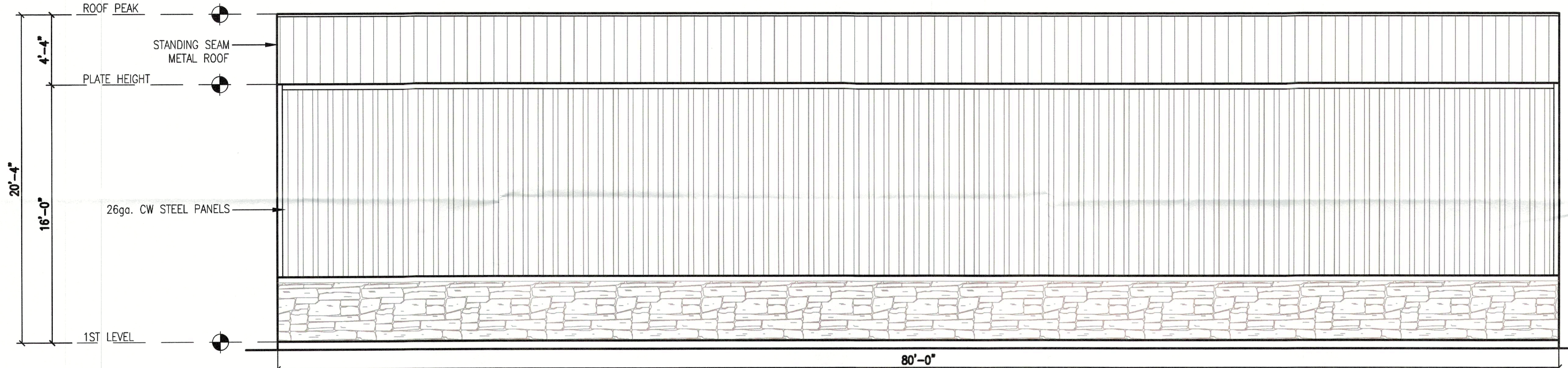
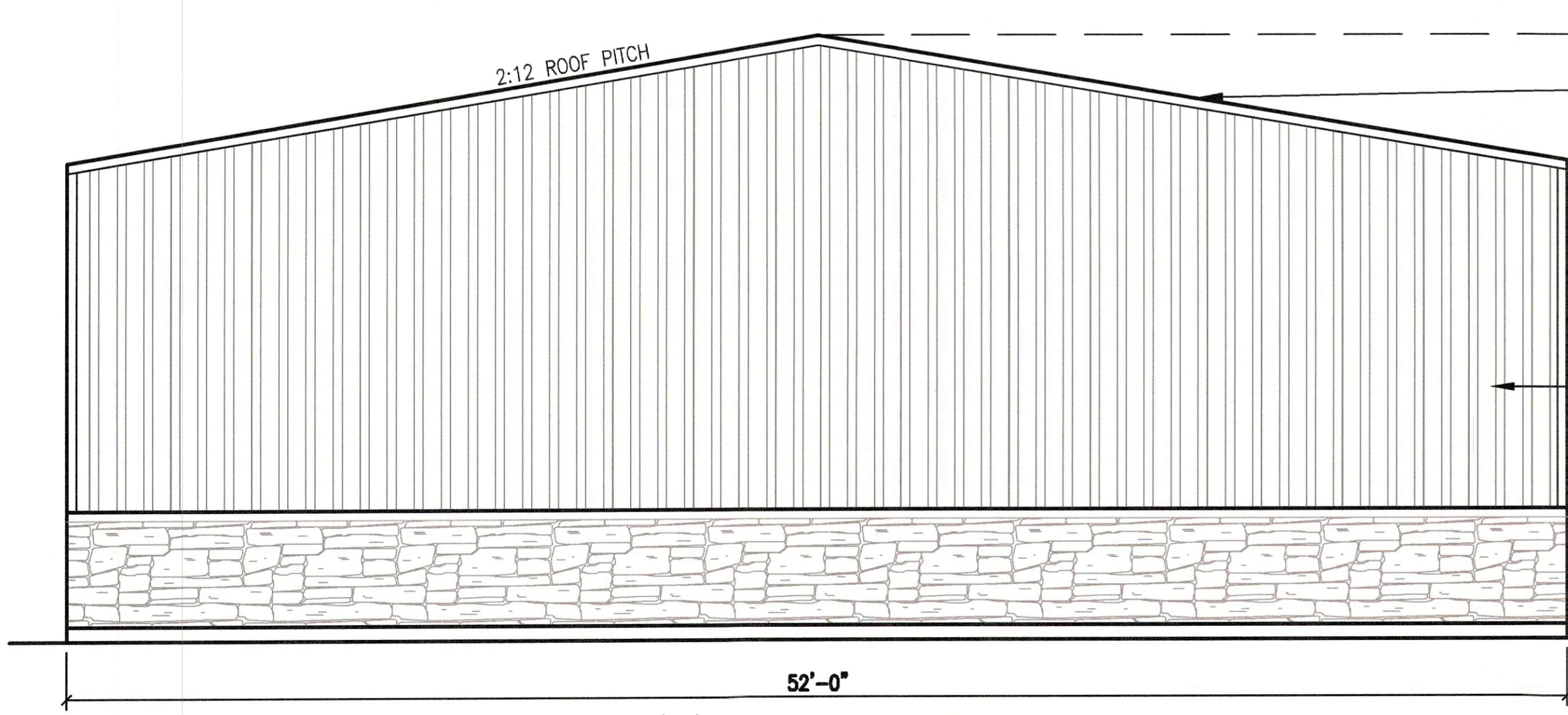


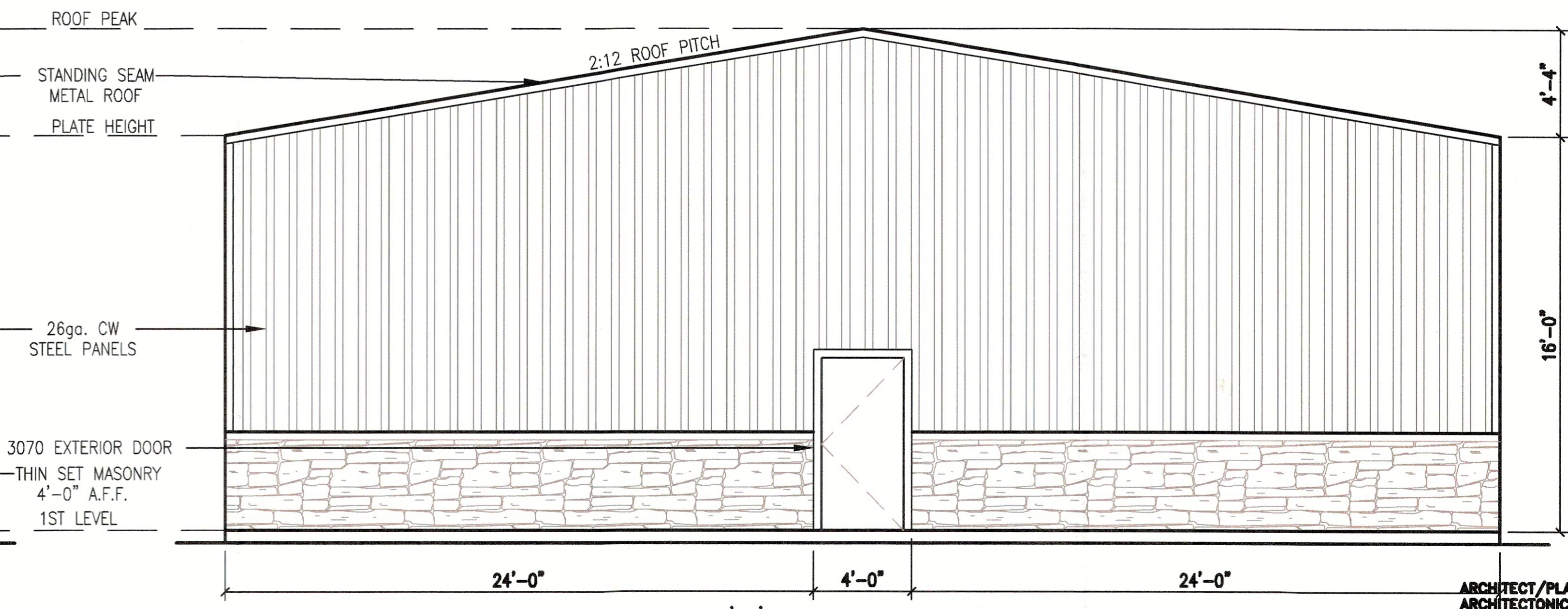
BUILDING 'A' - SOUTH ELEVATION
1/8" = 1'-0"



BUILDING 'A' - NORTH ELEVATION
1/8" = 1'-0"



BUILDING 'A' - WEST ELEVATION
1/8" = 1'-0"



BUILDING 'A' - EAST ELEVATION
1/8" = 1'-0"

MATERIAL USAGE (%) - SOUTH

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,280	
DOORS & WINDOWS (DEDUCTED)		506	
ACCOUNTABLE AREA		774	100%
26ga. STEEL		650	84%
THIN SET MASONRY CLADDING		124	16%

MATERIAL USAGE (%) - NORTH

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1280	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		1,280	100%
26ga. STEEL		925	73%
THIN SET MASONRY CLADDING		355	27%

MATERIAL USAGE (%) - WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		944	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		944	100%
26ga. STEEL		736	78%
THIN SET MASONRY CLADDING		208	22%

MATERIAL USAGE (%) - EAST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		944	
DOORS & WINDOWS (DEDUCTED)		21	
ACCOUNTABLE AREA		923	100%
26ga. STEEL		731	79%
THIN SET MASONRY CLADDING		192	21%

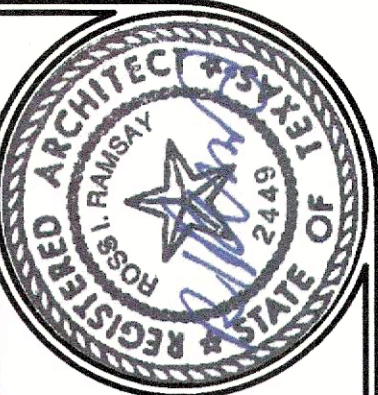
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 12th DAY OF March, 2024.

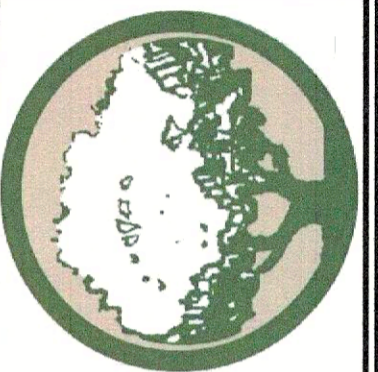
WITNESS OUR HANDS, THIS 12th DAY OF March, 2024.

[Signature]
PLANNING AND ZONING COMMISSION

[Signature]
DIRECTOR OF PLANNING AND ZONING



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REVISIONS

NO.	DATE	DESCRIPTION/ISSUE
1.	3/1/2024	RESPONSE TO CITY COMMENT
2.	3/24/2024	RESPONSE TO CITY COMMENT

PROJECT NAME AND ADDRESS:
METAL BUILDINGS for
1800 DALROCK, LLC
200 & 206 RANCH TRAIL RD.
ROCKWALL, TEXAS 75032

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	01/23/24
SCALE	
SHEET NO.	of

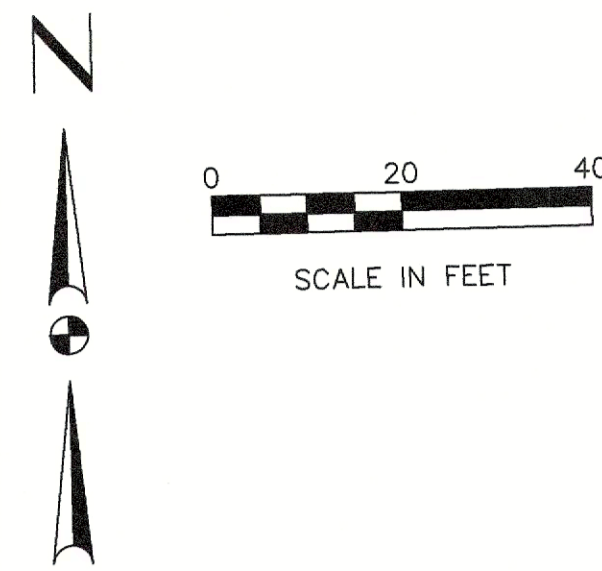
DRAWING NAME:
**ELEVATIONS-
BLDG 'A'**

A1.0

SP2024-003

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
STEVEN REYES
(972)345-1984
2235 RIDGE RD. STE. 201
ROCKWALL, TEXAS 75087

OWNER/AGENT:
1800 DALROCK, INC
ATTN: KEVIN LLOYD
(214)316-1060



KUMAR ATUL
2.27 AC.
RAINBO ACRES
CAP. A. SL. 20
P.R.R.C.T.

PATRIOT PAWS SERVICE DOGS
3.466 AC.
LOT 1 BLOCK A
PATRIOT DOGS ADDITION
VOL. 2014, P.C. 0000006979

TEXAS RANCH TRAILS, LLC
PART OF LOT 6, BLK A
1.32 AC.
VOL. 2016, P.C. 0000017304

MAVERICK RANCH
0.793 AC.
ART OF LOT 6, BLK A
GE POINTE HORIZON, LP
2014, P.C. 0000014590

---PROPOSED TREES---

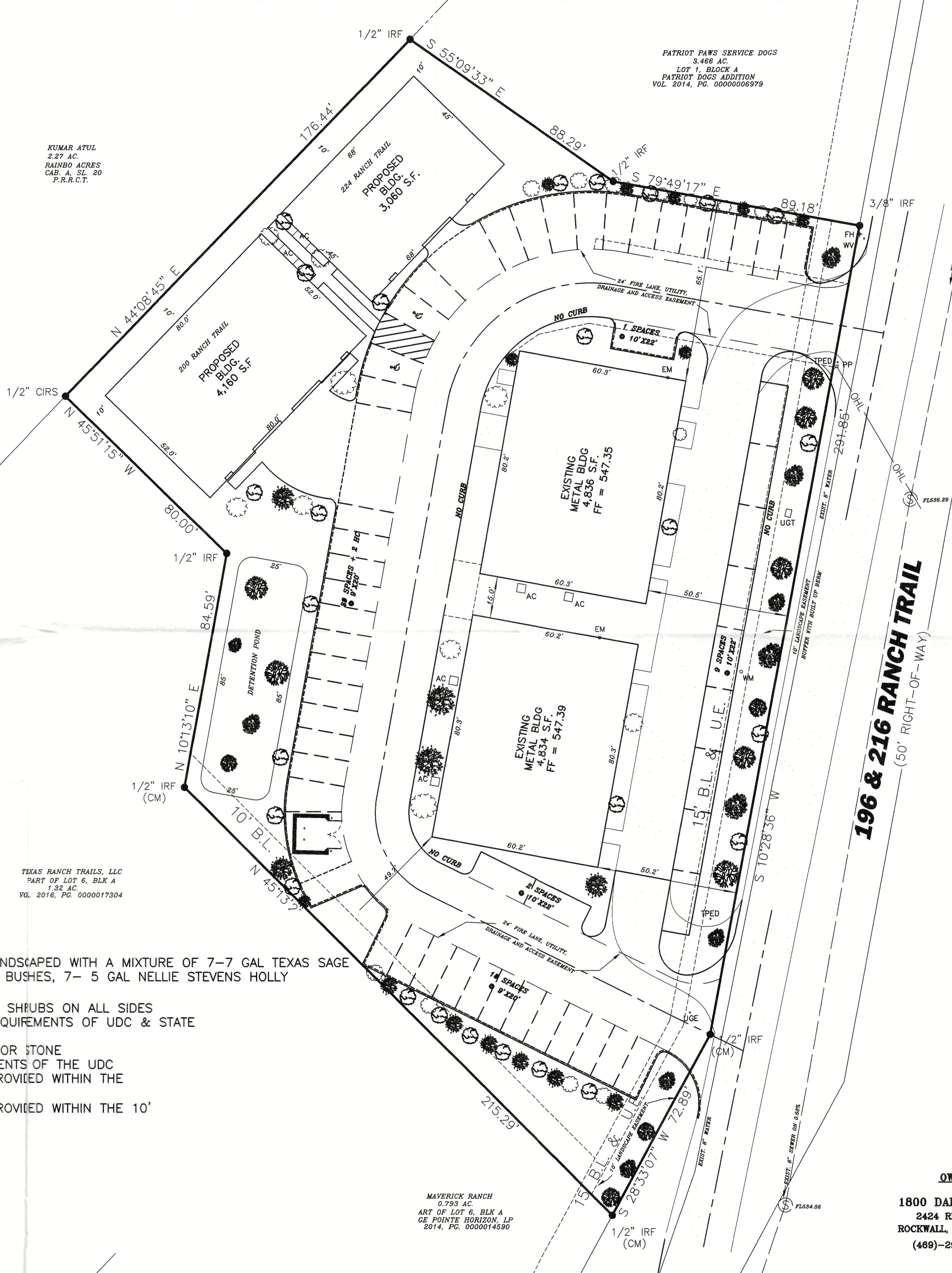
- 4" LIVE OAK (LO)
- 4" AUTUMN BLAZE RED MAPLE (RM)

---PROPOSED SHRUBS---

- NELLIE STEVENS HOLLY (NS)
- TEXAS SAGE DESPARADO (SD)
- WAX LEAF PRIVET LIGUSTRUM (PL)

LANDSCAPE NOTES

1. 9-4" LIVE OAK, 9-4" AUTUMN BLAZE RED MAPLE,
2. SCREEN HEDGEROW INTERIOR PARKING FRONTAGE LANDSCAPED WITH A MIXTURE OF 7-7 GAL TEXAS SAGE DESPARADO, 7-5 GAL WAX LEAF PRIVET LIGUSTRUM BUSHES, 7- 5 GAL NELLIE STEVENS HOLLY
3. NO TREES WITHIN 5' OF UTILITY EASEMENTS
4. ALL GROUND MOUNTED A/C UNITS WILL BE SCREENED WITH SHRUBS ON ALL SIDES
5. THE LANDSCAPING IRRIGATION SYSTEM WILL MEET REQUIREMENTS OF UDC & STATE OF TEXAS TCEQ
6. ALL RETAINING WALLS SHALL BE FINISHED IN ROCK OR STONE
7. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS OF THE UDC
8. 3 CANOPY TREES AND 2 ACCENT TREES WILL BE PROVIDED WITHIN THE DETENTION POND AREA
9. 8 CANOPY TREES AND 8 ACCENT TREES WILL BE PROVIDED WITHIN THE 10' LANDSCAPE BUFFER ALONG RANCH TRAIL



APPROVED:
I hereby certify the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of March, 2024.
WITNESS OUR HANDS, this 12th day of March, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

SITE DATA SUMMARY

ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1.550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	51 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE (10,124 SQ.FT.)
INTERIOR LANDSCAPING PROVIDED	31,900 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

SITE NOTES:

1. PARKING SPACES ARE 9'X20'
 2. ALL GROUND MOUNTED HVAC UNITS TO BE SCREENED WITH LANDSCAPING
 3. EXTERIOR LIGHTING TO BE WALL PACKS
- SEE BUILDING ELEVATIONS

OWNER

1800 DALROCK, LLC
2424 RIDGE RD
ROCKWALL, TEXAS 75087
(469)-298-1594

SURVEYOR

FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEAGUIRE, TEXAS 75150
(903)-944-6397
Texas Firm No. 10194258



THE SEAL APPEARING ON THIS PLAN IS THE PROPERTY OF WILL DOUPHRADE II, P.L.L.C. BY WILL DOUPHRADE II, TEXAS P.L.E. NO. 80102, F-886, ON JAN 29, 2024

DOUPHRADE & ASSOCIATES, INC.
ENGINEERING - PROJECT MANAGEMENT - SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

LANDSCAPING PLAN
LOT 7, BLOCK A
MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

REVISION	
WLD.	
CHECKED	
GCW.	
DRAWN	
SCALE	1" = 20' H 1" = 1" V
DATE	JAN 29, 2024
PROJECT	23028
20	

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 12th day of March, 2024.

[Signature]
Director of Planning & Zoning
Chairman



OWNER: 1800 DALROCK LLC

LOT 5, BLOCK A
MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

LIGHT FIXTURE SCHEDULE

FIXTURE	DESCRIPTION	MANUFACTURER	MODEL
A	WALL PACK	LITHONIA	WPX1 LED P1 30K MVOLT

WPX LED Wall Packs

Specifications

Front View / Side View

Fixture	Height	Width	Depth	Weight	Power
WPX1	11.7" (29.7cm)	4.7" (11.9cm)	1.4" (3.5cm)	0.8 lbs (0.36kg)	30W
WPX2	11.7" (29.7cm)	4.7" (11.9cm)	1.4" (3.5cm)	0.8 lbs (0.36kg)	40W
WPX3	11.7" (29.7cm)	4.7" (11.9cm)	1.4" (3.5cm)	0.8 lbs (0.36kg)	60W

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DOBBD

Option	Color Temperature	Warranty	Notes
WPX2 LED P1	3000K	5 Year	Standard
WPX2 LED P2	4000K	5 Year	Standard
WPX2 LED P3	5000K	5 Year	Standard

Introduction
The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Features & Specifications

Performance Data

Electrical Load

Fixture	Height	Power	VA	THD	THF
WPX1 LED P1	11W	0.09	0.25	0.25	0.03
WPX1 LED P2	20W	0.20	0.52	0.53	0.07
WPX2	40W	0.39	0.98	1.01	0.11
WPX3	60W	0.58	1.49	1.51	0.20

Projected LED Lumen Maintenance

HID Replacement Guide

Fixture	Equivalent HID Power	HID Wattage
WPX1 LED P1	30W	11W
WPX1 LED P2	40W	15W
WPX2	60W	25W
WPX3	80W	30W

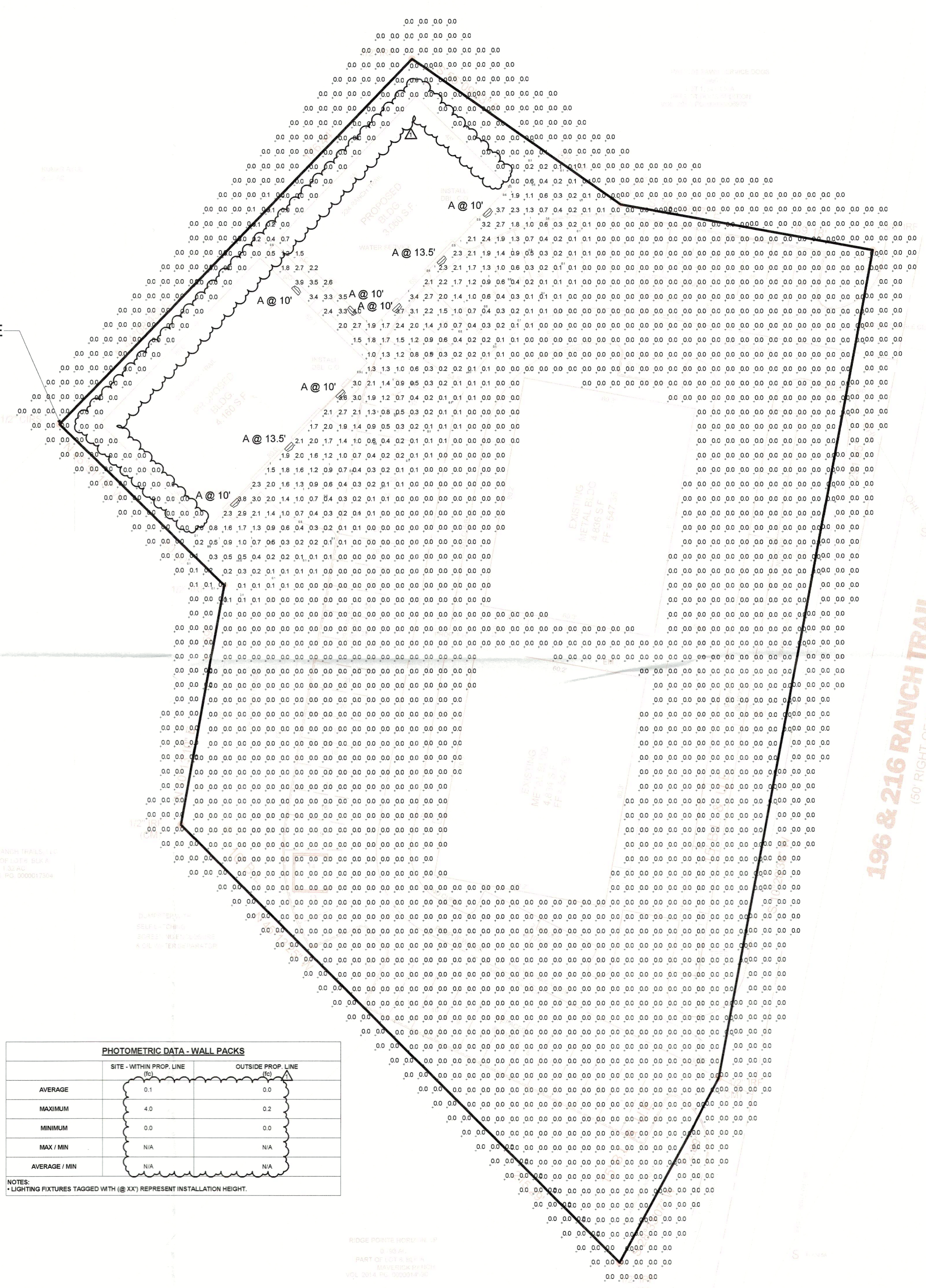
Emergency Egress Battery Packs

Option	Mounting Height	Wattage	Notes
Standard	6" - 14"	1W	WPX1 LED 40K MVOLT 1800 0010
Call Weather	3" - 14"	0.5W	WPX1 LED 40K MVOLT 0.5W 0010

Photometric Diagrams

Mounting Height = 12 Feet

PROPERTY LINE



PHOTOMETRIC DATA - WALL PACKS

	SITE - WITHIN PROP. LINE (fc)	OUTSIDE PROP. LINE (fc)
AVERAGE	0.1	0.0
MAXIMUM	4.0	0.2
MINIMUM	0.0	0.0
MAX / MIN	N/A	N/A
AVERAGE / MIN	N/A	N/A

NOTES:
• LIGHTING FIXTURES TAGGED WITH (@ XX') REPRESENT INSTALLATION HEIGHT.

196 & 216 RANCH TRAIL
(50' RIGHT-OF-WAY)

No.	Date	Description
1	03/04/2024	PERMIT COMMENTS

SEAL:

ISSUE/ORIGINAL COPYRIGHT DATE: 2024/02/20
PROJECT #: 24003
DRAWN BY: PE
CHECKED BY: RG
SHEET NAME: PHOTOMETRIC PLAN

SHEET NUMBER:
PH1.0

SP2024-003