

RPRC ADDITION

1010 RIDGE ROAD
ROCKWALL, TEXAS 75087

ADDENDUM 01
06/04/2024



CONTACT: JOANNE VUKOVIC
EMAIL: JOANNE@YOURPREGNANCYCENTER.ORG

PARISH LINE

300 E. DAVIS STREET
MCKINNEY, TX 75069
T: 318.282.4243

EAB NUMBER: TABS2024-004260

PROJECT DESCRIPTION

THE PROJECT INVOLVES RENOVATING A PRE-EXISTING STRUCTURE WHILE ALSO CONSTRUCTING AN EXTENSION TO ACCOMMODATE EXTRA OFFICE, AN EXPANDED RECEPTION AREA, A LARGER WAITING ROOM, A BREAK ROOM AND ADDITIONAL STORAGE SPACE. THE EXTENSION WILL NECESSITATE STRUCTURAL ENHANCEMENTS TO THE EXISTING ROOF AND FLOOR FRAMEWORKS TO EQUALIZE/INTEGRATE IT WITH THE EXISTING BUILDING AND ITS RENOVATION. ADDITIONALLY, NEW HVAC, PLUMBING AND ELECTRICAL SYSTEMS WILL BE DESIGNED TO SUPPORT THE EXPANSION AND LAYOUT MODIFICATIONS.

PROJECT DATA & CODE INFORMATION

PROJECT DATA	
PROJECT NAME	RPRC ADDITION
PROJECT ADDRESS	1010 RIDGE ROAD ROCKWALL, TEXAS 75087
OWNER	ROCKWALL PREGNANCY RESOURCE CENTER
APPLICABLE CODES	NOTE: INCLUDED IN SPECIFICATION SECTION 010100 REGULATORY REQUIREMENTS
BUILDING CODE	2021 INTERNATIONAL BUILDING CODE WITH AMENDMENTS
ACCESSIBILITY CODE	2012 TEXAS ACCESSIBILITY STANDARDS
ELECTRICAL CODE	2020 NATIONAL ELECTRIC CODE WITH AMENDMENTS
ENERGY CODE	2021 INTERNATIONAL ENERGY CONSERVATION CODE WITH AMENDMENTS
FIRE CODE	2021 INTERNATIONAL MECHANICAL CODES WITH AMENDMENTS
MECHANICAL CODE	2021 INTERNATIONAL MECHANICAL CODES WITH AMENDMENTS
PLUMBING CODE	2021 INTERNATIONAL PLUMBING CODES WITH AMENDMENTS
REGIONAL OR MUNICIPAL CODE	CITY OF ROCKWALL ORDINANCE NO. 23-24
HEALTH DEPARTMENT	N/A
LIFE SAFETY INFORMATION	
USE OR OCCUPANCY CLASSIFICATION	REFERENCE
OCCUPANCY: BUSINESS (B)	IBC CHAPTER 3
OCCUPANT LOAD: 18	IBC CHAPTER 10
TYPE OF CONSTRUCTION	
CONSTRUCTION TYPE: V-B	IBC CHAPTER 6
FIRE PROTECTION REQUIREMENTS (B) ULL DESIGN	
BEARING WALLS: EXTERIOR	IBC TABLE 901
BEARING WALLS: INTERIOR	IBC TABLE 901
NONBEARING WALLS: EXTERIOR	IBC TABLE 705.5
NONBEARING WALLS: INTERIOR	IBC TABLE 901
ROOF CEILING	IBC TABLE 901
FLOOR CEILING	IBC TABLE 901
PRIMARY STRUCTURAL FRAME	IBC TABLE 901
CANOPY/COVERINGS	-
SPRINKLERED: NON-SPRINKLERED	NFPA 101.13.3.3.2
EXTINGUISHER CLASS: CLASS A	NFPA 10
DESIGN LIMITATIONS	
HEIGHT: 10'-0"	MAX. ALLOWED: 15'-0"
AREA: 8000 SF	MAX. PROVIDED: 2341 SF
SEPARATION DISTANCE: 10' X 4'30"	MAX. PROVIDED: 21'
MEANS OF EGRESS	
TRAVEL DISTANCE TO EXIT: 75'-0"	MAX. ALLOWED: 72'-0"
COMMON PATH OF TRAVEL: 78'-0"	MAX. PROVIDED: 52'-0"
EGRESS WITH PER OCCUPANT	
0.2' STAIRS	MAX. ALLOWED: -
0.15' DOORS: 2'-8"	MAX. PROVIDED: 2'-8"
ZONING	
ZONING: PD-53	IBC CHAPTER 1011
OVERLAY DISTRICT: SCENIC OVERLAY	IBC CHAPTER 1010
SPECIAL REQUIREMENTS: -	-

PARKING CALCULATIONS

USE OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REQUIREMENT FACETS	MINIMUM SPACES WITH 12" ABLE	
MGN	5	0	0	0	0
	0	0	0	0	0
TOTAL	5	0	0	0	0

ENERGY REQUIREMENTS

COMPONENT	CLIMATE ZONE: 3A ENERGY		SIMULATION	
	REQUIRED	PROVIDED	TYP	TOLERANCE
ROOF				
INSULATION ABOVE ROOF DECK	R-10	-	PERM	0"
WALLS				
METAL BUILDING	-	-	-	-
ATTIC/ROOF	-	-	-	-
FLOOR				
WOOD FRAME/CONCRETE	R-11 OR R-10	R-10	FIBERGLASS BATT	5"
GLAZING				
GLAZING	-	-	-	-
WINDOWS				
GLAZING	-	-	-	-
DOORS				
GLAZING	-	-	-	-
SHADING				
SHADING	-	-	-	-
MECHANICAL				
METAL BUILDING	-	-	-	-
WOOD FRAME/CONCRETE	-	-	-	-
MECHANICAL SYSTEMS				
MECHANICAL SYSTEMS	-	-	-	-

FENESTRATION

COMPONENT	CLIMATE ZONE: 3A	
	REQUIRED	PROVIDED
FENESTRATION UFACTOR	0.40	0.32
SHADING UFACTOR	-	-
GLAZED FENESTRATION SHGC	0.40	0.33
ENTRANCE DOOR UFACTOR	0.38	0.32

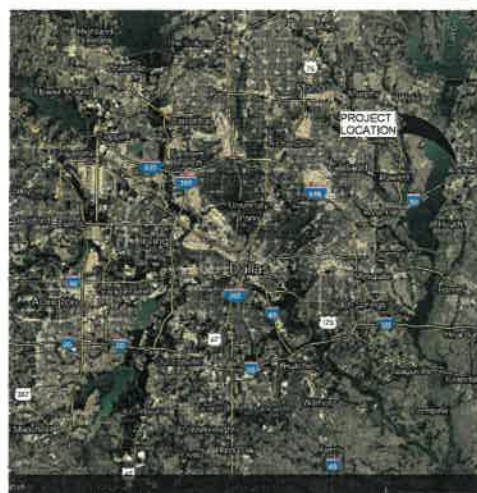
PLUMBING CALCULATIONS

PLUMBING FIXTURE REQUIREMENTS - SECTOR A (IPC TABLE 402.1; ROCKWALL AMENDMENT)	MALE		FEMALE	
	# REQUIRED	# PROVIDED	# REQUIRED	# PROVIDED
WATER CLOSETS:	-	-	-	-
URINALS:	-	-	-	-
LAVATORIES:	-	-	-	-
SHOWERS:	-	-	-	-
NON GENDER SPECIFIC				
WATER CLOSETS:	1	2		
LAVATORIES:	1	2		
SERVICE SINK:	1	1		
DRINKING FOUNTAINS:	0	0		
SHOWERS:	-	-		

AREA MAP



VICINITY MAP



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ISSUES

NO.	DATE	ISSUE
1	10/20/21	ISSUE FOR PERMIT

REVISION

NO.	DATE	REVISION
1	06/04/24	ADDENDUM 01

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APPROVED:
I hereby certify that the above plan for record was prepared in accordance with the laws of the State of Texas, and was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of November 2024.

WITNESSED OUR HANDS this 12th day of November 2024.
Planning & Zoning Commission, City of Rockwall

PROJECT TEAM

ARCHITECT

PARISH LINE STUDIO, PLLC
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CIVIL

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M E P

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730 N. FM, SUITE 156
AUSTIN, TX 78726
CONTACT: BONNIE McINNISH
EMAIL: BONNIE@MCEINISH.COM

COVER

JOB 23.014
DATE 06/04/2024

GO.000

60.000 COVER

10/28/2024 2:27:20 PM

CASE # 23-204-042



1010 RIDGE ROAD, ROCKWALL, TEXAS
CONTACT: JOANNE VUCKOVIC
JOANNE@YOURPREGNANCYCENTER.ORG

PARISH LINE

300 E. DAVIS STREET
MCKINNEY, TX 75069

ISSUES

A 150523 ISSUE FOR PERMIT

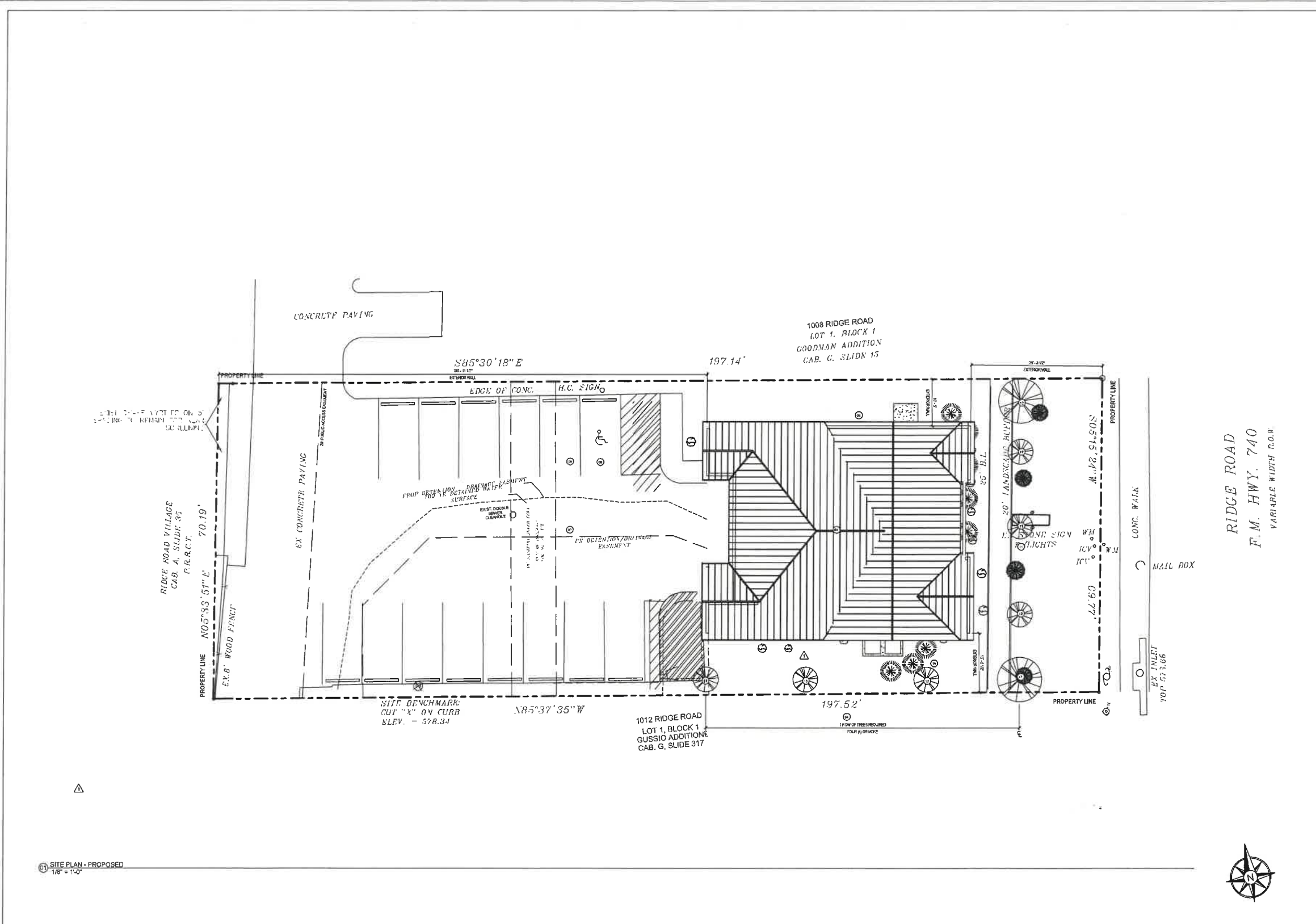
REVISION

1 050424 ADDITION 01

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RPRC ADDITION

1010 RIDGE ROAD
ROCKWALL, TEXAS 75087



1 SITE PLAN - PROPOSED
1/8" = 1'-0"



- GENERAL NOTES**
- A. REF. G0-SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS
 - B. REF. A0-SERIES FOR TYPICAL DEVICE MOUNTING LOCATIONS AND TYPICAL ACCESSIBILITY DIAGRAMS
 - C. REF. A5-SERIES FOR DOOR, WINDOW, FINISH, FIXTURE AND EQUIPMENT SCHEDULES
 - D. REF. G SERIES FOR PROJECT RELATED GENERAL NOTES

- SHEET NOTES**
- 01 EXISTING BUILDING TO BE RENOVATED, REFER TO ARCHITECTURAL DRAWINGS FOR SCOPE OF WORK
 - 02 EXISTING PARKING AREA, REFER TO CIVIL DRAWINGS FOR SCOPE OF WORK
 - 04 REQUIRED LANDSCAPE PER THE CITY OF ROCKWALL, SCENIC OVERLAY DISTRICT, REFER ARTICLE
 - 06 PROPOSED OUTDOOR PAVERS, REFER ARCHITECTURAL DRAWINGS
 - 08 PROPOSED ADA PARKING LOCATION; REFER CIVIL DRAWINGS
 - 09 PROPOSED TYPICAL PARKING STALL; REFER CIVIL DRAWINGS

- 10 PROPOSED LANDSCAPE SCREEN PER AHI REQUIREMENTS; EQUIPMENT TO BE SCREENED WITH 5-GALLON EVERGREEN SHRUBS; LANDSCAPE BY OWNER
- 11 REQUIRED LANDSCAPE BUFFER PER CITY OF ROCKWALL; REFER TO APPENDIX C
- 12 REQUIRED CANOPY TREE PER CITY OF ROCKWALL; REFER TO SUBSECTION 05.01 OF ARTICLE 08
- 13 REQUIRED ACCENT TREE PER CITY OF ROCKWALL; REFER TO SUBSECTION 05.01 OF ARTICLE 08

LEGEND

SITE PLAN

JOB 23.014
DATE 06/04/2024
G1.000

APPROVED: [Signature] Planning & Zoning Commission, City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 15th day of November 2024.
WITNESS OUR HANDS: [Signature] City of Rockwall, Texas
Planning & Zoning Commission, Chairman



1910 RIDGE ROAD, ROCKWALL, TEXAS
CONTACT: JOANNE KUSCHKE
JOANNE@YOURPREGNANCYCENTER.ORG

PARSHLINE

300 E. DAVIS STREET
MCKINNEY, TX 75069

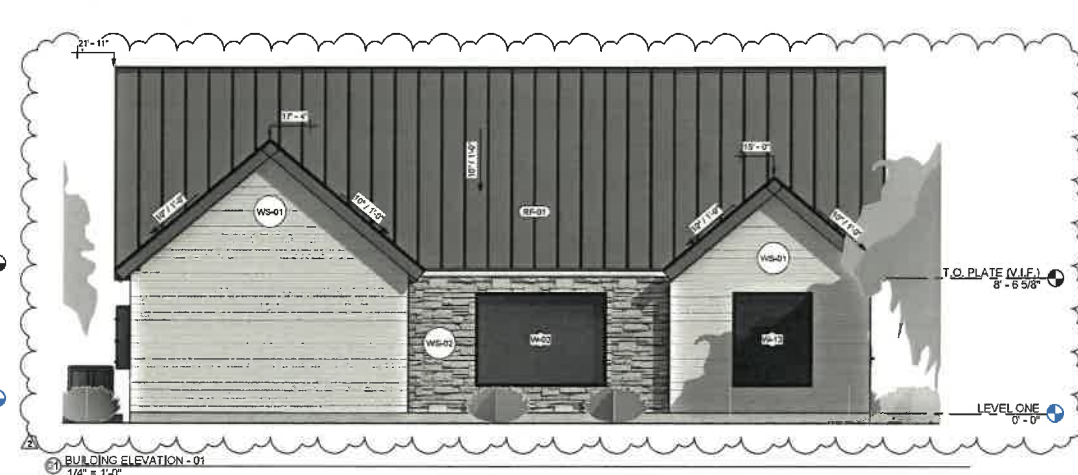
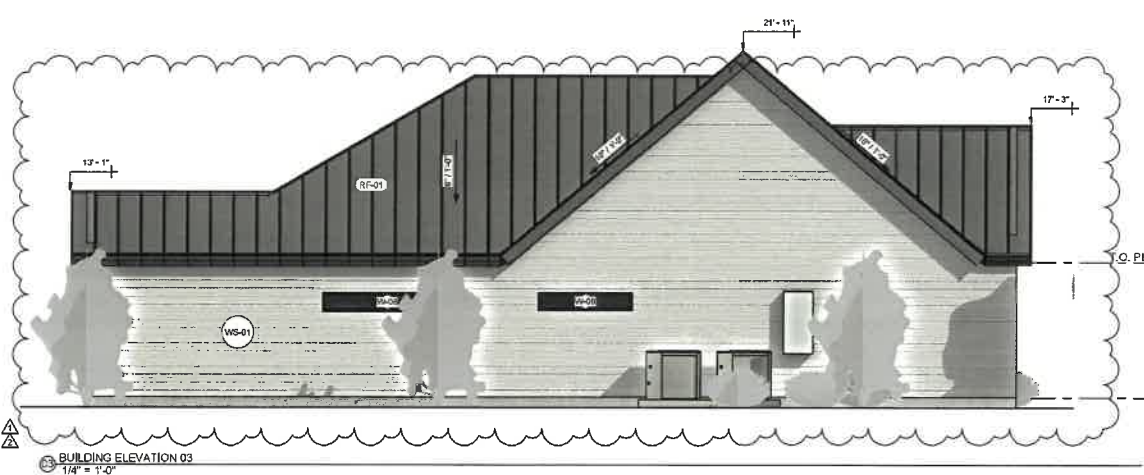
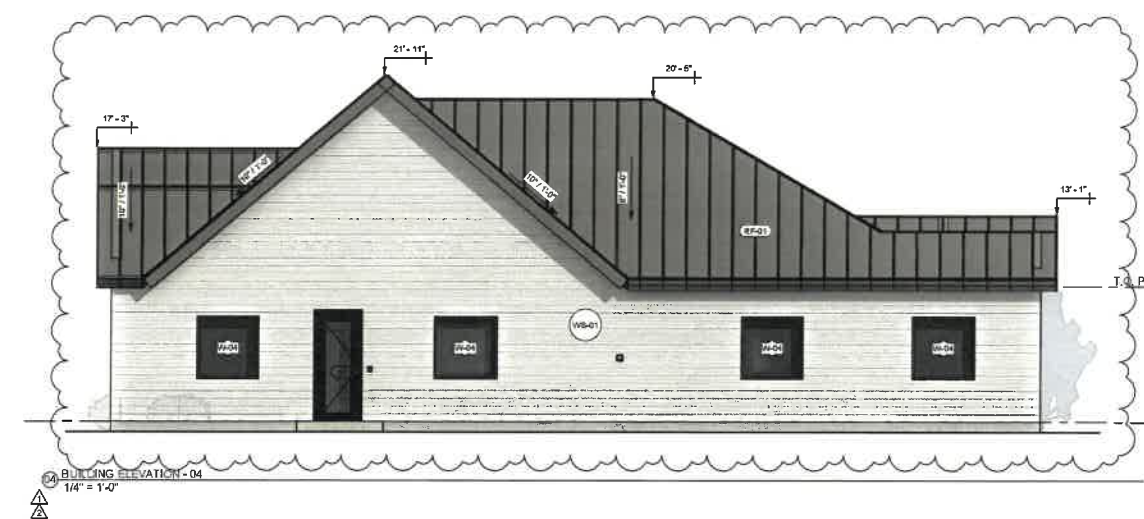
ISSUES

1 120922 ISSUE FOR PERMIT

REVISION

1 100424 ADDENDUM 01
2 780 ISSUE FOR CONSTRUCTION

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GENERAL NOTES

- A. REF: G0-SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS
- B. REF: A0-SERIES FOR TYPICAL DEVICE MOUNTING LOCATIONS AND TYPICAL ACCESSIBILITY DIAGRAM
- C. REF: A0-SERIES FOR DOOR, WINDOW, FINISH, FIXTURE AND EQUIPMENT SCHEDULES
- D. REF: G SERIES FOR PROJECT RELATED GENERAL NOTES

SHEET NOTES

LEGEND

- EXISTING
- NEW CONSTRUCTION

BUILDING ELEVATIONS

JOB 23.014

DATE 06/04/2024

A2.101

APPROVED:
I hereby certify that the applicant for this plan for a construction in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2024.

WITNESS my hand and the seal of _____ day of _____, 2024.

Chairman of Planning and Zoning

DOOR HARDWARE SCHEDULE

Table with columns: Qty, Item, Description, Finish, and Note. Includes items like 1-1.5, 1-2.0, 1-2.5, 1-3.0, 1-4.0, 1-5.0.

Note: Coordinate hardware with door and frame manufacturer. Provide special order, brushed, spray, or clear finishes as required. Confirm hardware finish with architect prior to ordering.

FFE

FIXTURES

Table with columns: Item, Description, Finish, and Note. Includes items like FC1, WC1, WC2, T01, T02, T61, T62.

FURNITURE/EQUIPMENT

FFE-07 NAME TELEVISION LOCATION: REFER ELEVATIONS NOTE: BY OWNER: PROVIDE BLOCKING AND AV HOOKUP

FINISHES

Table with columns: Item, Description, Finish, and Note. Includes sections for PAINT, CONCRETE, WOOD, WALL SYSTEMS, STONE/SIMULATED STONE, TILE, CEILING, RUBBER BASE, GLASS, and FRP.

GENERAL NOTES

- A. REF: G0-SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS
B. REF: A0-SERIES FOR TYPICAL DEVICE MOUNTING LOCATIONS AND TYPICAL ACCESSIBILITY DIAGRAM
C. REF: A6-SERIES FOR DOOR, WINDOW, FINISH, FIXTURE AND EQUIPMENT SCHEDULES
D. REF: G SERIES FOR PROJECT RELATED GENERAL NOTES



1976 RIDGE ROAD, ROCKWALL, TEXAS
CONTACT: JOANNE VUCKOVIC
JOANNE@YOURPREGNANCYCENTER.ORG

ISSUES

Table with columns: Issue ID and Issue Description.

REVISION

Table with columns: Revision ID and Revision Description.

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RPRC ADDITION
1010 RIDGE ROAD
ROCKWALL, TEXAS 75087

LIGHTING FIXTURE SCHEDULE

Table with columns: Type Mark, Manufacturer, Product, and Comments. Includes items like LF-01, LF-02, LF-03, LF-04, LF-05, LF-07.

WINDOW SCHEDULE

Table with columns: Type Mark, Rough Opening (Width, Height), Sill Height, Head Height, and Comments. Includes items like W-02, W-04, W-06, W-08, W-10, W-12.

DOOR SCHEDULE

Table with columns: Number, Type, Location (Room Name), Dimensions (Width, Height), Door Material, Glass Finish, Frame Material, Frame Finish, Head, Jamb, Sill, Fire Rating, HW Set, Remarks. Includes items like 01, 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, AD01, AD04.

APPROVED: I hereby certify that the above information is true and correct for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 10th day of May 2024. Includes signature of Planning and Zoning Commission Chairman.

SCHEDULES

JOB 23.014
DATE 06/04/2024
A6.301



WS-01 HARDIE PLANK SIDING - ARTIC WHITE



MBCI HIGH BATTEN ROOF PANEL AND COLOR





JELD-WEN SIMPLY MODERN WINDOWS



JELD-WEN SIMPLY MODERN DOORS



WS-02 CULTURED STONE - COUNTRY LEDGESTONE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of November 2024.
WITNESS OUR HANDS, this _____ day of _____
 
Chairwoman of Planning and Zoning

MATERIAL PALETTE

PRELIMINARY
THESE DOCUMENTS ARE INCOMPLETE, AND ARE RELEASED FOR INTERIM REVIEW ONLY. NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION PURPOSES.

ROCKWALL PREGNANCY RESOURCE CENTER

1010 RIDGE ROAD
ROCKWALL, TX

PARISH
LINE