

SITE SUMMARY

Zoning:	SF-16
Use:	Educational - Middle School
Lot Area:	(1,143,450sf) 26.25 Ac
Ex. Building SF:	105,697 sf
Prop. Building SF:	147,938 sf
Total Building Floor Area:	189,251 sf
Building Max. Height:	140'-0"
Parking: (1 for each 18 Students)	
Required (1350/18):	75 Spaces
Total Provided:	222 Spaces
ADA Spaces Required:	7 Spaces
Total Provided:	11 Spaces
Bicycle Parking:	
Required (1/10 - 222/10)	23 Spaces
Total Provided:	24 Spaces
Proposed Parking Pvmnt.	
7" 4000psi Conc. over	
8" Compacted Subgrade	

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of November, 2023.

WITNESS OUR HANDS, this 14 day of November, 2023.

[Signature]
 Planning & Zoning Commission, Chairman

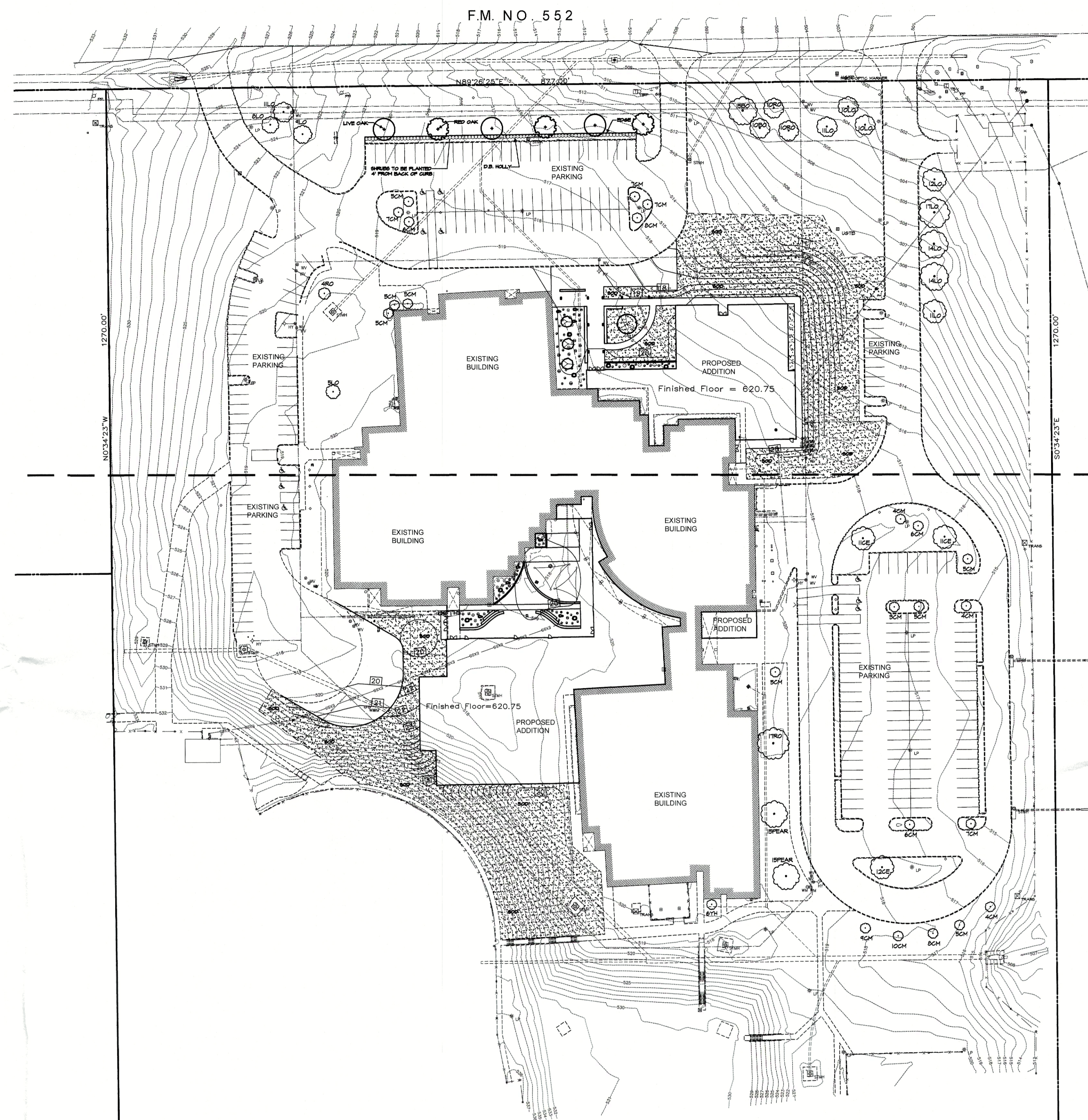
[Signature]
 Director of Planning and Zoning

SITE PLAN
ROCKWALL MIDDLE SCHOOL
No. 4 ADDITION
LOT 1
 Rockwall Middle School No. 4 Addition
 Recorded In Cabinet F, Page 67 P.R.R.C.T.
25.569 Acres Situated In The
W.T. DeWEESE SURVEY ~ ABST. 71
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

Owner
 Rockwall Independent School District
 1050 Williams Street
 Rockwall, Texas 75087
 Telephone 972 771-0605

Engineer
 RLK Engineering, Inc.
 Texas Registration No. 579
 111 West Main Street
 Allen, Texas 75013
 Telephone 972 359-1733
 November 1, 2023

L 2
L 3



Zoning: **SITE SUMMARY** SF-16

Use: Educational - Middle School

Lot Area: (1,143,450sf) 26.25 Ac

Prop. Dev. Area: (111,398sf) 2.558 Ac

Prop. Impervious Area: (86,085sf) 1.976 Ac

Prop. Pervious Area: (25,313sf) 0.581 Ac

Building Floor Area: 10,835 sf

Building Max. Height: 25'-0"

Lot Coverage: 9.7%

Parking:

Required:	234 Spaces
Total Provided:	234 Spaces
ADA Spaces Required:	7 Spaces
Total Provided:	11 Spaces
Bicycle Parking:	
Required (1/25)	6 Spaces
Total Provided:	6 Spaces

LANDSCAPE TABULATIONS

LANDSCAPE REQUIRED
1 ROW OF SHADE TREES 50' O.C. AND SCREENING SHRUBS AT HEAD IN PARKING
TREES AND PARKING SCREENING PROVIDED

STREET BUFFER
2 CANOPY AND 4 ACCENT TREES PER 100 LF
STREET FRONTAGE LENGTH 877 LF
CANOPY TREES REQUIRED (877 / 100 = 8.77 x 2 =) 18 CAN. TREES
CANOPY TREES PROVIDED 16 TREES
ACCENT TREES REQUIRED (877 / 100 = 8.77 x 4 =) 36 CAN. TREES
ACCENT TREES PROVIDED 0 ACC. TREES

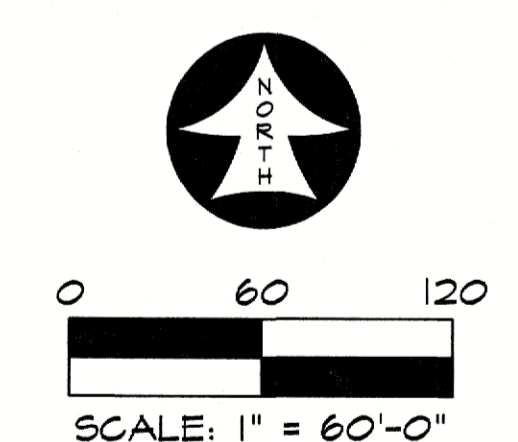
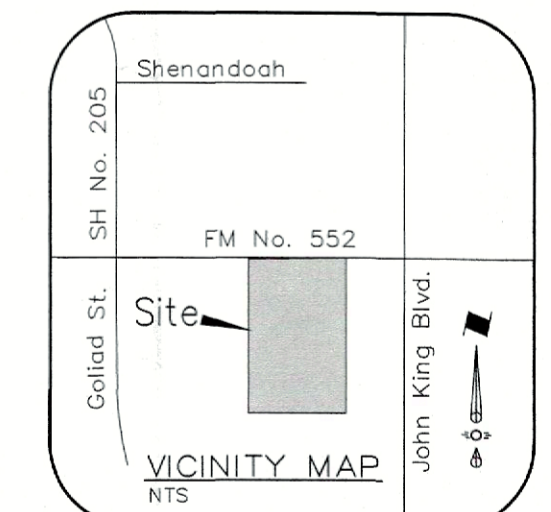
EXCEPTION/VARIANCE - COMPENSATORY MEASURES
COMPLETELY RENOVATED MAIN PEDESTRIAN ENTRY PLAZA/LANDSCAPE.
COMPLETELY RENOVATED PEDESTRIAN COURTYARD/LANDSCAPE.

PARKING LOT LANDSCAPING
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT
OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF
FROM TREE TO SPACE.
NOT APPLICABLE

AMOUNT OF LANDSCAPING
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE,
DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER,
1 TREE PER 750 SF OF DRY LAND AREA.
NOT APPLICABLE

TREE MITIGATION
NOT APPLICABLE

ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND
IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.



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CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
CITY OF ROCKWALL CASE NO. SP2023-039
DATE 11/07/2023

RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 355-0889
FAX (469) 362-5433
EMAIL: MRCER@RAMSAYLLC.COM

**WILLIAMS ADDITIONS
AND RENOVATIONS**
625 E Fm 552, Rockwall, TX 75087

OVERALL LANDSCAPE PLAN

THIS DOCUMENT IS
RELEASED FOR INTERIM
REVIEW UNDER THE
AUTHORITY OF:
MICHAEL RAMSEY
REGISTERED LANDSCAPE
ARCHITECT #1901.
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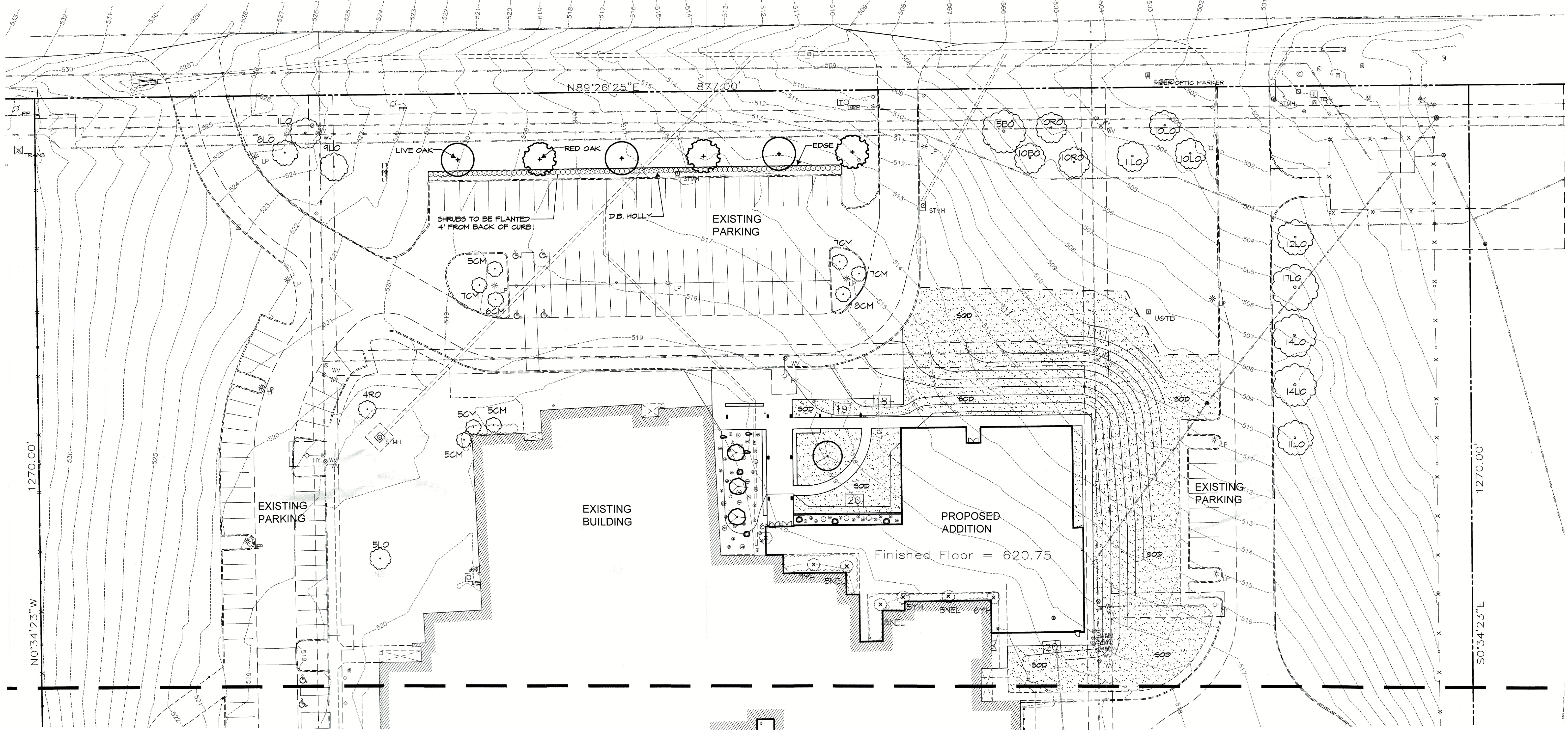
ISSUES/
REVISIONS

PERMIT - 10/20/2023
PERMIT - 11/07/2023

DATE: 11/01/2023
SCALE: 1" = 60'-0"

SHEET No.
L 1

F.M. NO. 552



MATCHLINE SEE SHEET L3

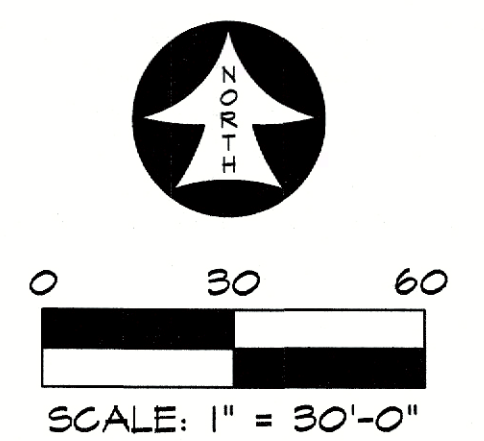
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WILLIAMS ADDITIONS
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LANDSCAPE PLAN AREA A

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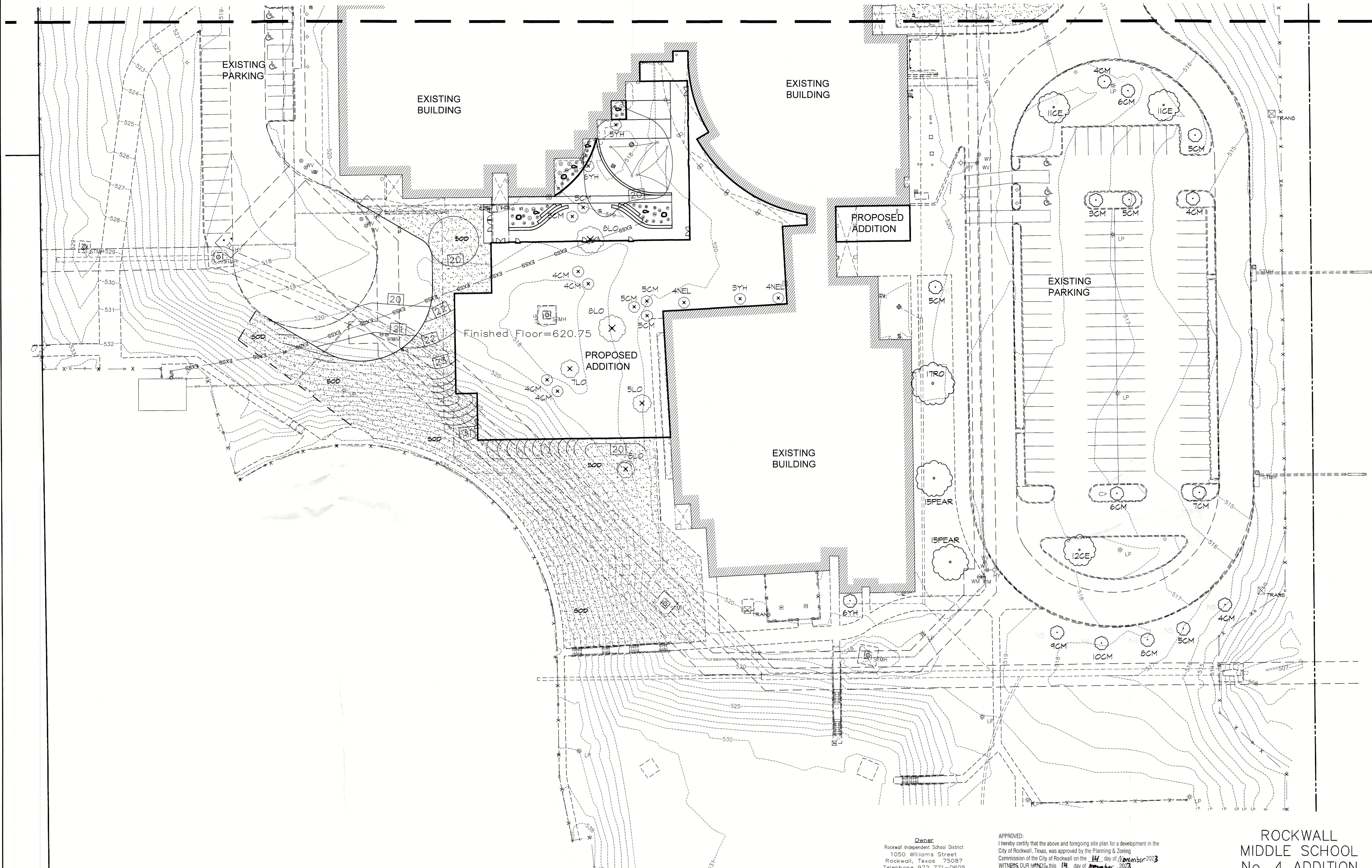
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L 2

MATCHLINE SEE SHEET L2



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LANDSCAPE PLAN AREA B

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SHEET No.
L 3

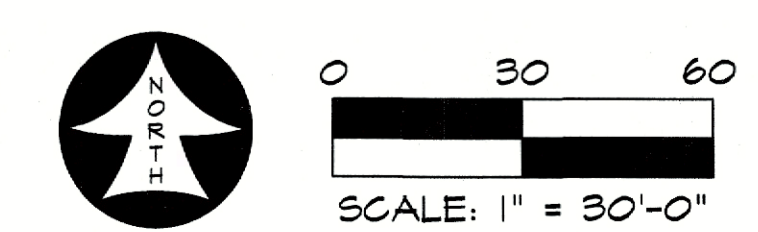
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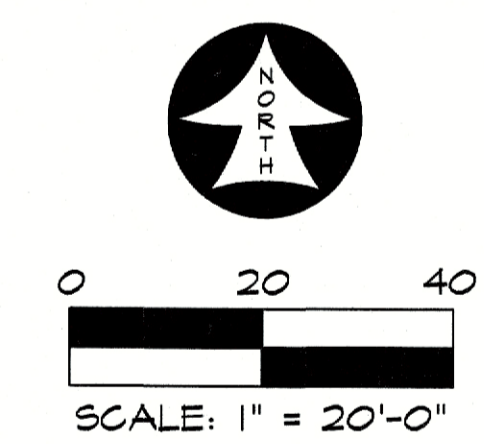
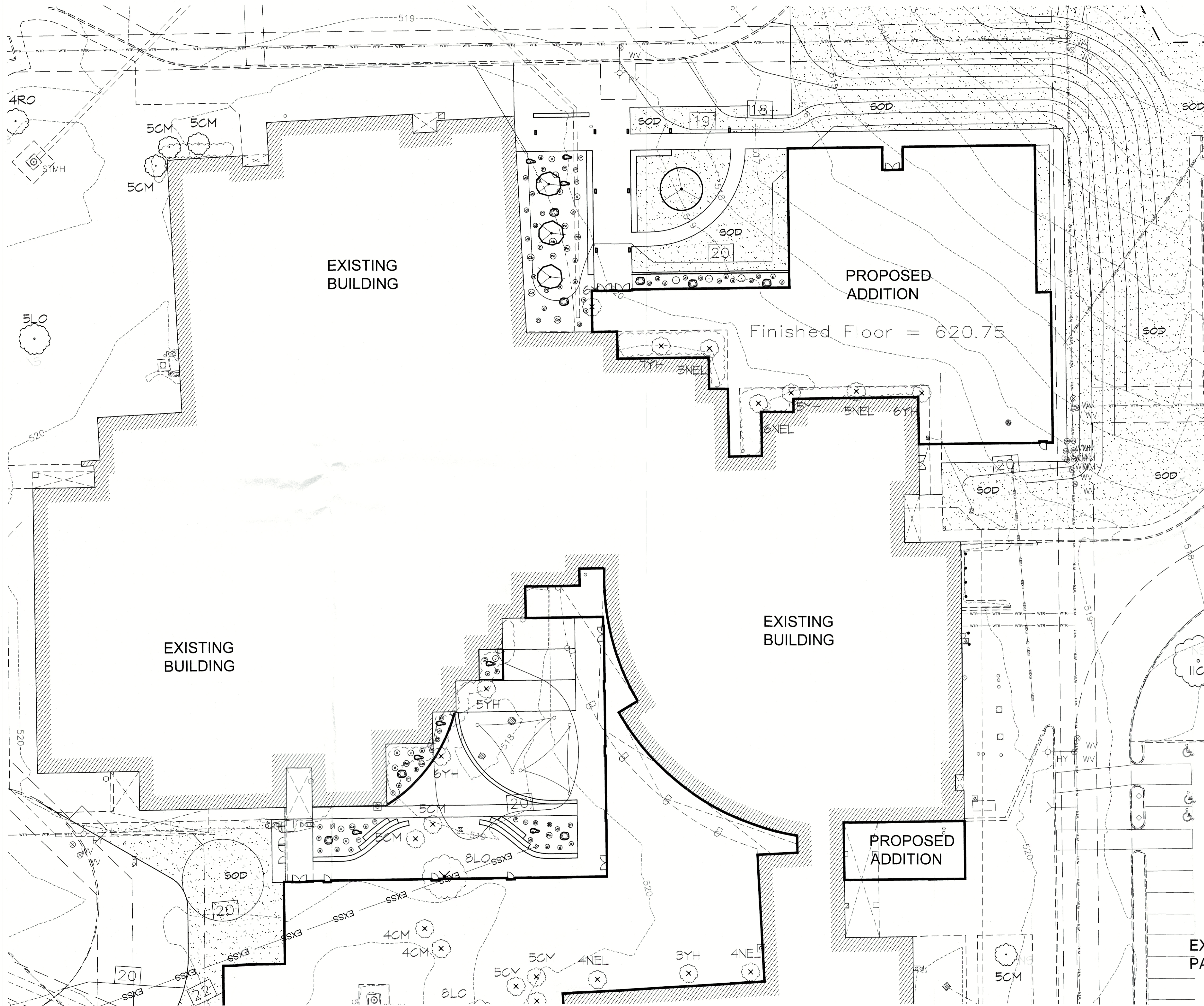
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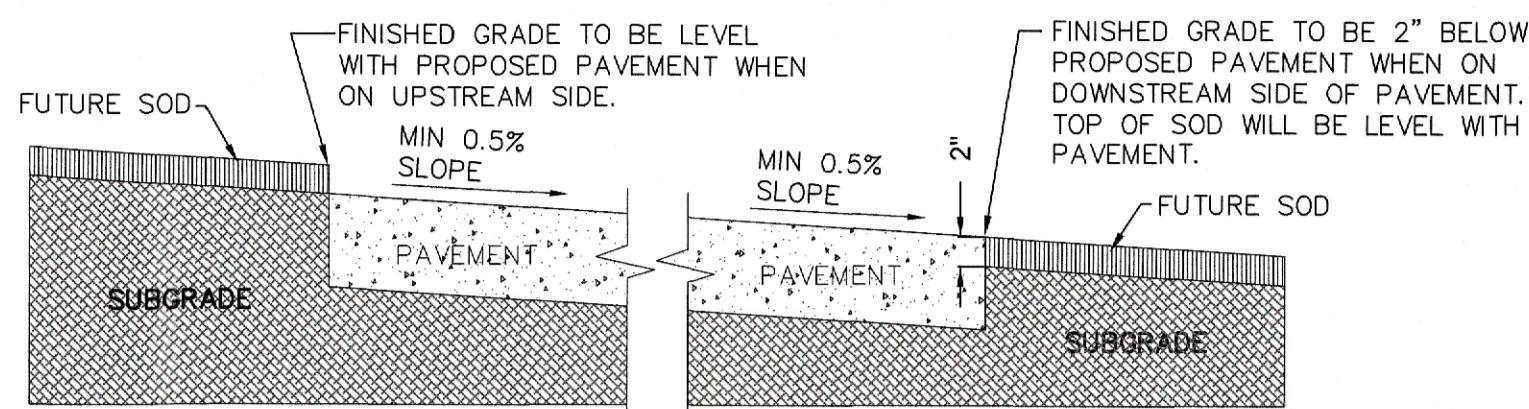
WILLIAMS ADDITIONS AND RENOVATIONS
 625 E Fm 552, Rockwall, TX 75087
LANDSCAPE ENLARGEMENT

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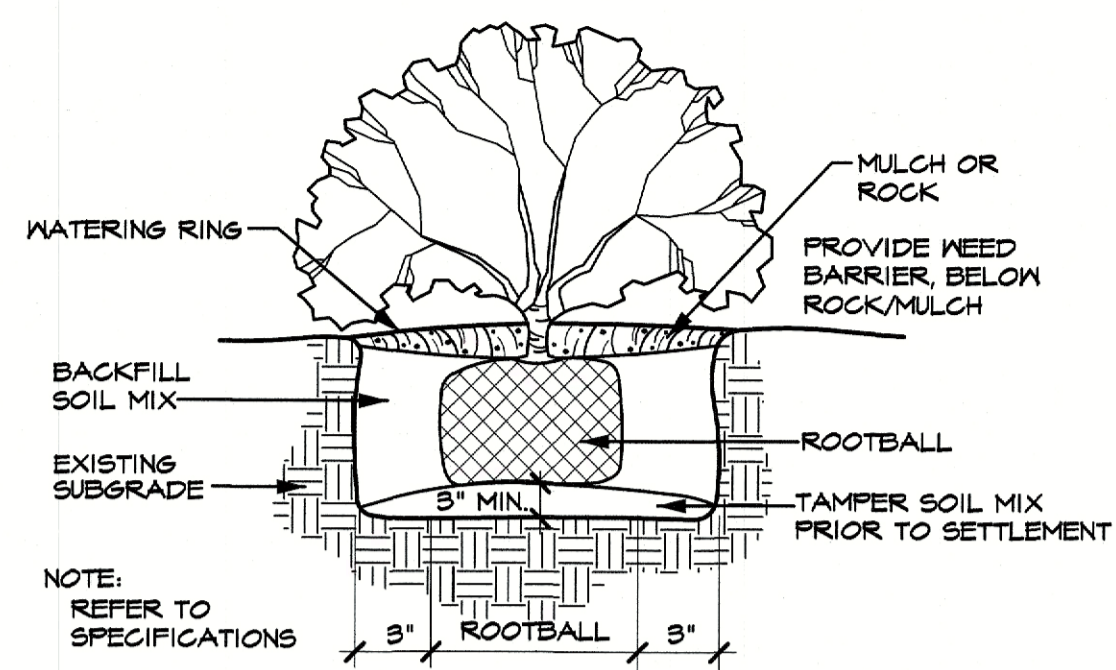
ISSUES/ REVISIONS
PERMIT - 10/20/2023
PERMIT - 11/07/2023

DATE: 11/01/2023
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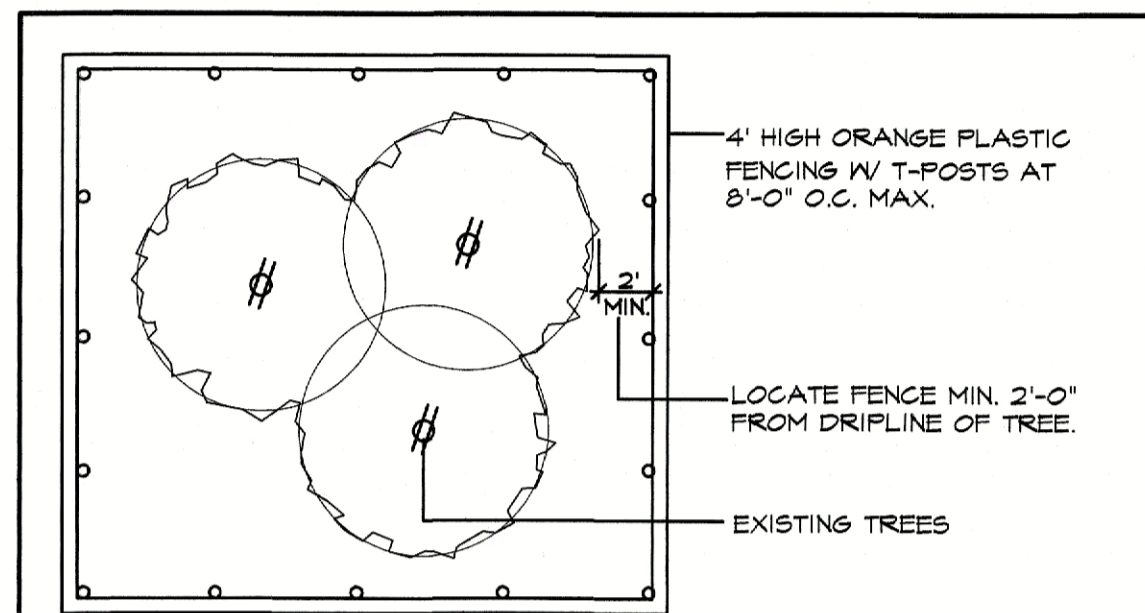
SHEET No. L4



GRADING DETAIL FOR PAVEMENT WITHOUT CURB
SCALE: N.T.S.

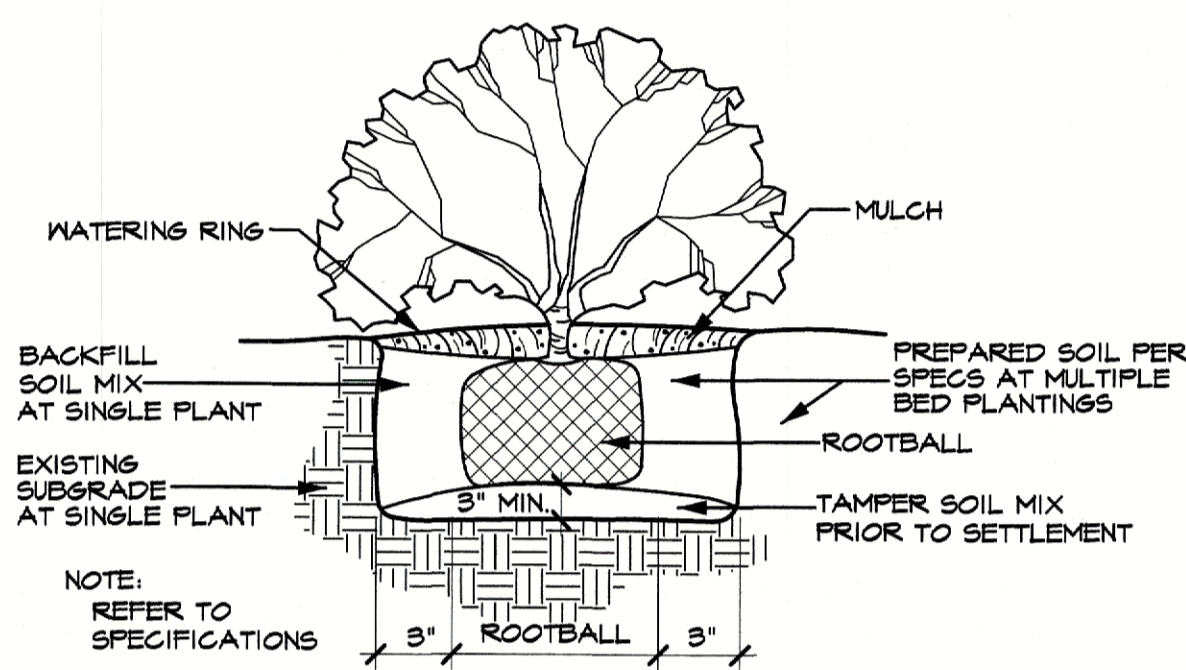


SHRUB PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

TREE PROTECTION FENCE AND NOTES
SCALE: N.T.S.



SHRUB PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.

TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
5	(+)	LIVE OAK	Live Oak	<i>Quercus virginiana</i>	4" caliper, 12'-14" Ht./ 6'-7" spread, B&B straight trunk full rounded canopy
3	(+)	RED OAK	Shumard Red Oak	<i>Quercus shumardii</i>	4" caliper, 12'-14" Ht./ 6'-7" spread, B&B straight trunk full rounded canopy
1	(+)	PISTACHE	Chinese Pistache	<i>Pistacia chinensis</i>	4" caliper, 12'-14" Ht./ 6'-7" spread, B&B straight trunk full rounded canopy
0	(.)	C. MYRTLE	Red Flowering Cape Myrtle	<i>Lagerstroemia indica Carolina Beauty</i>	1" caliper per trunk, 5 trunk minimum, 8' Ht./ 5' spread, B&B
3	(+)	T. YAUPON	Yaupon Holly	<i>Ilex vomitoria</i>	3/4" caliper per trunk, 5 trunk minimum, 8' Ht./ 3' spread, B&B or container, female - heavy berried

SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
35	(@)	D.Y. HOLLY	Dwarf Yaupon Holly	<i>Ilex vomitoria Nana'</i>	5 gallon, 16" Ht./ 14" spread, bushy, full to ground
27	(@)	D.B. HOLLY	Dwarf Burford Holly	<i>Ilex cornuta Nana'</i>	36" Ht./ 24" spread, bushy, full to ground
10	(@)	RED YUCCA	Brakeights Red Yucca	<i>Hesperaloe parviflora 'Perpa' PP #21,724</i>	5 gallon
3	(@)	D. FOUNTAIN	Dwarf Fountain Grass	<i>Fennisetum alopecuroides hamlin</i>	5 gallon
6	(@)	P. MUHLY	Pink Muhly Grass	<i>Muhlenbergia capillaris</i>	5 gallon
14	(@)	STIPA	Mexican Feathergrass	<i>Stipa tenuissima</i>	5 gallon
6	(@)	BLUE SAGE	Mealy Blue Sage	<i>Salvia Farinacea</i>	5 gallon
4	(@)	B. DAISY	Blackfoot Daisy	<i>Melampodium leucanthum</i>	5 gallon
2	(@)	COREOPSIS	Plains Coreopsis	<i>Coreopsis tinctoria</i>	5 gallon

GROUNDCOVER / VINES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(.)	SOD	Common Bermuda Grass	<i>Cynodon dactylon</i>	Solid Rolled Sod refer to specifications
AS SHOWN	(+)	HYDRO	Common Bermuda Grass	<i>Cynodon dactylon</i>	Hydromulch refer to specifications

MISCELLANEOUS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
16	(@)	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS		
AS SHOWN	(-)	EDGE	Ryerson steel edge 1/8" x 4" with 12" stakes, green in color		Install to separate shrubs from grass or as called out.
AS SHOWN	(@)	R. ROCK	3'-4" size colorado river rock, 6'-7" deep. Provide weed barrier mat below rock. Separate at grass/bed areas with edging.		

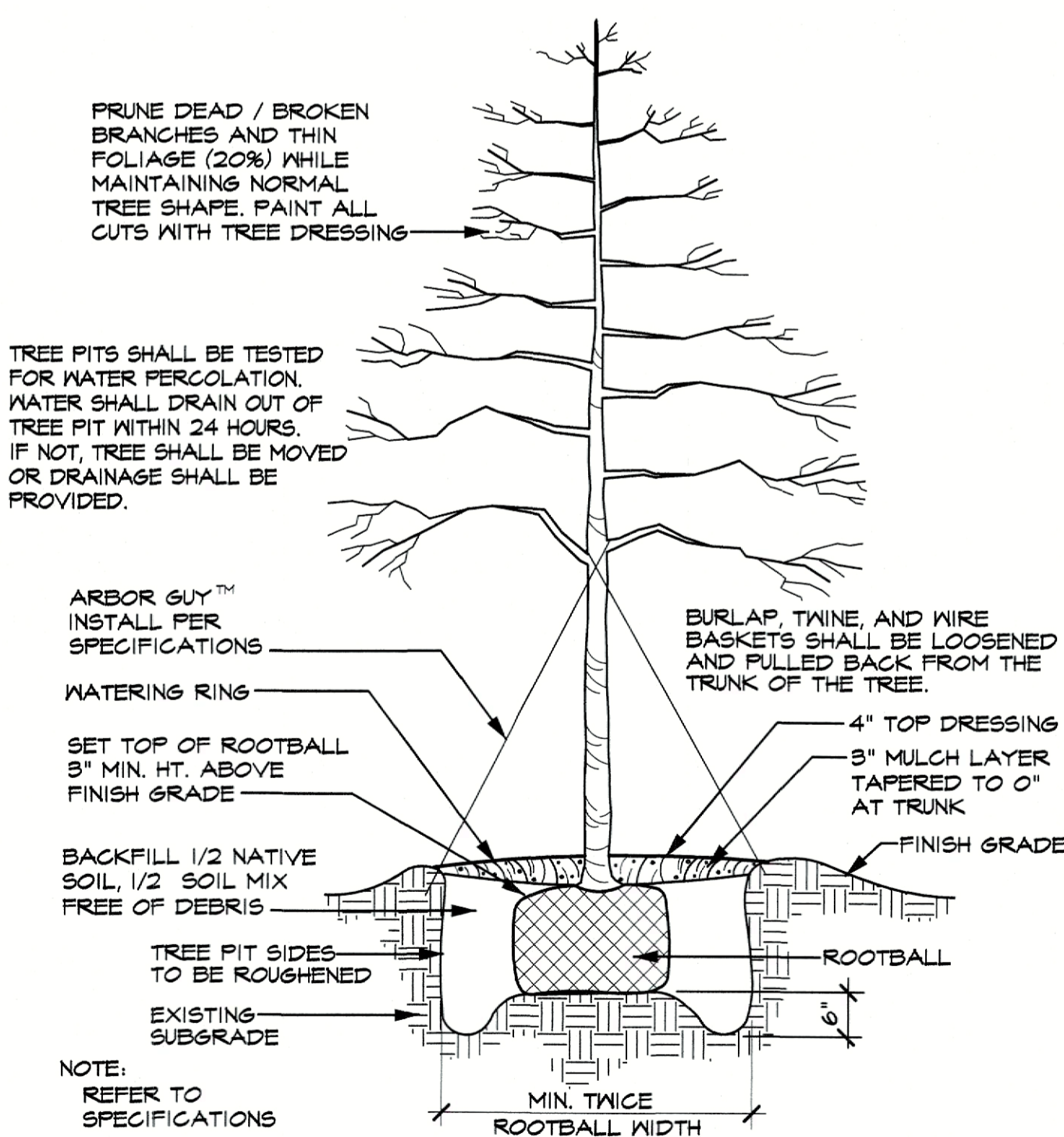
LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES

LANDSCAPE NOTES

LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.



TREE PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.

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PHONE 972 924-6889
FAX 972 924-6889
EMAIL: MIRE.RL.A@ATT.NET

WILLIAMS ADDITIONS AND RENOVATIONS
625 E Fm 552, Rockwall, TX 75087
LANDSCAPE DETAILS

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ISSUES/ REVISIONS

PERMIT - 10/20/2023
PERMIT - 11/07/2023

DATE: 11/01/2023
SCALE: AS SHOWN

SHEET No. **L5**

GENERAL SITE NOTES

1. FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE BEGINNING WORK.
2. OBTAIN AVAILABLE PLANS DEPICTING EXISTING & PROPOSED UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO SAID UTILITIES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. REFER TO CIVIL AND MEP DOCUMENTS FOR ADDITIONAL HARDSCAPE, SAW CUTTING, EARTH REMOVAL, TRENCHING, AND RELOCATION AND/OR DEMOLITION OF EXISTING UTILITIES UNDER AND ABOVE GROUND. TYP.
4. U.N.O. FURNISH & INSTALL 12"W x 4"D CONC. MOW STRIP BELOW ALL CHAIN LINK FENCING. COORDINATE TOP OF MOW STRIP HEIGHT W/ CIVIL GRADING PLANS & VERIFY W/ ARCHITECT.
5. REFER TO CIVIL DRAWINGS FOR COORDINATION WITH EXISTING ROADS AND ACCESSSES.
6. REFER TO IRRIGATION DRAWINGS FOR SLEEVE LOCATIONS.
7. REFER TO CIVIL FOR PARKING DIMENSIONS & DETECTABLE WARNINGS. PROVIDE DETECTABLE WARNINGS AT CURB RAMP & OTHER LOCATIONS WHERE WALKING SURFACES CROSS OR ADJOIN A VEHICULAR WAY AS PER T&S REQUIREMENTS.
8. ALL ATHLETIC/COMPETITION FIELDS, COURTS, MARKINGS, DIMENSIONS, AND SIZES ARE TO COMPLY WITH THE NATIONAL FEDERATION OF STATE HIGH SCHOOL ASSOCIATIONS COURT & FIELD DIAGRAM GUIDES. TYPICAL.
9. SUBMIT SIGNAGE LOCATIONS, MESSAGES, GRAPHICS, AND FACE DIRECTIONS TO ARCHITECT PRIOR TO FABRICATION. TYP.
10. ALL DRIVE STRIPING AND DIRECTIONAL ARROWS TO BE REVIEWED IN SUBMITTAL PRIOR TO INSTALL FOR COLORS & DIRECTION.
11. ALL SIDEWALKS & BUILDING ENTRY FLATWORK TO HAVE A MEDIUM BROOM FINISH. U.N.O.

CORGAN

CORGAN
www.corgan.com
T: 214.748.2000

ISSUES

1	07/28/2023	30% CONSTRUCTION DOCS
2	09/1/2023	60% CONSTRUCTION DOCS
3	11/01/2023	90% CONSTRUCTION DOCS
4	11/01/2023	EARLY MATERIALS PACKAGE
5		
6		
7		
8		
9		
10		

REVISIONS

KEYNOTE LEGEND

- S01 INSTALL HARDSCAPE TO EXTENT SHOWN
- S02 INSTALL PLANTING BED AS SHOWN. REF LANDSCAPING
- S03 INSTALL BIKE RACKS. REF. 09A01-12
- S04 INSTALL NEW DRIVE TO EXTENT SHOWN. REF. CIVIL

This Document was produced by or under the authority of Registered Architect:

INSERT NAME HERE

This document is incomplete and may not be used for regulatory approval, permit or construction.

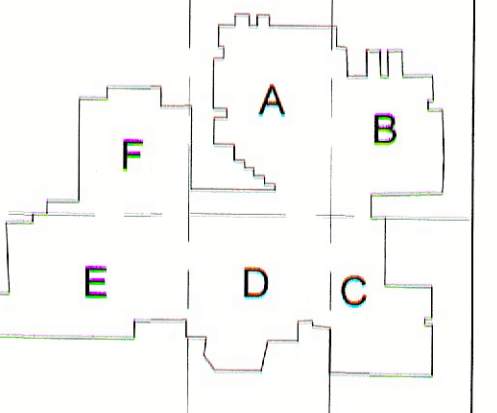
Date of issue:
11/01/2023

WILLIAMS ADDITIONS AND RENOVATIONS
625 E FM 552, Rockwall, TX 75087

SITE MATERIALS LEGEND

- 6-0" DECORATIVE METAL FENCING; REF. SPECS
- EXISTING DRIVES
- NEW DRIVES
- EXISTING SIDEWALK
- NEW SIDEWALK COLOR A
- NEW SIDEWALK COLOR B
- ARTIFICIAL TURF
- PLANTING BED

KEYPLAN



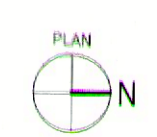
SITE PLAN

JOB 23162.000
DATE 11/01/2023
SHEET
A01-01

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1. FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE BEGINNING WORK.
2. OBTAIN AVAILABLE PLANS DEPICTING EXISTING & PROPOSED UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO SAID UTILITIES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. REFER TO CIVIL AND MEP DOCUMENTS FOR ADDITIONAL HARDSCAPE, SAW CUTTING, EARTH REMOVAL, TRENCHING, AND RELOCATION AND/OR DEMOLITION OF EXISTING UTILITIES UNDER AND ABOVE GROUND, TYP.
4. I.N.C. FURNISH & INSTALL 12"W x 4"D CONC. MOW STRIP BELOW ALL CHAIN LINK FENCING. COORDINATE TOP OF MOW STRIP HEIGHT W/ CIVIL GRADING PLANS & VERIFY W/ ARCHITECT.
5. REFER TO CIVIL DRAWINGS FOR COORDINATION WITH EXISTING ROADS AND ACCESSSES.
6. REFER TO IRRIGATION DRAWINGS FOR SLEEVE LOCATIONS.
7. REFER TO CIVIL FOR PARKING DIMENSIONS & DETECTABLE WARNINGS. PROVIDE DETECTABLE WARNINGS AT CURB RAMP & OTHER LOCATIONS WHERE WALKING SURFACES CROSS OR ADJOIN A VEHICULAR WAY AS PER T&S REQUIREMENTS.
8. ALL ATHLETIC COMPETITION FIELDS, COURTS, MARKINGS, DIMENSIONS, AND SIZES ARE TO COMPLY WITH THE NATIONAL FEDERATION OF STATE HIGH SCHOOL ASSOCIATIONS COURT & FIELD DIAGRAM GUIDES, TYPICAL.
9. SUBMIT SIGNAGE LOCATIONS, MESSAGES, GRAPHICS, AND FACE DIRECTIONS TO ARCHITECT PRIOR TO FABRICATION, TYP.
10. ALL DRIVE STRIPING AND DIRECTIONAL ARROWS TO BE REVIEWED IN SUBMITTAL PRIOR TO INSTALL FOR COLORS & DIRECTION.
11. ALL SIDEWALKS & BUILDING ENTRY FLATWORK TO HAVE A MEDIUM BROOM FINISH, U.N.O.

CORGAN

CORGAN
www.corgan.com
T: 214.748.2000

ISSUES

NO.	DATE	DESCRIPTION
1	07/28/2023	30% CONSTRUCTION DOCS
2	09/12/2023	60% CONSTRUCTION DOCS
3	11/01/2023	90% CONSTRUCTION DOCS
4	11/01/2023	EARLY MATERIALS PACKAGE

REVISIONS

NO.	DATE	DESCRIPTION
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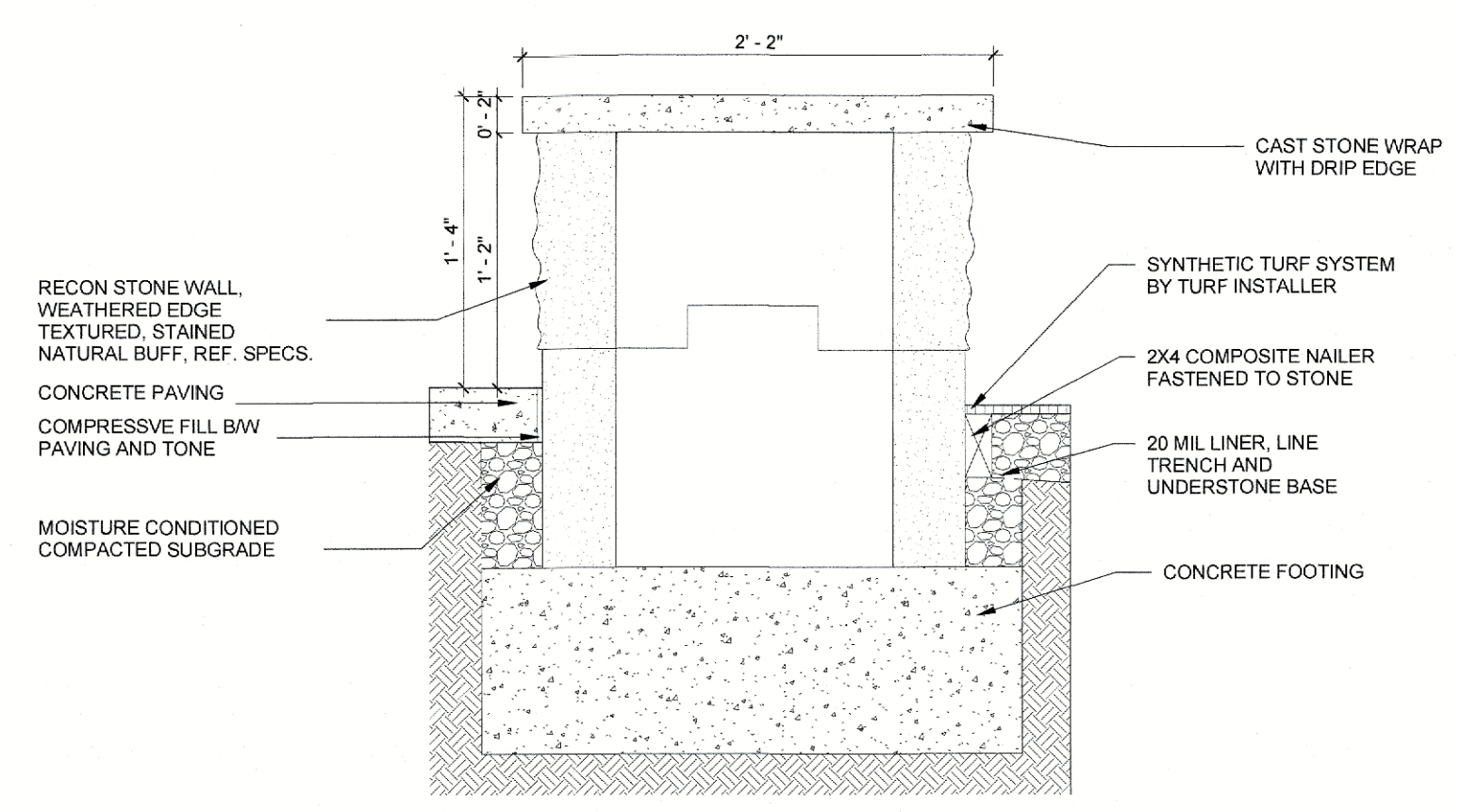
This Document was produced by or under the authority of Registered Architect.

INSERT NAME HERE

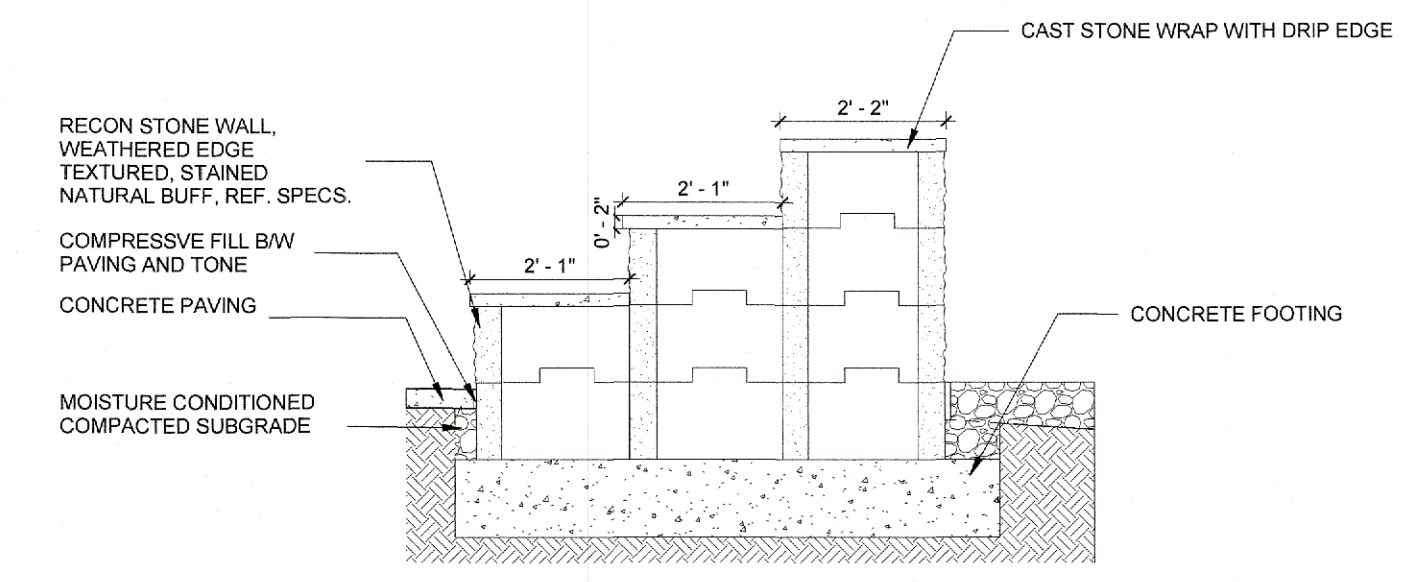
This document is incomplete and may not be used for regulatory approval, permit or construction.

Date of issue:
11/01/2023

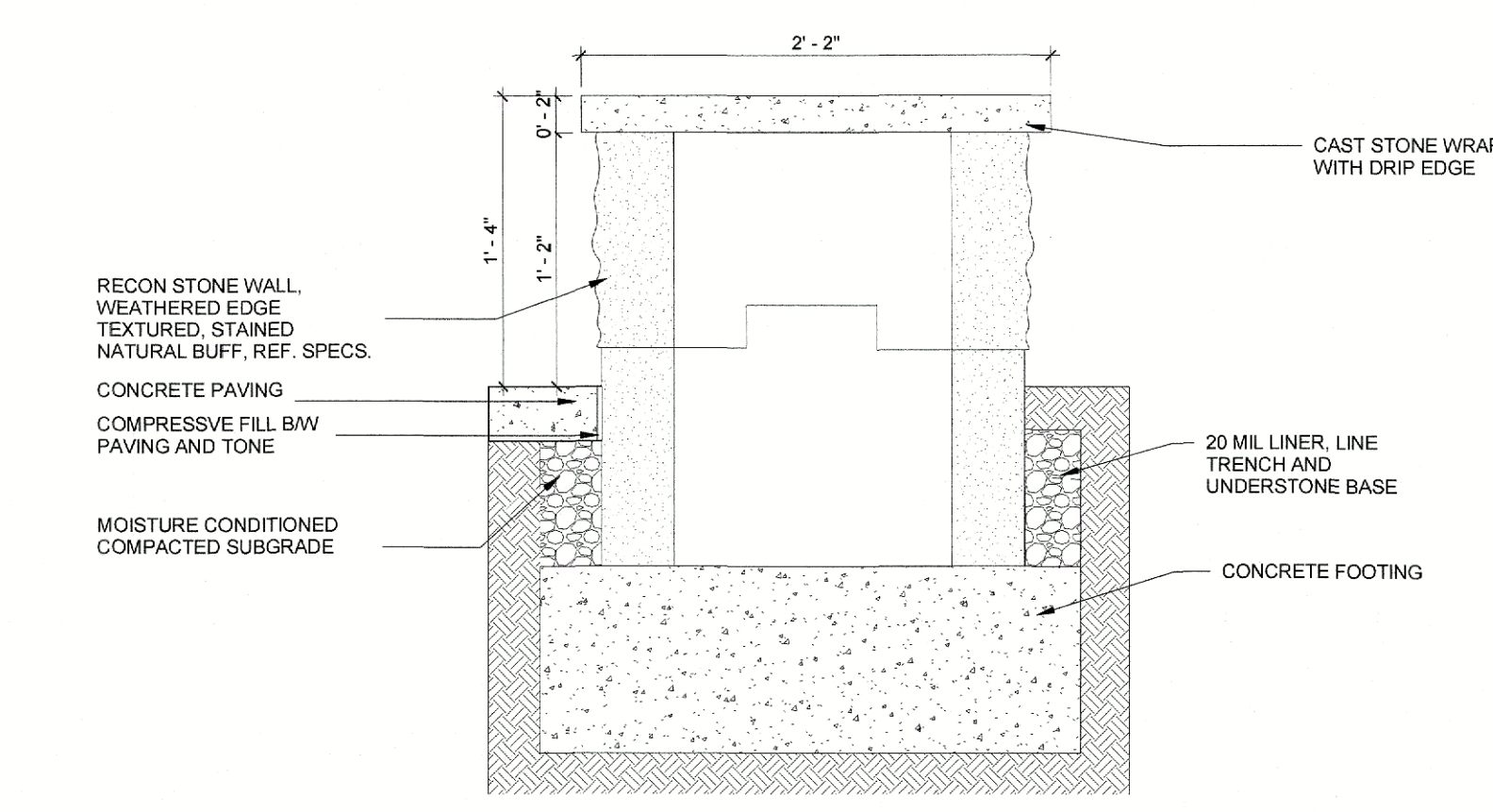
WILLIAMS ADDITIONS AND RENOVATIONS
625 E FM 552, Rockwall, TX 75087



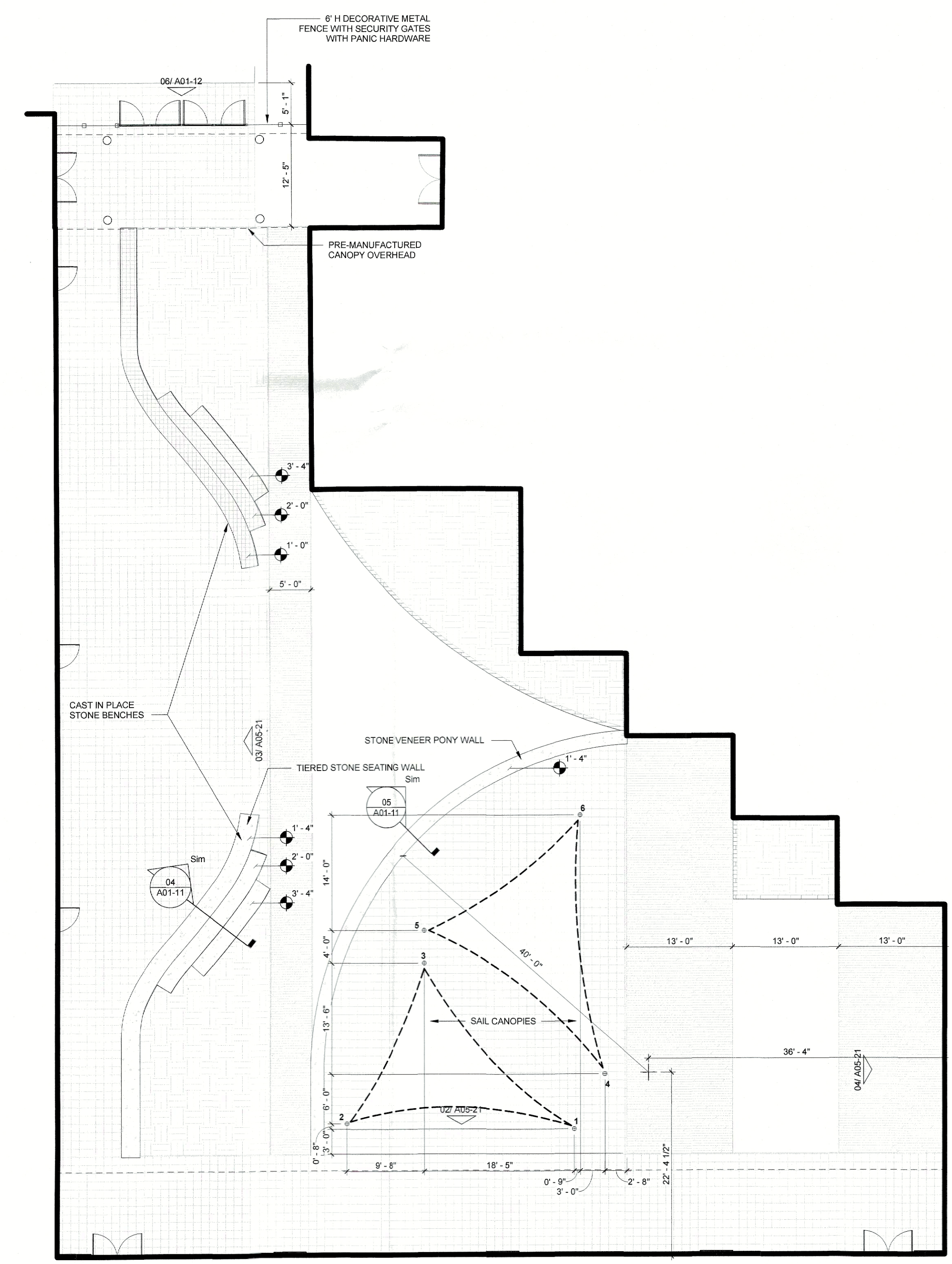
05 STONE SEATING WITH SYNTHETIC TURF
1 1/2" = 1'-0"



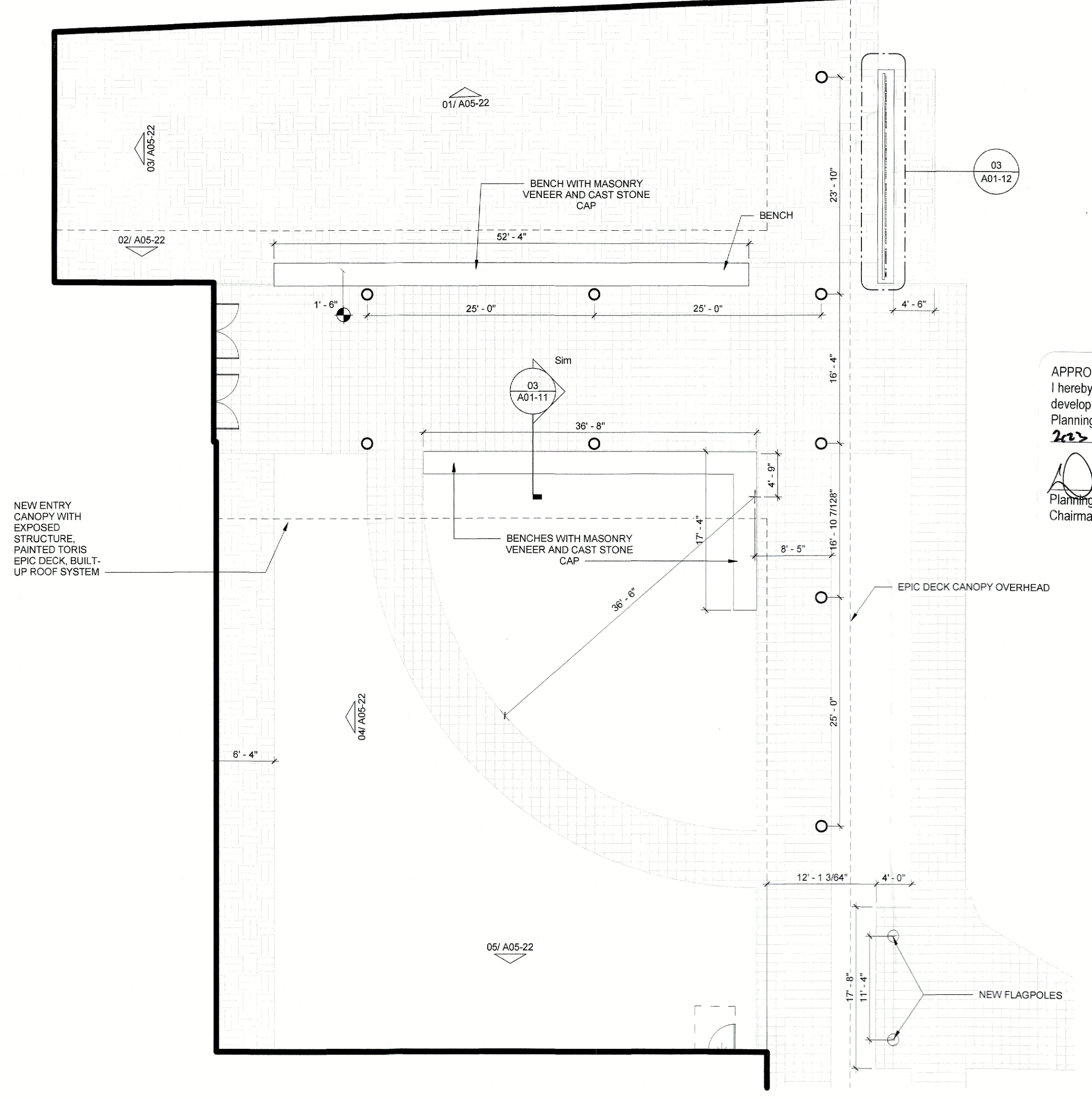
04 STONE TIER SEATING WITH FLOWER BED
1/2" = 1'-0"



03 STONE SEATING WITH GRASS
1 1/2" = 1'-0"



02 INTERIOR COURTYARD
1/8" = 1'-0"



01 FRONT ENTRANCE COURTYARD
1/8" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 14 day of November, 2023.

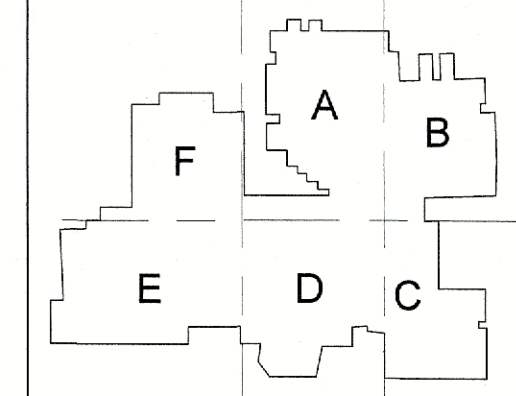
[Signature]
Planning & Zoning Commissioner, Chairman

[Signature]
Director of Planning & Zoning

SITE MATERIALS LEGEND

- 6'-0" H DECORATIVE METAL FENCING, REF. SPECS.
- EXISTING DRIVES
- NEW DRIVES
- EXISTING SIDEWALK
- NEW SIDEWALK COLOR A
- NEW SIDEWALK COLOR B
- ARTIFICIAL TURF
- PLANTING BED

KEYPLAN



ENLARGED SITE PLANS AND DETAILS

JOB 23162.000
DATE 11/01/2023
SHEET

A01-11

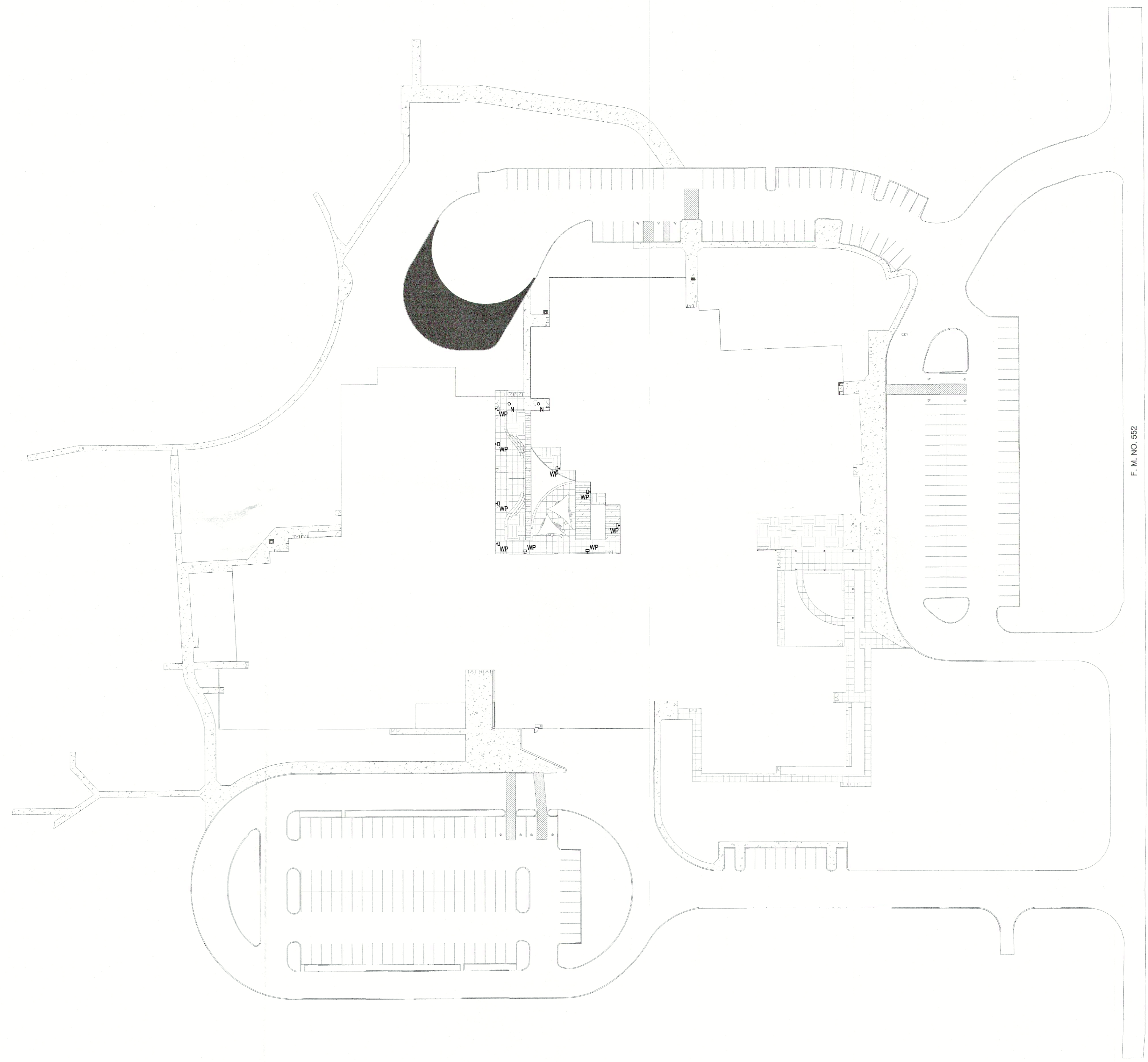
1/19/2023 8:51:06 AM A01-11 ENLARGED SITE PLANS AND DETAILS

ELECTRICAL SITE GENERAL NOTES
(SOME NOTES MAY NOT BE USED)

- CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY LOCATION, CONDUCT TEST AND INSPECTIONS, COORDINATE WITH UTILITIES, OWNER'S REPRESENTATIVES, AND CHECK FOR ALL UNDERGROUND UTILITIES AND LINES BEFORE DITCHING TAKES PLACE. CONTRACTOR AND SUBCONTRACTORS PERFORMING THESE DUTIES SHALL BE RESPONSIBLE FOR ANY REPAIRS OF CUT OR DAMAGED LINES AND UTILITIES NOT SHOWN ON PLANS.
- PROVIDE SEPARATE CONTACTORS FOR INDEPENDENT CONTROL OF EXTERIOR LIGHTING GROUPS PER LIGHTING CONTROL DETAIL.

ELECTRICAL SITE PLAN NOTES
(SOME NOTES MAY NOT BE USED)

- (C1) PROVIDE AND RUN UNDERGROUND TWO 4" CONDUITS FROM UTILITY TRANSFORMER TO ELECTRICAL SERVICE AT THE STREET. PROPOSED LOCATION IS SHOWN. VERIFY AND COORDINATE EXACT LOCATION AND ROUTING WITH UTILITY PROVIDER.
- (C2) PROVIDE AND ROUTE UNDERGROUND SERVICE CONDUCTORS FROM UTILITY TRANSFORMER LOAD SIDE TO SECONDARY ENCLOSURE. PROVIDE AND ROUTE UNDERGROUND SERVICE CONDUCTORS FROM SECONDARY ENCLOSURE TO ELECTRICAL SERVICE DISCONNECT(S). REFER TO RISER DIAGRAM FOR MORE INFORMATION.
- (C3) PROVIDE AND RUN UNDERGROUND TWO 2" CONDUIT FROM ELECTRICAL ROOM TO MARQUEE SIGN FOR POWER AND LIGHTS. CAP AND MARK CONDUIT.
- (C4) FLAG POLE. REFER TO FLAG POLE DETAIL.
- (C5) PROVIDE AND RUN UNDERGROUND TWO 3" CONDUITS WITH PULL STRING FOR POWER TO FUTURE PORTABLES. PROVIDE IN-GRADE VAULT. REFER TO UNDERGROUND PORTABLE BUILDING CONDUITS. STUB UP IN ELECTRICAL ROOM UNDERNEATH PANEL TO SERVE PORTABLES.
- (C6) BORE UNDER OR SAW-CUT. PATCH TO MATCH EXISTING.
- (C7) APPROXIMATE LOCATION OF EXISTING OVERHEAD UTILITY POWER.
- (C8) APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITY POWER.



F. M. NO. 562

ISSUES

1	07/14/2023	DESIGN DEVELOPMENT
2	07/28/2023	30% CONSTRUCTION DOCS
3		
4		
5		
6		
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9		
10		

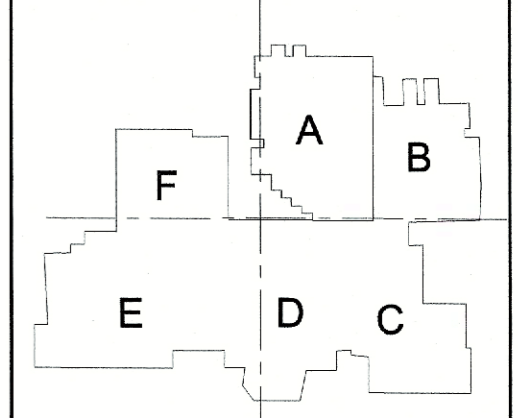
REVISIONS

REVIEW ONLY
FOR CONSTRUCTION
10/17/2023

WILLIAMS ADDITIONS AND RENOVATIONS

6620 FM-3097, Rockwall, TX 75032

KEYPLAN



ELECTRICAL SITE PLAN

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 14 day of November, 2023.

[Signature]
Chairman, Director of Planning & Zoning

JAVIER GARCIA TEXAS P.E. 118760 JAMES TATE III TEXAS P.E. 102427

EMA Engineering & Consulting, Inc.
Tyler | Austin | Houston | El Paso
DFW | San Antonio | Shreveport
Texas Firm Registration No. F-893
Louisiana Firm Registration No. EF-5818

DESIGN SOLVE ENHANCE www.EMAengineer.com
SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

JOB 23162.000
DATE 07/28/2023
SHEET
ES01-01

1 ELECTRICAL SITE PLAN
1"=40'-0"

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	Mounting Height	
○	2	N	Single	MR13FFD-PP-MW-20L40K-DCC-DV	12	
□	9	WP	Single	WST LED P2 40K VF MVOLT	10.5	

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
COURTYARD_Top	Illuminance	Fc	2.94	12.4	0.2	14.70 / 62.00

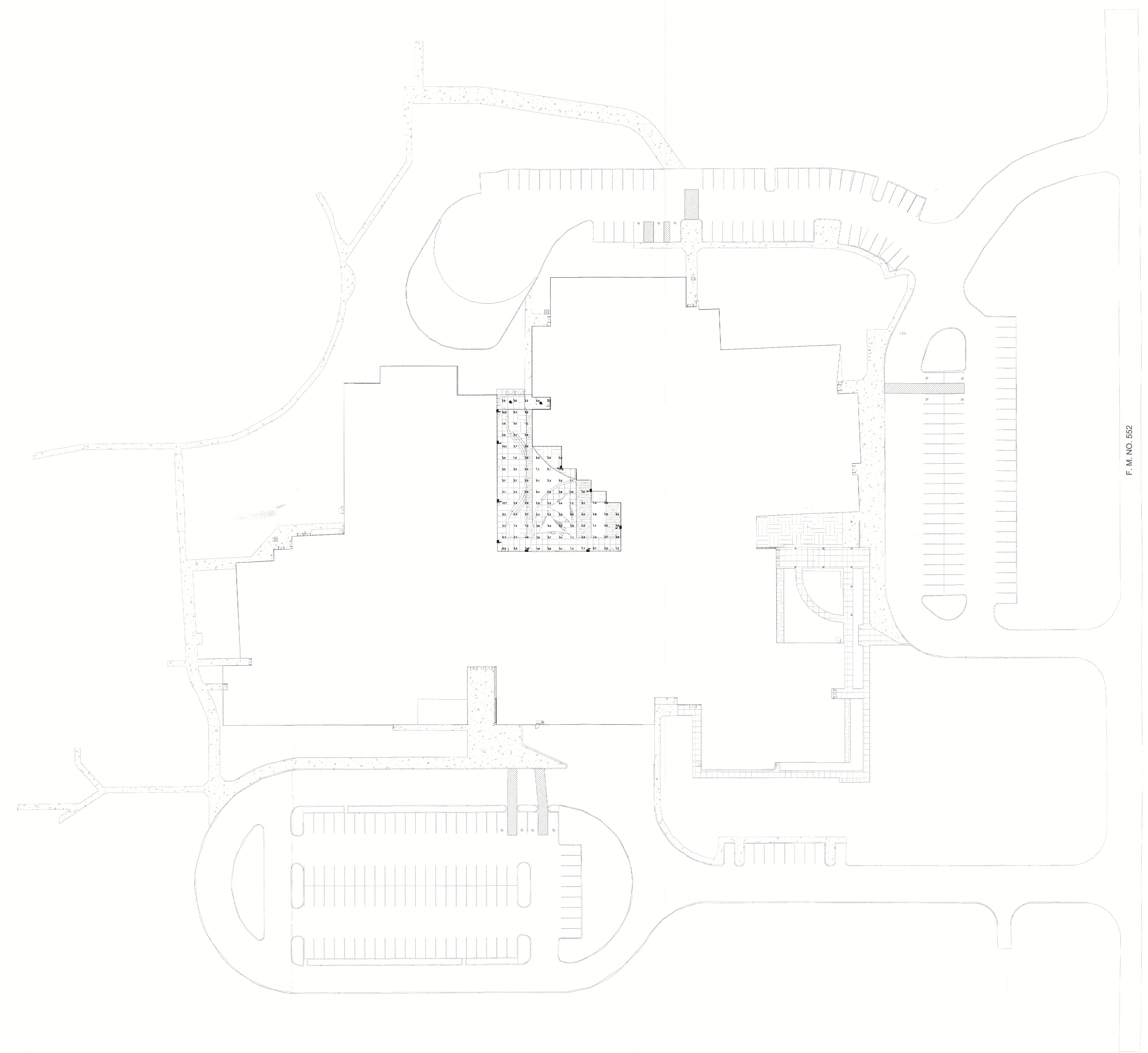
**SITE PLAN PHOTOMETRIC CALCULATIONS
GENERAL NOTES**

- THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL, TX OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
- ALL CALCULATION POINTS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
- LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AG32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

CORGAN
www.corgan.com
T: 214.748.2000

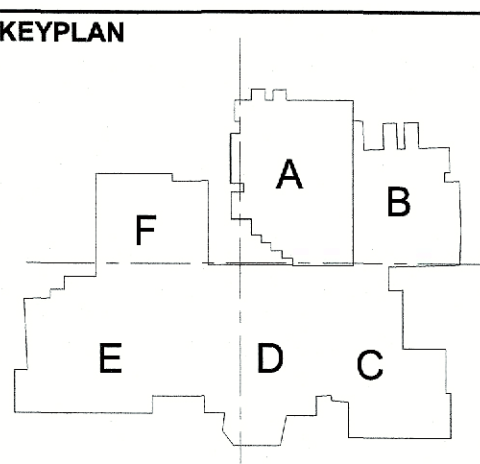
ISSUES		
1	07/14/2023	DESIGN DEVELOPMENT
2	07/28/2023	30% CONSTRUCTION DOCS
3		
4		
5		
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7		
8		
9		
10		

REVISIONS		



REVIEW ONLY
FOR COMMENTS ONLY
NOT FOR CONSTRUCTION
Oct 17, 2023

**WILLIAMS ADDITIONS AND
RENOVATIONS**
6620 FM-3097, Rockwall, TX 75032



**PHOTOMETRIC
SITE PLAN**

JOB 23162.000
DATE 07/28/2023
SHEET
ES01-02

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 14 day of November 2023.

[Signature]
Planning & Zoning Commission, Chairman

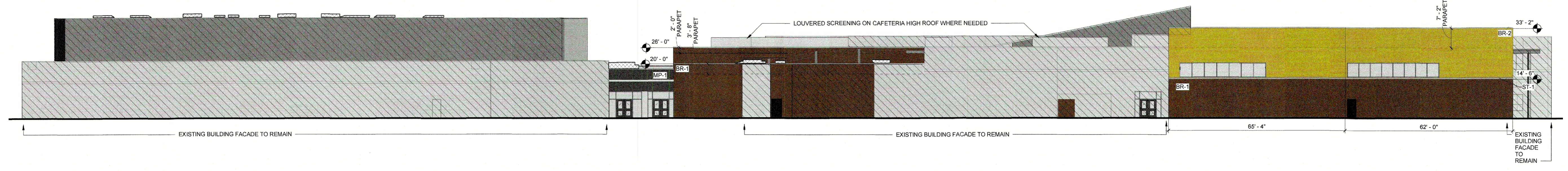
[Signature]
Director of Planning & Zoning

JAVIER GARCIA TEXAS P.E. 118760
JAMES TATE III TEXAS P.E. 102427

EMA Engineering & Consulting, Inc.
Tyler | Austin | Houston | El Paso
DFW | San Antonio | Shreveport
Texas Firm Registration No. F-893
Louisiana Firm Registration No. EF-818

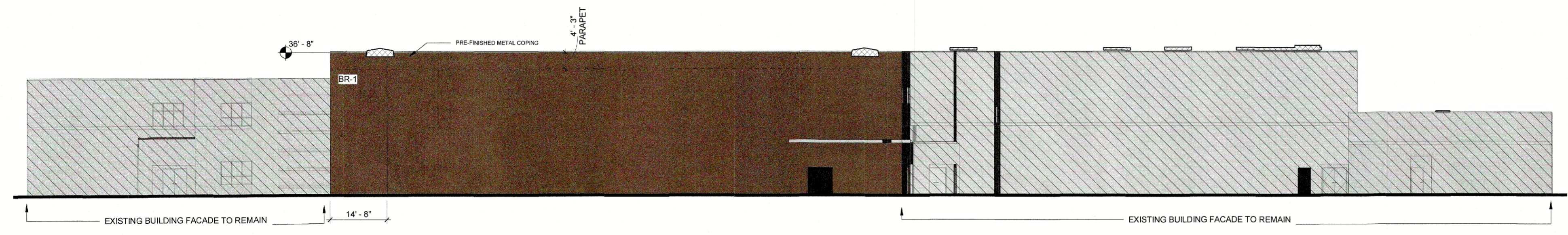
DESIGN SOLVE ENHANCE www.EMAengineer.com
SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

1 PHOTOMETRIC SITE PLAN
1"=40'-0"



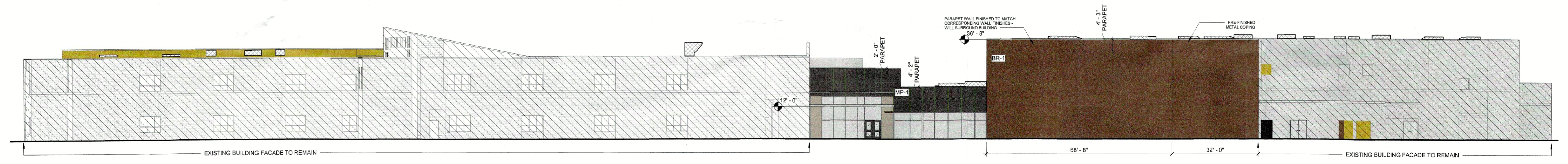
04 OVERALL EXTERIOR ELEVATION - EAST (FACES N JOHN KING BLVD)
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 4947 SF
BRICK: 4670 SF (95%)
STONE: 85 SF (1%)
METAL PANEL: 192 SF (4%)
MASONRY PERCENTAGE (MINUS GLAZING): 98%



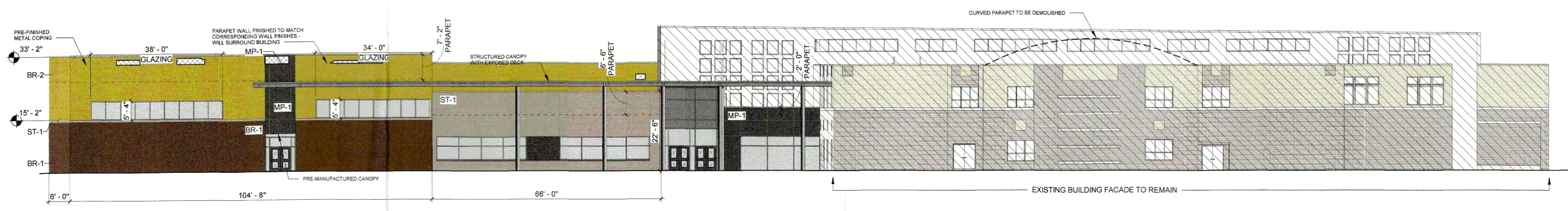
03 OVERALL EXTERIOR ELEVATION - SOUTH
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 5173 SF
BRICK: 5173 (100%)
STONE: 0 SF (0%)
METAL PANEL: 0 SF (0%)
MASONRY PERCENTAGE (MINUS GLAZING): 100%



02 OVERALL EXTERIOR ELEVATION - WEST
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 4348 SF
BRICK: 3957 SF (92%)
STONE: 139 SF (3%)
METAL PANEL: 652 SF (15%)
MASONRY PERCENTAGE (MINUS GLAZING): 85%



01 OVERALL EXTERIOR ELEVATION - NORTH (FACES HWY 552)
1/16" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 4289 SF
BRICK: 2583 SF (61%)
STONE: 1146 SF (27%)
METAL PANEL: 530 SF (12%)
MASONRY PERCENTAGE: 88%

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 14 day of November, 2023.

[Signature]
Director of Planning & Zoning
Chairman

EXT. MATERIALS LEGEND	
	BR-1
	BR-2
	ST-1
	MP-1



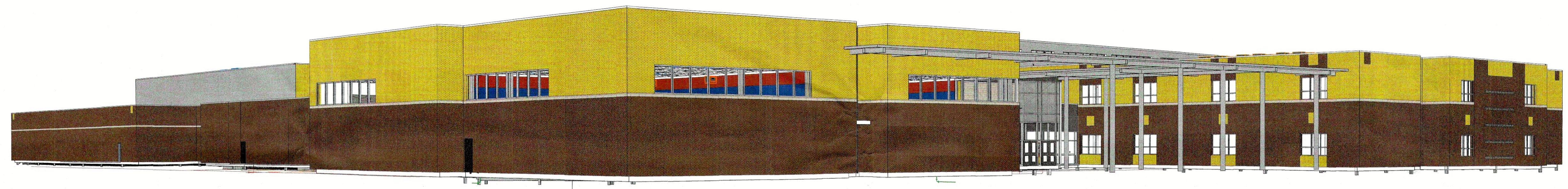
EXTERIOR ELEVATIONS - WILLIAMS MIDDLE SCHOOL

As indicated

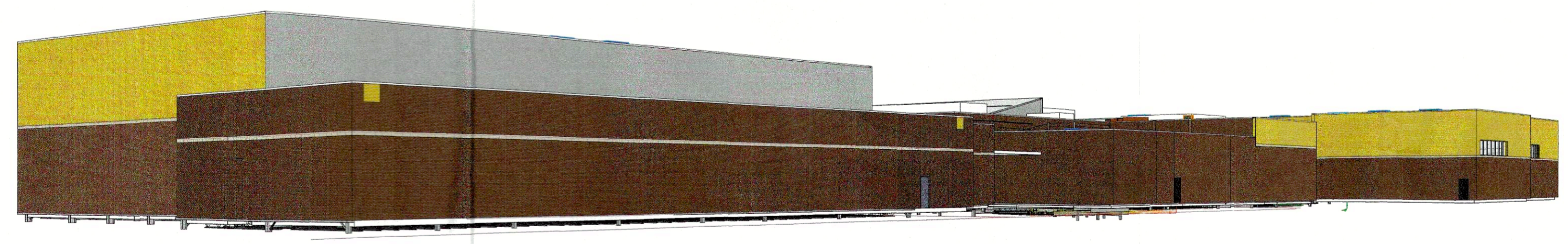




03 3D BUILDING VIEW - NORTHWEST CORNER



02 3D BUILDING VIEW - NORTHEAST CORNER



01 3D BUILDING VIEW - SOUTHEAST CORNER

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[Signature]
Planning & Zoning Commission, Director of Planning & Zoning Chairman

