

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

FOR IRRIGATION SERVICE INSTALL:
(1) 10"x1" TAPPING SLEEVE
(1) ¾" METER BOX
INSTALL METER IN ROW.
TESTABLE BACKFLOW PREVENTION DEVICE

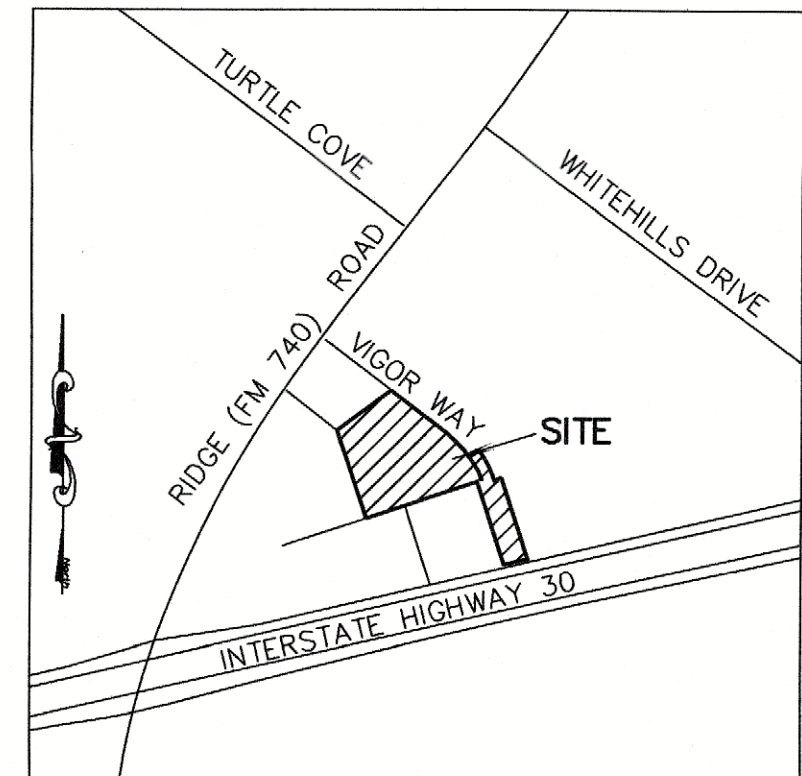
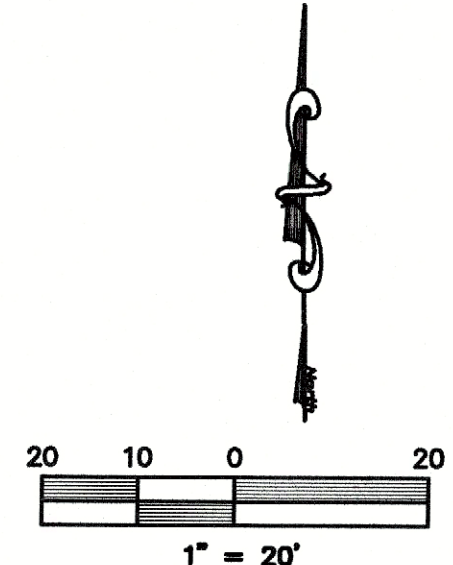
FOR DOMESTIC SERVICE INSTALL:
(1) 10"x2" TAPPING SLEEVE
(1) 2" WATER LINE
(1) 2" METER BOX
INSTALL METER IN ROW.
TESTABLE BACKFLOW PREVENTION DEVICE

CONNECT TO EX 8" SS TAP. INSTALL 8" TO 6" REDUCER W/ DBL CO & 15 LF OF PRIVATE 6" SDR-26

INSTALL:
(1) 10"x8" TAPPING SLEEVE
(1) 10" VALVE
(1) 6" VALVE
6" FIRE SPRINKLER LINE
(C-900 CLASS 200 PVC DR14)

INSTALL:
(1) 10"x8" TAPPING SLEEVE
(1) 8" VALVE
(1) FIRE HYDRANT ASSEMBLY

INSTALL:
(1) 10"x8" TAPPING SLEEVE
(1) 8" VALVE
(1) FIRE HYDRANT ASSEMBLY



SITE DATA:
LOT AREA: 1.74 Acres, 75,987 sq.ft.
LOT COVERAGE: 17%
FLOOR TO AREA RATIO: 5.88:1
BUILDING AREA:
1st Floor: 12,923 sq.ft.
2nd Floor: 12,577 sq.ft.
Total: 25,500 sq.ft.
BUILDING HEIGHT:
2 STORY (30' MAX)
PROPOSED FUTURE USE:
OFFICE
IMPERVIOUS AREA (including buildings):
59,269 sq.ft.
ZONING:
C2
PARKING:
Required:
Office (1/300sf) = 85
Handicap = 4
Provided: Standard = 82
Handicapped = 4
Total Provided = 86
LANDSCAPE AREA:
Required: (20%) 15,197 sq.ft.
Provided: 16,718 sq.ft.
FIRESPRINKLER:
YES
* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

VICINITY MAP NOT TO SCALE

LEGEND

- — — — — = PROPERTY LINE
- EX. SS — = EXISTING SANITARY SEWER LINE
- EX. W — = EXISTING WATER LINE
- ⊙ FH = EXISTING FIRE HYDRANT
- ⊗ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ S = EXISTING SS MANHOLE
- ⊙ T = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊙ C = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- [Pattern] = PROPOSED FIRELANE

- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 - Fire lanes shall be designed and constructed per city standards.
 - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 - All signage contingent upon Building Inspection Department.
 - Approval of the site plan is not final until all engineering plans are approved.
 - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 - All electrical transmission, distribution and service lines must be underground.

- NOTES:**
- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & MCTC STANDARDS AND DETAILS 5th EDITION.
 - ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
 - SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - PRIVATE TRASH SERVICE

- PAVING NOTES:**
- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
 - NO SAND UNDER PAVING.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE PLAN SIGNATURE BLOCK

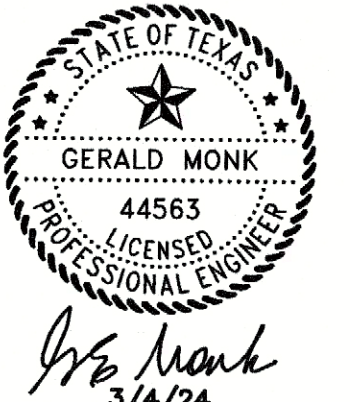
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of March, 2024.

WITNESS OUR HANDS, this 11th day of April, 2024

[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

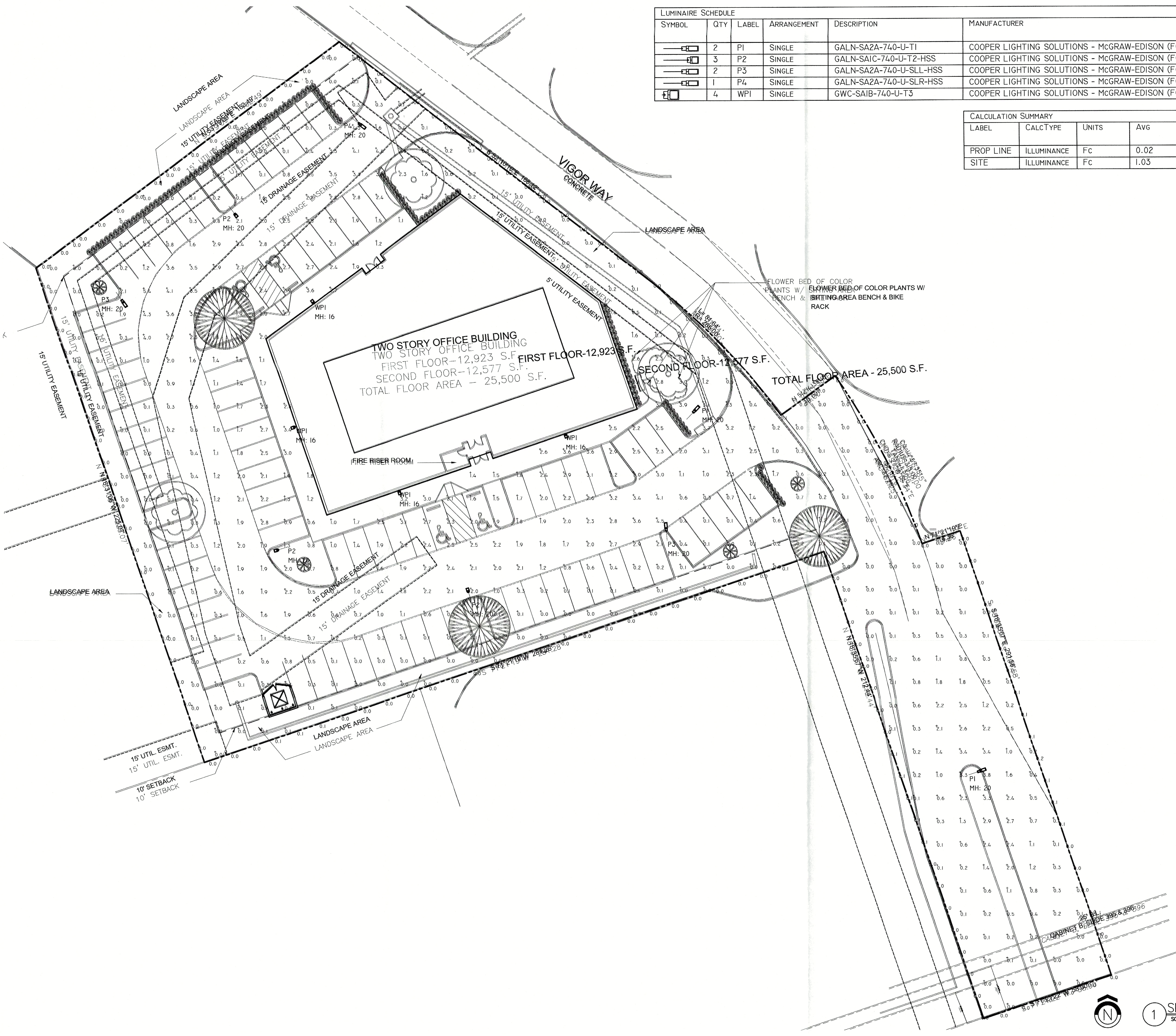
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



PROJECT #: SP2024-004

SITE PLAN		
VIGOR WAY OFFICE		
LOT 1, BLOCK A, 1.74 ACRES COMFORT INN & SUITES ROCKWALL TOWNE CENTRE City of Rockwall, Rockwall County, Texas		
OWNER: PRBBS, LLC ATTN: BRIAN BERRY 2 ESSEX COURT HEATH, TX 75032		
prepared by: MONK CONSULTING ENGINEERS 1200 W. State Street, Garland Texas 75040 972 272-1763 Fax 972 272-8761		
© 2024 Monk Consulting Engineers, Inc., All Rights Reserved		
PROJECT NO.: 2024-3	REG. NO.: F-2567	
date: 3/4/24	scale: 1"=20'	sheet: C101



LUMINAIRE SCHEDULE						LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS	TOTAL WATTS
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION	MANUFACTURER				
	2	P1	SINGLE	GALN-SA2A-740-U-T1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.900	9180	63	126
	3	P2	SINGLE	GALN-SAIC-740-U-T2-HSS	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	5318	57	171
	2	P3	SINGLE	GALN-SA2A-740-U-SLL-HSS	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	6604	63	126
	1	P4	SINGLE	GALN-SA2A-740-U-SLR-HSS	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	6604	63	63
	4	WPI	SINGLE	GWC-SAIB-740-U-T3	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	6105	44	176

CALCULATION SUMMARY								
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	CALC HT.
PROP LINE	ILLUMINANCE	FC	0.02	0.2	0.0	N.A.	N.A.	N.A.
SITE	ILLUMINANCE	FC	1.03	5.4	0.0	N.A.	N.A.	0

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SITE DATA TABLE	
SITE AREA	1.74 ACRES (75,987 S.F.)
ZONING	COMMERCIAL
PROPOSED USE	OFFICE
BUILDING AREA - FIRST FLOOR - SECOND FLOOR - (GROSS AREA)	25,500 S.F. 12,923 S.F. 12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
FLOOR TO AREA RATIO	5.88 : 1
BUILDING HEIGHT MAX.	36'-0"

CITY OF ROCKWALL CASE NUMBER: SP2024-004

LEGAL DESCRIPTION AND/OR ADDRESS:
 LOT 1, BLOCK A
 REPLAY OF ROCKWALL TOWNE CENTRE
 LOT 8 & LOT 9
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087

OWNER:
 PRBBS, LLC
 2 Essex Court
 Heath, TX 75032
 ATTN: Brian Berry

APPLICANT:
 Carroll Architects, INC.
 750 E. Interstate 30 #110
 Rockwall, TX 75087
 P: 972-732-6085
 E: j@carrollarch.com
 ATTN: Jeff Carroll

SITE PLAN SIGNATURE BLOCK

APPROVED:
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WITNESS OUR HANDS, this 11th day of April, 2024.

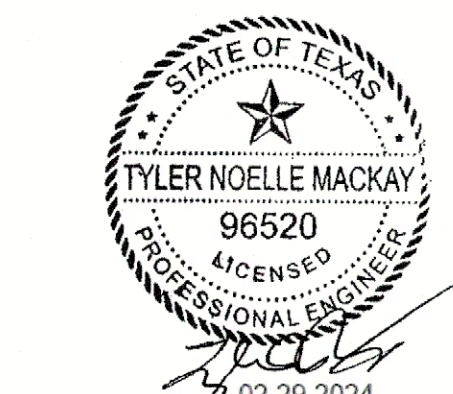
[Signature]
 Director of Planning and Zoning

NEW OFFICE DEVELOPMENT
VIGOR WAY PLAZA
 Vigor Way,
 Rockwall, Texas 75087

PRBBS, LLC.
 2 ESSEX COURT
 HEATH, TX 75032

CARROLL architects
 750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-6085

SITE PHOTOMETRIC PLAN



James F. Turner
 Engineers, L.P.
 Consulting Engineers
 8340 Meadow Rd., Suite 160
 Dallas, Texas 75231
 TEL: 214-750-2000
 TX REGISTRATION # 35905

1 SITE PHOTOMETRIC PLAN
 SCALE: 1" = 20'-0"

DATE: FEB 2024
 SHEET NO: E101
 PROJECT NO: 2023100
 DRAWN BY: ZJ
 CHECKED BY:

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CARROLL architects
 750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

MASONRY DUMPSTER ENCLOSURE

DATE: SHEET NO:
 MAR 2024
 PROJECT NO:
 2023100
 DRAWN BY:
 KR
 CHECKED BY:
A101

CITY OF ROCKWALL CASE NUMBER:
 SP2024-004

LEGAL DESCRIPTION AND OR ADDRESS:
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 LOT 8 & LOT 9
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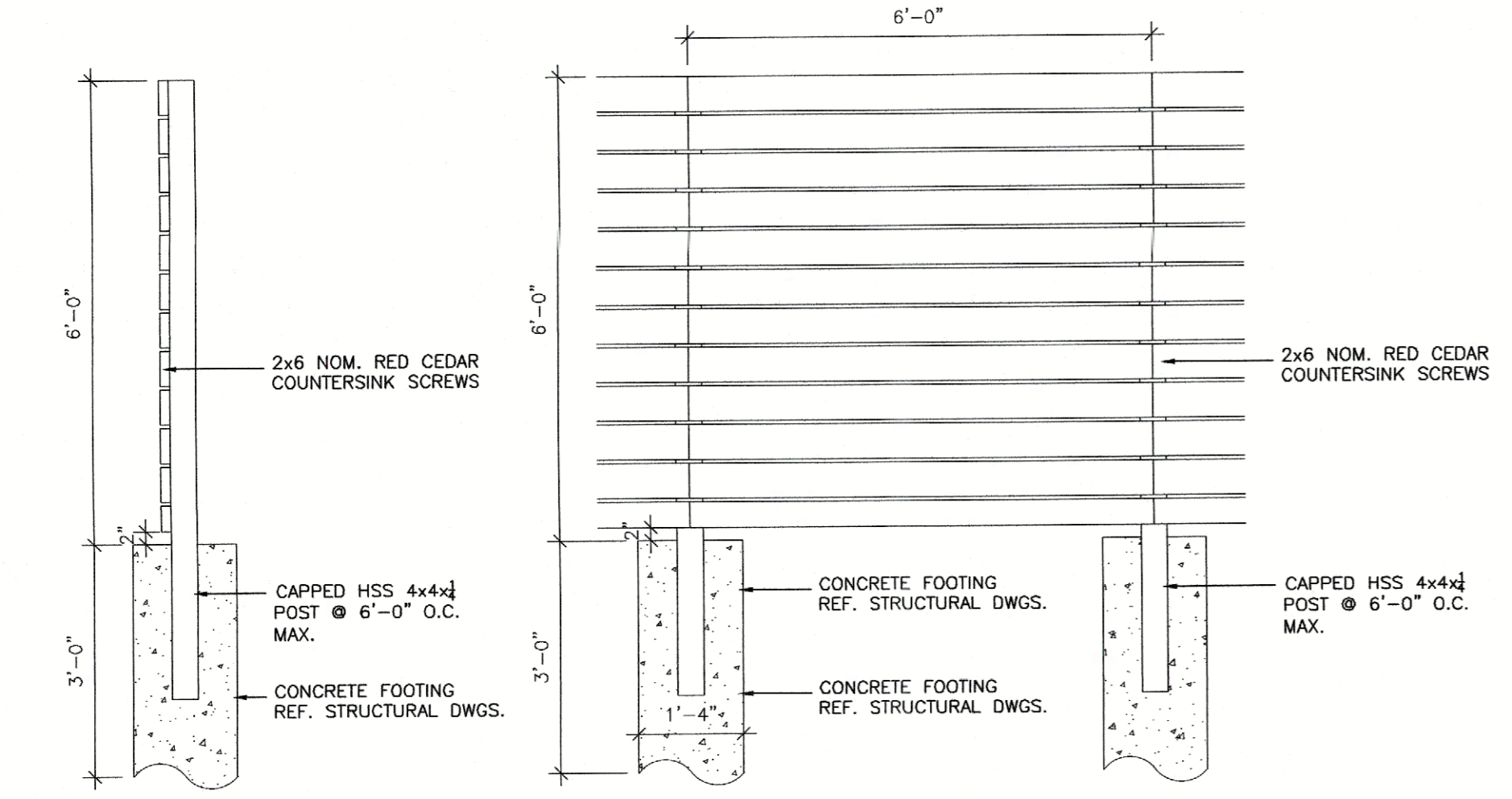
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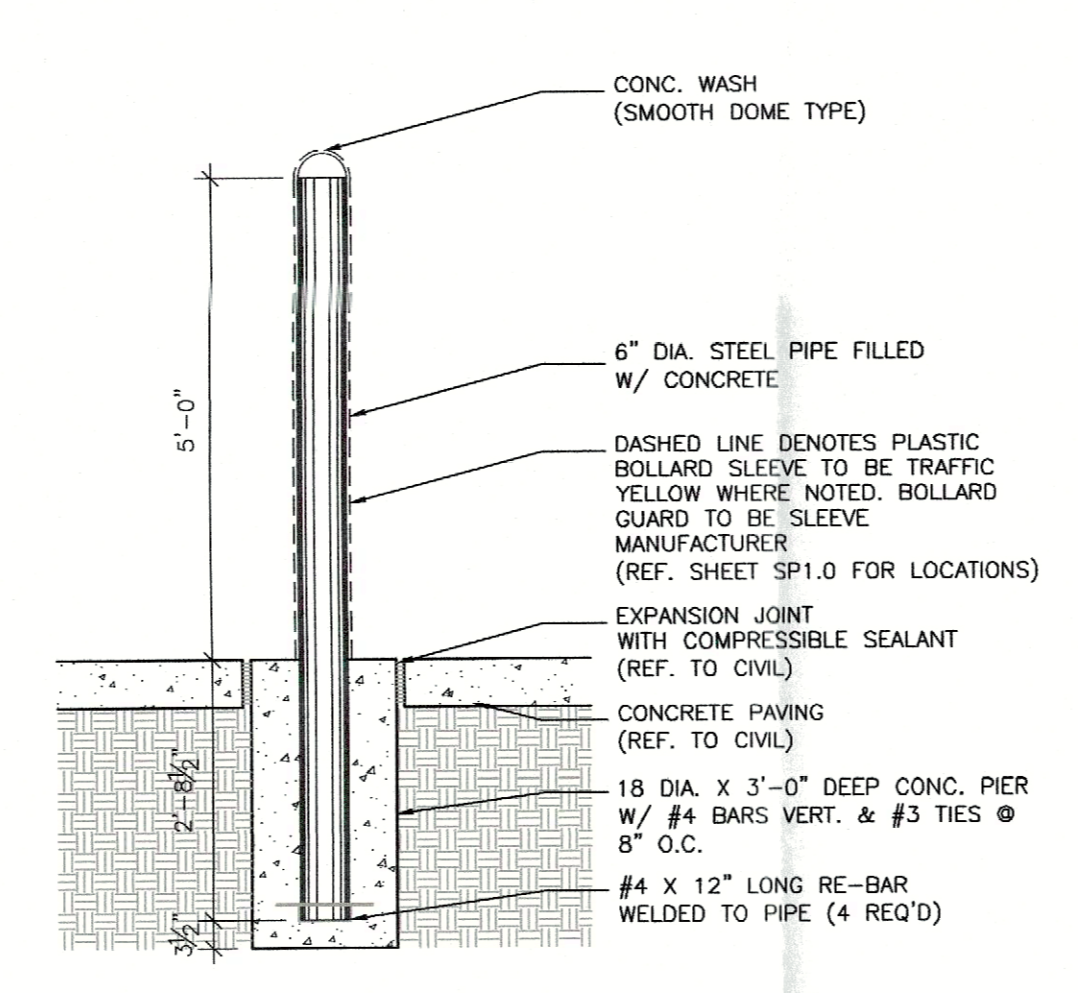
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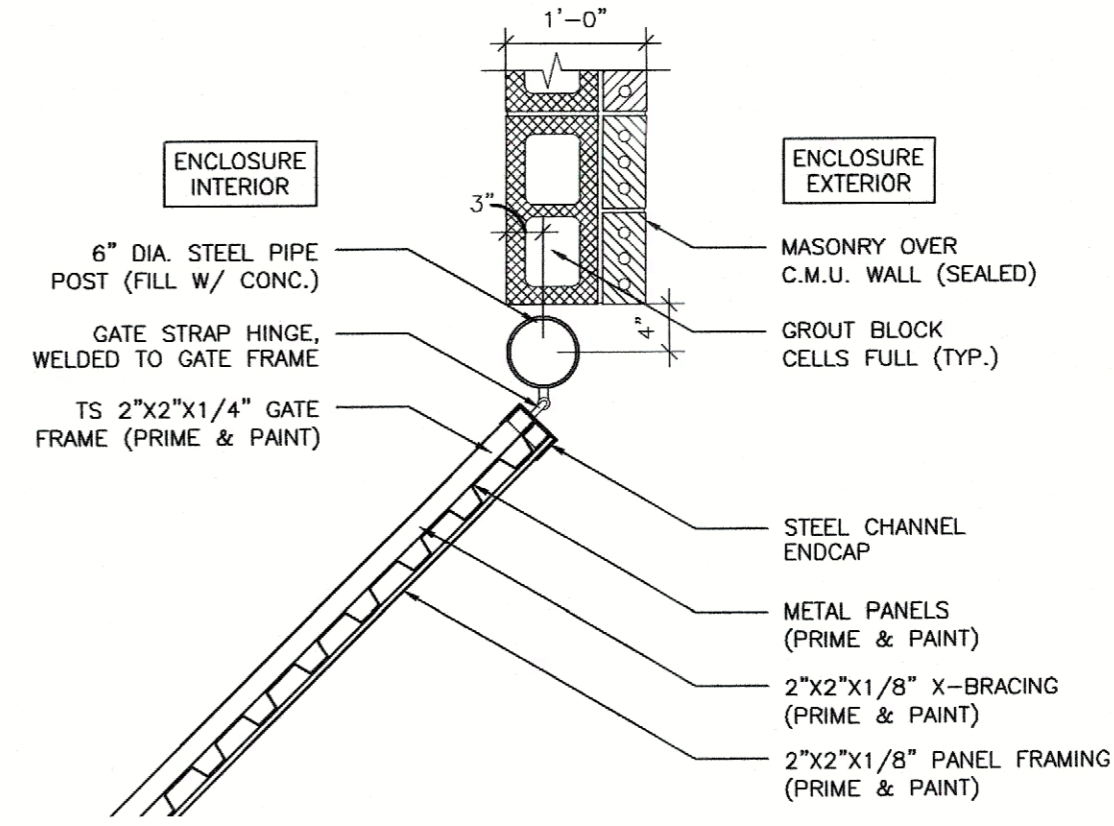
Director of Planning and Zoning



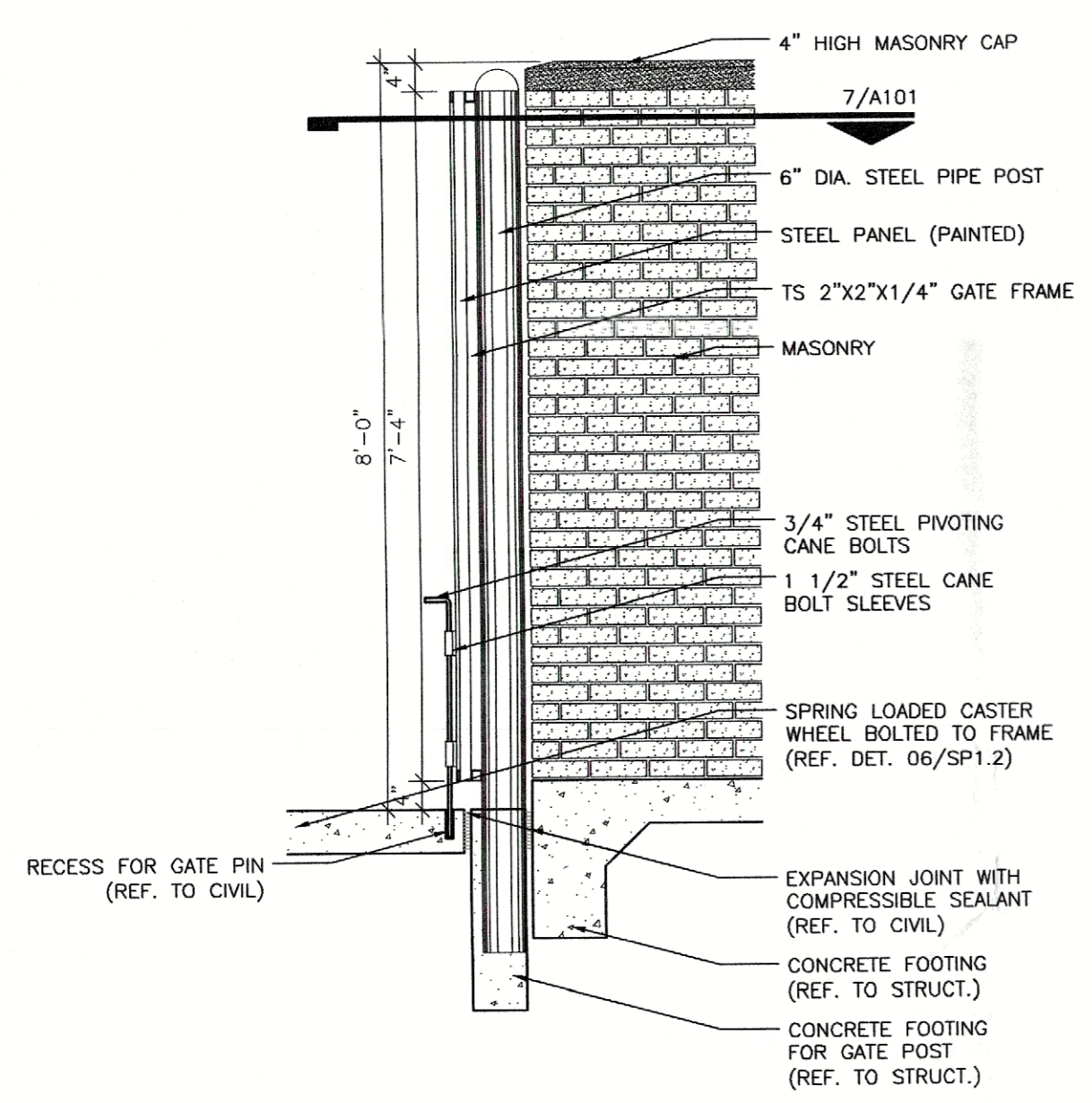
9 WOOD SCREEN FENCE
 SCALE: 1/2" = 1'-0"



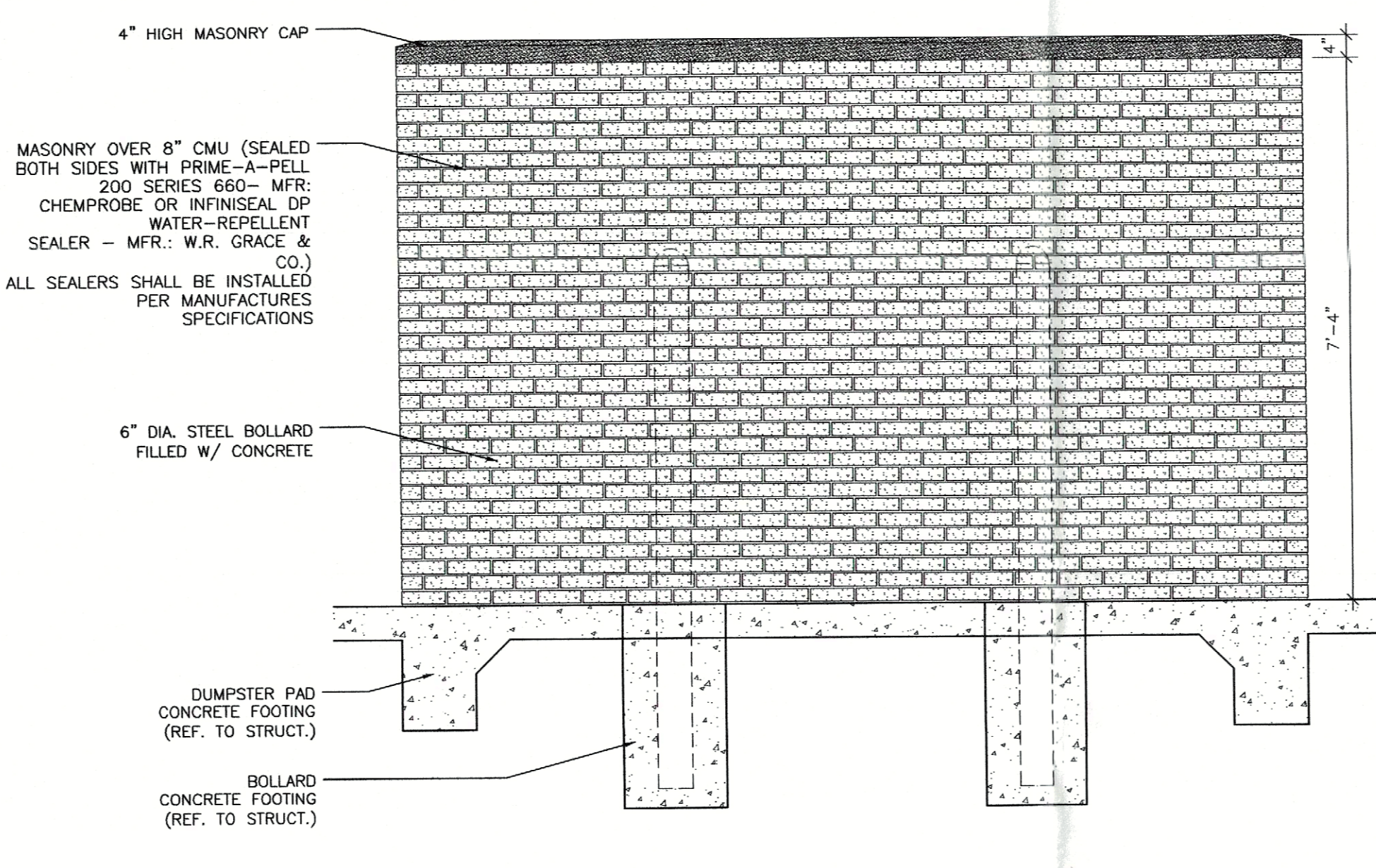
8 BOLLARD DETAIL
 SCALE: 1/2" = 1'-0"



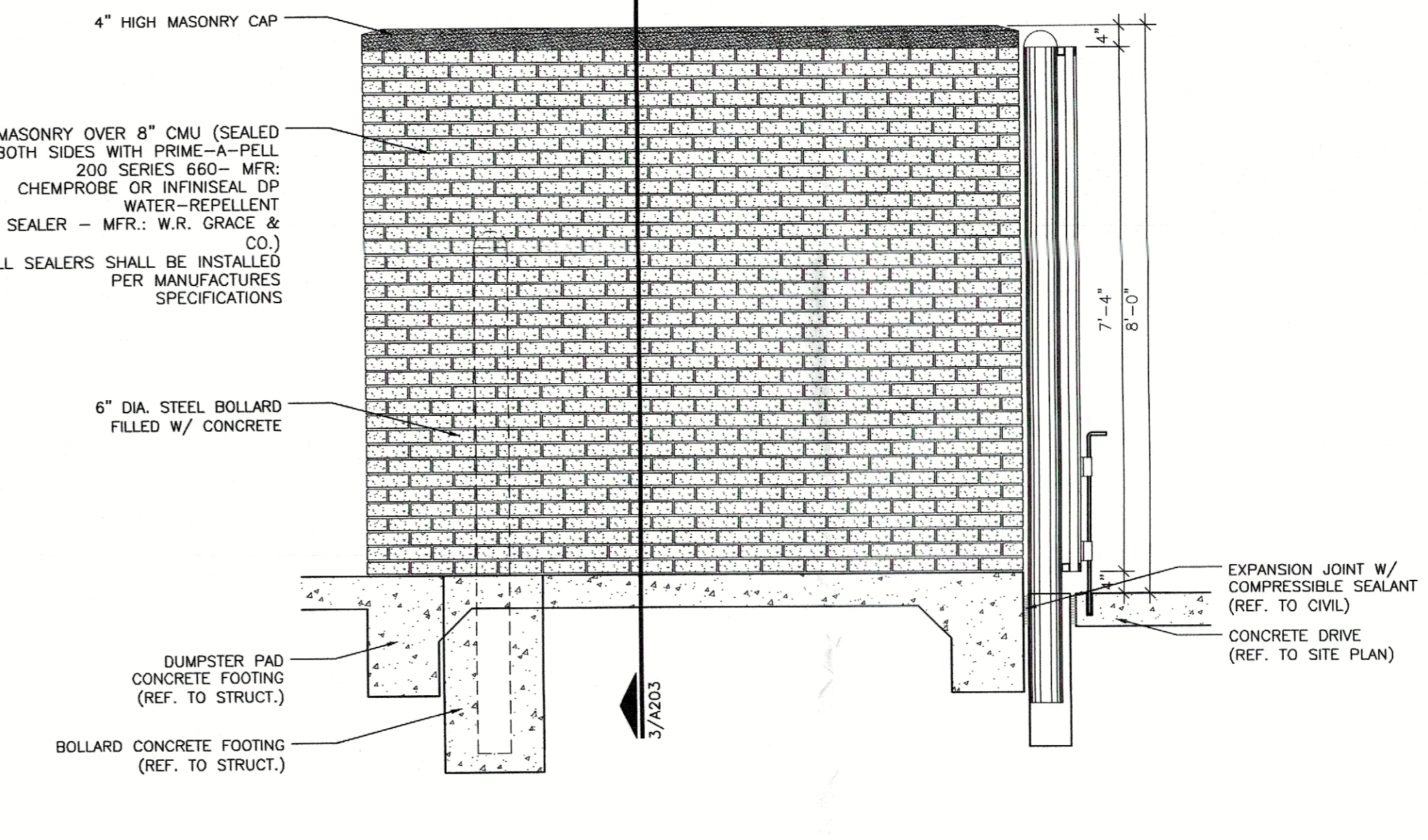
7 DUMPSTER ENCLOSURE GATE DETAIL
 SCALE: 3/4" = 1'-0"



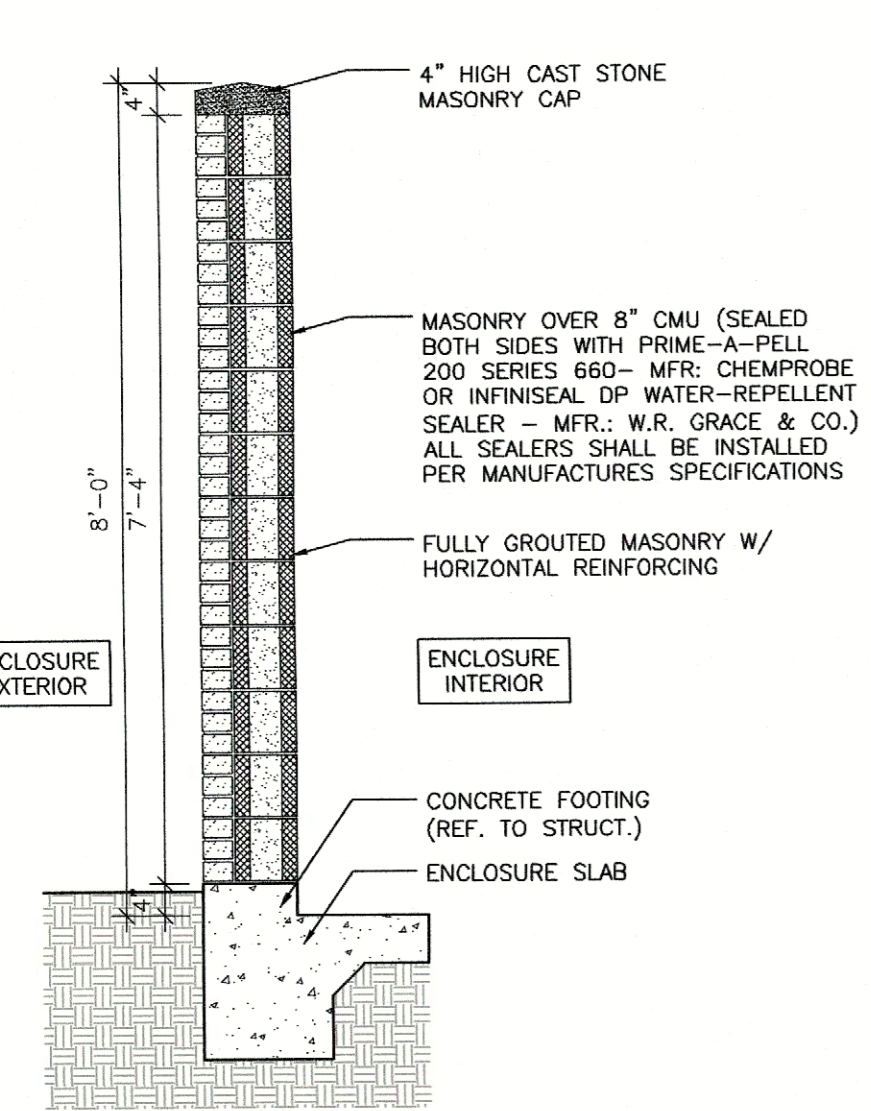
6 GATE SECTION @ DUMPSTER ENCLOSURE
 SCALE: 1/2" = 1'-0"



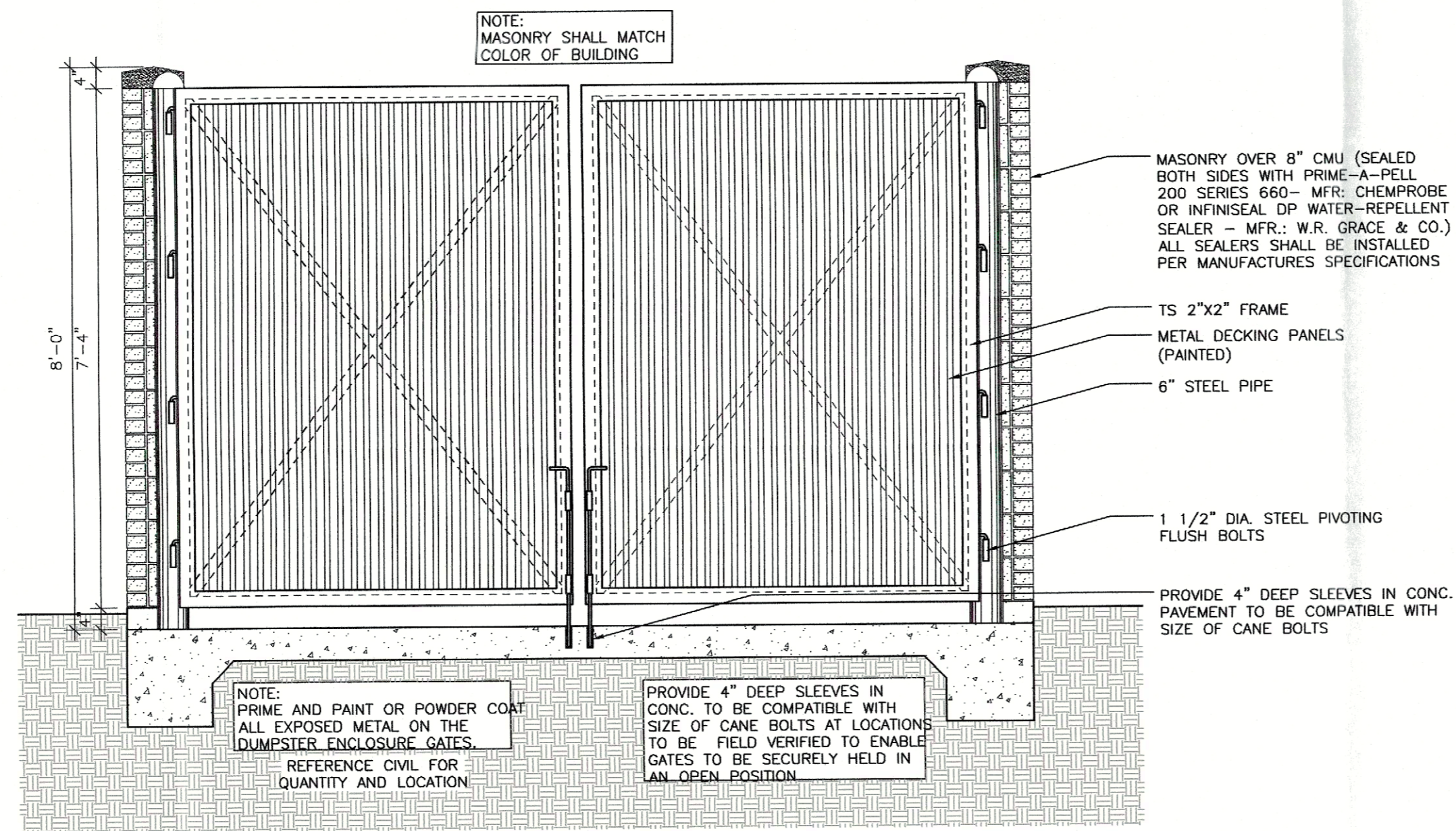
5 DUMPSTER ENCLOSURE REAR ELEVATION
 SCALE: 1/2" = 1'-0"



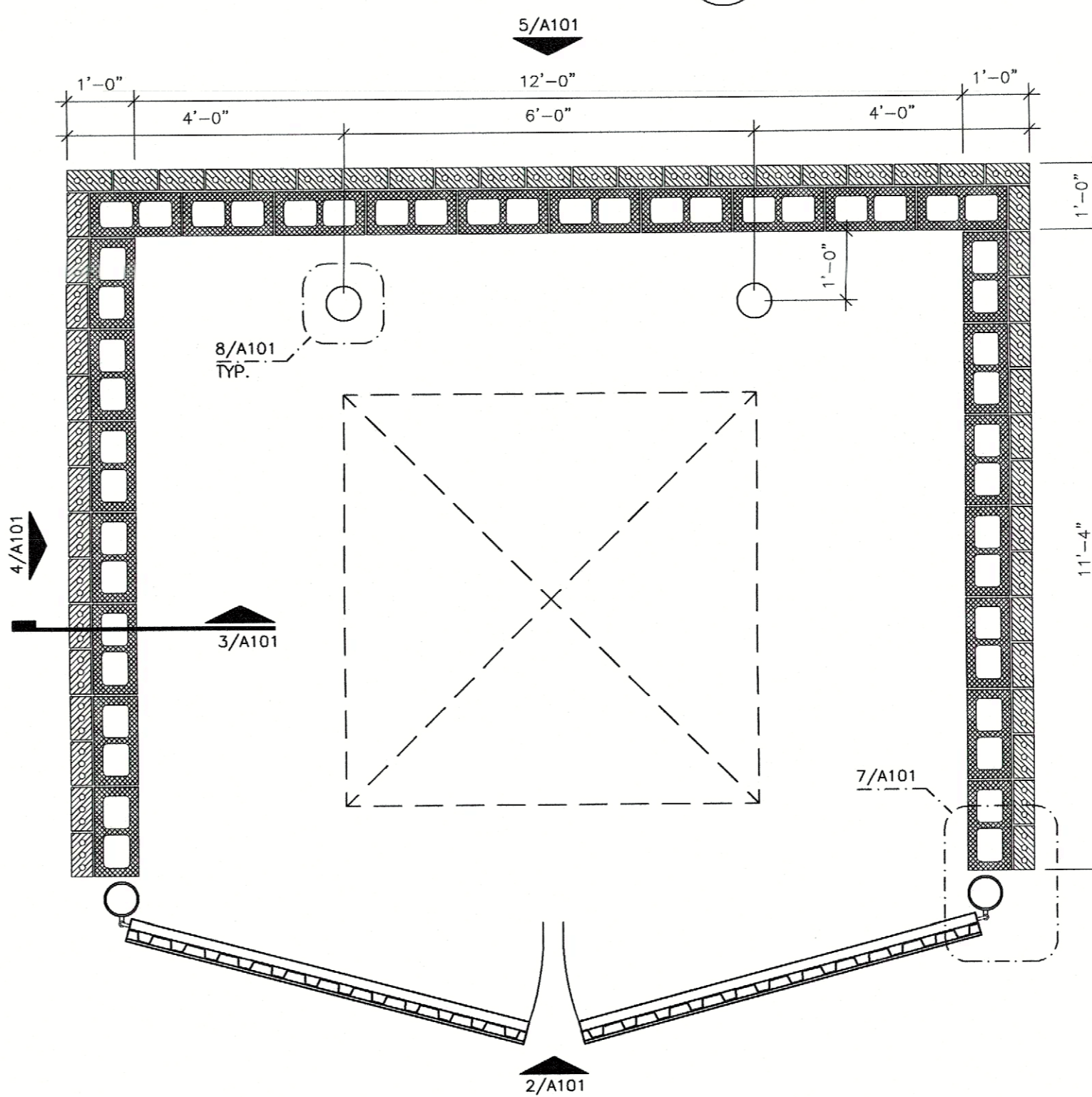
4 DUMPSTER ENCLOSURE SIDE ELEVATION
 SCALE: 1/2" = 1'-0"



3 WALL SECTION @ DUMPSTER ENCLOSURE
 SCALE: 1/2" = 1'-0"



2 DUMPSTER ENCLOSURE FRONT ELEVATION
 SCALE: 1/2" = 1'-0"



1 DUMPSTER ENCLOSURE ENLARGED PLAN
 SCALE: 1/2" = 1'-0"



1 LANDSCAPE SITE PLAN
SCALE: 1" = 20'-0"

SITE DATA TABLE	
SITE AREA	1.74 ACRES (75,987 S.F.)
ZONING	COMMERCIAL
PROPOSED USE	OFFICE
BUILDING AREA: FIRST FLOOR - SECOND FLOOR -	25,500 S.F. 12,923 S.F. 12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
FLOOR TO AREA RATIO	5.88 : 1
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	1.74 ACRES (75,987 S.F.)
REQUIRED LANDSCAPE AREA-- 20% OF 75,987 S.F.	15,197 S.F.
PROVIDED LANDSCAPE AREA-- 22% OF 75,987 S.F.	16,718 S.F.
IMPERVIOUS COVERAGE-- 70% OF 75,987 S.F.	59,269 S.F.

NOTES:

- Irrigation shall be provided to all landscaped areas.
- Tree mitigation for this project for existing trees on this property.
- All perimeter parking are within 50'-0" of a shade tree.
- No trees within 5' of public utilities less than 10'.
- No trees within 10' of public utilities 10" or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (DETENTION POND)
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
	DESERT WILLOW

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

- GENERAL NOTES:**
1. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAIR.
 2. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 3. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 4. CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION. CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 5. DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 6. ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 7. THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 8. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 10. ALL PARKING SPACES ARE WITHIN 80' OF A TREE.

CITY OF ROCKWALL CASE NUMBER:
SP2024-004

LEGAL DESCRIPTION AND/OR ADDRESS:
LOT 1, BLOCK A
REPLAT OF ROCKWALL TOWNE CENTRE
LOT 8 & LOT 9
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OWNER
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ATTN: Brian Berry

APPLICANT
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SITE PLAN SIGNATURE BLOCK

APPROVED:
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WITNESS OUR HANDS this 11th day of April, 2024.

Director of Planning and Zoning

ISSUE: _____

SITE PLAN: 03-05-2024

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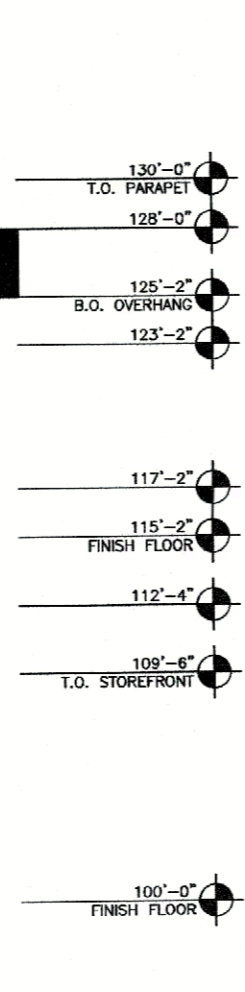
**LANDSCAPE
SITE PLAN**

DATE: _____ SHEET NO. _____

PROJECT NO: 2023100

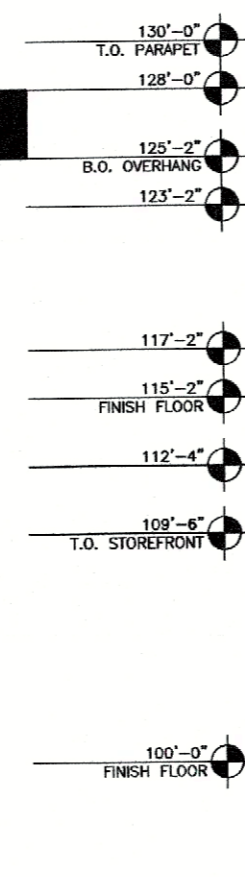
DRAWN BY: JZ **A100**

CHECKED BY: _____



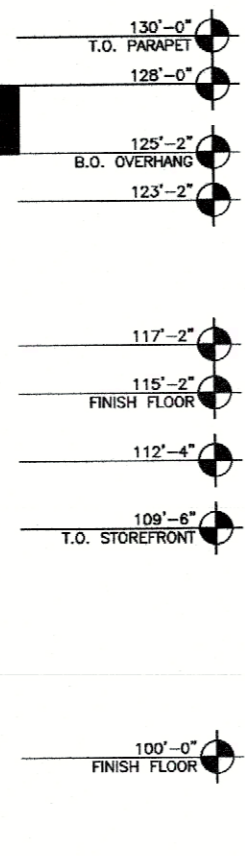
STONE	-	714 S.F.	-	53%
STUCCO	-	279 S.F.	-	21%
AWNINGS	-	350 S.F.	-	26%
TOTAL	-	1,343 S.F.	-	100%

5 WEST ELEVATION - WENDY'S
SCALE: 1/8" = 1'-0"



STONE	-	878 S.F.	-	51%
STUCCO	-	387 S.F.	-	23%
AWNINGS	-	443 S.F.	-	26%
TOTAL	-	1,708 S.F.	-	100%

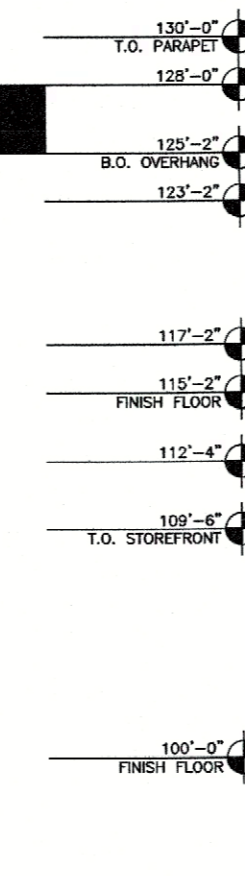
4 NORTH ELEVATION - RIDGE ROAD
SCALE: 1/8" = 1'-0"



2/3 PERCENTAGES

STONE	-	1265 S.F.	-	56%
STUCCO	-	450 S.F.	-	20%
AWNINGS	-	552 S.F.	-	24%
TOTAL	-	2,267 S.F.	-	100%

3 EAST ELEVATION - VIGOR WAY
SCALE: 1/8" = 1'-0"



STONE	-	1150 S.F.	-	51%
STUCCO	-	521 S.F.	-	23%
AWNINGS	-	577 S.F.	-	26%
TOTAL	-	2,248 S.F.	-	100%

1 SOUTH ELEVATION - I-30
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

A	STONE VENEER ACCENT COLOR: (4) SIDED CUT STONE USING 3" HEIGHT BY RANDOM LENGTHS, COLOR - LIMESTONE
B	STONE VENEER FIELD COLOR: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH MINIMUM SIZE 6" TALL, MAXIMUM SIZE 12" TALL, COLOR - LUEDERS DARK GREY
C	STONE CAP: (4) SIDED CUT STONE W/ RANDOM LENGTHS WITH MAXIMUM SIZE 3" TALL, COLOR - LUEDERS DARK GREY
D	STUCCO: (3 PART SYSTEM) W/ ELASTOMERIC FINISH COAT - COLOR - SW 9163 TIN LIZZIE
E	AWNINGS: PREFINISHED MTL. AWNINGS PANELS COLOR - BLACK
F	PREFINISHED METAL COPING COLOR - SILVER
G	ALUMINUM STOREFRONT, COLOR - BLACK
H	GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 95% - DARK GREY
J	STUCCO: CONTROL JOINTS AS SHOWN
K	MASONRY EXPANSION JOINT
L	MECHANICAL SCREEN ON ROOF COLOR - LIGHT GREY

ISSUE: _____
SITE PLAN: 03-05-2024

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NEW OFFICE DEVELOPMENT
VIGOR WAY PLAZA
Vigor Way,
Rockwall, Texas 75087

PRBBS, LLC.
2 ESSEX COURT
HEATH, TX 75032

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
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CITY OF ROCKWALL CASE NUMBER: SP2024-004	
LEGAL DESCRIPTION AND OR ADDRESS: LOT 1, BLOCK A REPLAT OF ROCKWALL TOWNE CENTRE LOT 8 & LOT 9 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
OWNER PRBBS, LLC 2 Essex Court Heath, TX 75032 ATTN: Brian Berry	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jcarroll@carrollarch.com ATTN: Jeff Carroll	
SITE PLAN SIGNATURE BLOCK APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11th day of April, 2024.	
WITNESS OUR HANDS, this 11th day of April, 2024.	
_____ Director of Planning and Zoning	_____ Planning & Zoning Commission, Chairman

EXTERIOR ELEVATIONS

DATE: _____ SHEET NO. _____
PROJECT NO: 2023100
DRAWN BY: ZJ
CHECKED BY: _____

A501