED PLANTS SHALL BE NURSERY STOCK. THEY SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE, AND BE SUITABLE FOR TREES USE AND DURABLE UNDER THE MAINTENANCE CONTEMPLATED.
  - ALL PLANTS SHALL MEET MINIMUM STANDARDS FOR HEALTH, FORM AND ROOT CONDITIONS AS OUTLINED IN THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE HARDY WITHIN APPROPRIATE USDA HARDNESS ZONE.
  - SHALL BE MAINTAINED PERMANENTLY AND ANY PLANT MATERIAL WHICH DOES NOT SURVIVE SHALL BE REPLACED WITHIN SIX MONTHS.
  - LANDSCAPE/PLANTING AREAS LOCATED AROUND THE BUILDING SHALL BE MAINTAINED AS NEEDED AND AT THE DISCRETION OF THE PROPERTY OWNER. PLANTINGS SHALL BE AS LISTED ON THIS LANDSCAPING PLAN. WEED CONTROL, PEST CONTROL AND FERTILIZING, IS TO BE PERFORMED AS NEEDED, AND IF CHEMICAL USAGE IS REQUIRED, IT SHALL BE USED IN ACCORDANCE WITH TOWNSHIP AND STATE REGULATIONS.
  - NOTIFY ALL UTILITY COMPANIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN FIELD TO AVOID INTERFERENCE WITH UTILITIES.
  - THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING UPON THE PERFORMANCE OF THE WORK.
  - NO TREES TO BE WITHIN 10' OF ANY PUBLIC WATER, SEWER OR STORM LANE THAT IS 10" IN DIAMETER OR LARGER.
  - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER OR STORM LANE THAT IS LESS THAN 10" IN DIAMETER.
  - LANDSCAPE BERMS MAY NOT BE ON TOP OF CITY UTILITIES.

**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
<b>SHRUBS</b>				
	AG	Abelia x grandiflora / Glossy Abelia	5 gal.	10
	BT	Bouvardia ternifolia / Scarlet Bouvardia	3 gal.	11
	CM	Chrysactinia mexicana / Damianita	3 gal.	10
	CP	Cistus x purpureus / Orchid Rockrose	5 gal.	12
	HS	Hibiscus syriacus / Rose of Sharon	5 gal.	3
	IB	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	5 gal.	7
	MR	Mahonia repens / Creeping Mahonia	1 gal.	44

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Director on the 24 day of January, 2025.

*[Signature]*  
Director of Planning & Zoning

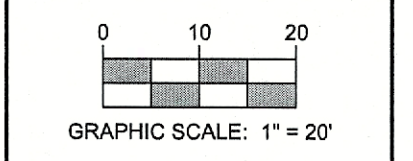


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TBPE FIRM# F-20114

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ENGINEERING LLC  
1777 SENTRY PARKWAY WEST  
BUILDING 12, SUITE 103  
BLUE BELL, PENNSYLVANIA 19422  
(215) 798-4500  
INDEPENDENCE, PENNSYLVANIA  
NEW JERSEY, PENNSYLVANIA, MASSACHUSETTS

SITE PLAN  
**LANDSCAPE PLAN**  
FOR  
SRS DISTRIBUTION - ROCKWALL - KRISTY  
2065 KRISTY LANE, CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS



PROJECT 030-224	
DATE 11/07/2024	
SCALE 1" = 20'	DRAWN EES
DESIGNED EES	CHECKED NES

01/XX/2025

**C900**

SHEET 6 OF 6

CASE NUMBER: SP2024-047