

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS AND NCTCOG 5TH EDITION.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL, ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO.122
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

BENCHMARKS
CITY OF ROCKWALL MONUMENT NO. COR-10:
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB
INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE
ELEVATION = PLAN 521.61' FIELD 521.57'
CITY OF ROCKWALL MONUMENT NO. COR-11:
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF I-30
ELEVATION = PLAN 565.98' FIELD 566.02'

CONSTRUCTION PLANS FOR AMENITY CENTER FACILITY

~TERRACES SUBDIVISION

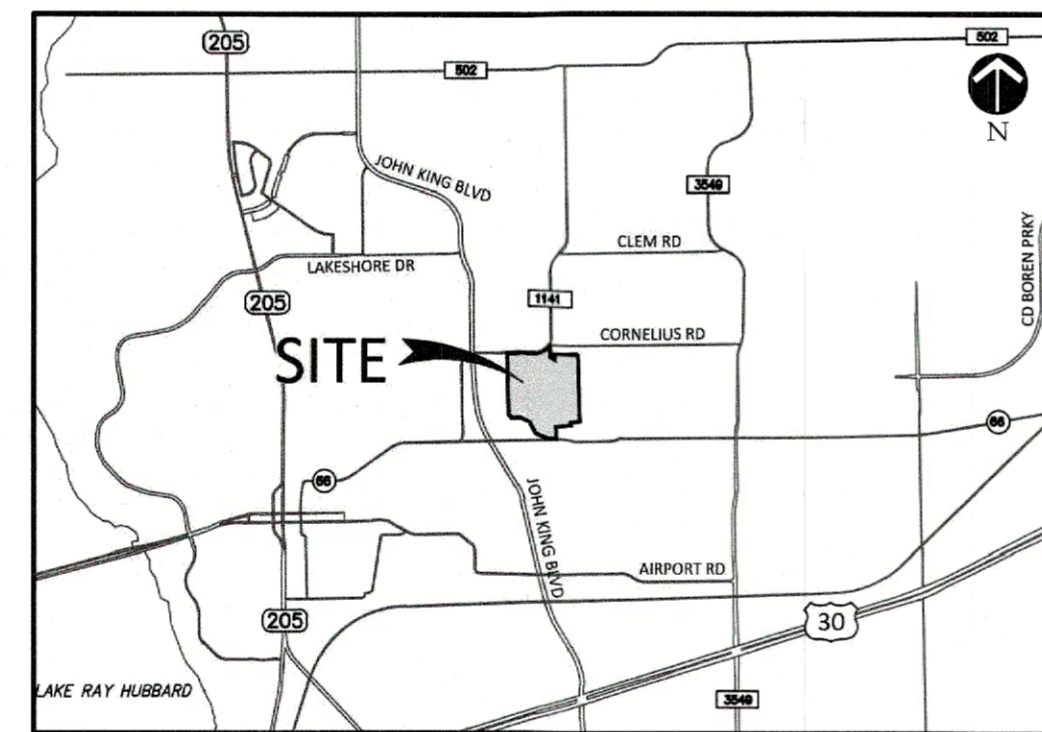
AMENITY CENTER

LOT 18 BLOCK A~

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

CITY SUBMITTAL DATE: July 19, 2024



LOCATION MAP
NOT TO SCALE

SHEET INDEX

SP1	SITE PLAN
L4-L5	SITE DETAILS
L6	CITY OF ROCKWALL CONSTRUCTION DETAILS
LS1	LANDSCAPE PLAN
LS2-LS3	LANDSCAPE SCHEDULE AND DETAILS
A3.00-SD - A3.02-SD	ARCHITECTURE FACADE PLANS
E1.01-E1.02	PHOTOMETRIC PLAN

IRRIGATION PLANS SHOWN HEREIN ARE TO PROVIDE A COMPLETE PACKAGE ONLY. IRRIGATION PLANS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE BUILDING DEPARTMENT AND APPLY FOR A SEPARATE PERMIT.

GENERAL LANDSCAPE NOTES:

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM FIVE FEET (5') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALIGNANT PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

OWNER / DEVELOPER:

TM TERRACES, LLC
4416 W. LOVERS LANE SUITE 200
DALLAS, TEXAS 75209
PH. 214-577-1431
CONTACT: BOBBY HARRELL
BOBBY@TERRADFW.COM

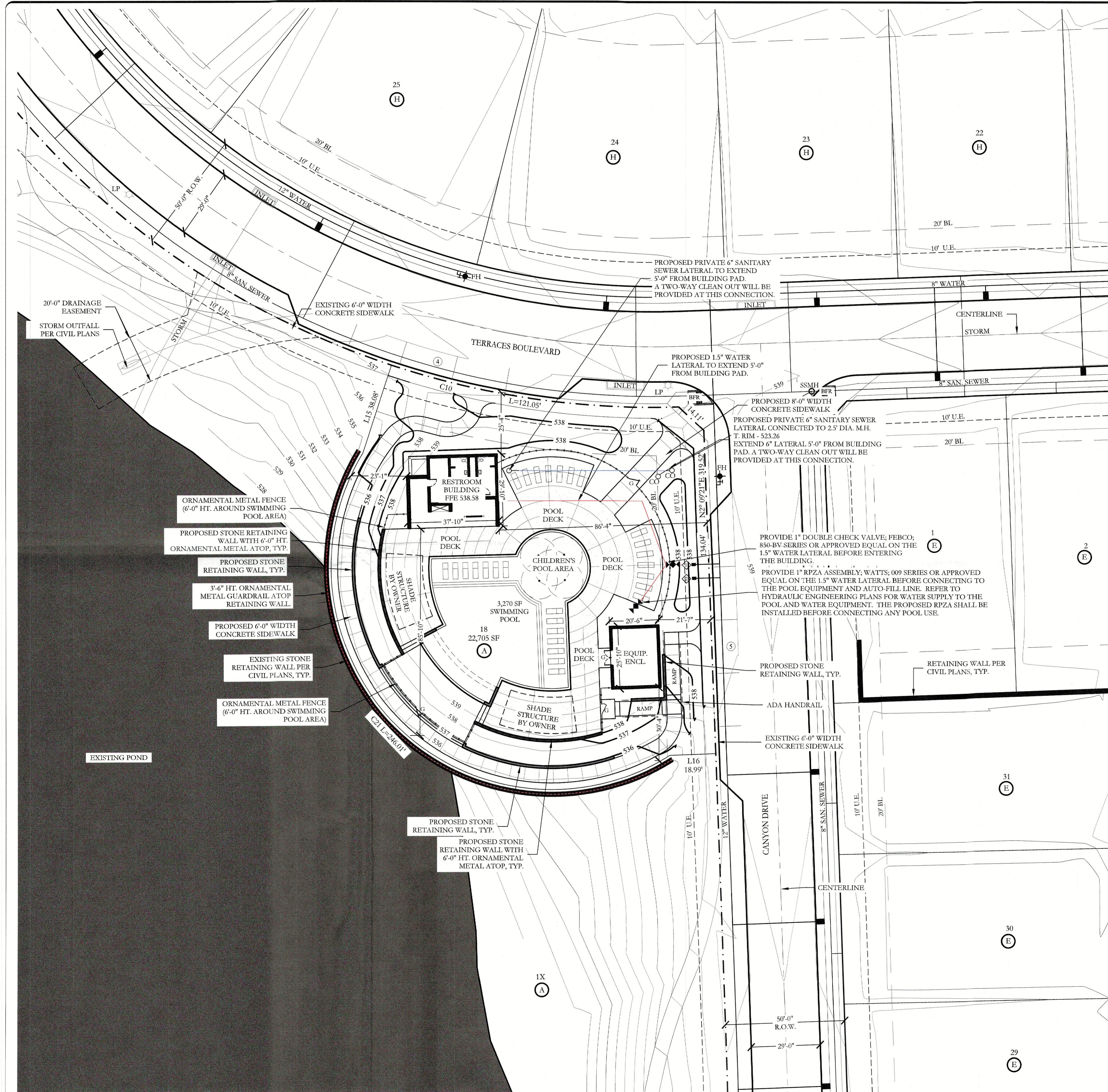
CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: TOM DAYTON, PE
TOM.DAYTON@JOHNSONVOLK.COM

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI
CODY.JOHNSON@JOHNSONVOLK.COM





LEGEND

④	EXISTING PARKING COUNT	◊	EXISTING 1.5" DOMESTIC WATER METER
BFR	EXISTING BARRIER FREE RAMP	◊	EXISTING 1.5" IRRIGATION WATER METER
FH	EXISTING FIRE HYDRANT	---	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
○	EXISTING SANITARY SEWER MANHOLE	---	1 - 4" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
+	EXISTING WATER MAIN W/ VALVE	---	PROPOSED STONE RETAINING WALL
---	EXISTING STORM	---	EXISTING RETAINING WALL PER CIVIL PLANS TYP.
---	EXISTING CURB INLET	---	ADA HANDRAIL
---	RIGHT-OF-WAY	---	3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
LP	LIGHT POLE	---	
---	EXISTING CONTOUR INTERVAL	---	
---	PROPOSED CONTOUR INTERVAL	---	
FFE 538.58	FINISHED FLOOR ELEVATION		

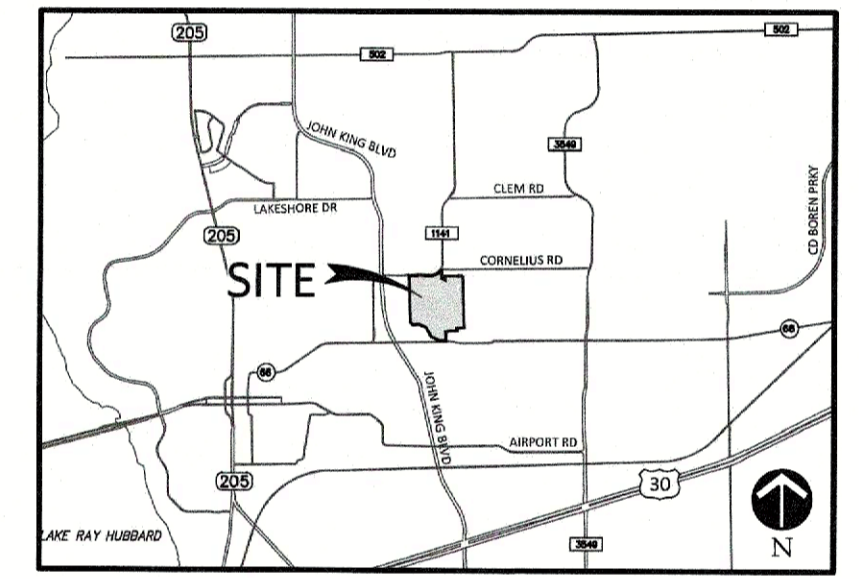
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9 day of July, 2024.

WITNESS OUR HANDS, this 9 day of July, 2024.

[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
◊	1.5"	1.5"	X		6"
◊	1.5"	1.5"		X	



SITE INFORMATION

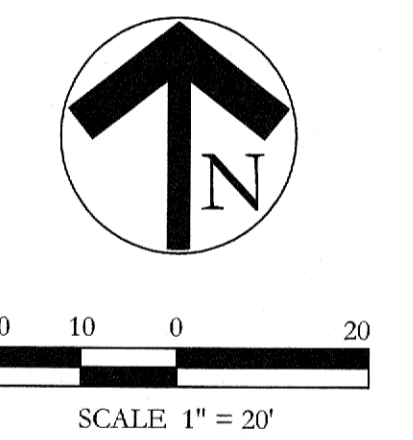
SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 0.52 ACRES
 22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET
 BUILDING HEIGHT: 19'-8" (1 STORY)
 POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET
 POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.07271 [1,652/22,705]
 LOT COVERAGE: 7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF
 PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
 INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF



SITE PLAN
TERRACES
LOT 18, BLOCK A
~ AMENITY CENTER ~

- SITE PLAN NOTES:**
- FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
 - ALL PARKING ON SITE IS EXISTING.
 - THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
 - ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.

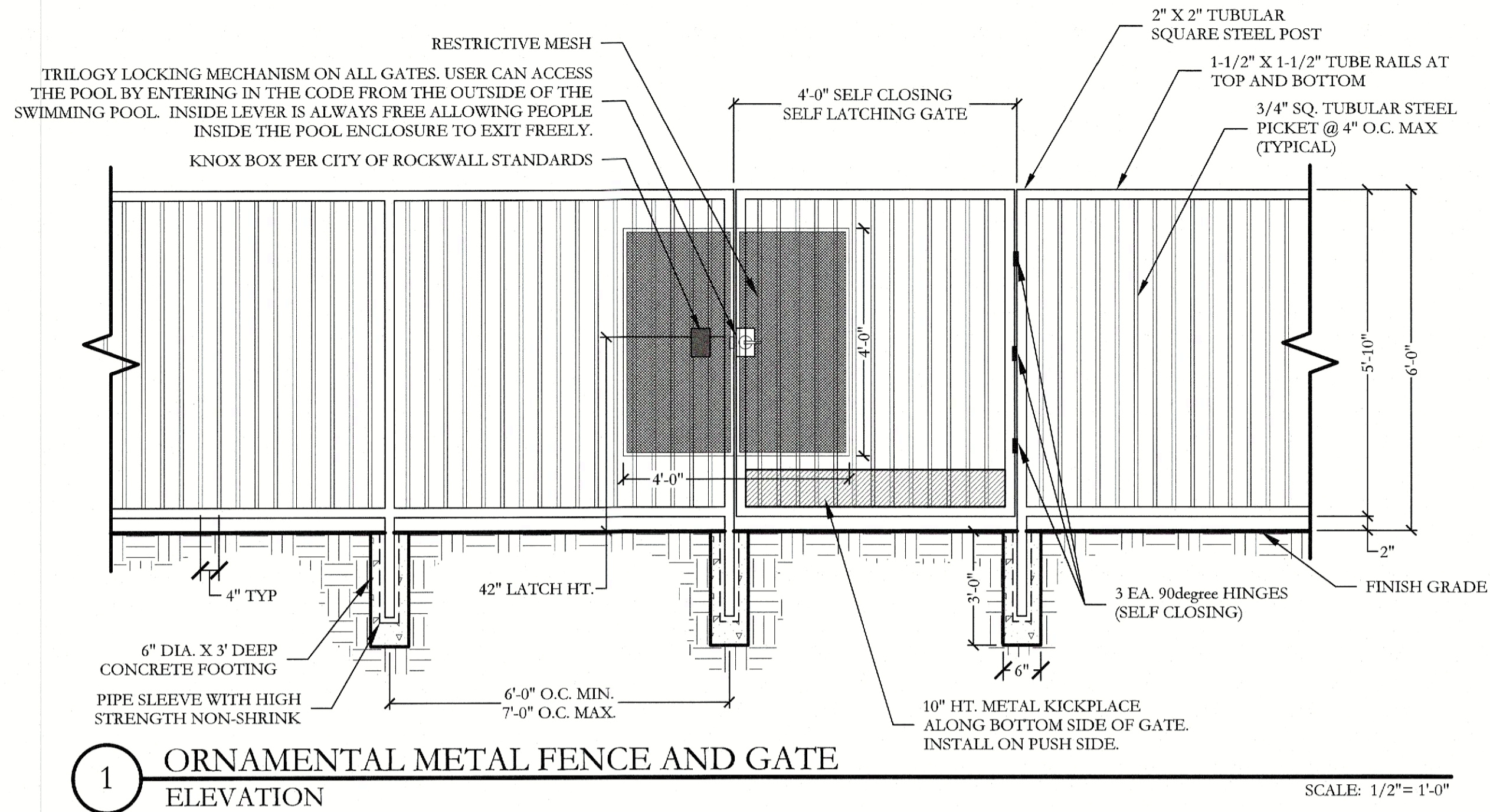
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 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
 TM TERRACES, LLC
 4416 W. LOVERS LANE SUITE 200
 DALLAS, TEXAS 75209
 PH. 214-577-1431
 CONTACT: BOBBY HARRELL
 BOBBY@TERRADFW.COM

LANDSCAPE ARCHITECT/CIVIL ENGINEER:
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 PLANO, TEXAS 75074
 PH. 972-201-3100
 CONTACT: CODY JOHNSON, R.L.A. ASLA, LI
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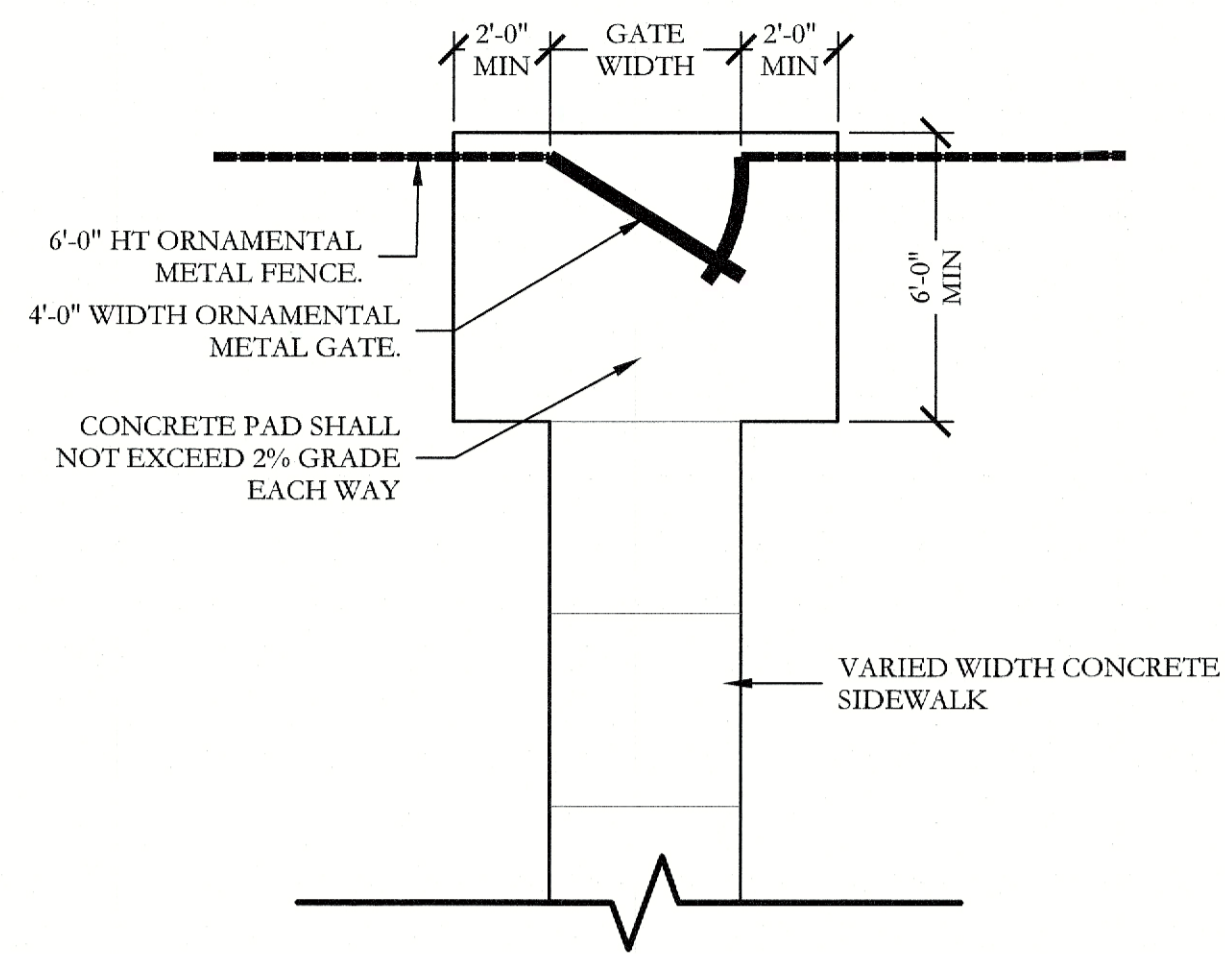


July 19, 2024



1 ORNAMENTAL METAL FENCE AND GATE ELEVATION

SCALE: 1/2" = 1'-0"



3 GATE SIDEWALK ENTRANCE/EXIT PAD PLAN

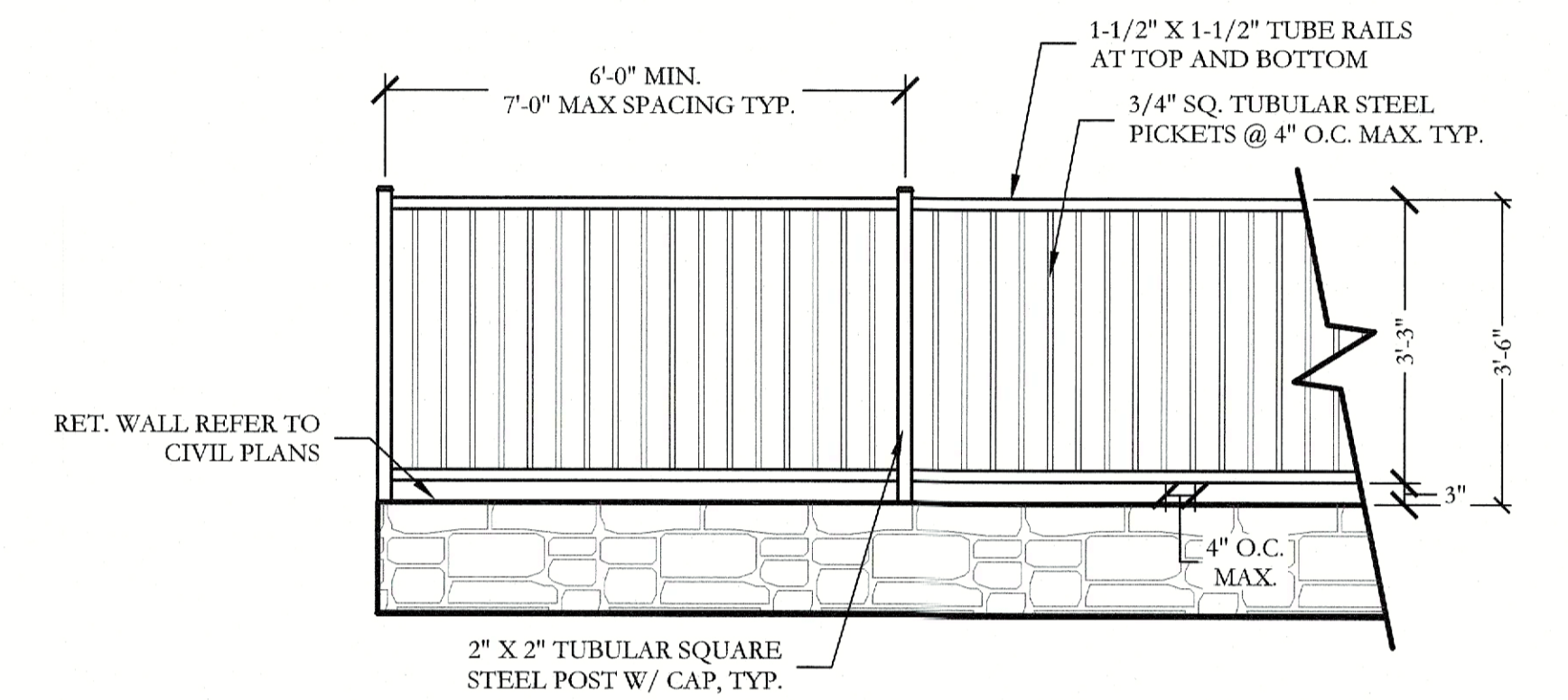
SCALE: 1/4" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9 day of July, 2024.

WITNESS OUR HANDS, this 9 day of July, 2024.
[Signature] Director of Planning and Zoning
[Signature] Planning & Zoning Commission, Chairman

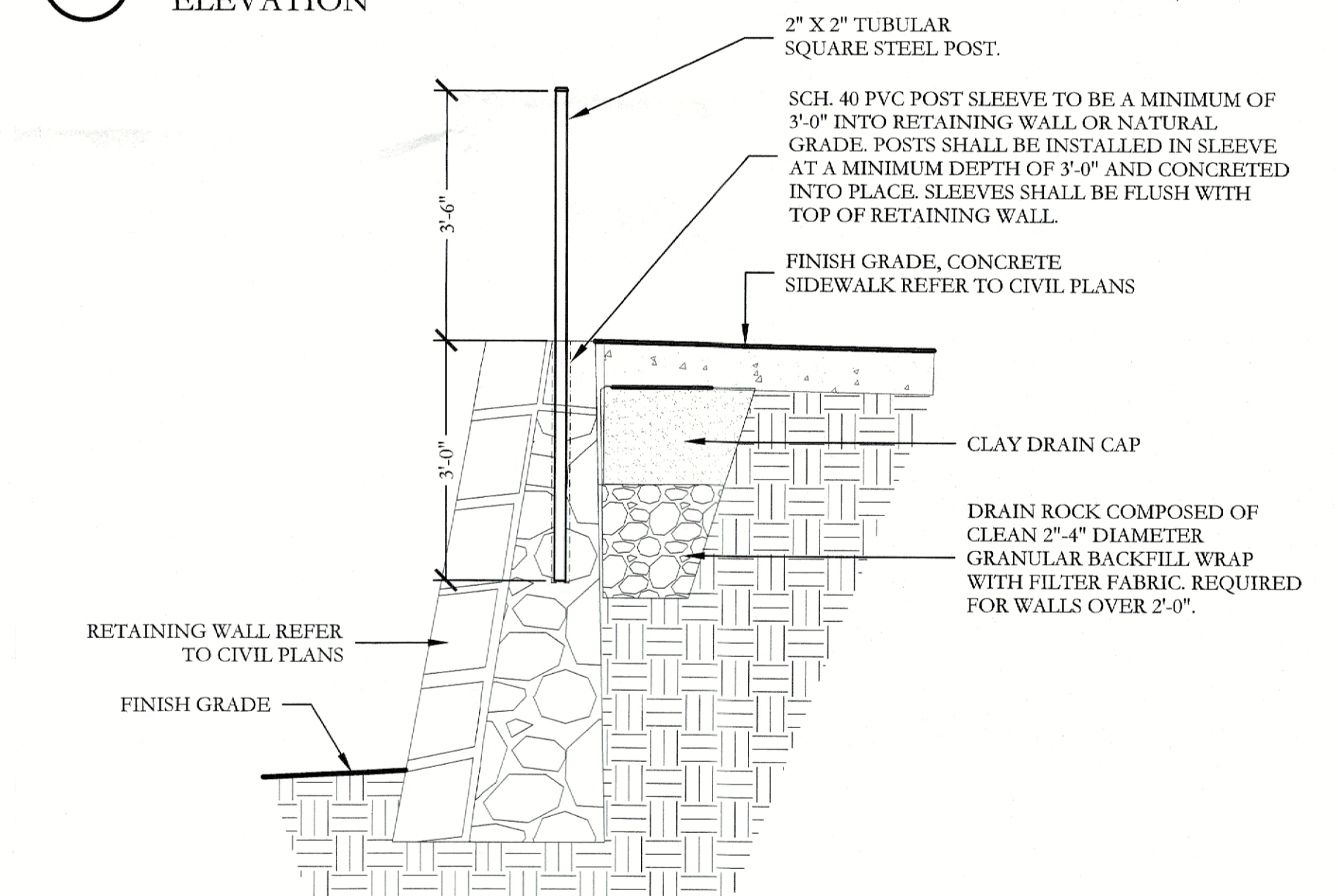
PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



4 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL ELEVATION

SCALE: 1/2" = 1'-0"

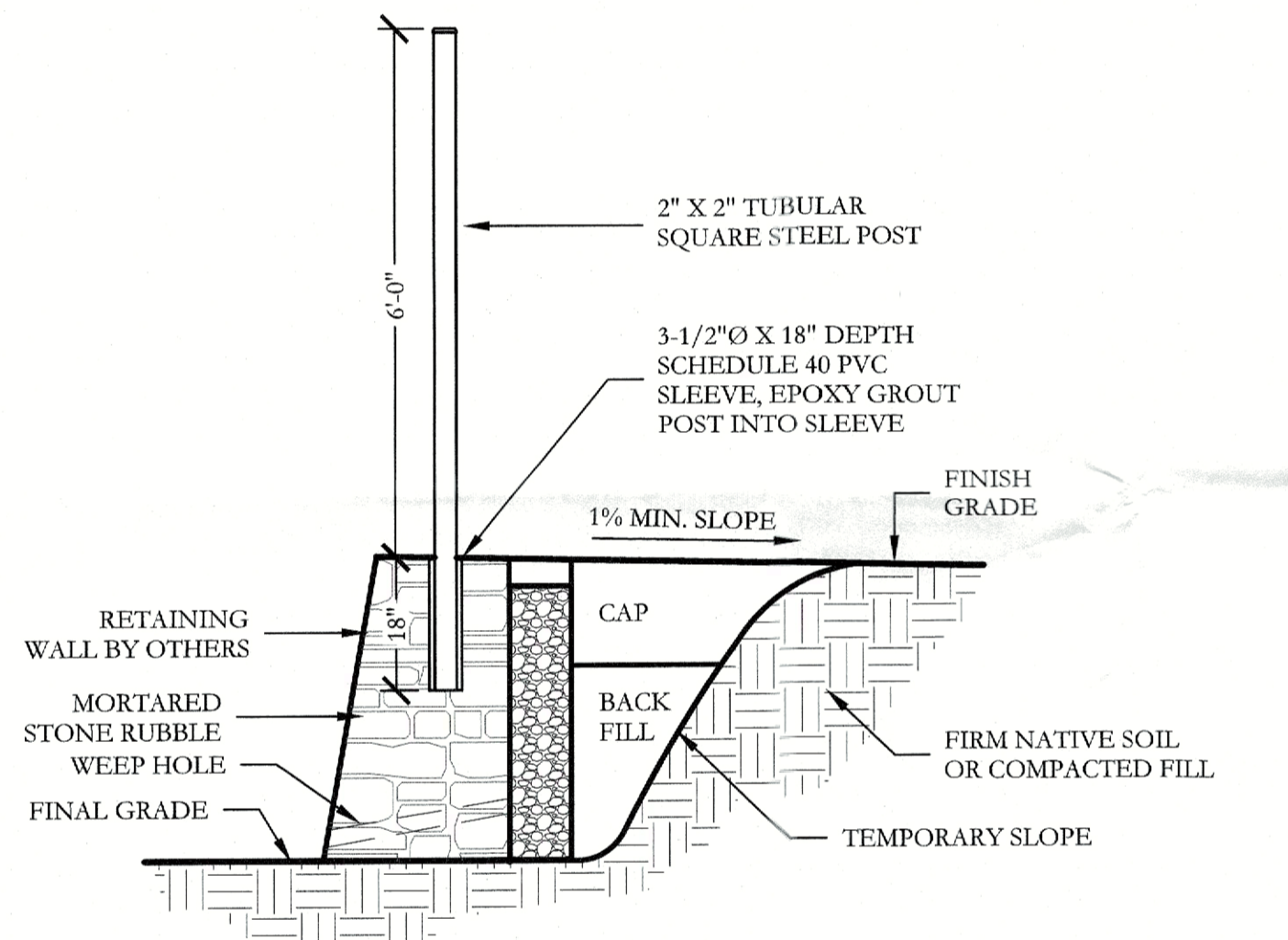


5 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL SECTION

SCALE: 1/2" = 1'-0"

ORNAMENTAL METAL FENCE NOTES

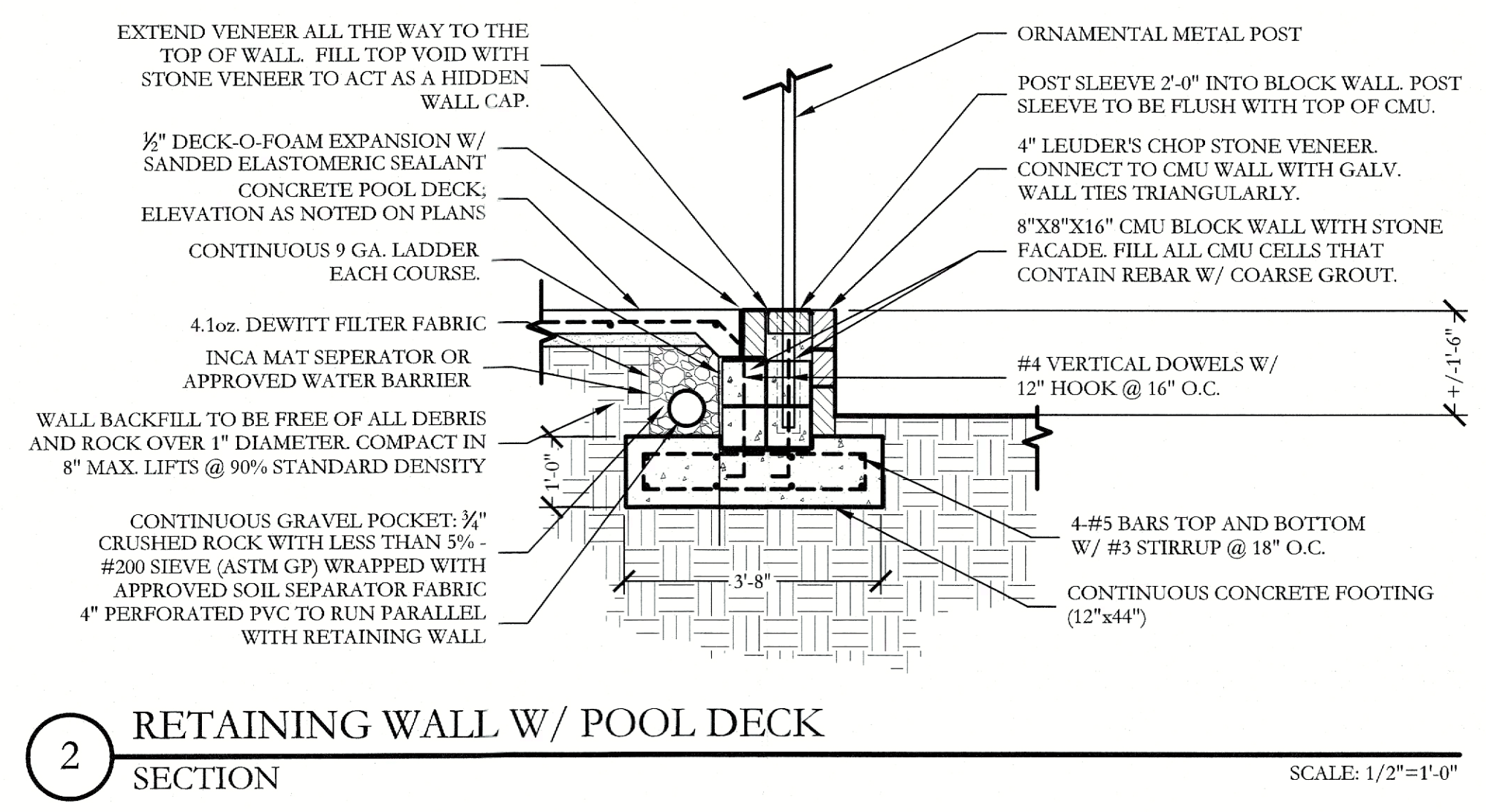
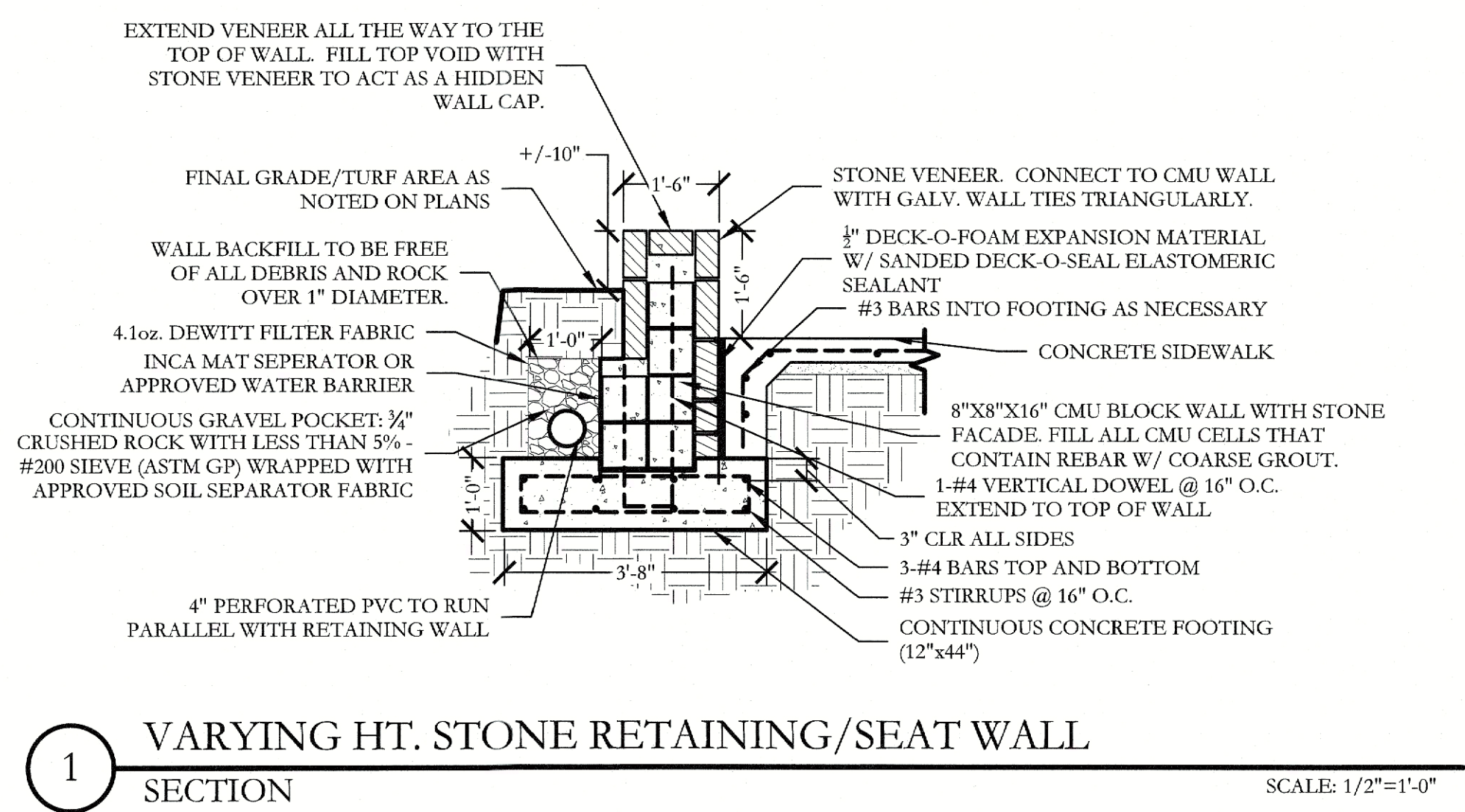
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
6. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (6W7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
8. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL, 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
9. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 9.1. PICKETS, 3/4" SQUARE 16 GA.
 - 9.2. RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
 - 9.3. POSTS, 2" SQUARE 11 GA.
10. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
12. GATE IS TO BE SELF CLOSING. FALCON B561DBD626 SATIN CHROME DANE SPIC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C AND A MAXIMUM DISTANCE OF 7'-0" O.C.
14. POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
15. LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
16. RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL



2 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION

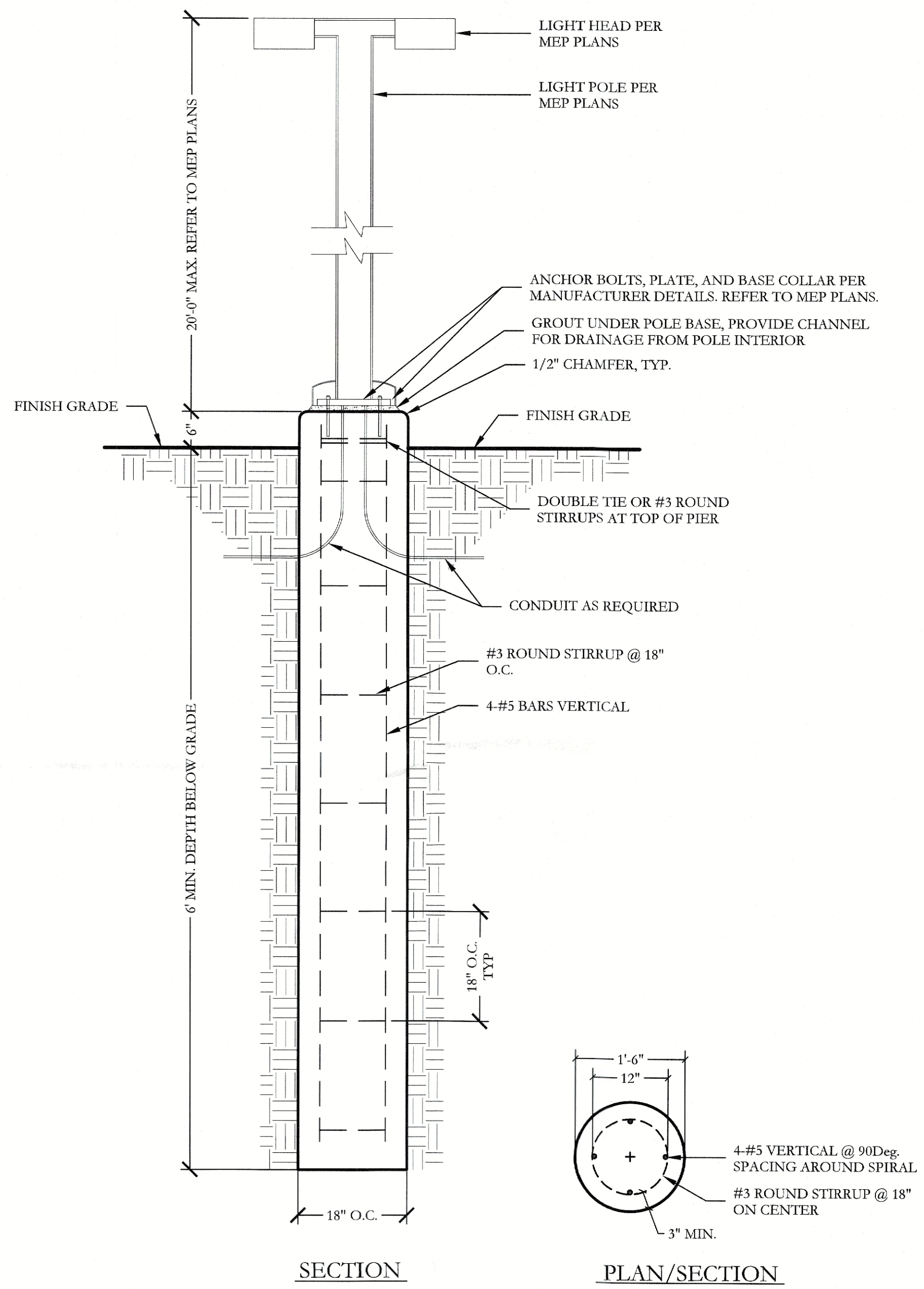
SCALE: 1/2" = 1'-0"

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RET. WALL NOTES

- 1- WALL DESIGN NOT BASED ON LOADING FROM STRUCTURAL OR VEHICULAR SURCHARGES OR VISIBLE SIGNS OF GROUNDWATER.
- 2- VERTICAL EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 25'.
- 3- BACKFILL MATERIAL TO CONSIST OF LOW P.I. SOILS FREE OF ORGANIC DEBRIS.
- 4- DESIGN BASED ON MINIMAL WIND LOADING TO ATTACHED ORNAMENTAL FENCING.
- 5- MORTAR SHALL BE TYPE M BASED ON ASTM C270 WITH REINFORCING STEEL CONSISTING OF FY=60KSI PER ASTM A615.
- 6- BASED ON EXTREME DROUGHT CONDITIONS IN THE AREA, WATERING OF ADJACENT SOILS (AS NEEDED) IS REQUIRED FOR PROPER MAINTENANCE OF ALL STRUCTURES.



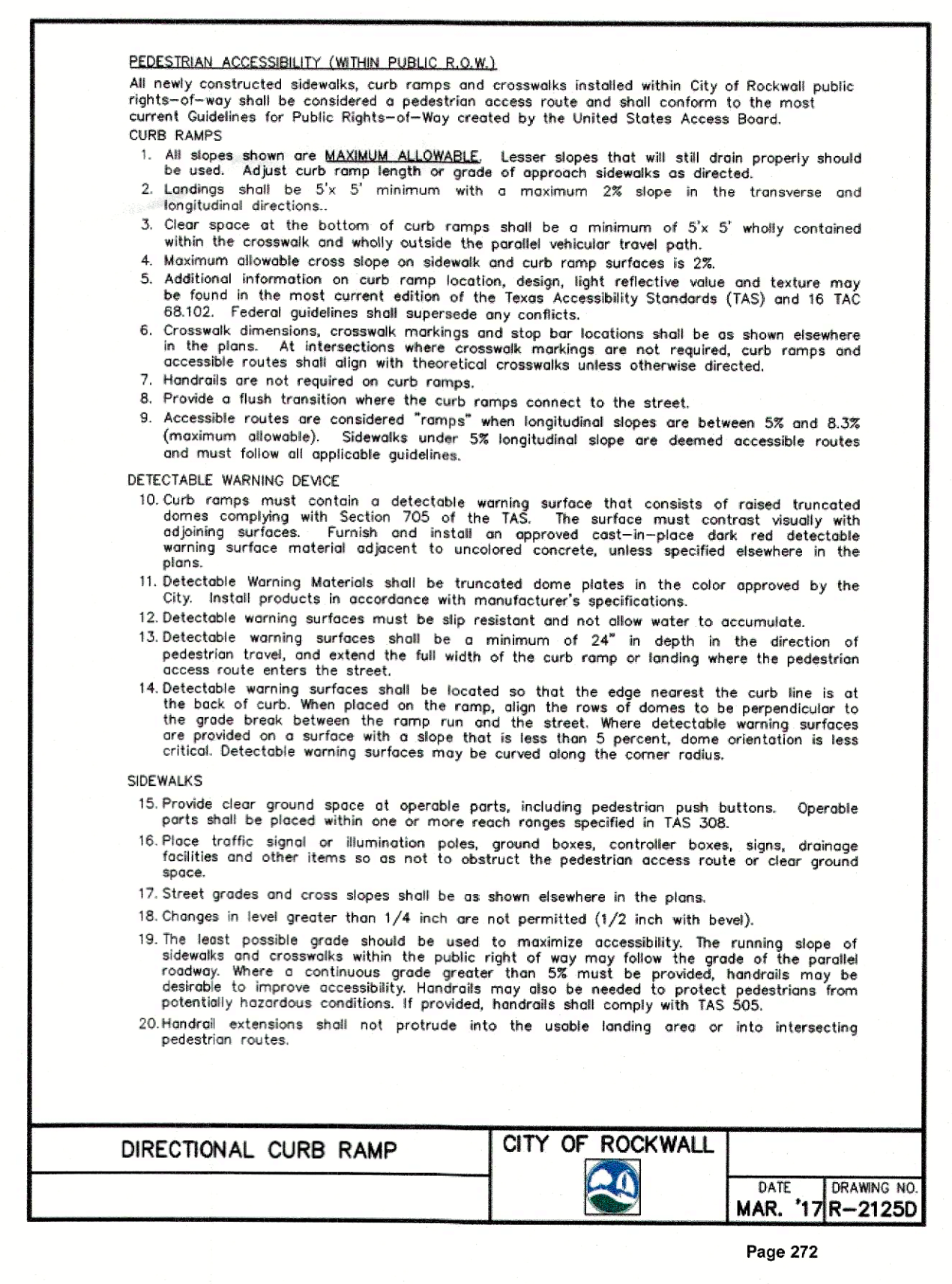
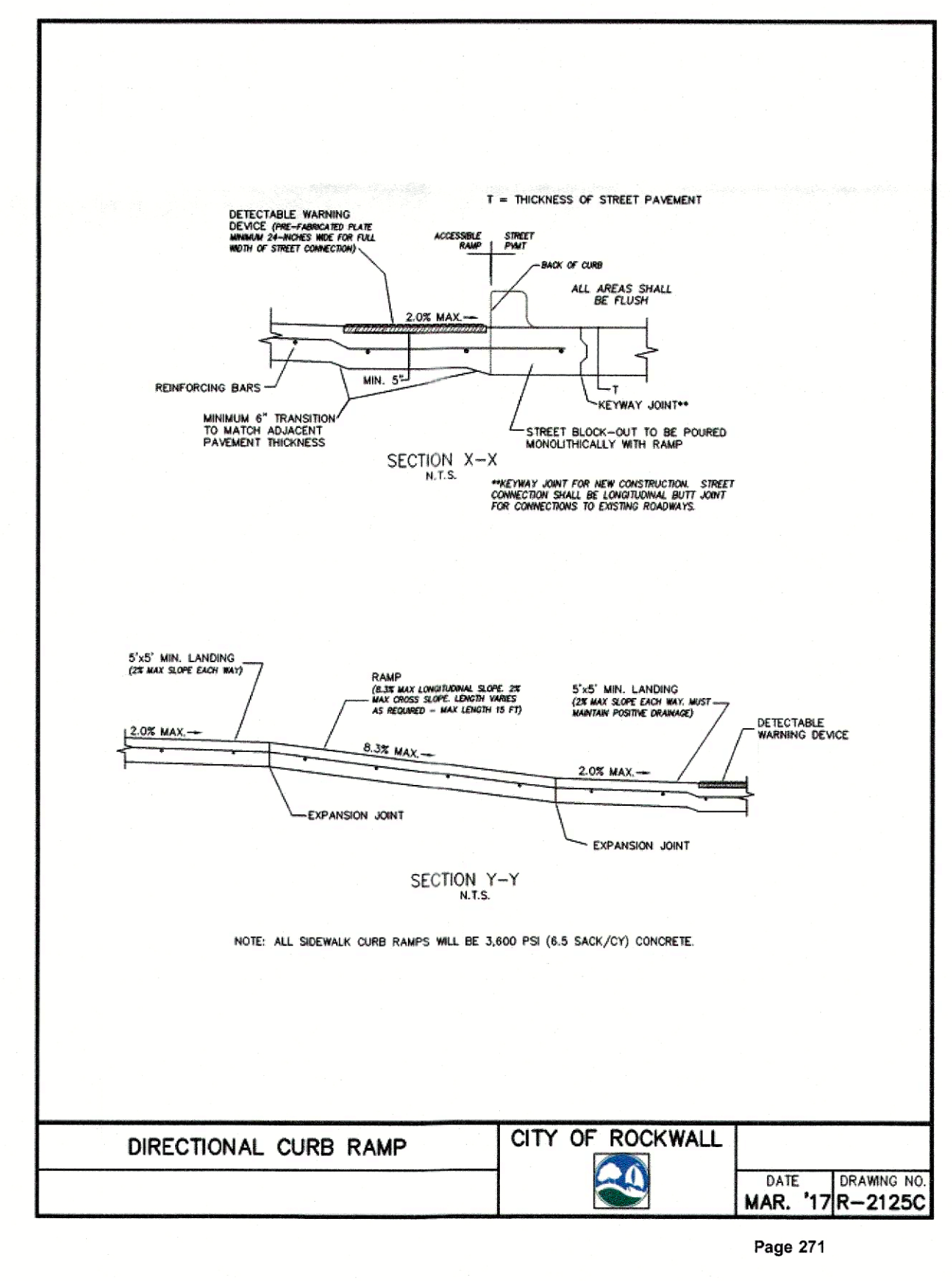
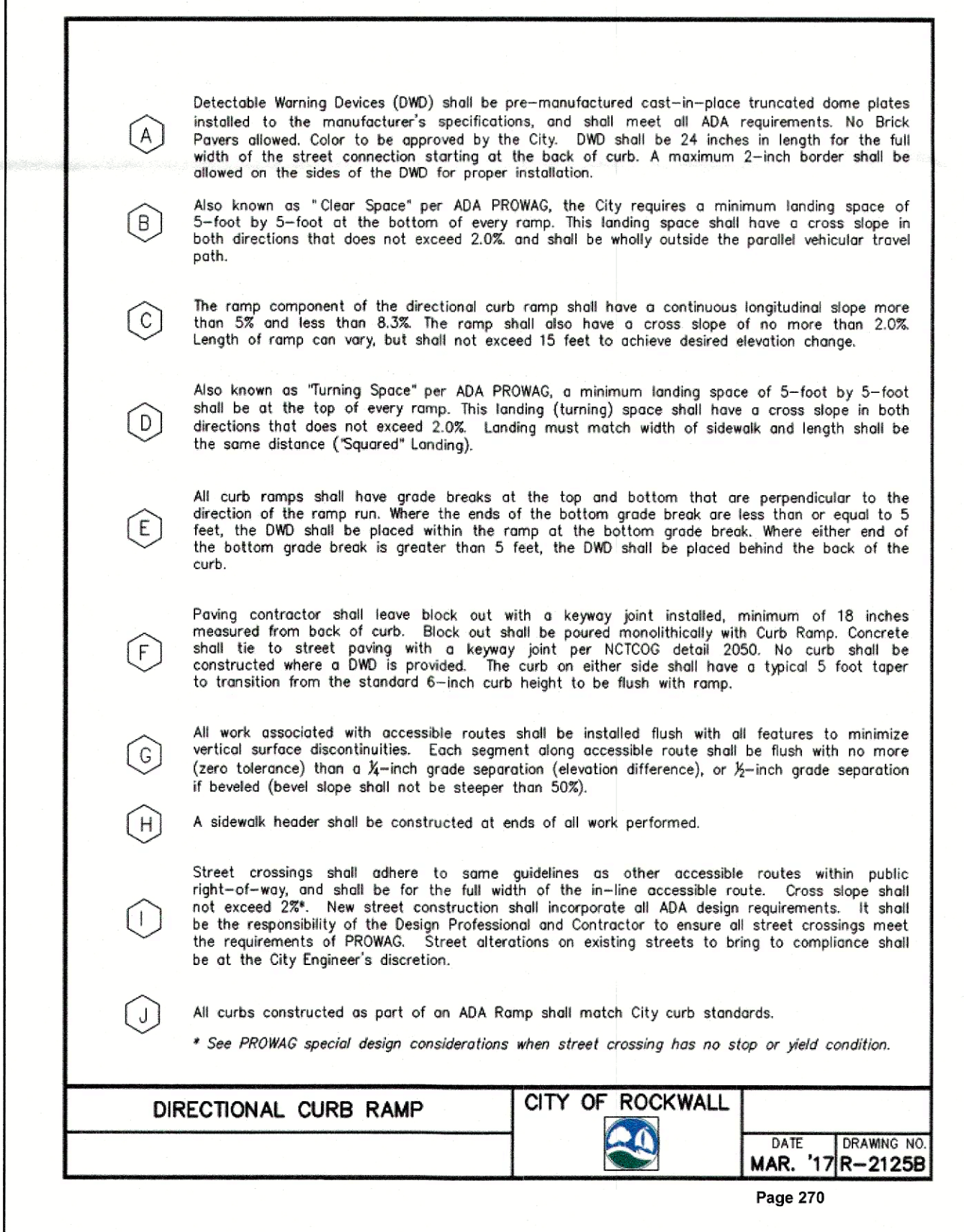
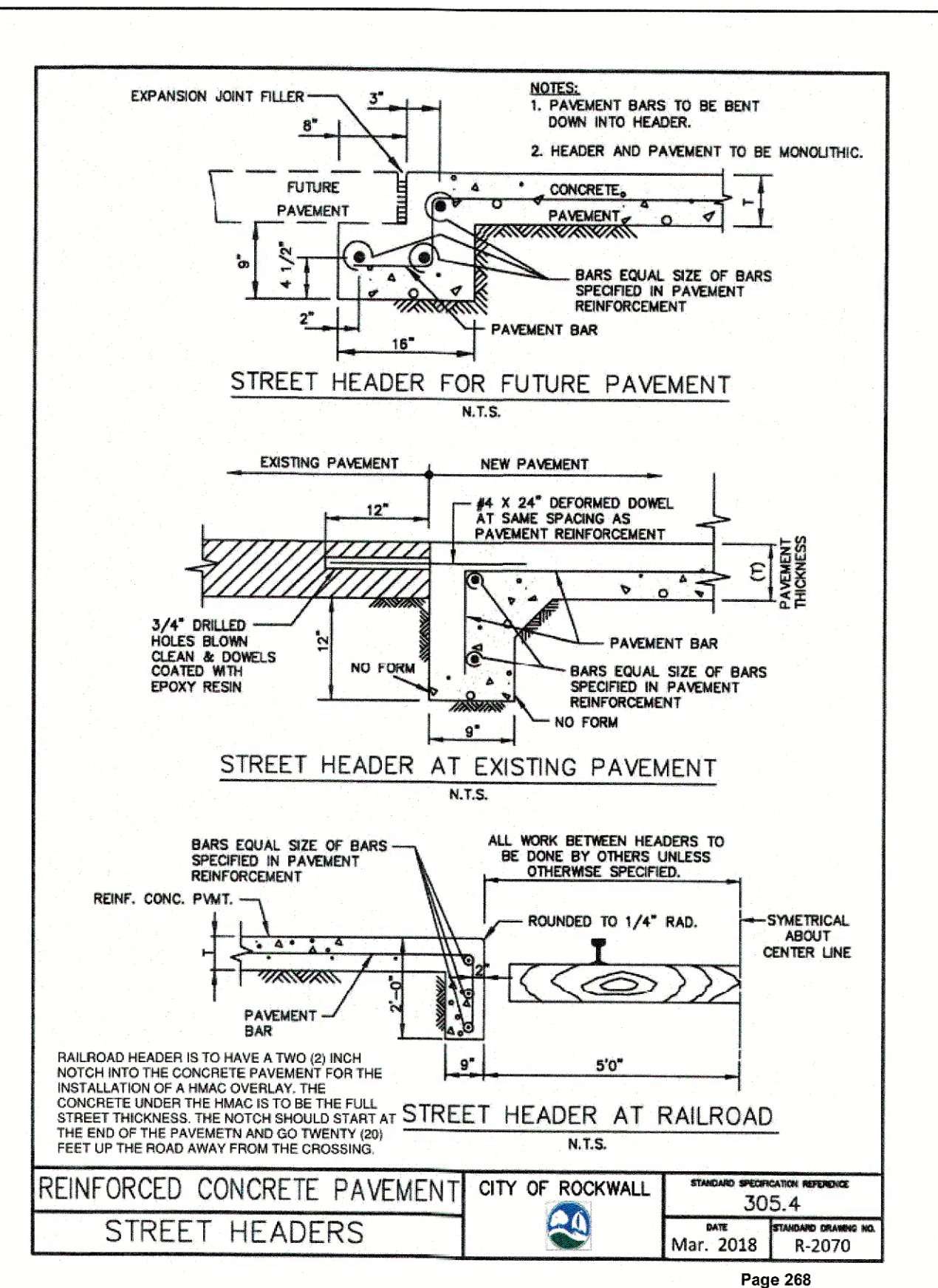
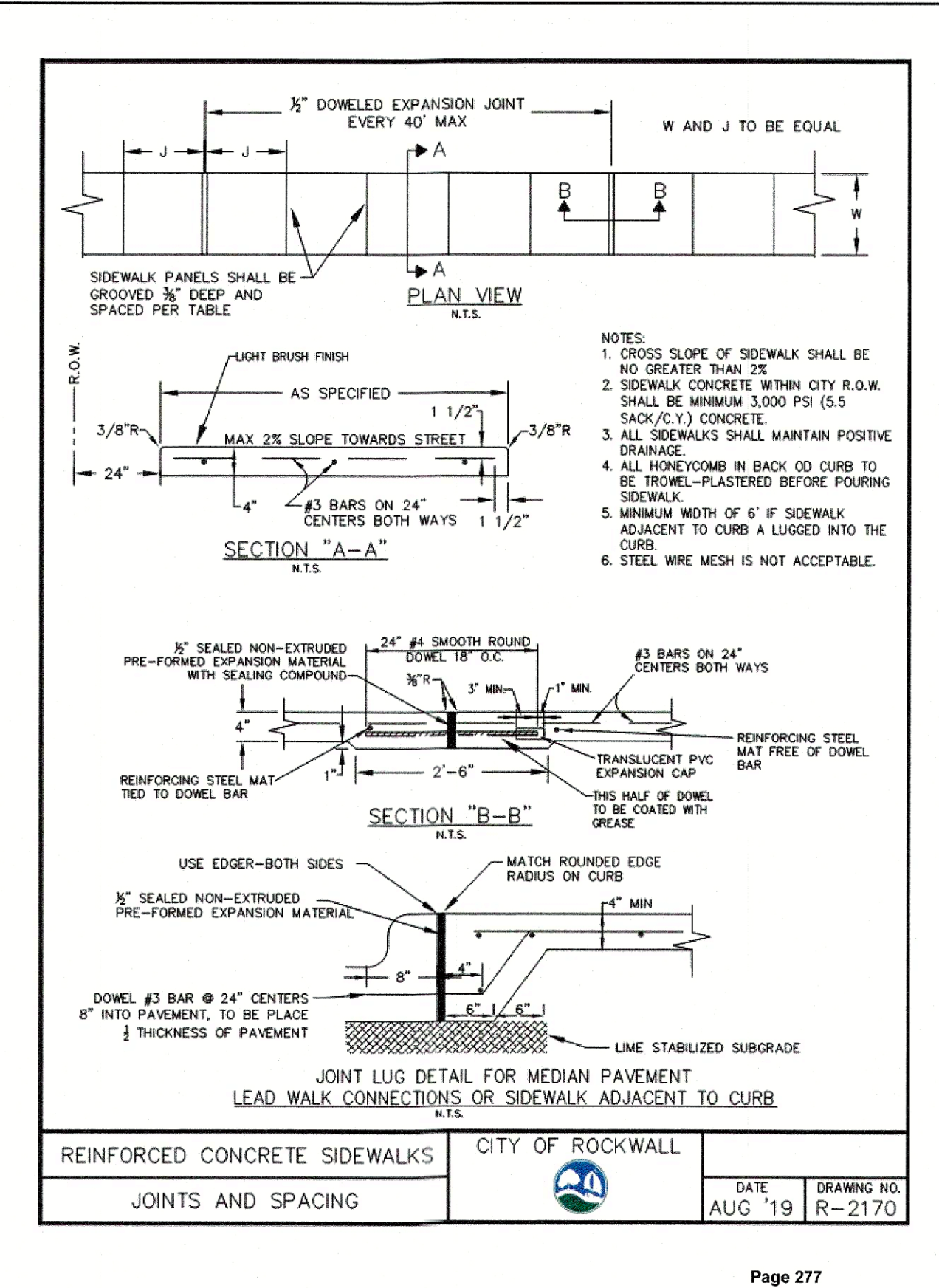
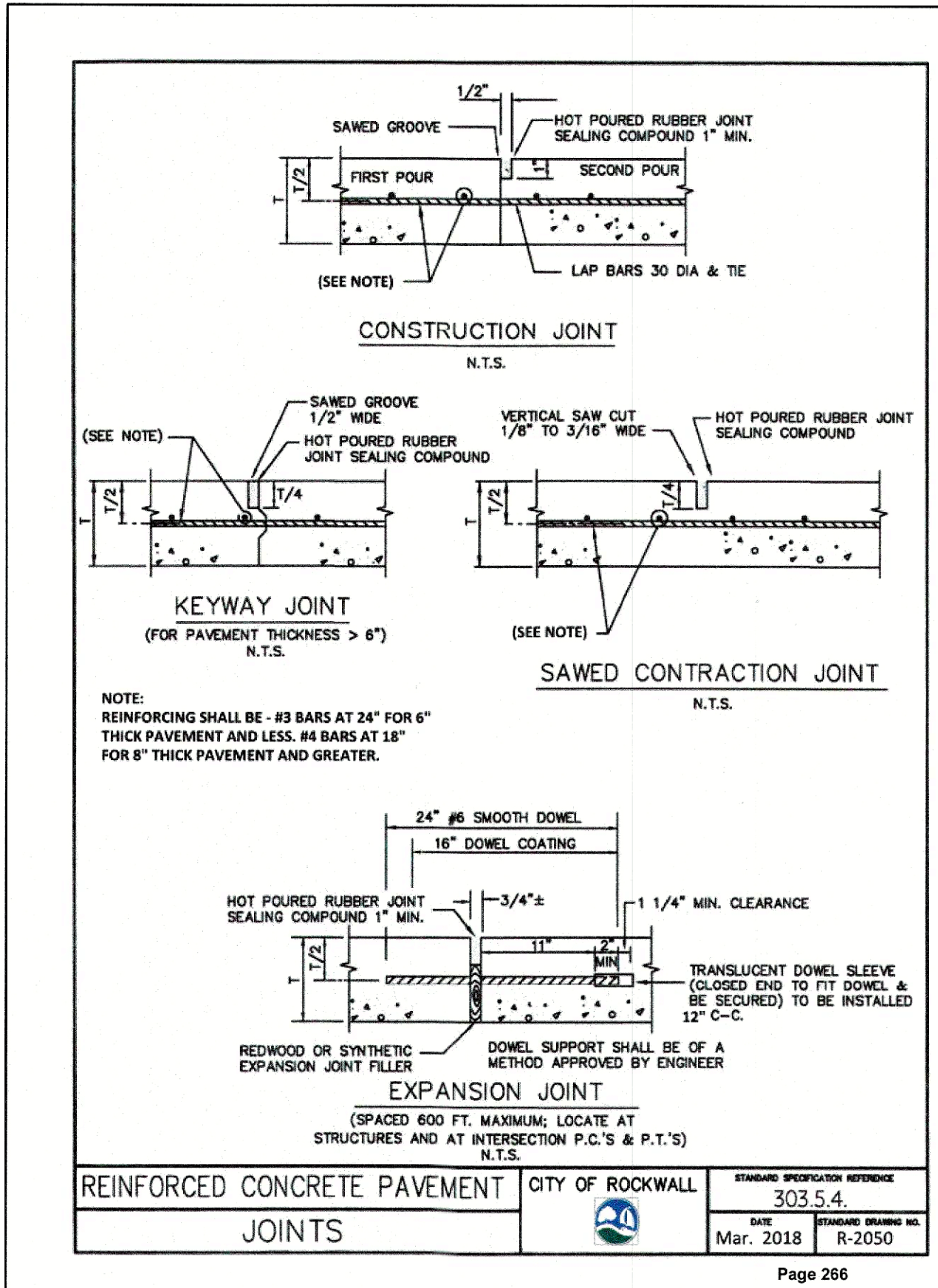
SECTION
 PLAN/SECTION
 SCALE: 3/4" = 1'-0"

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WITNESS OUR HANDS, this 9 day of July, 2024.

[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning and Zoning

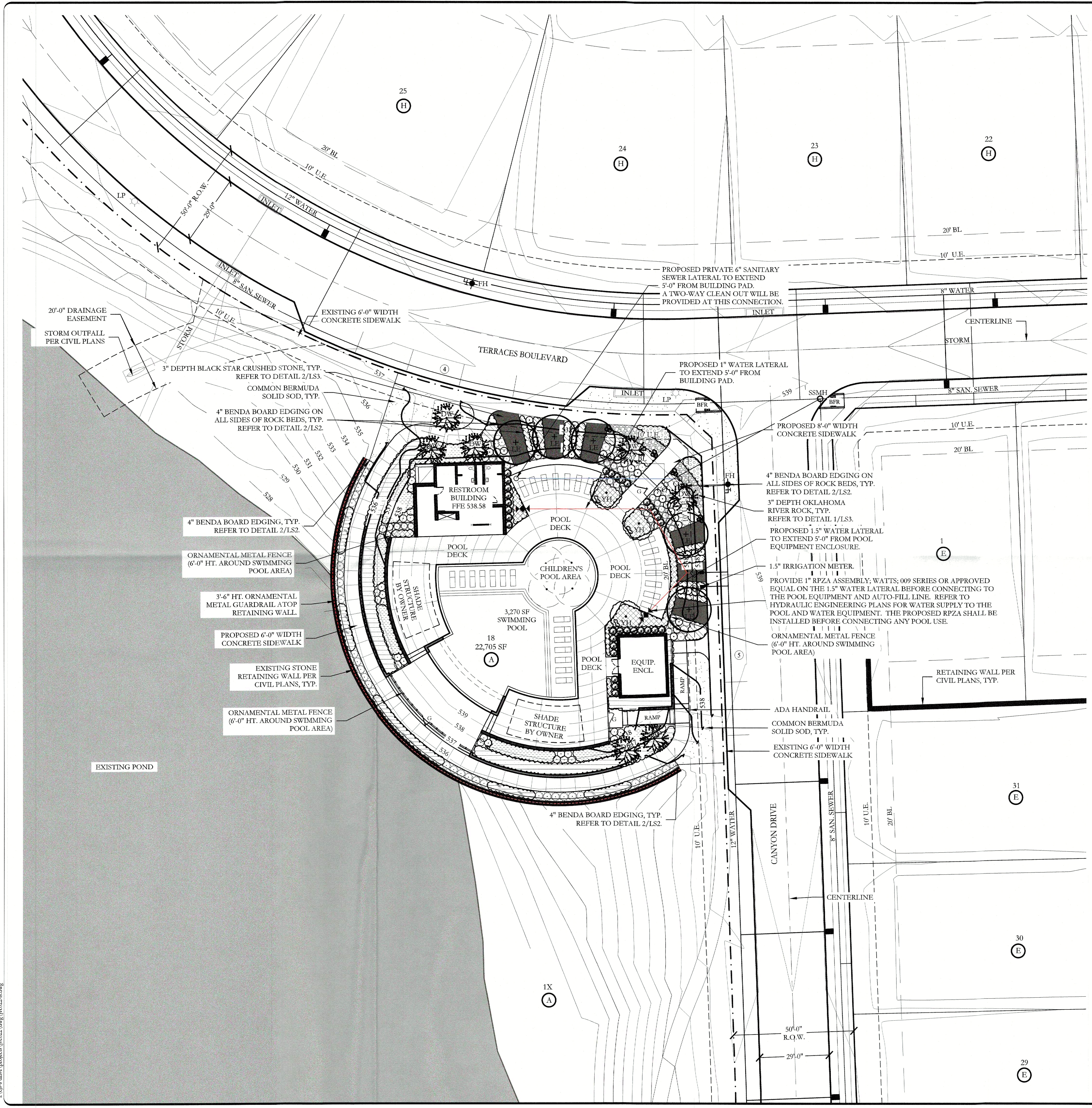


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Director of Planning and Zoning



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRTICA PUSILLA	5 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 0.52 ACRES
 22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET
 BUILDING HEIGHT: 19'-8" (1 STORY)
 POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET
 POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 [1,652/22,705]
 LOT COVERAGE: 7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF
 PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%
 INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

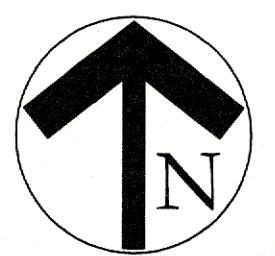
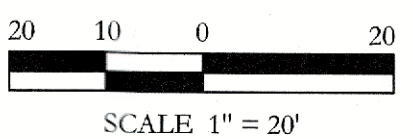
NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

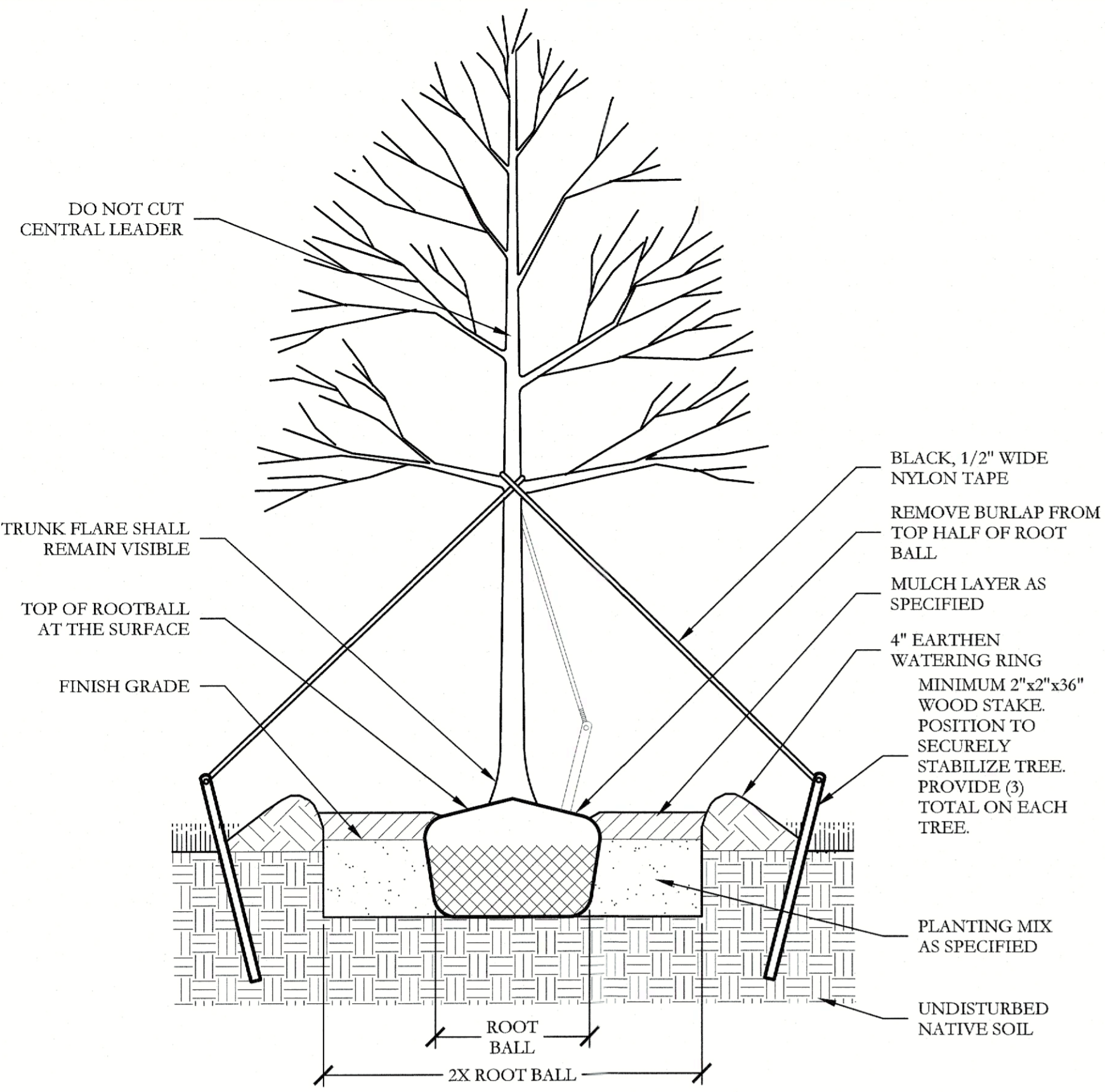
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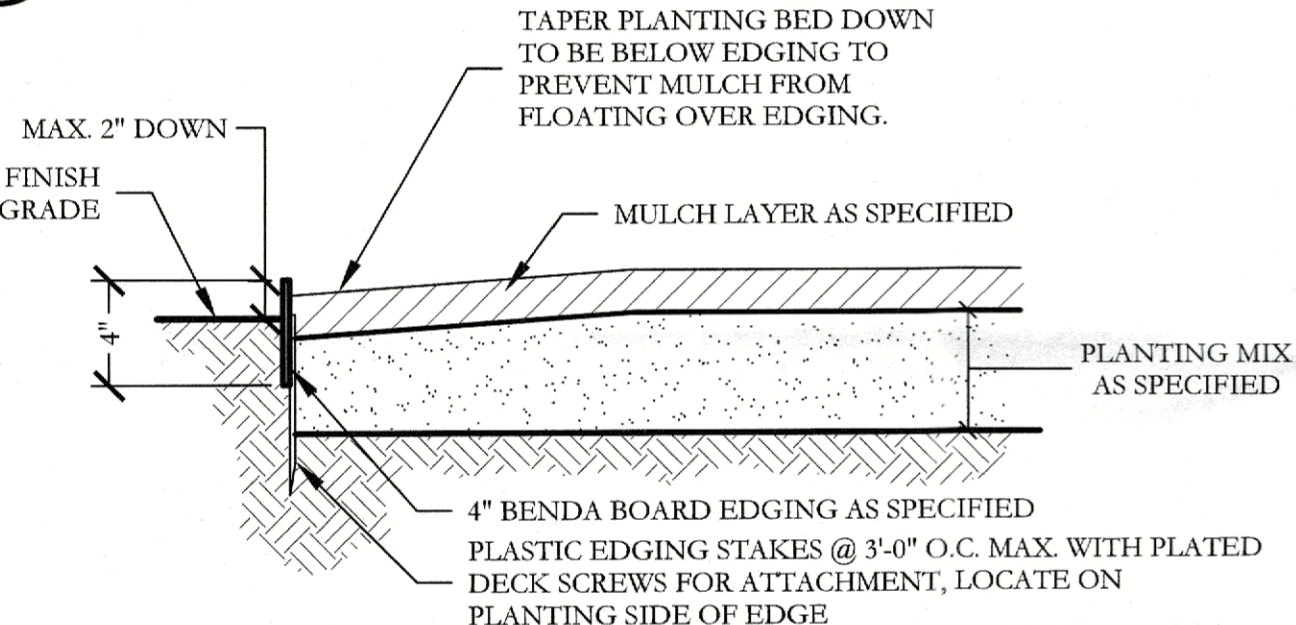
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Planning & Zoning Commission Chairman
 Director of Planning and Zoning

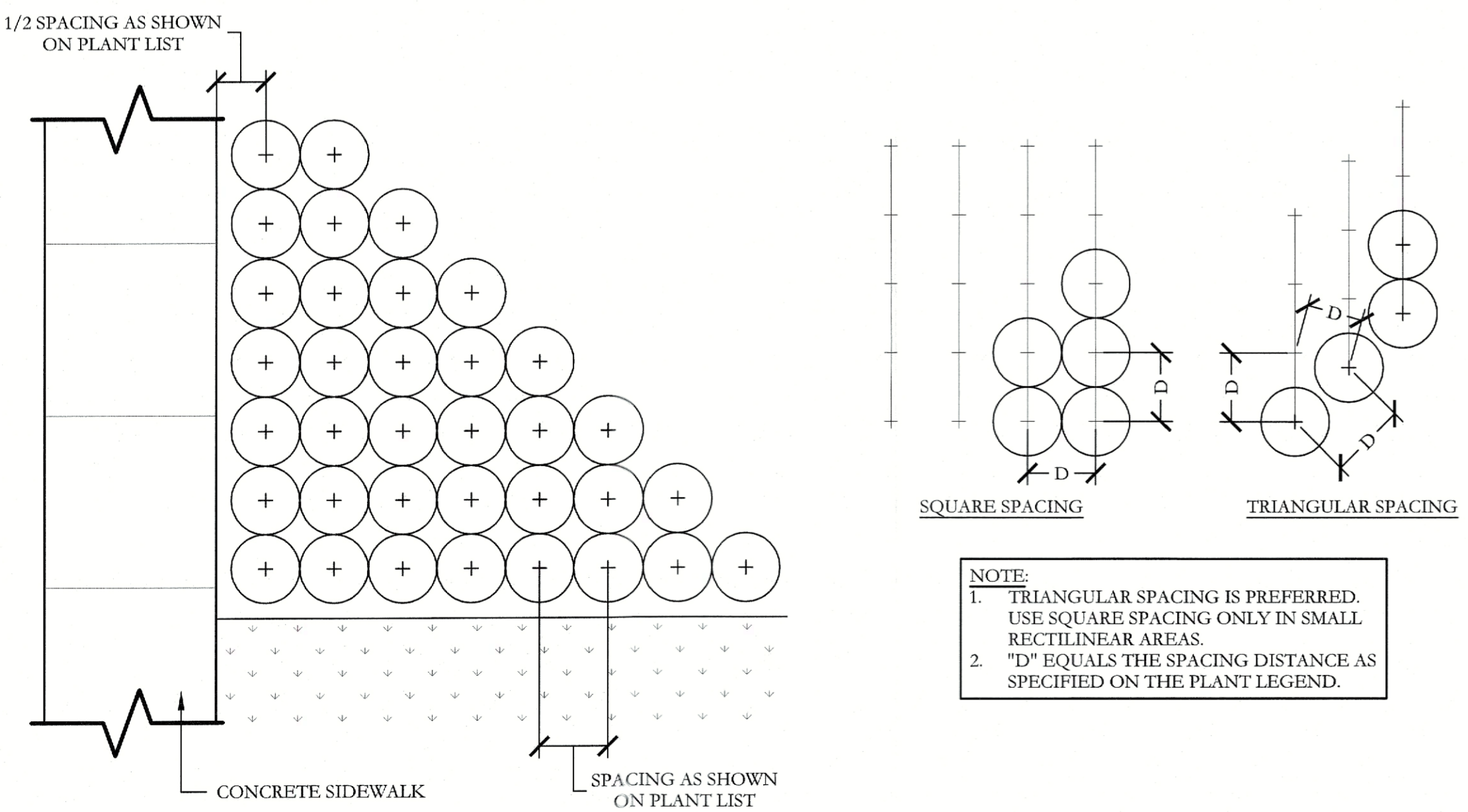




1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LE	5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
YH	3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	32	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	30	DWARF WAX MYRTLE	MYRTICA PUSILLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	410	MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	335	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1/2" - 1" DIAMETER IN SIZE.
	210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE, BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

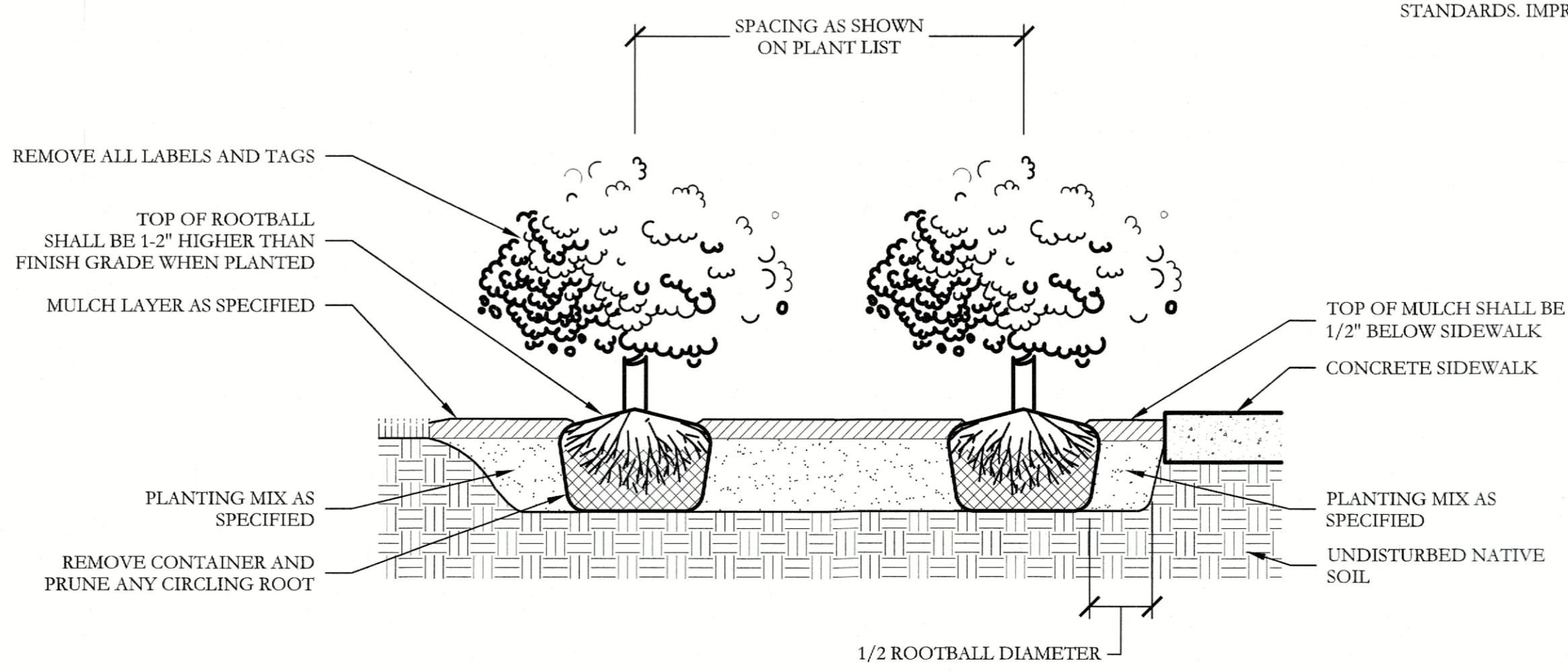
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILED AND TURNED TO A DEPTH OF 6" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

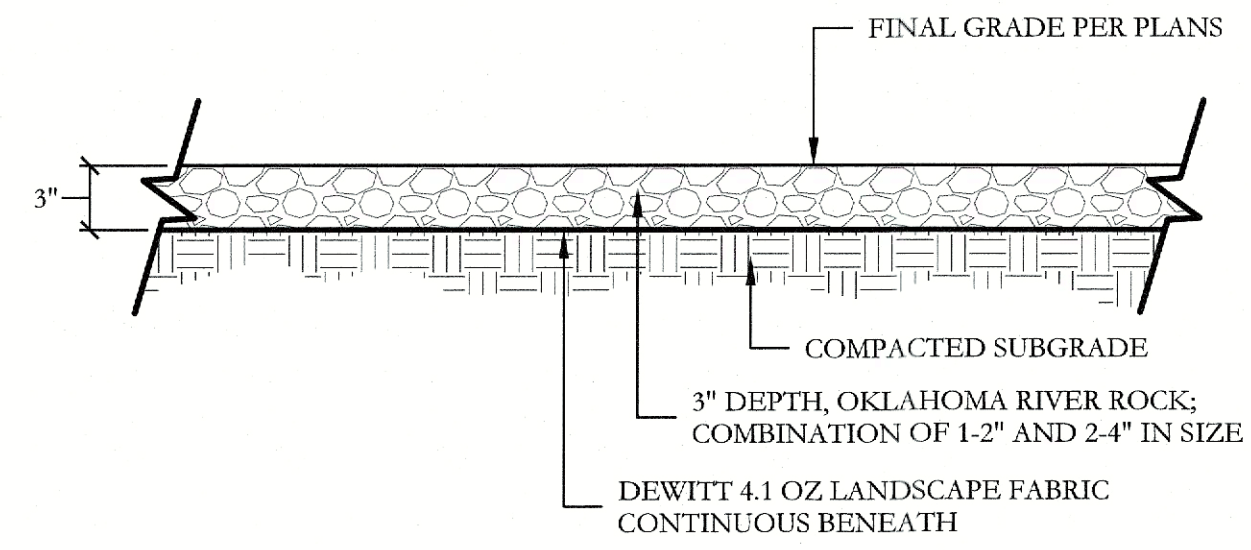
- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



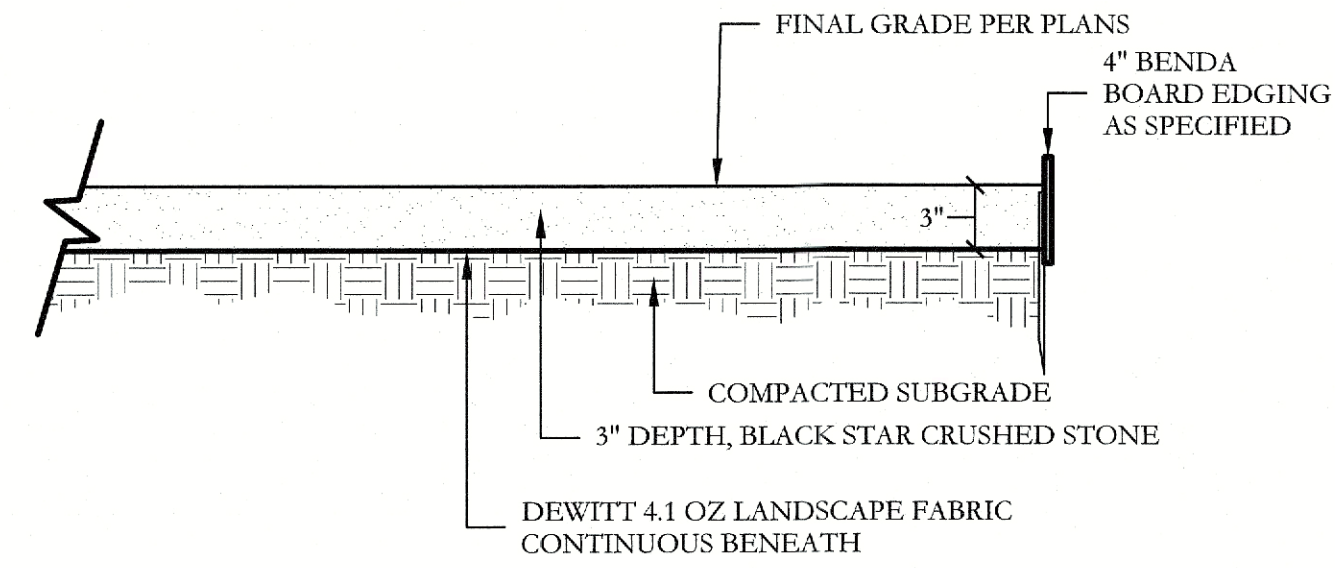
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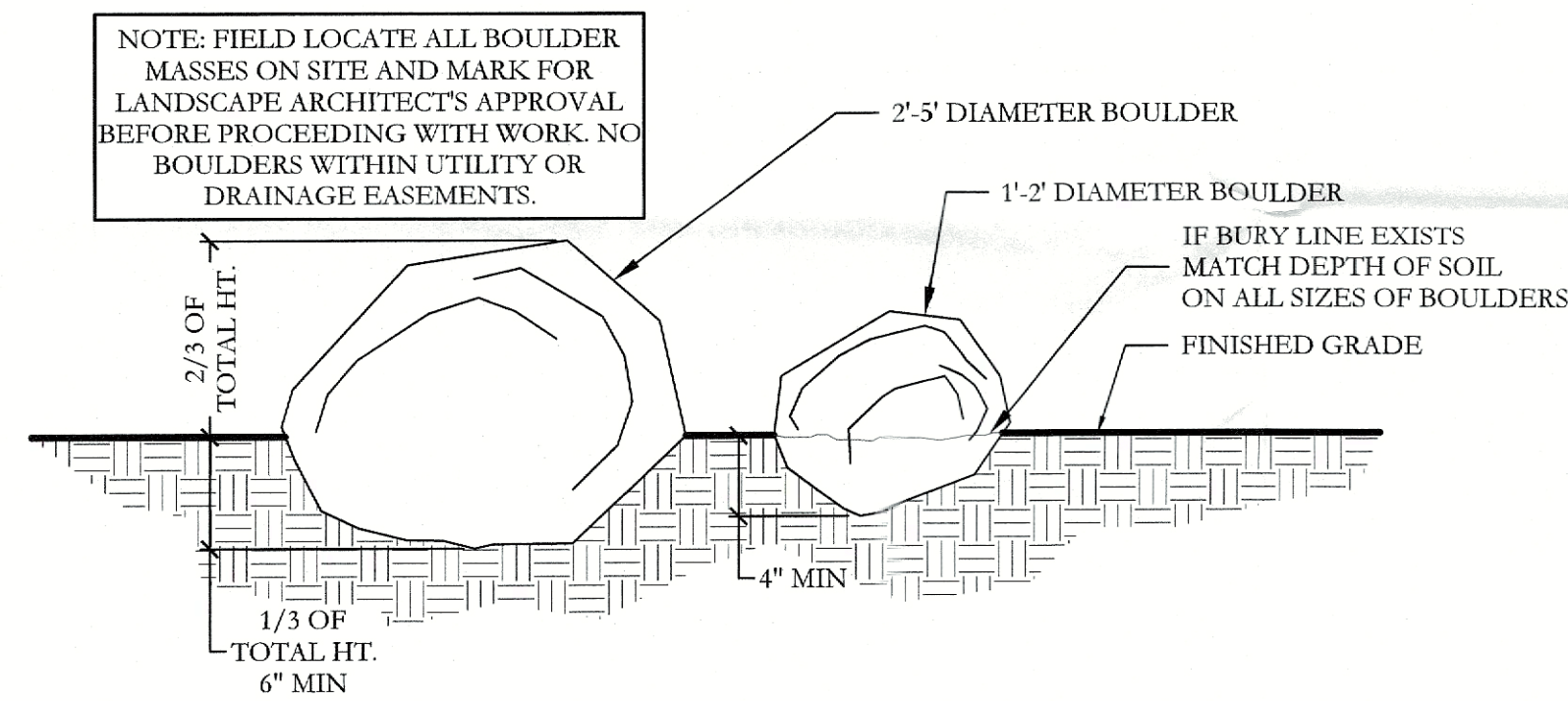
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 [Signature] Planning & Zoning Commission, Chairman
 [Signature] Director of Planning and Zoning



1 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"



3 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

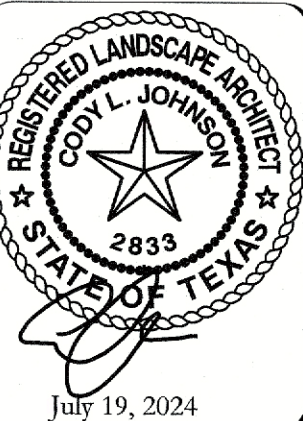
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[Signature]
Director of Planning and Zoning



SCALE:
REFER TO
DETAILS
One Inch
JVC No JVC022

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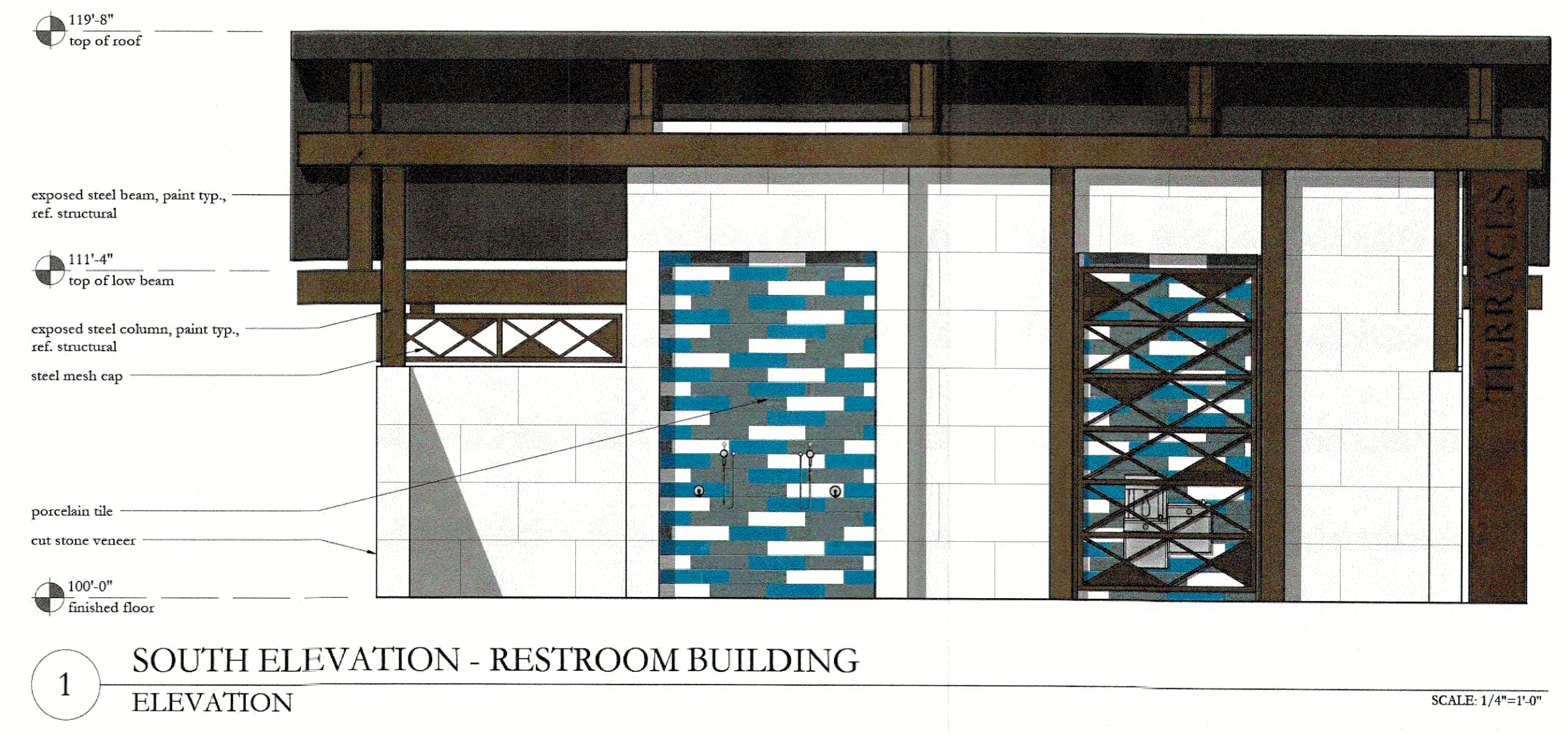
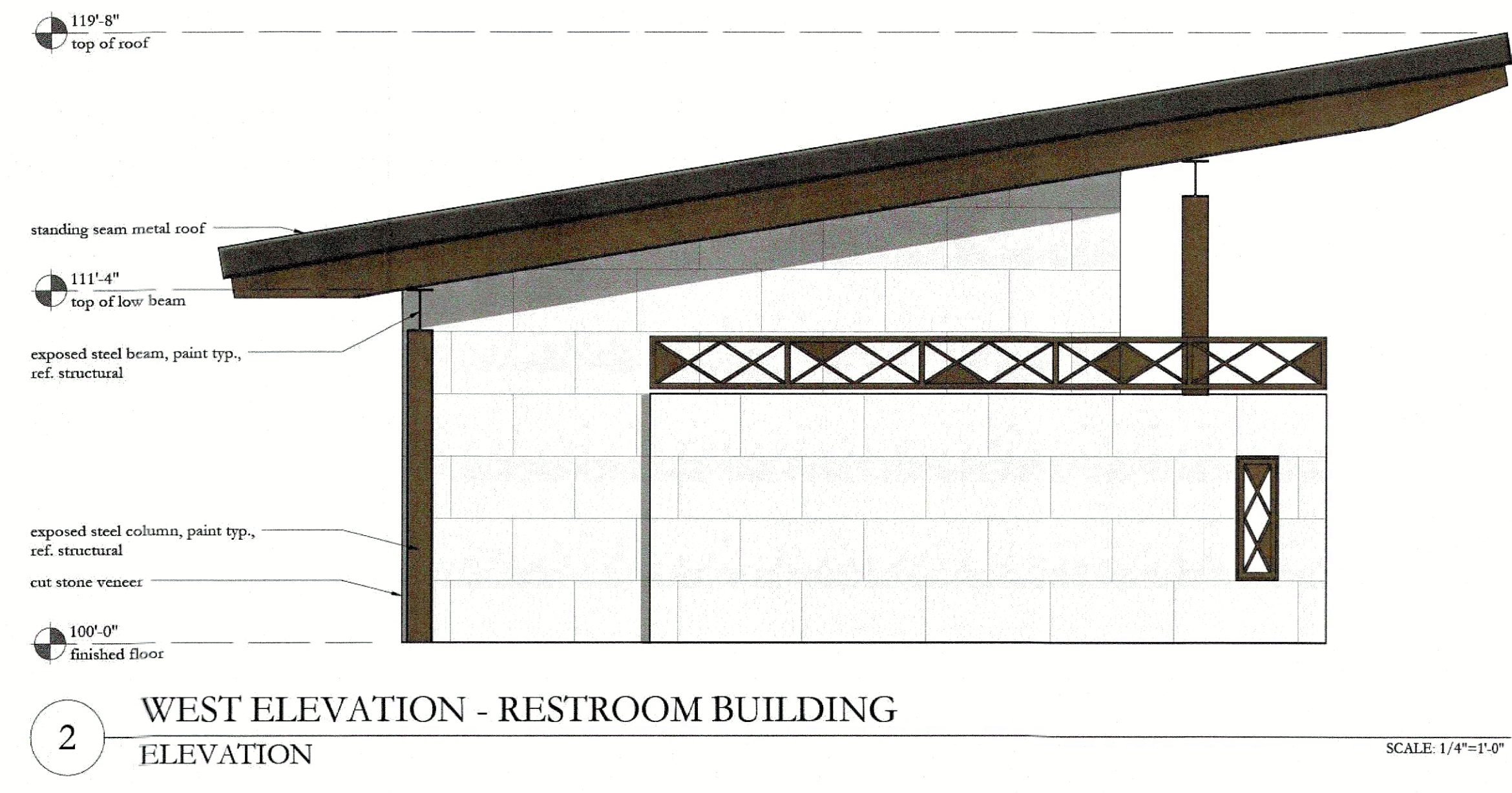
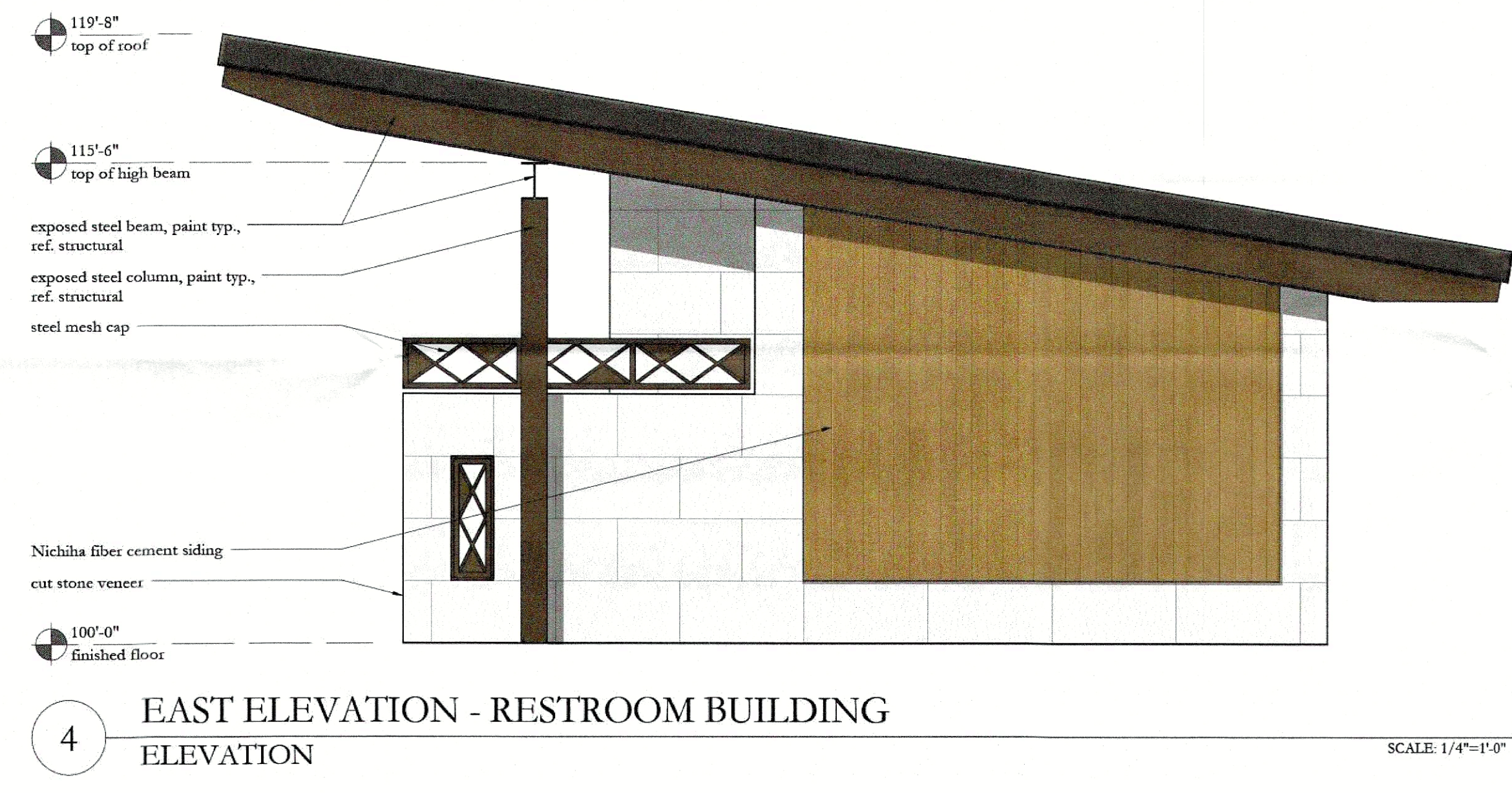
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BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	438 S.F.	-	535 S.F.	-	385 S.F.	-	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	187 S.F.	48.57%	-	-
SECONDARY MATERIALS	-	-	165 S.F.	30.84%	-	-	-	-
TILE AT SHOWER/DRINKING FOUNTAINS	-	-	165 S.F.	30.84%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	-	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS



TERRACES
 AMENITY CENTER
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

AMENITY CENTER FACILITY
 EXTERIOR ELEVATIONS - RESTROOM
 BUILDING

SCALE:
 REFER TO PLANS
 One Inch
 JVC No JVC022
 A3.00 - SD

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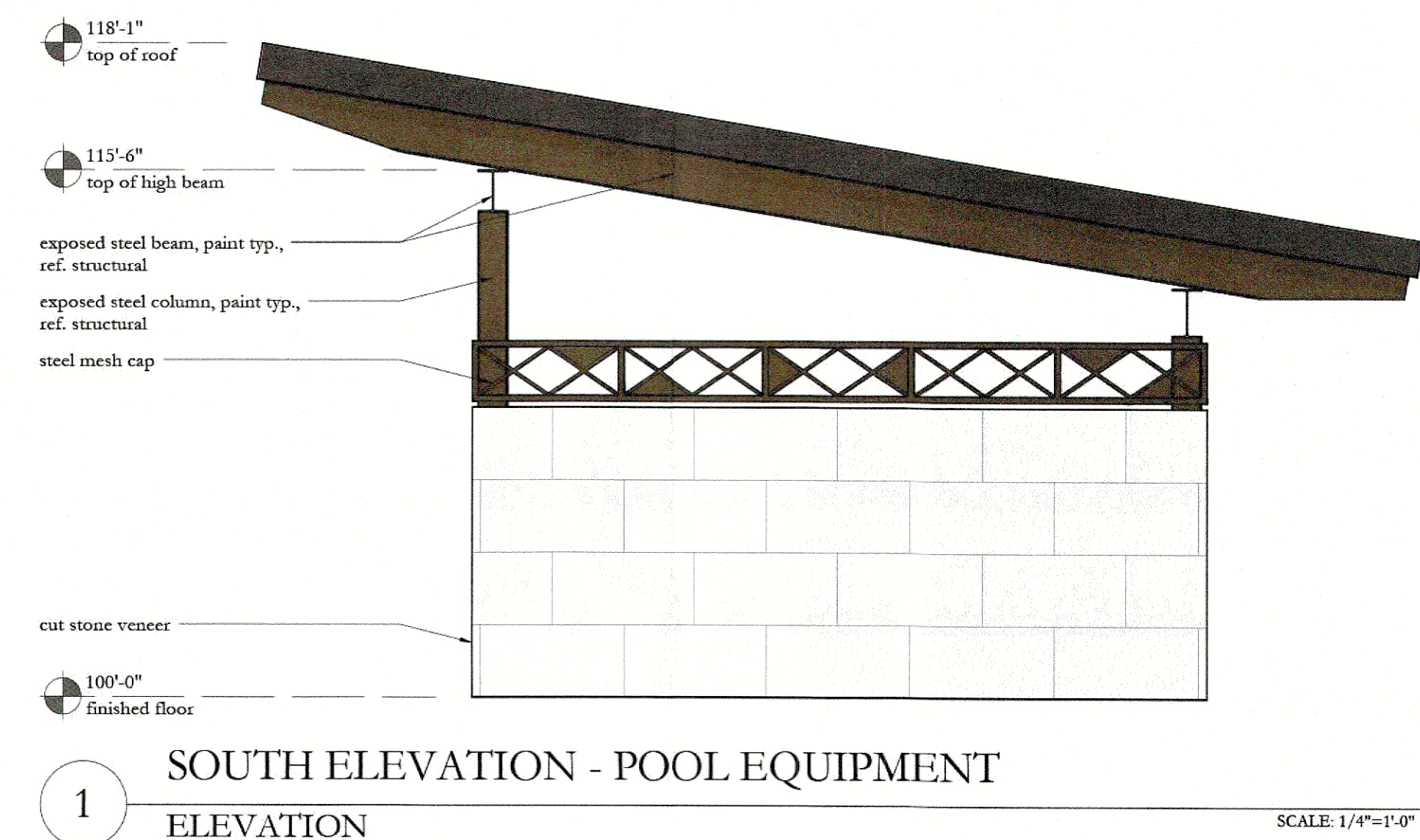
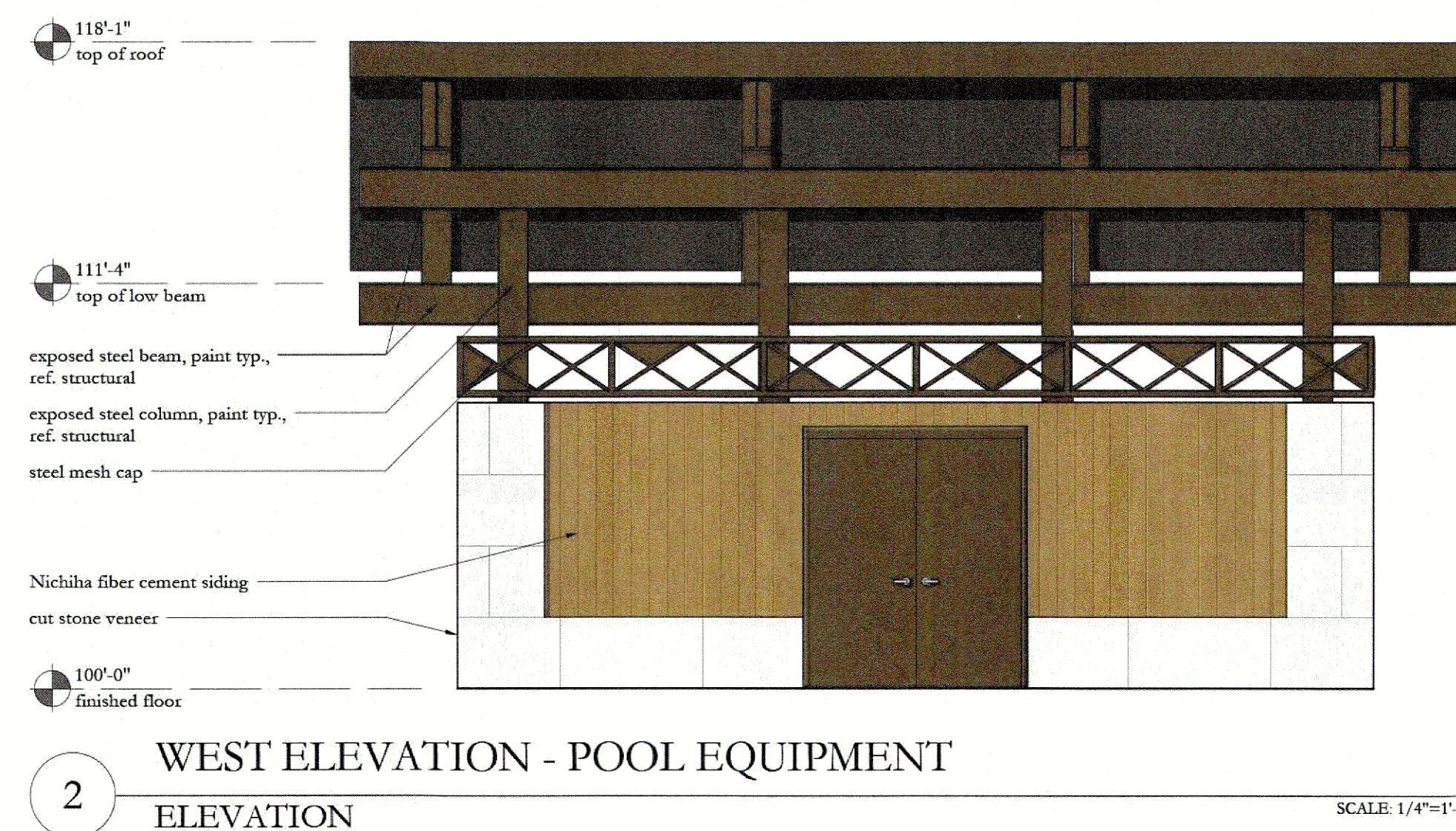
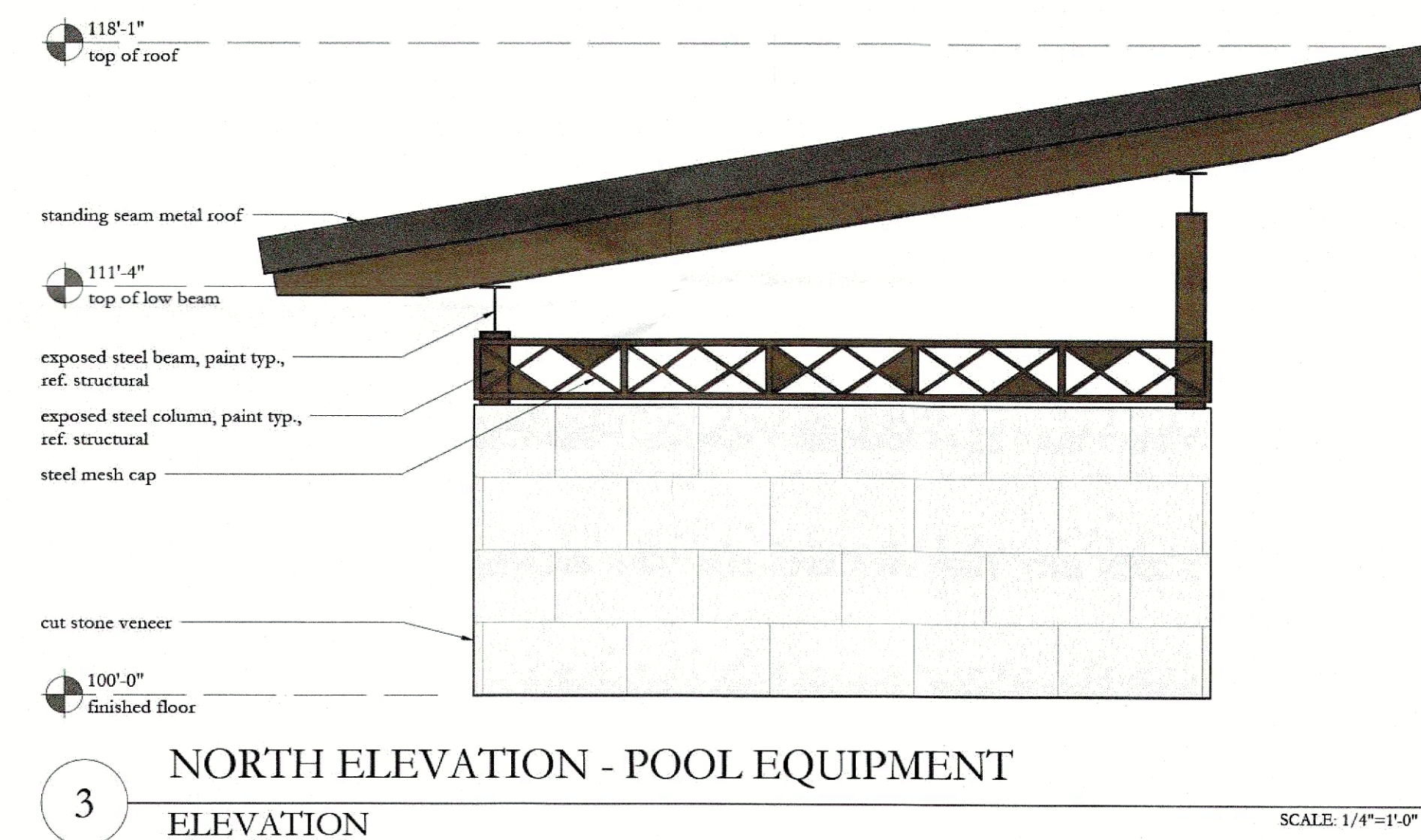
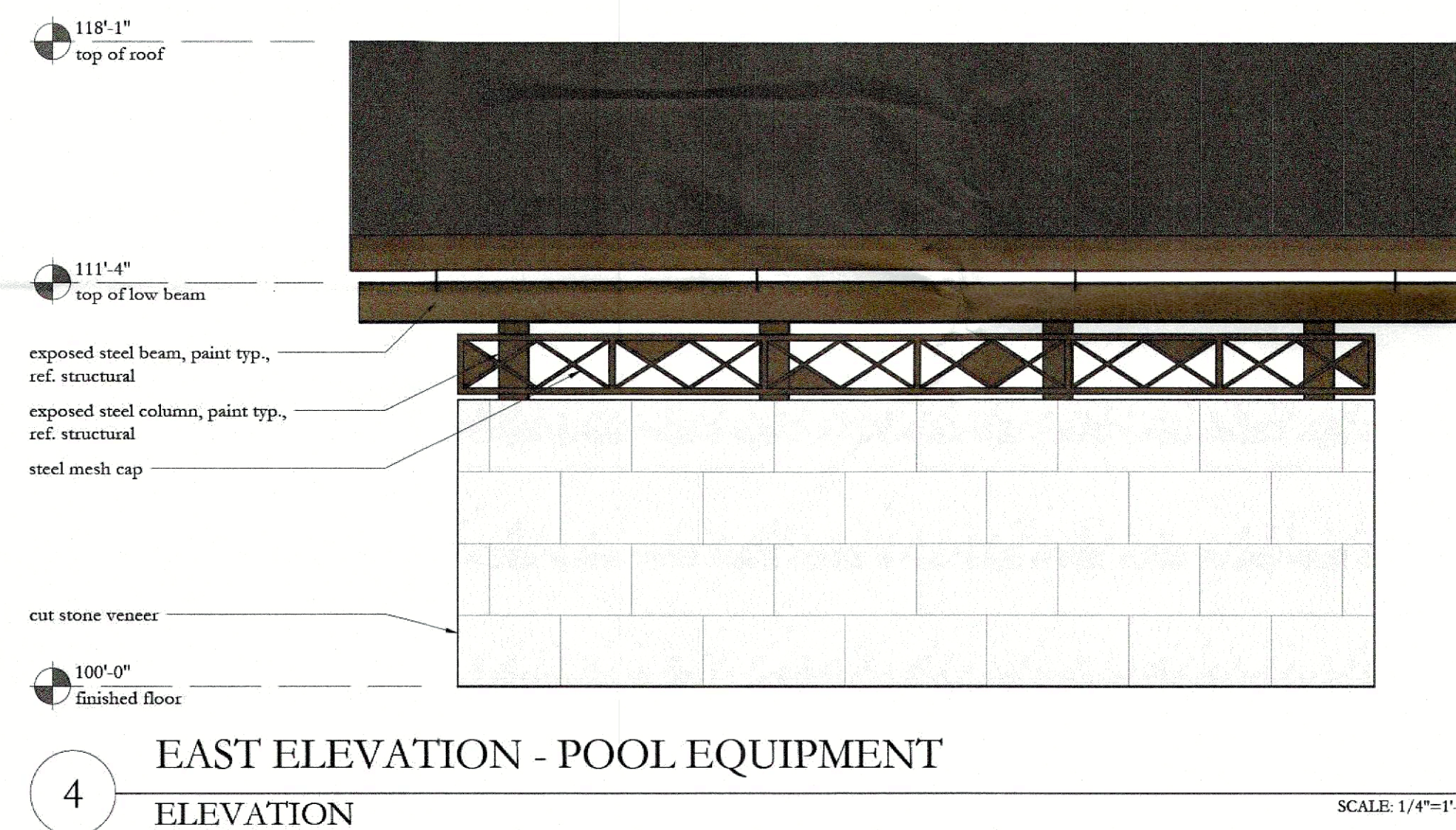
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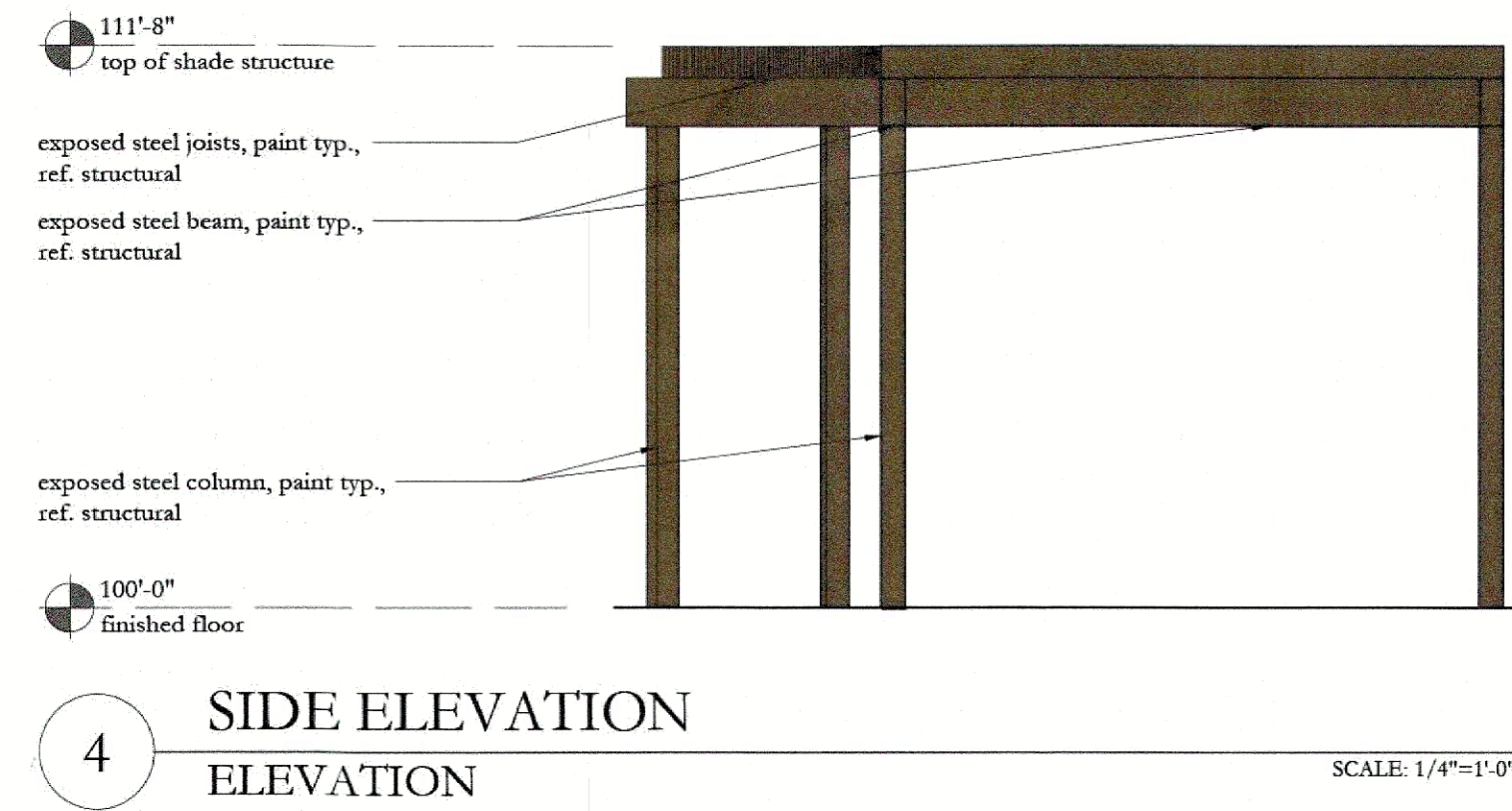
BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	164 S.F.	-	164 S.F.	-	206 S.F.	-	206 S.F.	-
PRIMARY MATERIAL TOTALS	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
CUT STONE VENEER	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
NICHIIHA FIBER CEMENT SIDING	-	-	-	-	-	-	91 S.F.	56.87%
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	46 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS

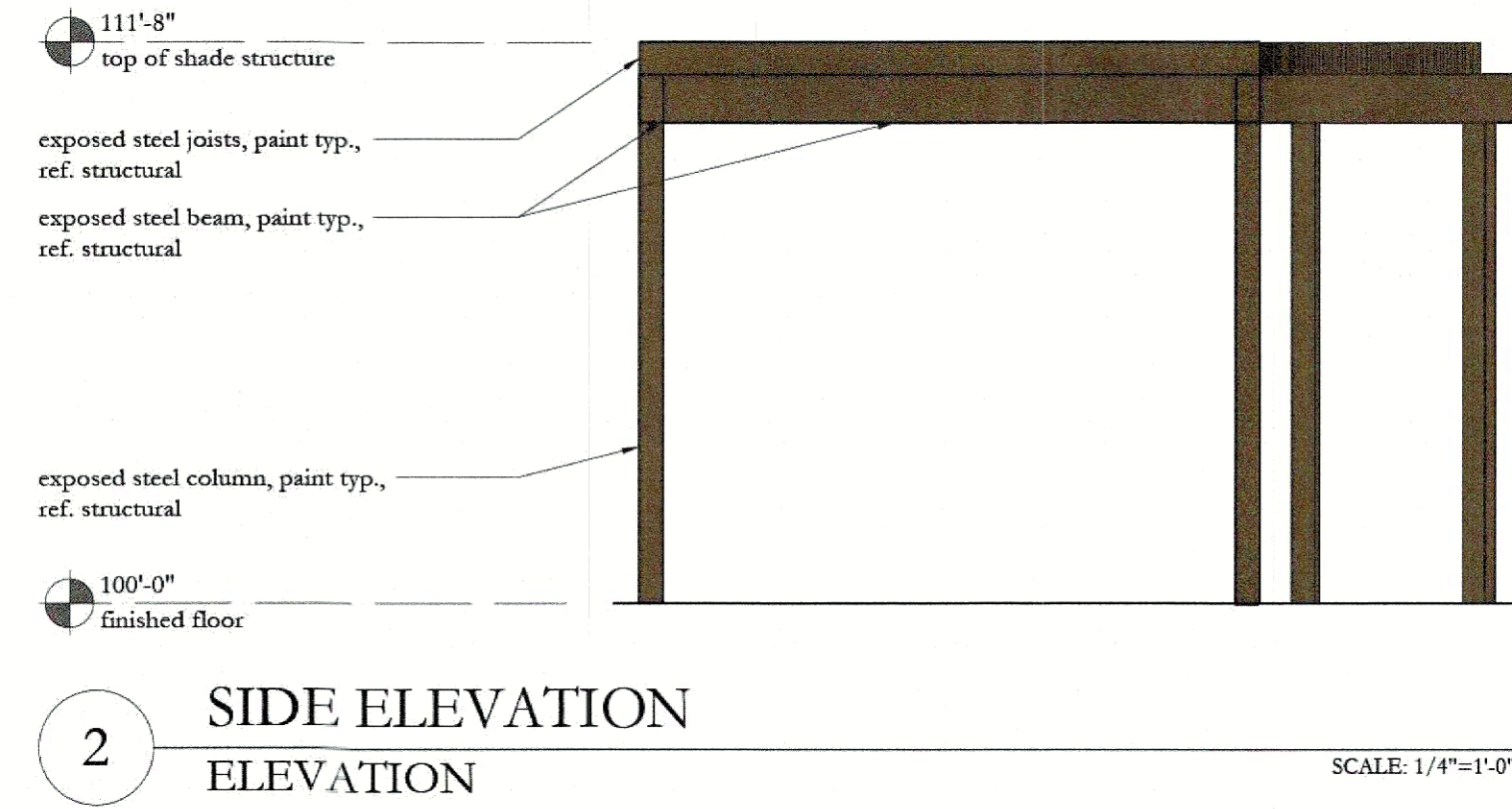


E:\jvc\ahrc\projects\jvc022\dwg\arch\jvc022_arch_sheets.dwg



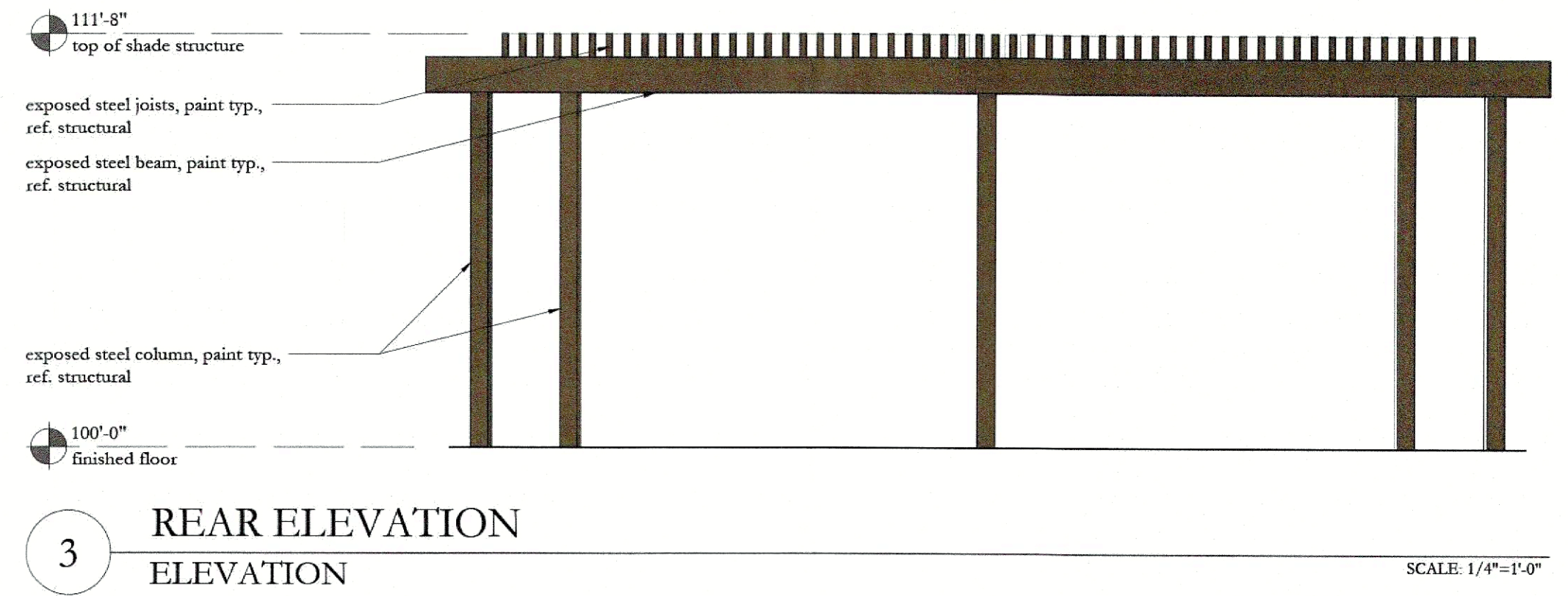
4 SIDE ELEVATION ELEVATION

SCALE: 1/4"=1'-0"



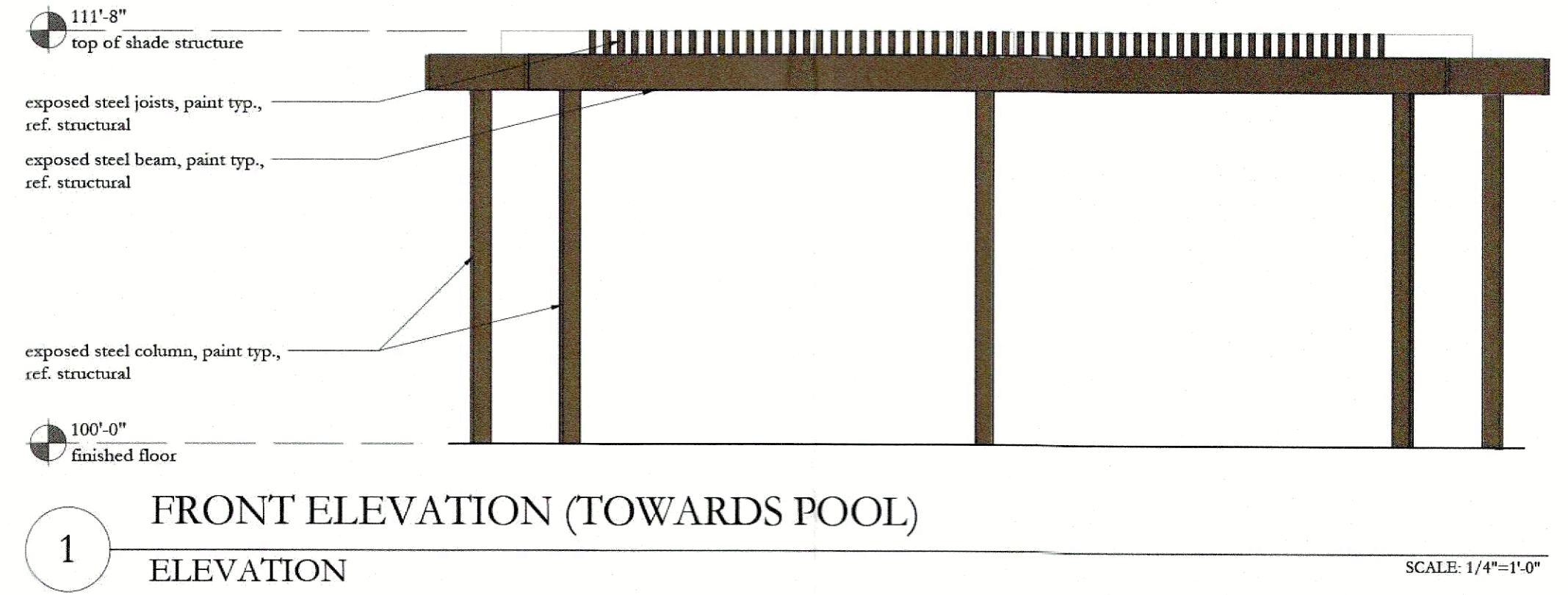
2 SIDE ELEVATION ELEVATION

SCALE: 1/4"=1'-0"



3 REAR ELEVATION ELEVATION

SCALE: 1/4"=1'-0"



1 FRONT ELEVATION (TOWARDS POOL) ELEVATION

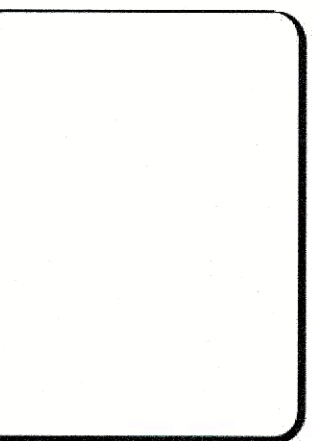
SCALE: 1/4"=1'-0"

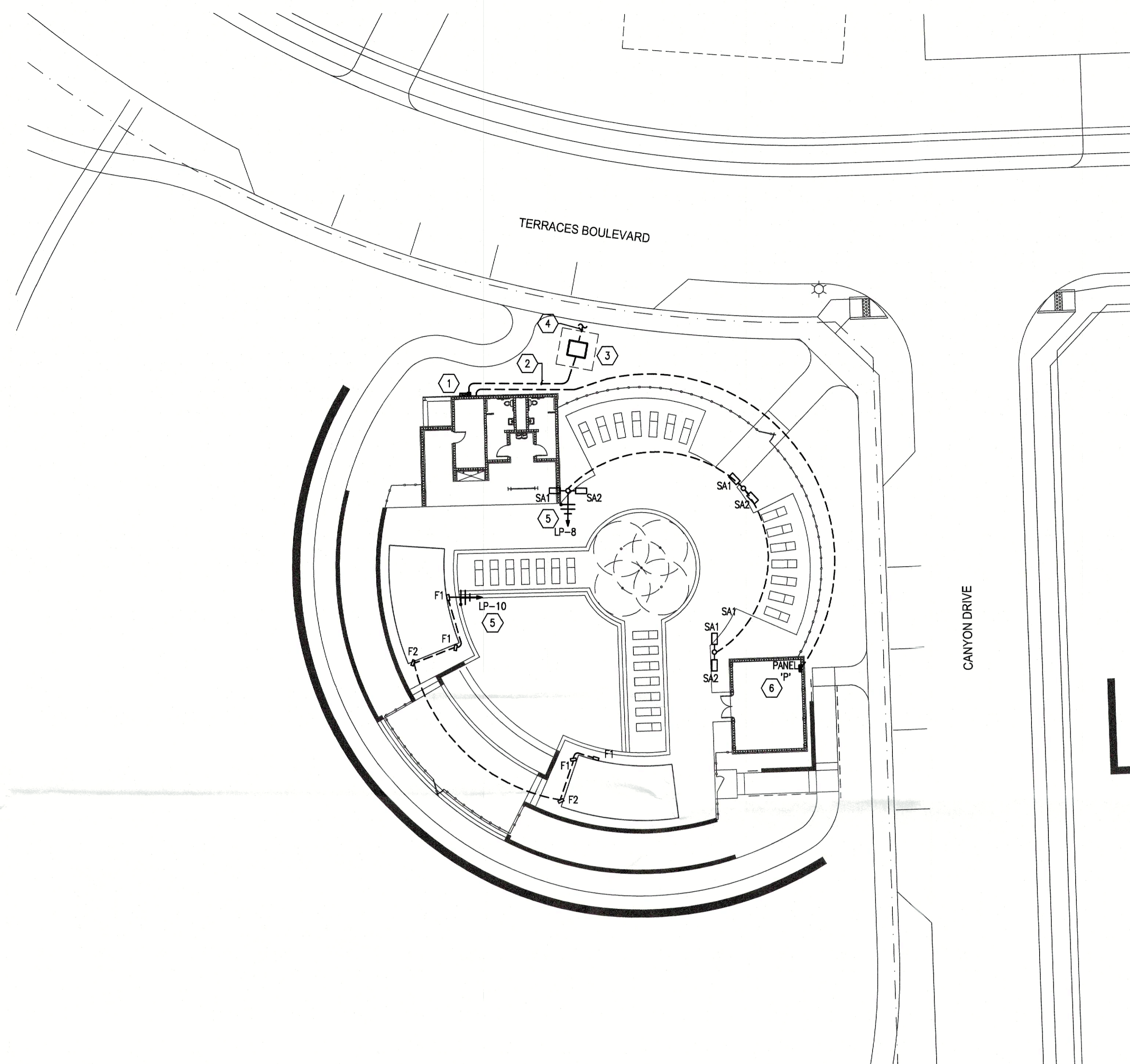
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9 day of July, 2024.

WITNESS OUR HANDS, this 9 day of July, 2024.
[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning





1 SITE PLAN - ELECTRICAL
SCALE 1" = 20'-0"

GENERAL NOTES:

- A. CONTRACTOR SHALL COORDINATE EASEMENT ON CENTERLINE OF UNDERGROUND PRIMARY WITH UTILITY COMPANY.
- B. CONTRACTOR SHALL COORDINATE PLACEMENT AND ROUTING OF CONDUITS WITH UTILITY COMPANY PRIOR TO INSTALLATION. COORDINATE EXACT CONDUIT SIZES AND QUANTITIES WITH UTILITY COMPANY PRIOR TO INSTALLATION.
- C. THE ELECTRICAL INFORMATION SHOWN ON THIS PLAN IS BASED ON INFORMATION AVAILABLE AT THE TIME OF DESIGN. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED. THE ELECTRICAL CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE COMPANIES INVOLVED.
- D. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANY, TELEPHONE COMPANY, AND CABLE TV COMPANY, VERIFY ALL REQUIREMENTS AND EQUIPMENT. THE CONTRACTOR SHALL ALSO FURNISH AND INSTALL ALL WIRING, BOXES, CONDUIT, CONCRETE PADS, TRENCHING AND BACKFILL, ETC. AS NECESSARY FOR PROPER INSTALLATION.
- E. THE CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATIONS OF ALL EXISTING UTILITY SERVICES AND EQUIPMENT, AND THE PROPOSED LOCATIONS OF ALL NEW UTILITY SERVICES AND EQUIPMENT. NO ALLOWANCES WILL BE MADE FOR THE CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITIONS, REQUIREMENTS OF THE NEW LOCATIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
- F. THE CONTRACTOR SHALL CONTACT THE LOCAL ELECTRICAL CODE ENFORCEMENT AUTHORITIES AND THE LOCAL FIRE MARSHALL, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL ALL ELECTRICAL ITEMS NECESSARY FOR PROPER INSTALLATION IN STRICT ACCORDANCE WITH THE GUIDELINES AND INTERPRETATIONS SET FORTH BY THESE GOVERNING LOCAL AUTHORITIES BEYOND THOSE SET FORTH IN THE NEC AND NFPA. NO ALLOWANCES WILL BE MADE FOR THE CONTRACTOR'S FAILURE TO COORDINATE ALL SUCH REQUIREMENTS WITH SAID LOCAL AUTHORITIES.
- G. CONTRACTOR TO LIMIT ALL BRANCH CIRCUITRY TO 3% VOLTAGE DROP.
- H. CONTRACTOR TO LIMIT ALL FEEDERS TO 2% VOLTAGE DROP.

KEY NOTES:

- ① ELECTRICAL SERVICE LOCATION. REFER TO ELECTRICAL SCHEDULES AND RISER DIAGRAM ON SHEET E4.01 FOR MORE INFORMATION
- ② SECONDARY ELECTRICAL SERVICE TO BE INSTALLED BY CONTRACTOR. REFER TO RISER DIAGRAM ON SHEET E4.01.
- ③ LOCATION OF PAD MOUNTED UTILITY TRANSFORMER.
- ④ ELECTRICAL PRIMARY SERVICE. COORDINATE EXACT COST, INSTALLATION REQUIREMENTS, AND ROUTING OF PRIMARY SERVICE WITH UTILITY COMPANY.
- ⑤ CONTRACTOR TO ROUTE ALL SITE LIGHTING CIRCUITS THROUGH RELAYS IN CORRESPONDING LIGHTING CONTROL PANEL PRIOR TO ROUTING TO LIGHT FIXTURES. CONTROL LIGHTS ON/OFF VIA PHOTOCELL. COORDINATE EXACT LIGHTING CONTROL SCHEDULING WITH DEVELOPER. REFERENCE RISER DIAGRAM ON SHEET E4.01 FOR MORE INFORMATION.
- ⑥ COORDINATE FINAL LOCATION AND ROUTING OF POOL PANEL 'P' WITH DEVELOPER AND CONTRACTOR PRIOR TO BID AND ROUGH-IN.

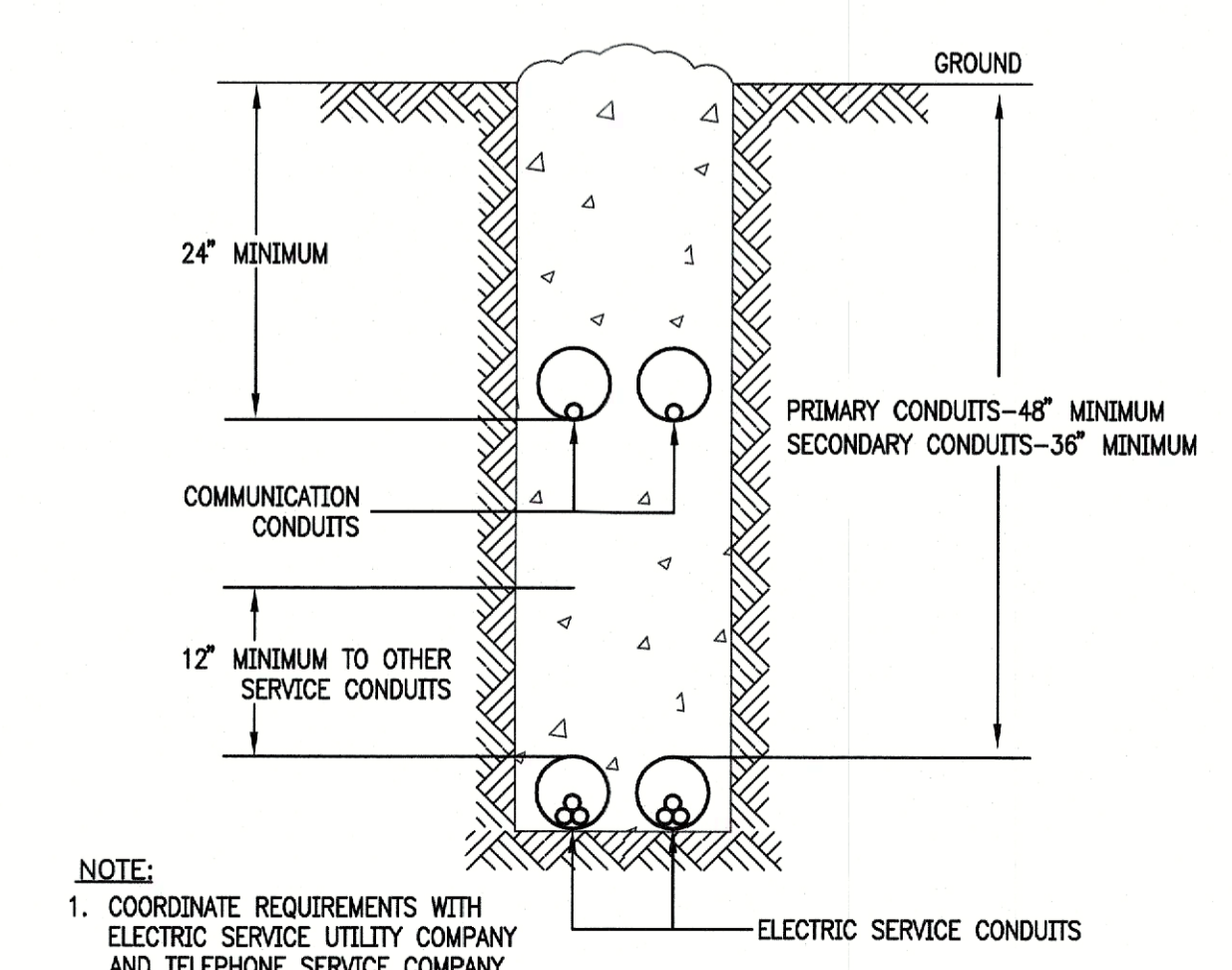
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WITNESS OUR HANDS, this 9 day of July, 2024.

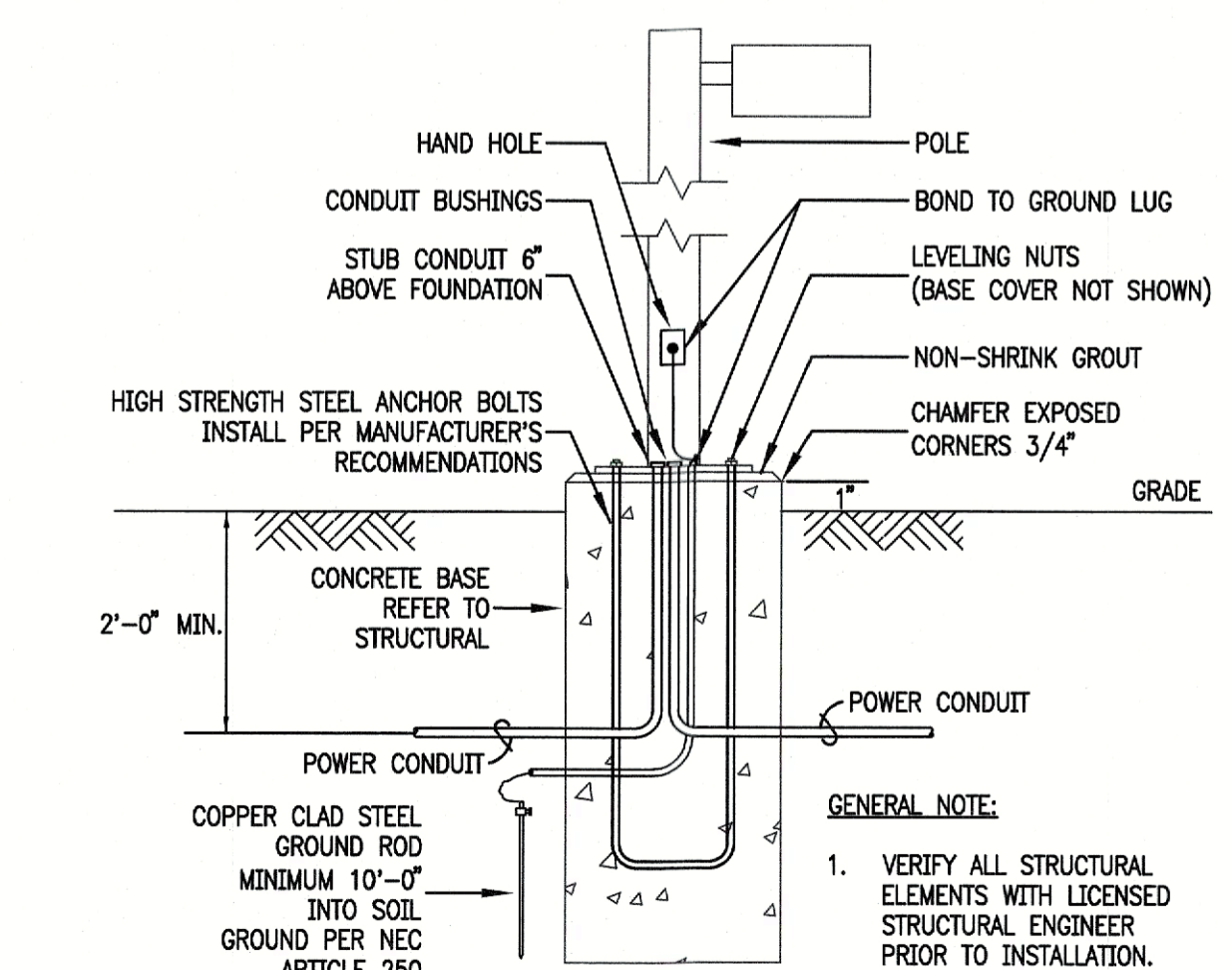
 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



3 ELECTRIC AND COMMUNICATIONS TRENCH DETAIL
SCALE NONE

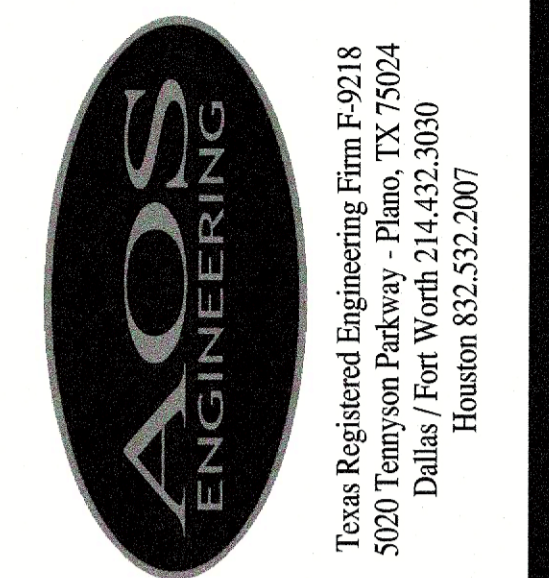
NOTE:
1. COORDINATE REQUIREMENTS WITH ELECTRIC SERVICE UTILITY COMPANY AND TELEPHONE SERVICE COMPANY.



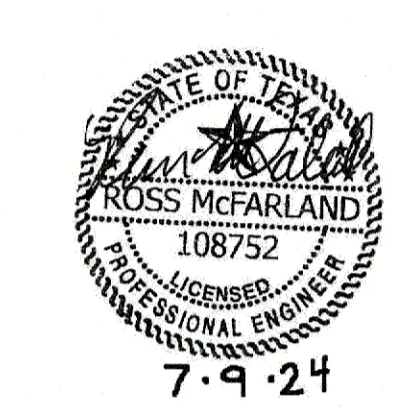
2 TYPICAL SITE LIGHTING FIXTURE - POLE BASE DETAIL
SCALE NONE

GENERAL NOTE:
1. VERIFY ALL STRUCTURAL ELEMENTS WITH LICENSED STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

CONTRACTOR SHALL COORDINATE MEP DRAWINGS WITH ALL OTHER DISCIPLINES



Texas Registered Engineering Firm F-9218
5020 Temponson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
Houston 832.832.2007



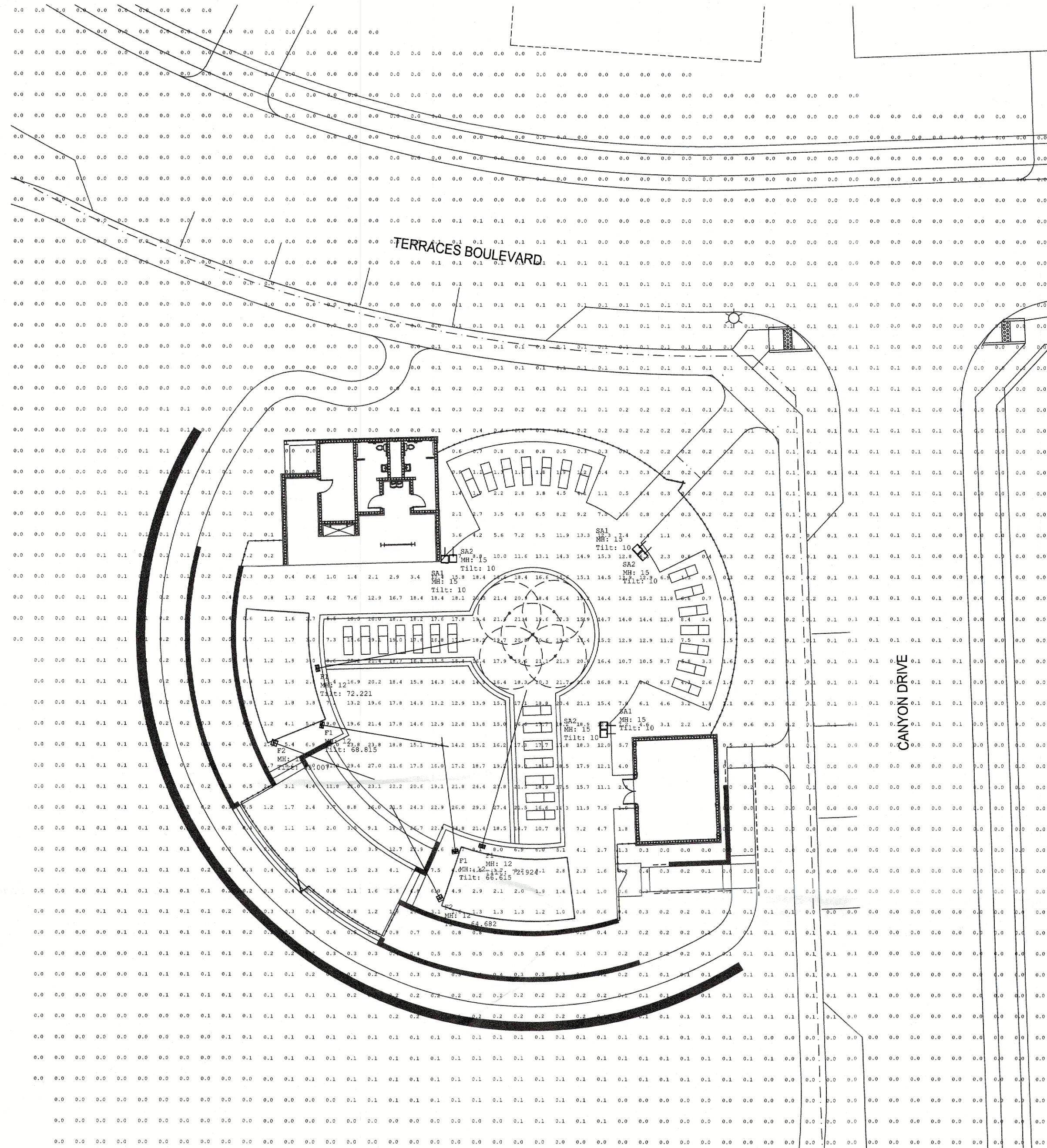
TERRACES AMENITY CENTER
ROCKWALL, TEXAS

Issue:	07-09-2024
Revisions:	

Drawing Title:
ELECTRICAL - SITE PLAN

Sheet
E1.01

AOS JOB #: 4418-001-24



1 SITE PLAN - PHOTOMETRICS
SCALE: 1" = 20'-0"

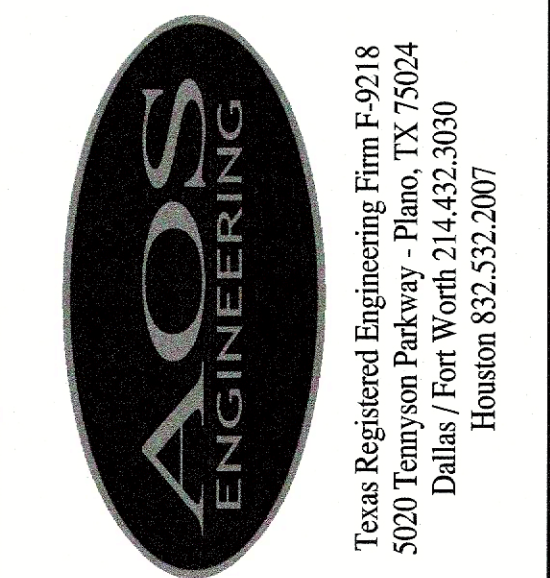
Symbol	Label	Arrangement	Description	Qty	LED	Luminaire Lumen	Luminaire Watts	Total Watts	Mounting Height
□	F1	Single	HPFC-112-F-40	1	0.300	12750	24	24	15
□	F2	Single	HPFC-55C-R-40	1	0.300	3033	126.2	252.4	15
□	SAL	Single	MSF-LBC-181-811-FF-60-PSDB1-11	1	0.300	11444	135	410	15
□	SAD	Single	MSF-LBC-181-811-FF-60-PSDB1-11	1	0.300	11444	135	410	15

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[Signature]
Planning & Zoning Commission, Chairman

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Director of Planning and Zoning



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5020 Temnyson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
Houston 832.532.2007



**TERRACES
AMENITY CENTER**
ROCKWALL, TEXAS

Issue: 07-09-2024

Revisions:

Drawing Title:
**PHOTOMETRIC -
SITE PLAN**

Sheet
E1.02

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES

AOS JOB # 4418-001-24