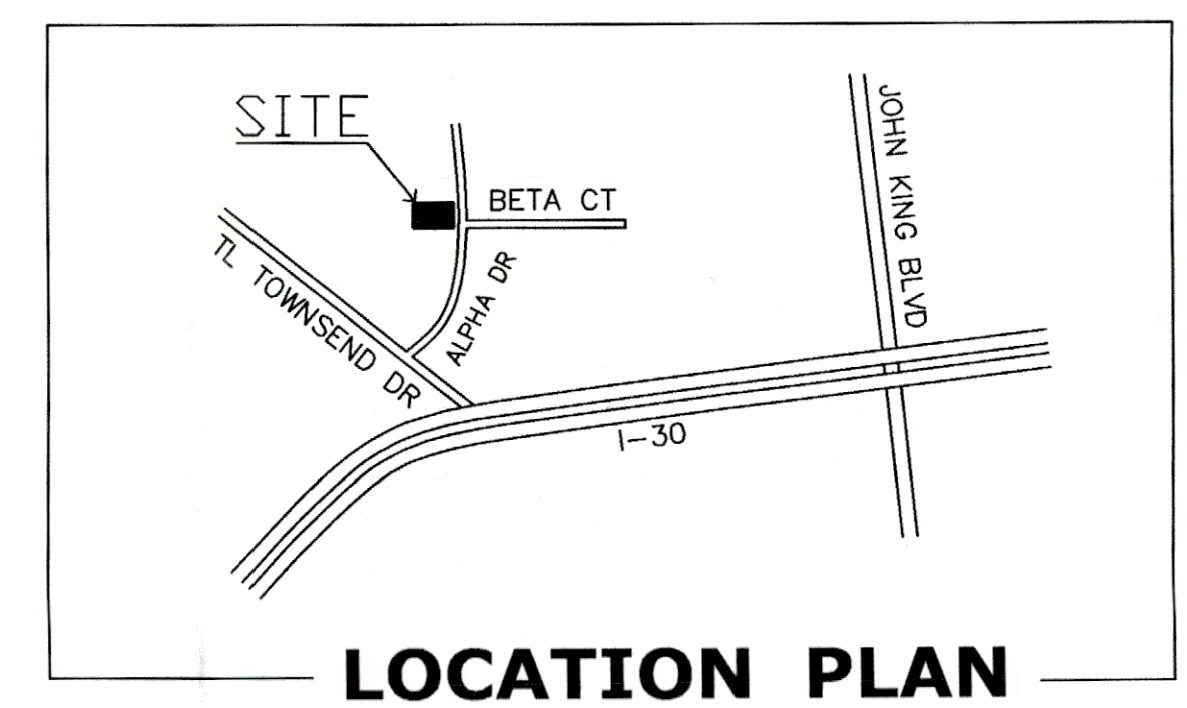


CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

1. ZONING: L 1
2. PROPOSED USE: MEDICAL OFFICE
3. PROPERTY AREA (GROSS): 30,531 SF 0.70 AC
4. BUILDING AREA: 7,200 SF
5. BUILDING HEIGHT: ONE STORY - 28'-3"
6. LOT COVERAGE: 23.6% F.A.R. = 0.236:1
7. PARKING REQUIRED: 1 SPACE/200 = 36 SPACES REQUIRED
8. HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
9. TOTAL PARKING PROVIDED: 36 SPACES
10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 24,558 SF
11. 15% LANDSCAPE REQUIRED = 4,580 SF PROVIDED 5,973 SF

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB
ALL SIDEWALKS SHALL BE 3,000 PSI CONC
MIN 5.5 SACK MIX.
ALL RADII ARE 2'-0" U.N.O.
ANY DISCREPANCIES BETWEEN THE PLAN &
THE CIVIL ENGINEER'S PLANS SHALL DEFER
TO THE CIVIL ENGINEERING.



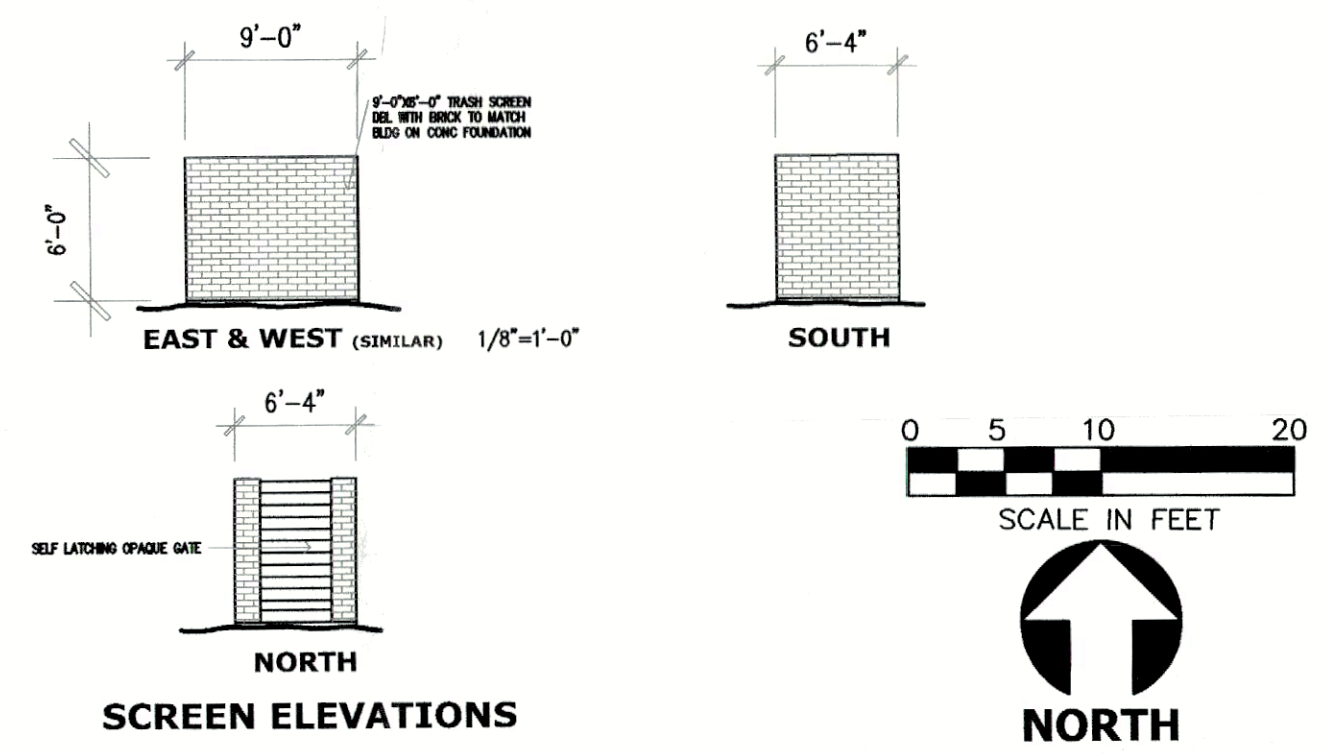
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the March 12, 2024.

WITNESS OUR HANDS, this 11th day of April, 2024

[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

NOTE: DUMPSTER PAVING AND FIRE LANE PAVING SHALL BE MIN. 7" THICK, 3600 PSI CONCRETE 6.5 SACK MIX



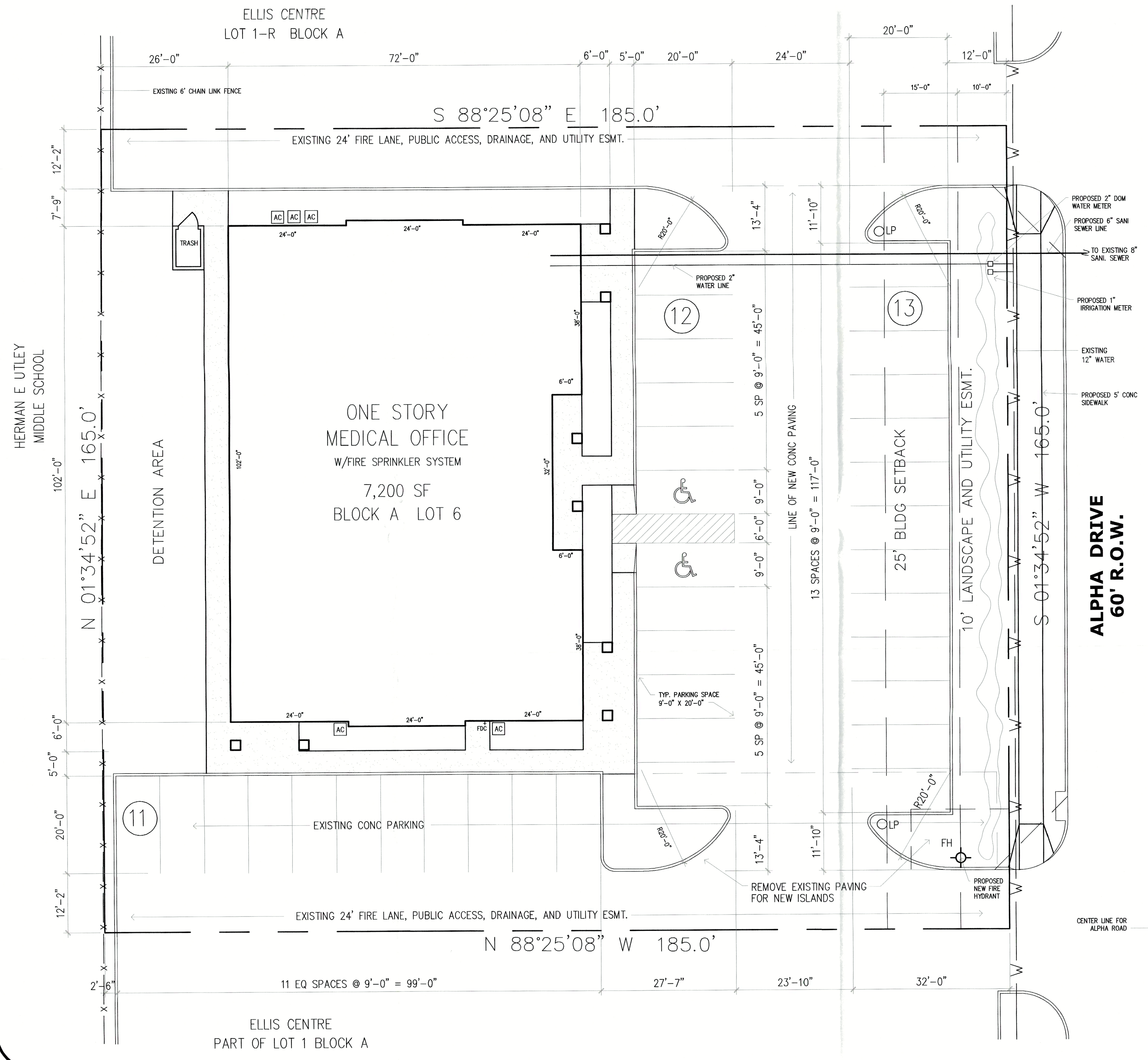
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ELLIS CENTRE INDUSTRIAL PARK
BEING A 0.70 AC. TRACT OF LAND SITUATED IN THE ELLIS CENTRE #2 INDUSTRIAL PARK LOT 6 BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
ADAT ESTATE LLC
482 ARCADIA WAY
ROCKWALL, TEXAS 75087
CASE #SP2020-010

© COPYRIGHT 2022 WALLIS ARCHITECTS



CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL
WALLIS ASSOCIATES
132 BERKSHIRE LANE
WAXAHACHIE, TEXAS 75165
PHONE: 817-235-9253

No.	Date	Revision	By



ELLIS CENTER MEDICAL OFFICE
ROCKWALL, TEXAS

SITE PLAN

Scale: 1" = 10'-0"

Date: 2/16/2024
Project No.: 200204
Designed: GW
Drawn: GW
Checked: GW

SHEET **A1** OF **17**

	REQUIRED	PROVIDED
1. STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W.	3	5
2. LANDSCAPE BUFFER	10'	10'
3. SCREENING OF OFF STREET PARKING	NO	NO
4. TOTAL LANDSCAPE AREA 15% REQUIRED	4,580 SF	5,973 SF
5. 4 TREES REQUIRED AT REAR OF PROPERTY	4	4

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

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THERE IS NO MITIGATION FOR THIS PROPERTY

- LIVE OAKS (15)
INSTALLED WITH A MIN. 4" CALIPER
- RED BUD (17)
MIN 4' TALL
- INDIAN HAWTHORNE (90)
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 30" TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
- BOXWOOD BUSH (126)
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

NO PARKING SPACE SHALL BE MORE THAN 80' FROM A CANOPY TREE

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE SOODED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

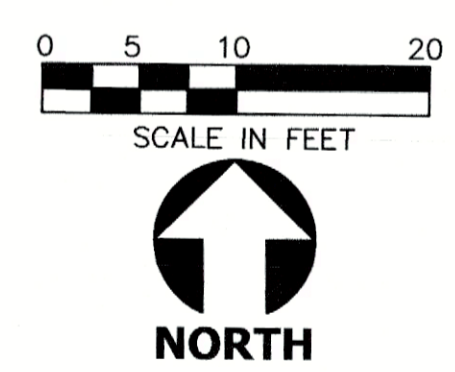
REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

ALL R.O.W. SHALL BE SOODED

NOTE: LANDSCAPE IRRIGATION SHALL MEET REQUIREMENTS OF THE UDC



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ELLIS CENTRE INDUSTRIAL PARK
BEING A 0.70 AC. TRACT OF LAND SITUATED IN THE ELLIS CENTRE #2 INDUSTRIAL PARK LOT 6 BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
ADAT ESTATE LLC
406 HICKORY WAY
ROCKWALL, TEXAS 75087
CASE #SP2020-010

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the 12th day of March 2024.

WITNESS OUR HANDS, this 11th day of April 2024

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL
WALLIS ASSOCIATES
132 BERKSHIRE LANE
WAXAHACHIE, TEXAS 75165
PHONE: 817-235-9253

No.	Date	By	Revision



ELLIS CENTER MEDICAL OFFICE
ROCKWALL, TEXAS
LANDSCAPE PLAN

Scale: 1" = 10'-0"
Date: 2/16/2024
Project No.: 200204
Designed: CW
Drawn: CW
Checked: CW

SHEET 1 OF 1

Luminaire Schedule									
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor	
LP	LP	2	LITHONIA_DSX1 LED P5 40K TFTM VOLTAGE MOUNTING HS FINISH	12359	138	1.000	0.808	1.000	
WP	WP	5	LITHONI_WDGE1 LED P2 40K 80CRI VF VOLTAGE MOUNTING FINISH	1979	15.0178	1.000	0.808	1.000	

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.29	4.1	0.0	N.A.
PARKING LOT & DRIVEWAY		Fc	1.45	3.7	0.0	N.A.

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HERMAN E UTLEY
MIDDLE SCHOOL

N 01°34'52" E 165.0'

DETENTION AREA

ONE STORY
MEDICAL OFFICE
W/FIRE SPRINKLER SYSTEM
7,200 SF
BLOCK A LOT 6

25' BLDG SETBACK

10' LANDSCAPE AND UTILITY ESMT.

S 01°34'52" W 165.0'

ALPHA DRIVE
60' R.O.W.

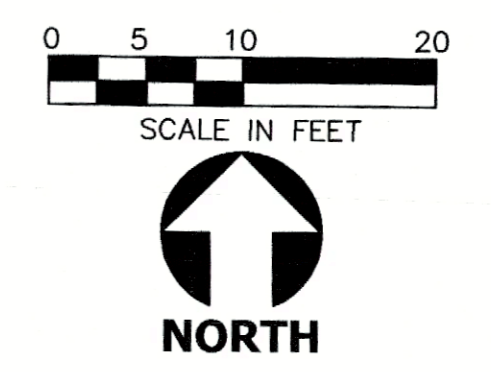
N 88°25'08" W 185.0'

SITE PLAN SIGNATURE BLOCK

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WITNES OUR HANDS, this 11th day of April, 2024

Planning & Zoning Commission, Chairman Director of Planning and Zoning



PRICING & CONSTRUCTION
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OWNER
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480 ARCADIA WAY
ROCKWALL, TEXAS 75087

CASE #SP2020-010

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WALLIS ASSOCIATES
132 BERNSHIRE LANE
WAXAHACHE, TEXAS 75165
PHONE: 817-235-9253

No.	Date	Revision	By



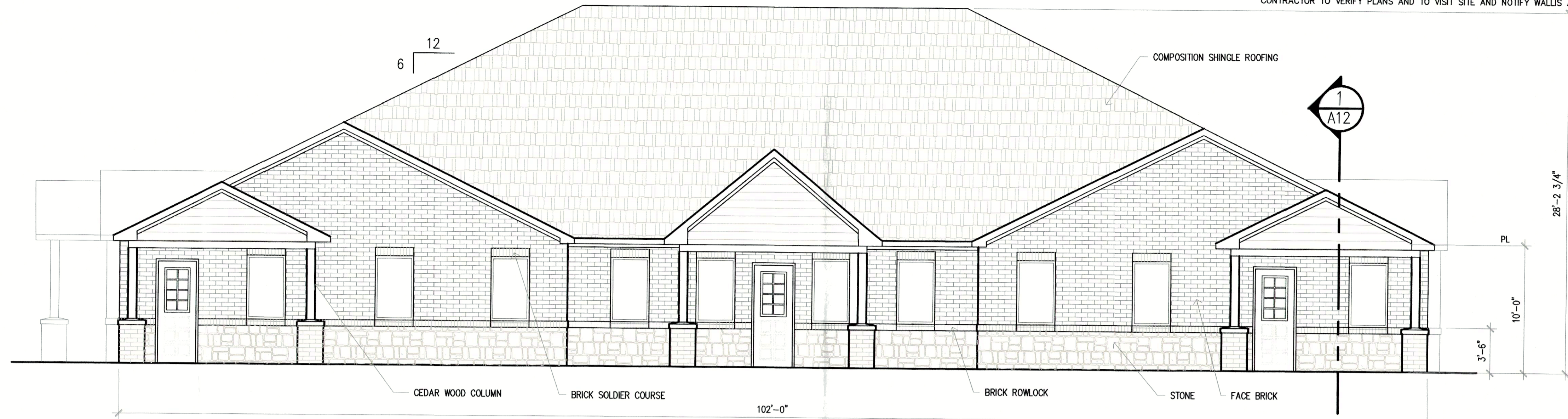
ELLIS CENTER MEDICAL OFFICE
ROCKWALL, TEXAS

PHOTOMETRIC PLAN

Scale: 1" = 10'-0"
Date: 2/16/2024
Project No.: 200204
Designed: GW
Drawn: GW
Checked: GW

SHEET
AP1 OF
1

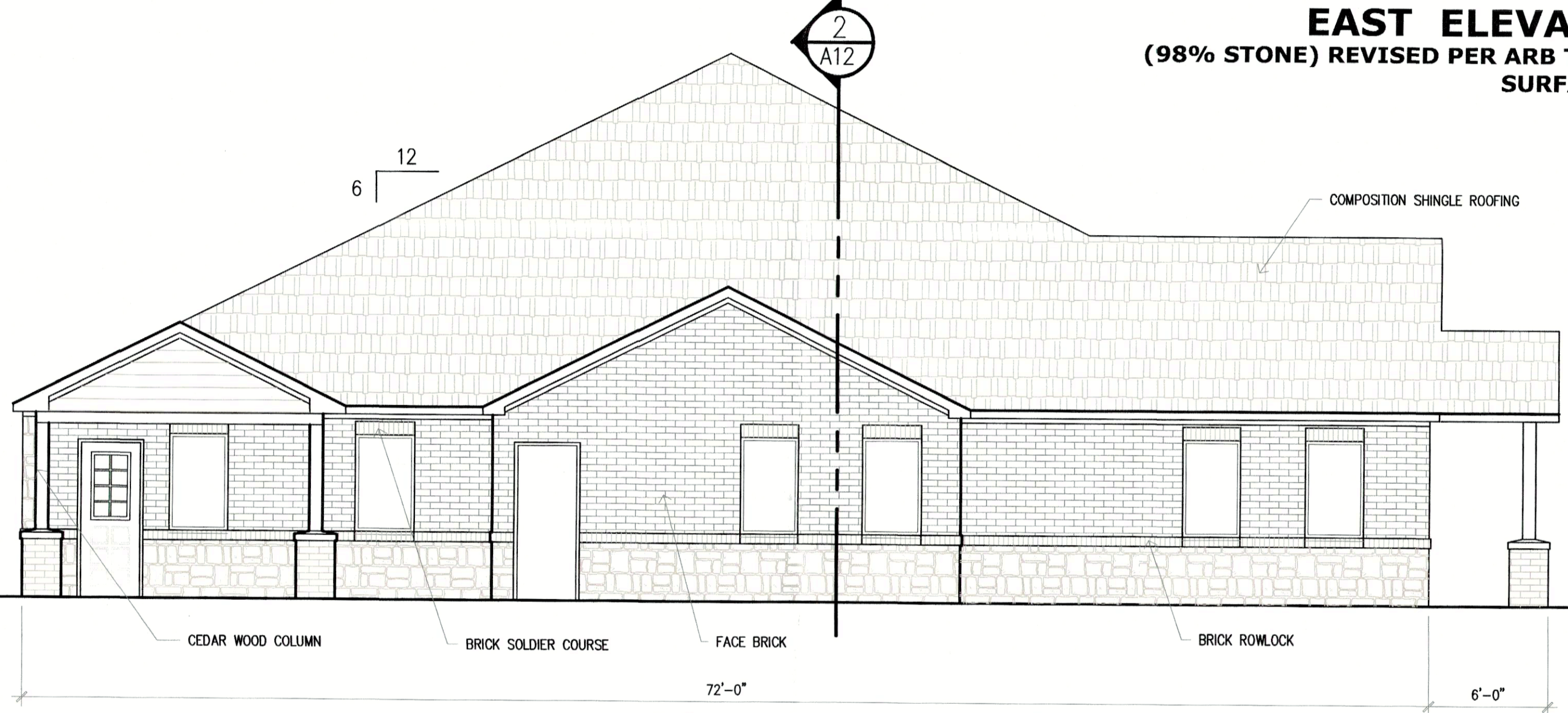
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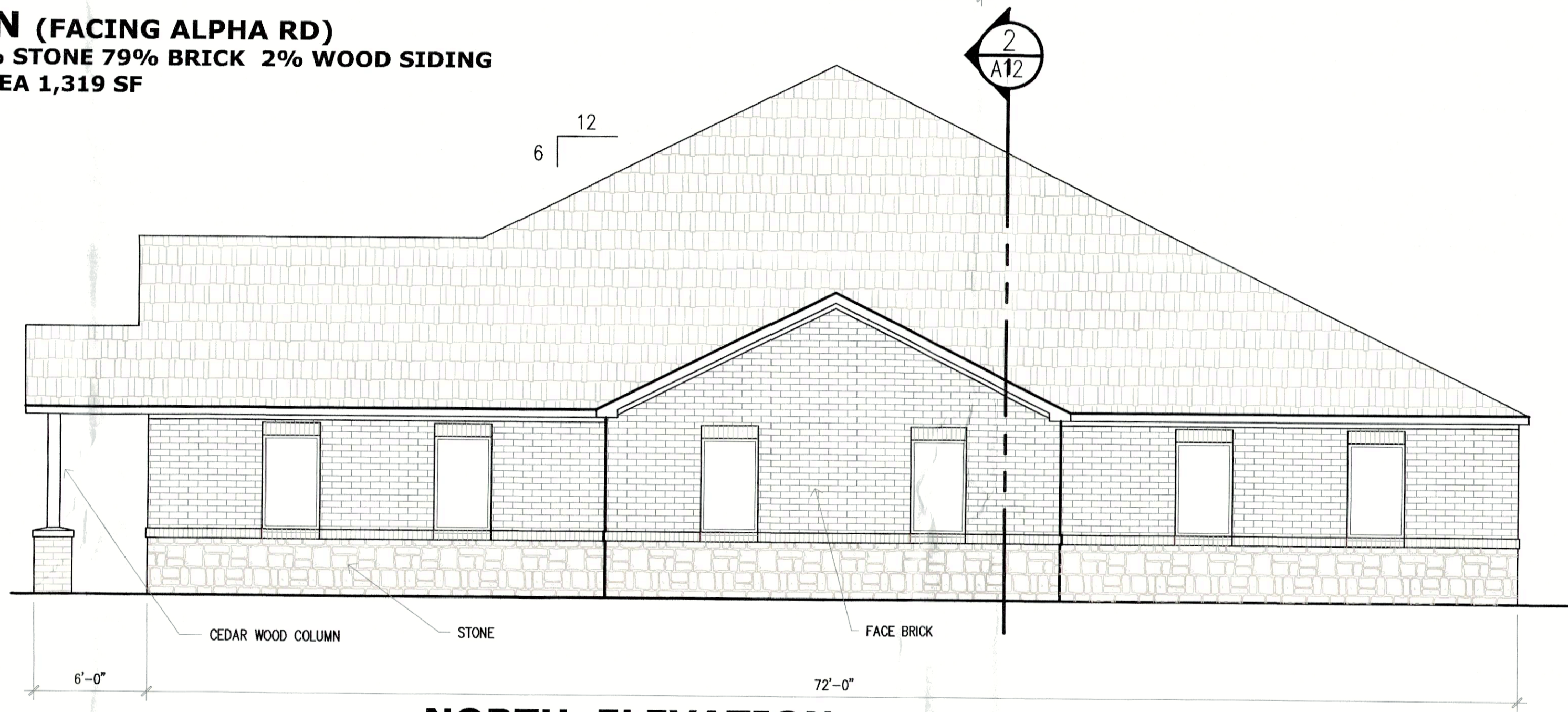
LEGEND

FACE BRICK—ACME BLEND 31
 RIDGEMAR
 BRICK BAND—ACME MUSHROOM
 BROWN
 STONE —NATURAL TEXAS
 CREA
 ROOF —DARK BRONZE

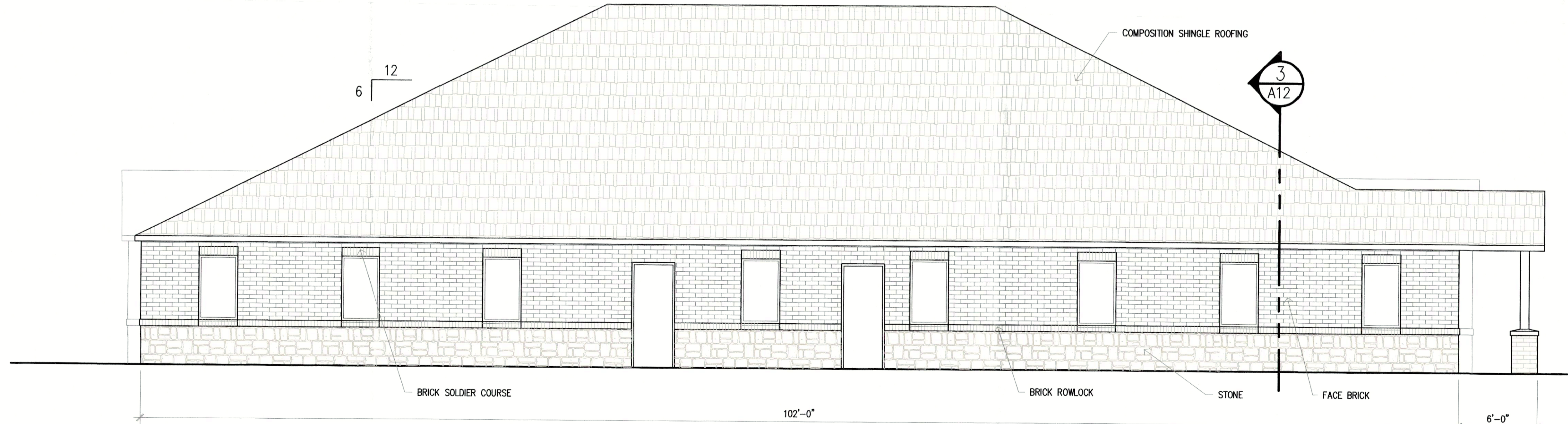
EAST ELEVATION (FACING ALPHA RD)
 (98% STONE) REVISED PER ARB TO 19% STONE 79% BRICK 2% WOOD SIDING
 SURFACE AREA 1,319 SF



SOUTH ELEVATION
 30% STONE 4% WOOD SIDING 66% BRICK
 786 SF SURFACE AREA



NORTH ELEVATION
 31% STONE 69% BRICK
 786 SF SURFACE AREA



WEST ELEVATION
 35% STONE 65% BRICK
 975 SF SURFACE AREA

SITE PLAN SIGNATURE BLOCK

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[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

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OWNER
 ALBANY ESTATE LLC
 488 ARCADIA WAY
 ROCKWALL, TEXAS 75087
 CASE #SP2024-000

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 132 BERKSHIRE LANE
 WAXAHACHIE, TEXAS 75165
 PHONE: 817-235-9253

No.	Date	Revision	By



ELLIS CENTER MEDICAL OFFICE
 ROCKWALL, TEXAS

EXTERIOR ELEVATIONS

Scale: 3/16" = 1'-0"
 Date: 2/16/2024
 Project No.: 200204
 Designed: GW
 Drawn: GW
 Checked: GW

A4
 17