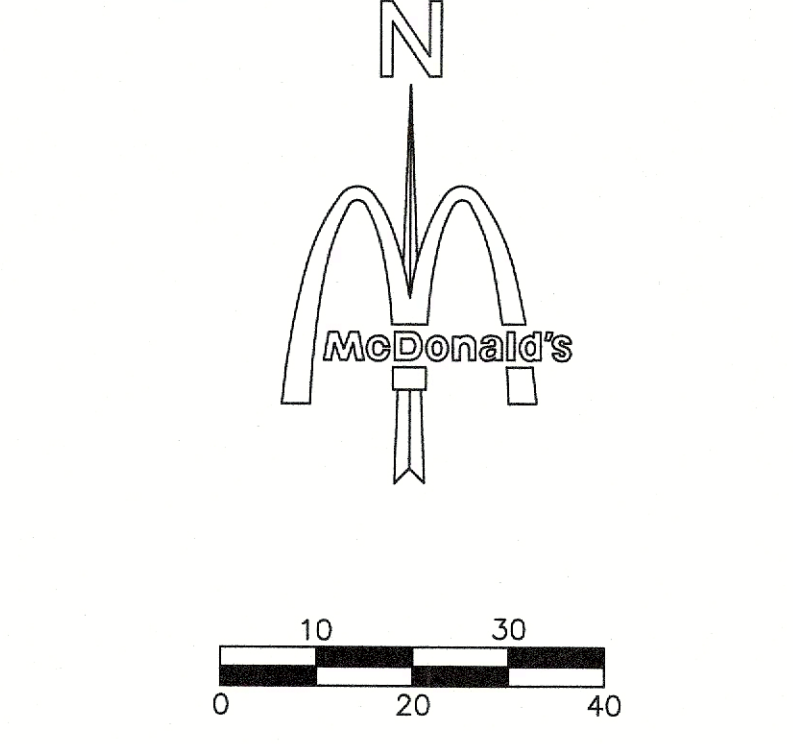
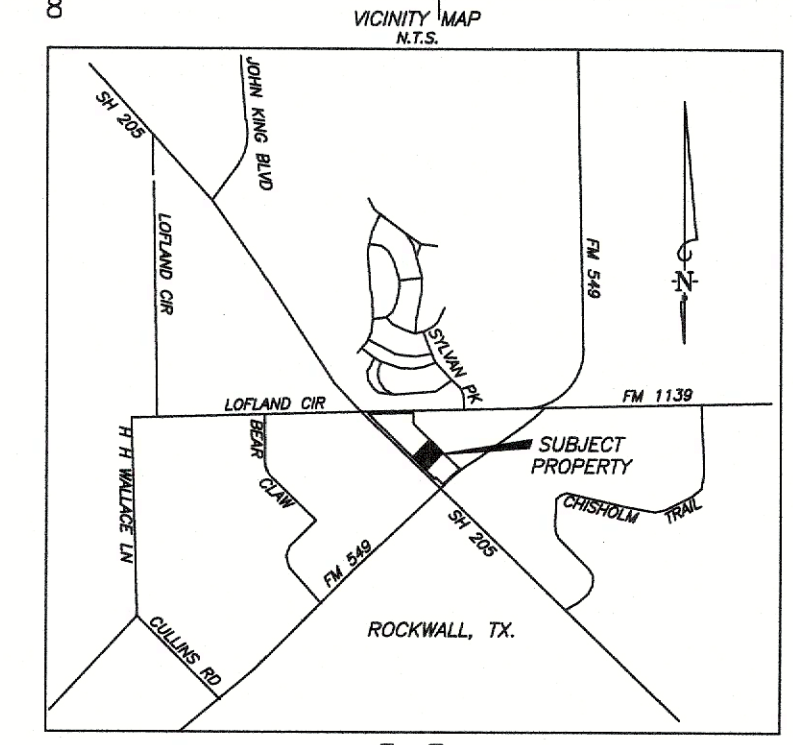
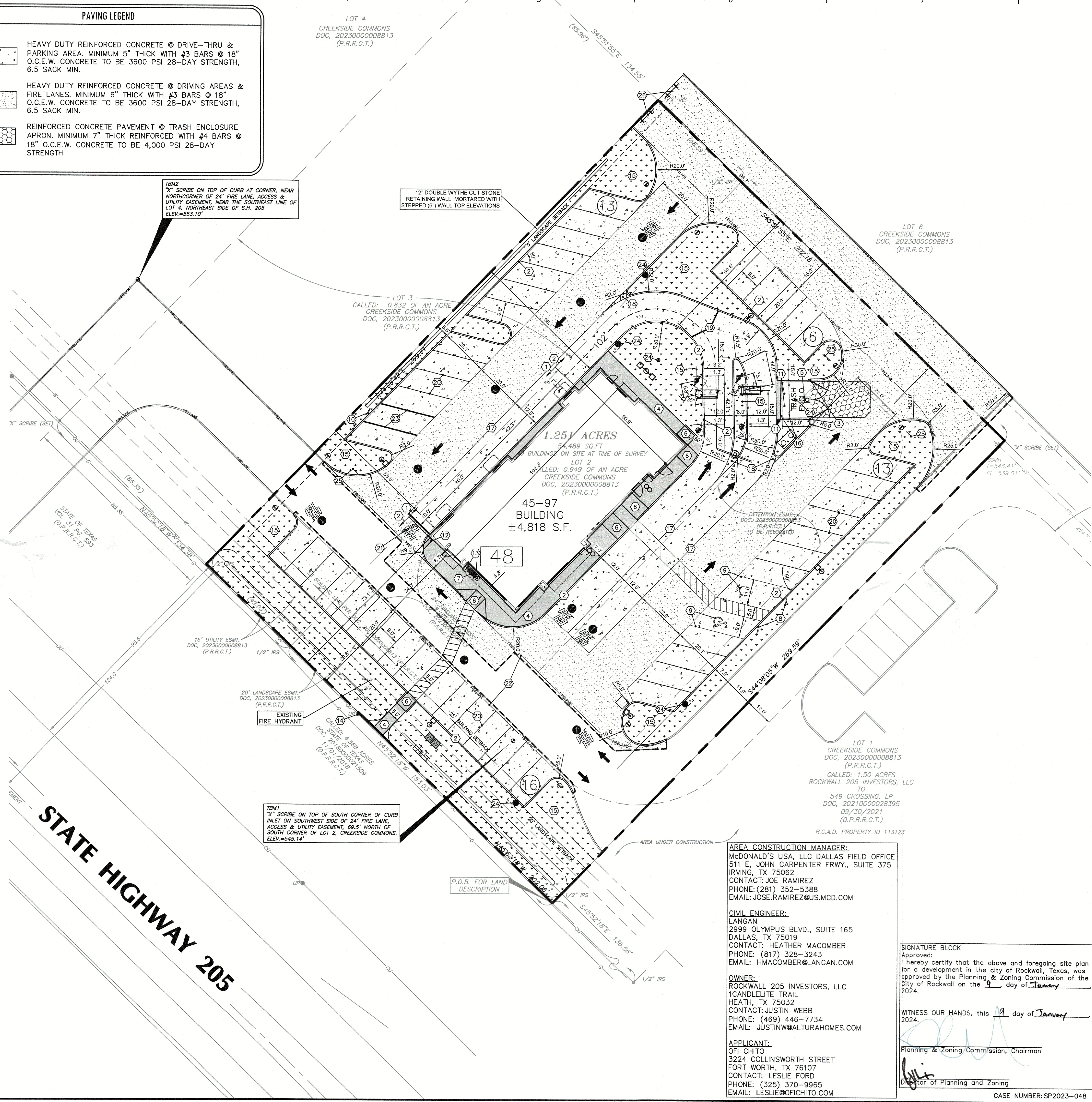


LEGEND	
LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES) (24" CLEAR FROM BACK OF CURB)	
McDONALD'S DIGITAL MENU BOARD	
McDONALD'S ORDER HERE CANOPY	
McDONALD'S DIGITAL PRE-BROWSE BOARD	
McDONALD'S DOUBLE GATEWAY	
McDONALD'S DIRECTIONAL SIGN	
DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C10.0 STANDARD DETAILS)	
"DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR : YELLOW	
PAINTED "STOP" AND 12" STOP BAR WITH "STOP" SIGN - COLOR : YELLOW *	
"THANK YOU" AT END OF PATH - COLOR : YELLOW	
"CIRCLE / ARROW" - COLOR : YELLOW	
ARROW PATH DIRECTION - COLOR : WHITE	
STRAIGHT DRIVE-THRU "ARROW MARKING" - COLOR : YELLOW	

PAVING LEGEND	
HEAVY DUTY REINFORCED CONCRETE @ DRIVE-THRU & PARKING AREA. MINIMUM 5" THICK WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 3600 PSI 28-DAY STRENGTH, 6.5 SACK MIN.	
HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & FIRE LANES. MINIMUM 6" THICK WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 3600 PSI 28-DAY STRENGTH, 6.5 SACK MIN.	
REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 7" THICK REINFORCED WITH #4 BARS @ 18" O.C.E.W. CONCRETE TO BE 4,000 PSI 28-DAY STRENGTH	

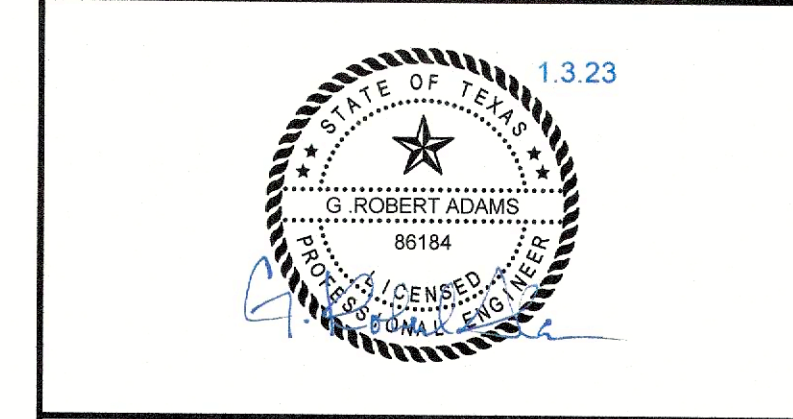
KEY NOTE LEGEND	
MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
2	CURB AND GUTTER @ NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)
3	TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)
4	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
5	100 GAL SAND OIL SEPARATOR (RE: PARK USA CMP-1)
6	H.C. ACCESS RAMP @ 1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)
7	BENCH (G.C. TO COORDINATE WITH O/O & ACM)
8	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
9	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (RE: C10.1 STANDARD DETAILS)
10	McDONALD'S OOSP, MOBILE & ROLL FORWARD SIGNS (RE: C10.4 STANDARD DETAILS)
11	BOLLARD (RE: C10.0 STANDARD DETAILS)
12	5' GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARDS DETAILS)
13	PLANTERS (G.C. TO COORDINATE WITH O/O & ACM)
14	POLE MOUNTED TRANSFORMER (RE: C9.0 UTILITY PLAN)
15	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
16	8' TALL MASONRY SCREENING WALL (RE: ARCHITECTURAL PLANS)
17	6" DRIVE-THRU STRIPING - COLOR : YELLOW
18	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR : YELLOW
19	6" MERGE POINT - COLOR : YELLOW
20	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
21	8" OOSP STRIPING - COLOR : YELLOW
22	FIRE LANE STRIPING PER CITY OF ROCKWALL FIRE CODE STANDARDS
23	4" OOSP & MOBILE PICK-UP STRIPING - COLOR : YELLOW
24	DRAINAGE STRUCTURE (RE: CB.1 POST DEVELOPED DRAINAGE PLAN)
25	DO NOT ENTER SIGN
26	TYPE III BARRICADE (PER MUTCD STANDARDS)

SITE INFORMATION	
LAND AREA:	54,489 SF (1.251 AC)
CURRENT ZONING:	C-COMMERCIAL DISTRICT (SH205 OVERLAY DISTRICT)
EXISTING USE:	VACANT LOT
PROPOSED USE:	McDONALD'S RESTAURANT W/DRIVE-THRU
BUILDING AREA (APPROXIMATE):	4,818 GFA
BUILDING LOT COVERAGE:	4,818 SF/54,489 SF = 8.84%
PARKING CALCULATIONS:	1 SPACE PER 100 SF
PARKING SPACES REQUIRED:	48
PARKING SPACES PROVIDED:	48
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
LANDSCAPE SETBACK:	20' FRONT; 5' REAR & SIDE
BUILDING SETBACK:	25' FRONT; 10' SIDES & REAR
EXISTING IMPERVIOUS AREAS:	13.9% (7,592 SF)
PROPOSED IMPERVIOUS AREAS:	66.2% (36,028 SF)
PROPOSED LANDSCAPE PERCENTAGE:	19.9% (10,869 SF)



811  
Know what's below.  
Call before you dig.

Date	Description	No.
Revisions		
M. McDonald's USA, LLC		



**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
2999 Olympus Blvd, Suite 165  
Dallas, TX 75019  
T: 817.328.3200 www.langan.com  
TBPE FIRM REG. #F-13709

Project  
**McDonald's Restaurant**  
L/C #402-3426 (NSN 41096)  
4901 S. GOLIAD ST.  
PROPOSED LOT 2R, BLOCK A,  
CREEKSIDE COMMONS  
ROCKWALL

ROCKWALL COUNTY TEXAS  
Drawing Title  
**SITE PLAN**

Project No.	Drawing No.
520061401	C4.0
Date	
01/03/2024	
Drawn By	
MNK	
Checked By	
HJM	

AREA CONSTRUCTION MANAGER:  
McDONALD'S USA, LLC DALLAS FIELD OFFICE  
511 E. JOHN CARPENTER FRWY., SUITE 375  
IRVING, TX 75062  
CONTACT: JOE RAMIREZ  
PHONE: (281) 352-5388  
EMAIL: JOSE.RAMIREZ@US.MCD.COM

CIVIL ENGINEER:  
LANGAN  
2999 OLYMPUS BLVD., SUITE 165  
DALLAS, TX 75019  
CONTACT: HEATHER MACOMBER  
PHONE: (817) 328-3243  
EMAIL: HMACOMBER@LANGAN.COM

OWNER:  
ROCKWALL 205 INVESTORS, LLC  
1CANDLELITE TRAIL  
HEATH, TX 75032  
CONTACT: JUSTIN WEBB  
PHONE: (469) 446-7734  
EMAIL: JUSTINW@ALTURAHOMES.COM

APPLICANT:  
OFI CHITO  
3224 COLLINSWORTH STREET  
FORT WORTH, TX 76107  
CONTACT: LESLIE FORD  
PHONE: (325) 370-9965  
EMAIL: LESLIE@OFICHITO.COM

SIGNATURE BLOCK  
Approved:  
I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of January 2024.

WITNESS OUR HANDS, this 14 day of January 2024.

*[Signature]*  
Planning & Zoning Commission, Chairman

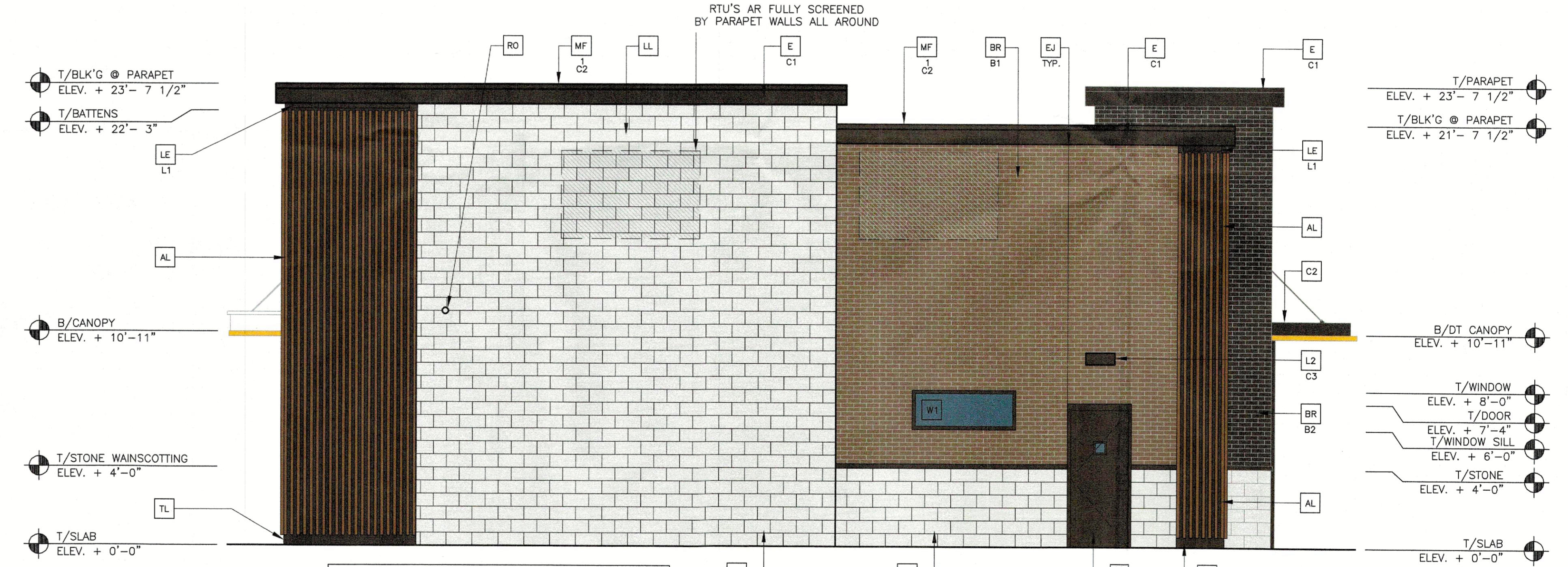
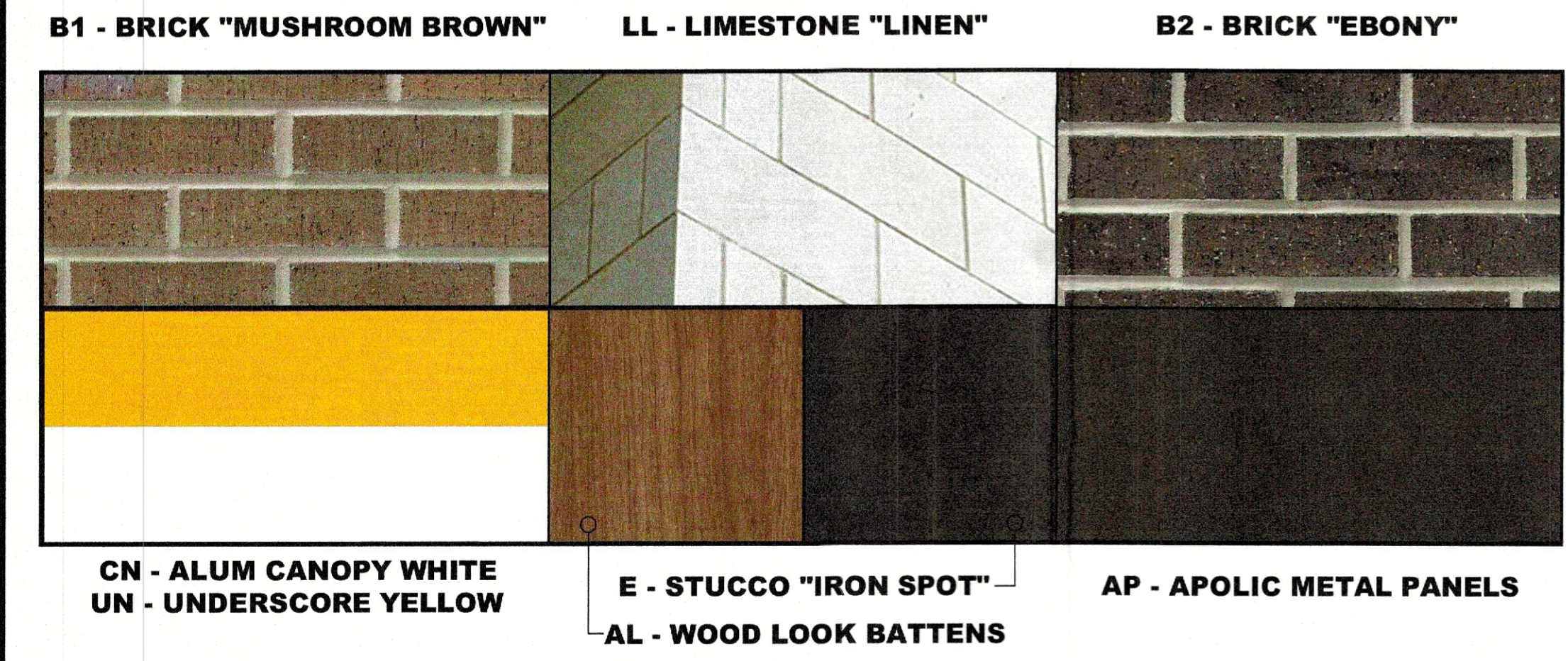
*[Signature]*  
Director of Planning and Zoning





1 DRIVE THRU ELEVATION - WEST  
1/4" = 1'-0"

Materials	South Elevation		East Elevation		West Elevation		North Elevation		Totals		Total Masonry
	SF	%	SF	%	SF	%	SF	%	SF	%	
Brick	511	61.71%	1,234	61.79%	1,559	70.16%	376	32.14%	3,680	59.19%	87.71%
Limestone	71	8.57%	554	27.74%	303	13.64%	540	46.15%	1,468	23.61%	
Stucco	50	6.04%	103	5.16%	102	4.59%	50	4.27%	305	4.91%	
Wood Look Battens	196	23.67%	106	5.31%	106	4.77%	204	17.44%	612	9.84%	
Metal Paneling	0	0.00%	0	0.00%	152	6.84%	0	0.00%	152	2.44%	
Totals (Excluding Glazing)	828	100%	1,997	100%	2,222	100%	1,170	100%	6,217	100%	



2 REAR ELEVATION - NORTH  
1/4" = 1'-0"

ALL PARAPETS ARE FULLY ENCLOSED ON ALL SIDES OF THE BUILDING, THE BACKSIDE OF ANY EXPOSED PARAPET WALLS WILL BE FINISHED WITH MASONRY TO MATCH THE FRONT SIDE OF THE WALLS.

- KEY NOTES:**
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
  - BR MODULAR FACE BRICK COLOR:
  - B1 = "MUSHROOM BROWN" BY ACME BRICK COMPANY (MORTAR TO BE LIGHT BUFF TO MATCH LIMESTONE)
  - B2 = "EBONY" SMOOTH BY ACME BRICK COMPANY (MORTAR TO MATCH BRICK COLOR AS MUCH AS POSSIBLE)
  - AL ALUMINUM BATTEN SYSTEM MFR: B+N INDUSTRIES SIZE: 2"x2" PROFILE COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES. APAP TRADEMARKED, COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AN DPAINT BOTH SIDES AND ALL EDGES. SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
  - TL TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
  - C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE
  - C2 ALUMINUM CANOPY SYSTEM COLOR: RAL 7022
  - C3 ALUMINUM CANOPY TIEBACK COLOR: RAL 7022 GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 7/45.0
  - EJ EXPANSION JOINT, SEE DETAIL 7/44.1
  - FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00) BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
  - D HOLLOW METAL DOOR PAINT: "GALNTLET GREY" SW7019 BY SHERWIN WILLIAMS
  - DE DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com GEX INTERNATIONAL (847) 543-4800, mcdonaldsdecor@gfxi.com
  - SR 12" STANDING SEAM METAL SLOPED ROOF OVER METAL AWNING FRAME (COLOR DARK BRONZE)
  - LL LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT) COLOR: LINEN (RUNNING BOND) SIZE: 8"x16"x4" FINISH: SMOOTH LIMESTONE TO HAVE 1/4" RAKED MORTAR JOINTS (MORTAR COLORS TO BE LIGHT BUFF) SUBMIT TO ARCHITECT FOR APPROVAL
  - GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH COLOR: STAINLESS STEEL OR GALVANIZED STEEL
  - L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL COLOR: GOLD
  - W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: EXTRA DARK BRONZE
  - W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT
  - L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL C1-COLOR: C1= WHITE C2= PLATINUM SILVER C3= DARK BRONZE
  - LE ACCENT LIGHTING - SEE ELECTRICAL L1-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE
  - MF METAL FASCIA C1-TYPE: C1 = PRE-FAB ANCHOR-TITE FASCIA 2 = BOTTOM TRIM AT METAL REVEAL PANEL 3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES C2-COLOR: C1= WEATHERED ZINC C2= RAL 7022
  - AW METAL AWNINGS WITH ALUMINUM SUPPORT BRACKETS, BY CANOPY VENDOR (COLOR DARK BRONZE)
  - PB PIPE BOLLARD - PAINTED YELLOW
  - PT (RMHC) COIN COLLECTOR MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
  - RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
  - S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. C1-COLOR: C1= WEATHERED ZINC RACEWAY C2= RAL 7022 RACEWAY
  - ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
  - UN METAL UNDERSCORE COLOR: GOLD
  - E 7/8" 3-COAT STUCCO SYSTEM, REF WALL ASSEMBLY NOTES C1-"IRON ORE" SW 7069 BY SHERWIN WILLIAMS

**SIGNATURE BLOCK**  
Approved:  
I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9 day of January 2024.

WITNESS OUR HANDS, this 9 day of January 2024.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

CASE NUMBER: SP2023-048

PREPARED BY: JAW  
DRAWN BY: JAW  
STD ISSUE DATE: 2023  
REVIEWED BY: JAW  
DATE ISSUED: 10/06/2023

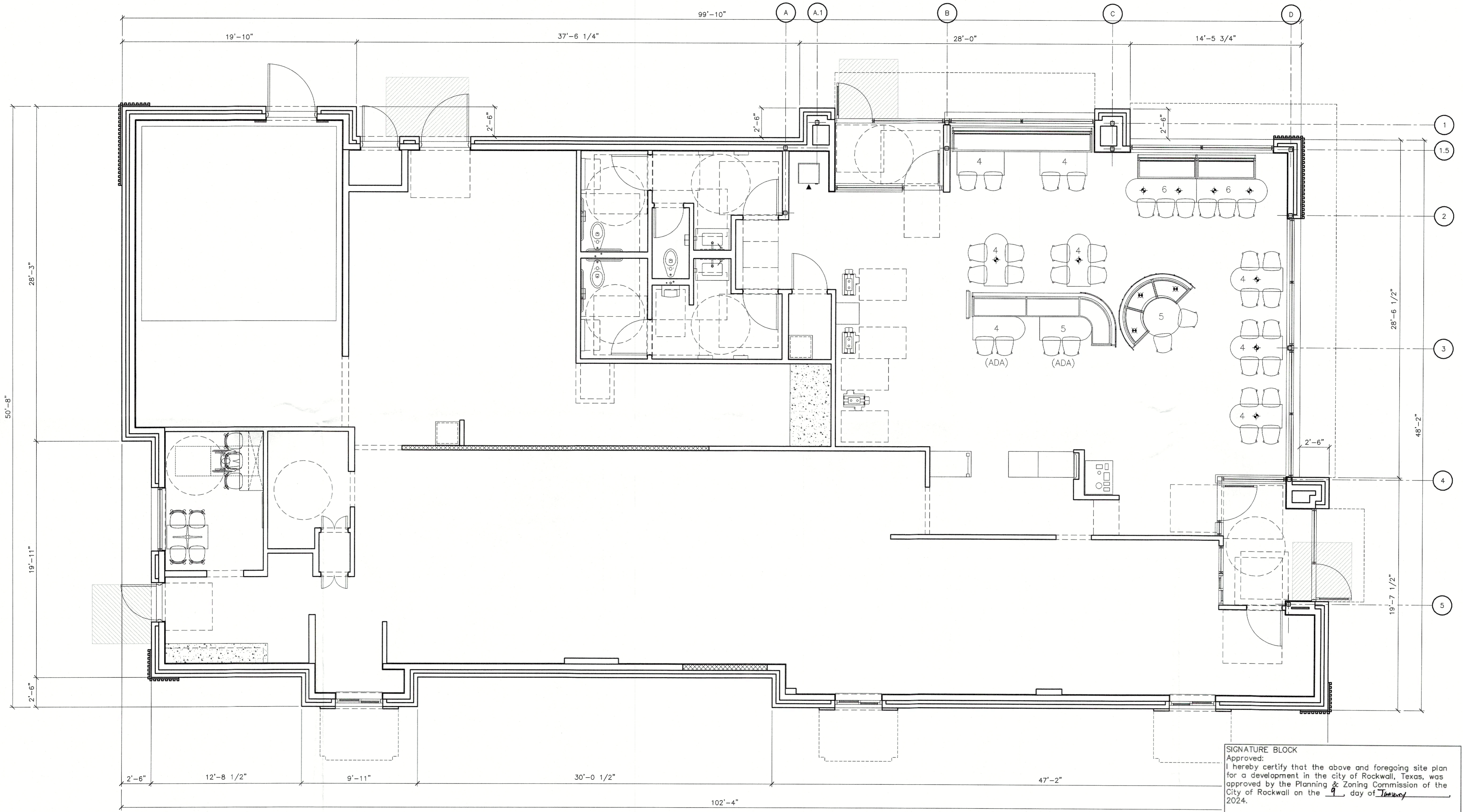
2023 CUSTOM BUILDING DESIGN  
4597 - WOOD/WOOD  
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK VENEER WOOD ROOF TRUSS FRAMING STONE/BATTEN/BRICK EXTERIOR FINISH  
SITE: 10 W. STATE HWY 208 & FM 949, ROCKWALL, TEXAS 75087-5428

JAW  
REGISTERED ARCHITECT  
STATE OF TEXAS  
19126  
JAW Architects, Inc.  
10000 Rockwall Parkway, Suite 100  
Rockwall, Texas 75087-5428  
Phone: 972.962.2222  
www.jawarchitects.com

PLANNING DEPARTMENT COMMENTS

REV	DATE	DESCRIPTION
1	01/23/2024	

SHEET NO. JAWA 23-0038  
A2.1  
ELEVATIONS



1 ARTICULATED FLOOR PLAN  
 A2.3 1/4" = 1'-0"

SIGNATURE BLOCK  
 Approved:  
 I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9 day of January 2024.

WITNESS OUR HANDS, this 9 day of January 2024.

*[Signature]*  
 Planning & Zoning Commission, Chairman

*[Signature]*  
 Director of Planning and Zoning

CASE NUMBER: SP2023-048

REV	DATE	DESCRIPTION
1	12/11/2023	PLANNING DEPARTMENT COMMENTS

PREPARED FOR:  
**McDonald's USA, LLC**

PREPARED BY:  
**JAW**  
 JAW Architects, Inc.  
 Jeremy Williams, Architect  
 Phone: 817.705.3337  
 Email: jwilliams@jawnyc.com

REGISTERED ARCHITECT  
 JAW  
 JAW ARCHITECTS, INC.  
 JAW WILLIAMS, ARCHITECT  
 STATE OF TEXAS

DRAWN BY:  
 JAW

STD ISSUE DATE:  
 2023

REVIEWED BY:  
 JAW

DATE ISSUED:  
 10/06/2023

TITLE:  
 2023 CUSTOM BUILDING DESIGN  
 4597 - WOOD/WOOD

DESCRIPTION:  
 WOOD BEARING WALLS W/4" BRICK VENEER  
 WOOD ROOF TRUSS FRAMING  
 STONE/BATEN/BRICK EXTERIOR FINISH

SHEET NO.:  
 JAWA-23-0038  
**A2.3**  
 ELEVATIONS

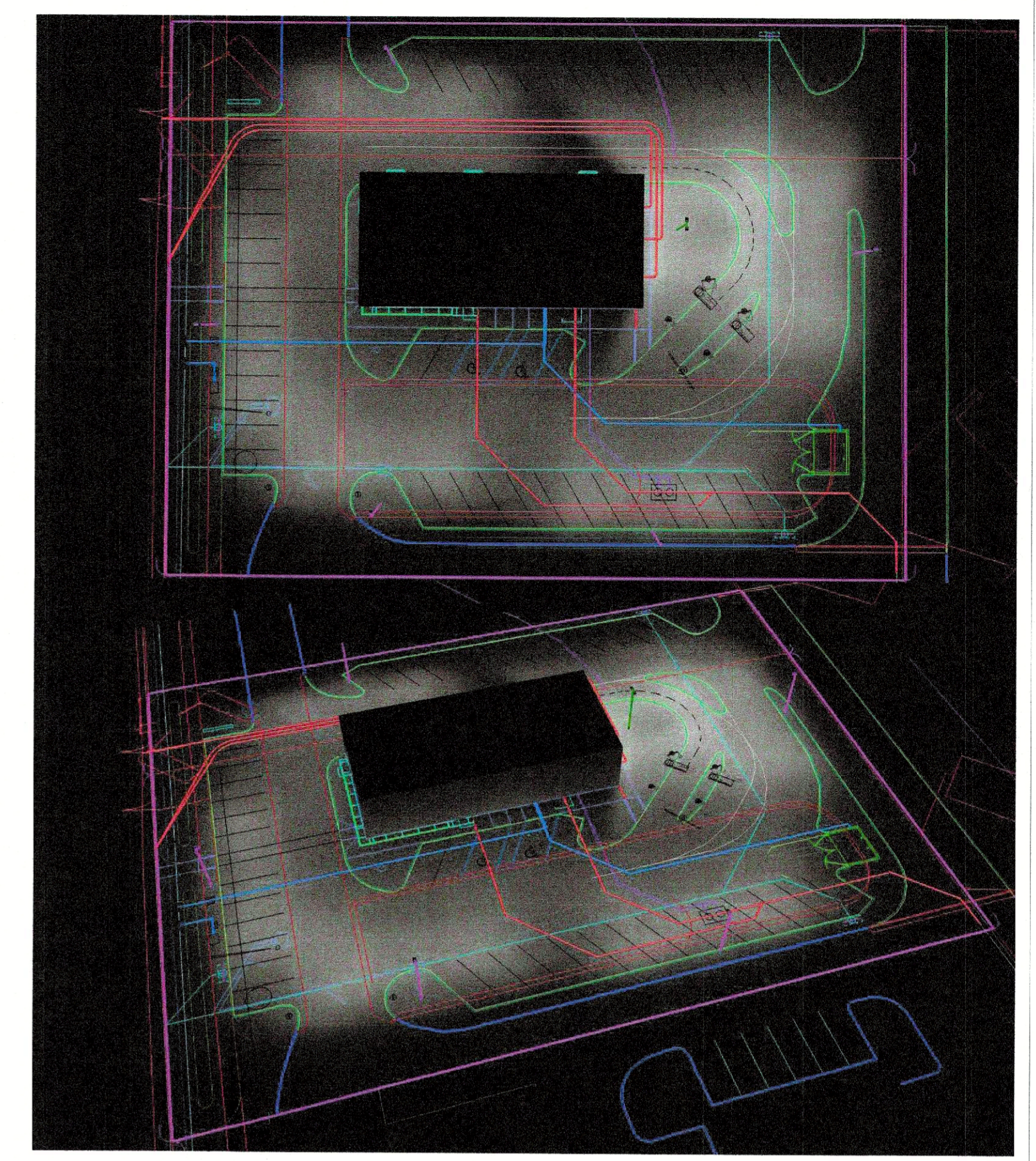
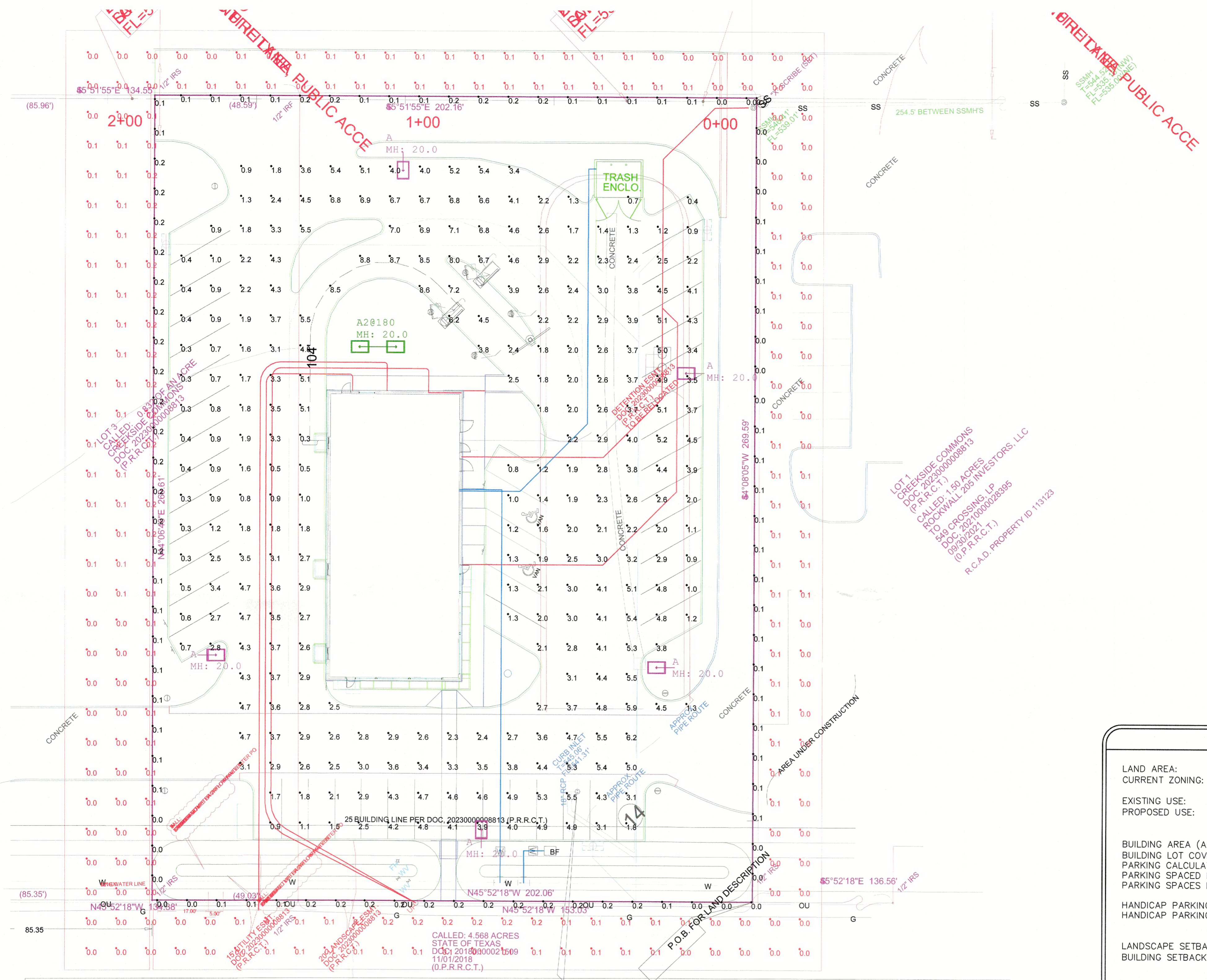
SITE ID:  
 042-3426

SITE ADDRESS:  
 NWC OF STATE HWY 205 & FM 549, ROCKWALL, TEXAS





NOTES:  
 1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA: ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS. SHEW AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.  
 2. DISTANCE BETWEEN READINGS 10'



Pole Fixtures Are Full Cutoff  
 Tilt=0  
 Calculation Grids Are At Grade  
 Pole Light Mounting Height=20ft  
 (17' Pole + 3' Base)

SITE INFORMATION	
LAND AREA:	54,489 SF (1.251 AC)
CURRENT ZONING:	C-COMMERCIAL DISTRICT (SH205 OVERLAY DISTRICT)
EXISTING USE:	VACANT LOT
PROPOSED USE:	McDONALD'S RESTAURANT W/DRIVE-THRU
BUILDING AREA (APPROXIMATE):	4,365 GFA
BUILDING LOT COVERAGE:	4,365 SF/54,489 SF = 8.01%
PARKING CALCULATIONS:	1 SPACE PER 100 SF
PARKING SPACES REQUIRED:	44
PARKING SPACES PROVIDED:	45
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
LANDSCAPE SETBACK:	20' FRONT; 5' REAR & SIDE
BUILDING SETBACK:	25' FRONT; 10' SIDES & REAR
EXISTING IMPERVIOUS AREAS:	13.9% (7,592 SF)
PROPOSED IMPERVIOUS AREAS:	64.4% (35,072 SF)
PROPOSED LANDSCAPE PERCENTAGE:	21.7% (11,825 SF)

APPROVED:  
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 9<sup>th</sup> day of January, 2024.  
 [Signature]  
 Chairman

PROJECT WIND LOAD CRITERIA BASED ON:  
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)  
 50 YEAR MEAN RECURRENCE INTERVAL  
 ALLOWED EPA XX.X 8 WIND LOAD XX MPH

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ADJACENT PROPERTY READINGS	Illuminance	Fc	0.07	0.2	0.0	N.A.	N.A.
PAVED SURFACE READINGS	Illuminance	Fc	3.16	8.8	0.3	10.53	29.33
PROPERTY LINE READINGS	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
[Symbol]	5	A	Single	1.000	VP-2-320L-145-5K7-4W-DBS-HSS-90-B	145.6	0.607	20	SES-17-40-1-TA-GL-DB (4")
[Symbol]	1	A2@180	Back-Back	1.000	VP-2-320L-145-5K7-4W-DBS	150	0.607	20	SES-17-40-1-TA-GL-DB (4")

Regional Drawing  
 # 423426

**SECURITY LIGHTING**  
 8100 60th Street, Suite 400, Dallas, Texas 75238  
 1-800-244-4848

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

SCALE: 1"=20' 0"

DRAWN BY: CLB LEED AP BD+C

POINT-BY-POINT FOOTCANDLE PLOT FOR  
 McDONALD'S  
 550 FARM TO MARKET RD 549  
 ROCKWALL, TX 75032

NATIONAL STORE NUMBER: 41096

DATE: 9/15/2023 DRAWING NUMBER: A231820A.AGI

THIS DRAWING MEETS OR EXCEEDS MINIMUMS CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.