

ABBREVIATIONS

BFR	BARRIER FREE RAMP
CI	CURB INLET
CP	CONCRETE PAVEMENT
ESMT	EASEMENT
EV	ELECTRIC VAULT
EXIST	EXISTING
EXST	EXISTING
FH	FIRE HYDRANT
G	GRATE INLET
HDWL	HEADWALL
MH	MANHOLE
PP	POWER POLE
PPMT	PAVEMENT
R	RADIUS
ROW	RIGHT OF WAY
SF	SQUARE FEET
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SQ	SQUARE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TOM	TELECOMMUNICATIONS MARKER
TCF	TELECOMMUNICATIONS FEDESTAL
TCV	TELECOMMUNICATIONS VAULT
TM	TELECOMMUNICATIONS MANHOLE
WM	WATER METER
WMH	WATER MANHOLE
WS	WATER SERVICE
WTR	WATER

LOT 2 BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 2019000019144
OWNER: GREENCREST TPS HOTEL, LP

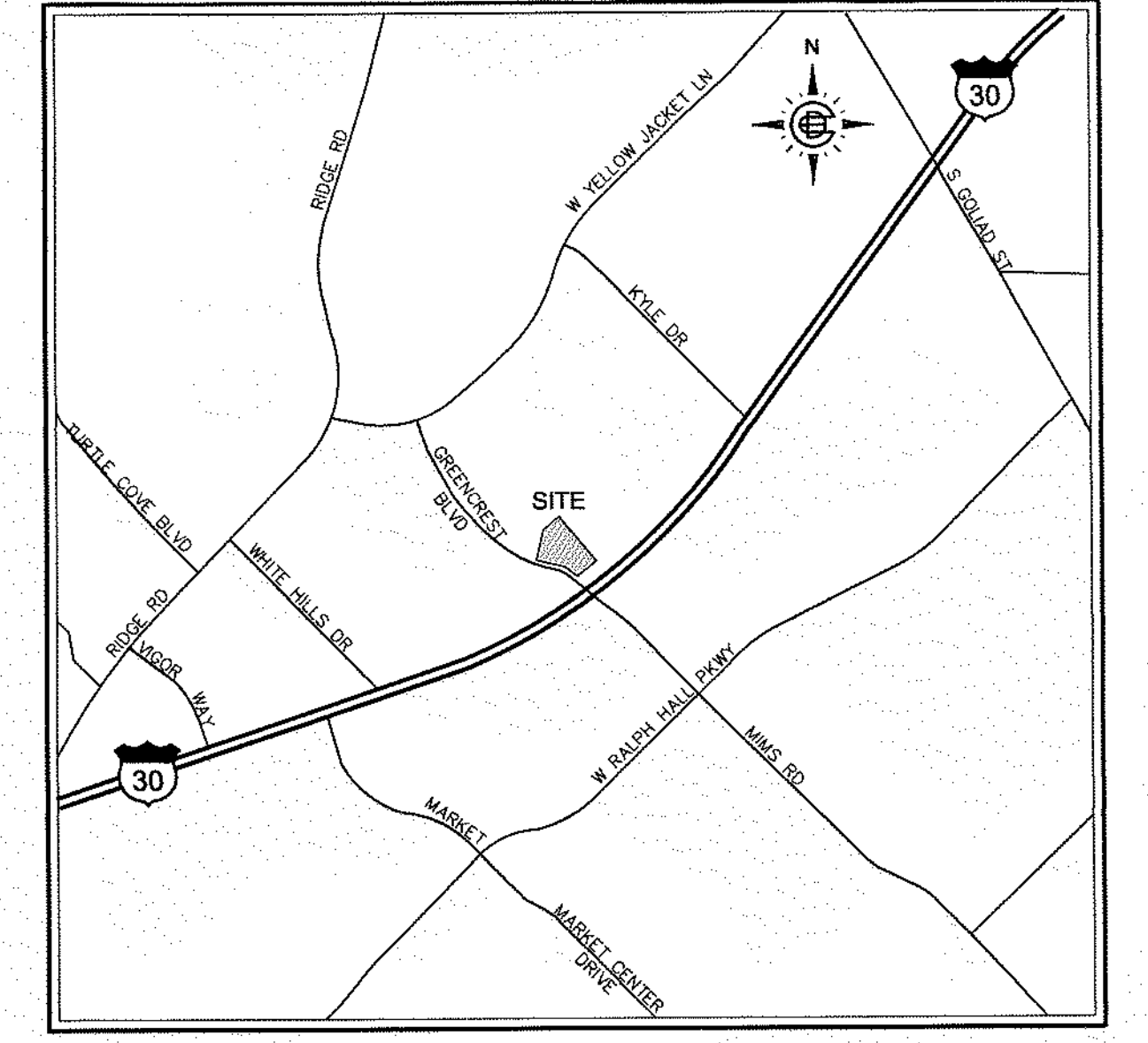
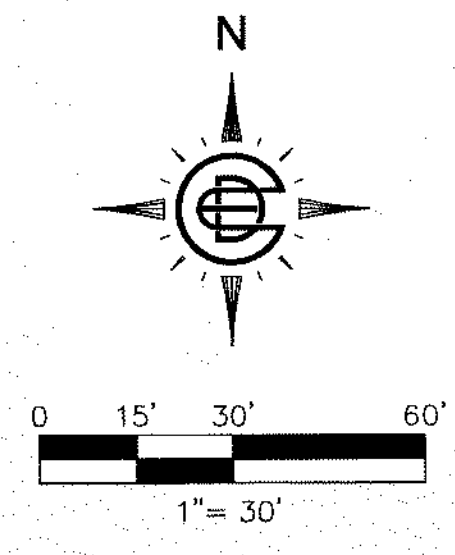
LOT 1, BLOCK A
TEXAS ROADHOUSE ADDITION
DOC. NO. 2016000006790
OWNER: ROADHOUSE ENTERPRISES, INC.

LOT 1, BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 2019000019144
OWNER: ROCKWALL RENTAL
PROPERTIES, LP

LOT 2
2.40 AC.
104,565 SF

ROOMS TO GO PATIO
11,896 SF

LOT 1
1.93 AC.
84,194 SF



VICINITY MAP
N.T.S.

PAVEMENT LEGEND

	EXISTING CONCRETE PAVEMENT
	4" REINFORCED CONCRETE SIDEWALK
	5" REINFORCED CONCRETE PAVEMENT (5" CP)
	6" REINFORCED CONCRETE PAVEMENT (6" CP)
	7" REINFORCED CONCRETE PAVEMENT (7" CP)

SITE DATA

LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	48 SPACES
9'x18' ACCESSIBLE:	2 SPACES
TOTAL:	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84,194 SQ. FT.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE		
BUILDING		
CURB		
STORM DRAIN		
STORM DRAIN MANHOLE/JUNCTION BOX		
CURB INLET		
GRATE INLET		
WATER LINE		
FIRE HYDRANT		
WATER METER BOX		
WATER VALVE		
SANITARY SEWER LINE		
SANITARY SEWER MANHOLE		
POWER POLE		
UNDERGROUND UTILITY MARKER		
UNDERGROUND TELECOM LINE		
UNDERGROUND ELECTRIC LINE		
UNDERGROUND GAS LINE		
OVERHEAD LINE		
GAS METER		
ACCESSIBLE PARKING		
SIGN		

APPROVED
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 31st day of August, 2022.
WITNESS OUR HANDS, THIS 29th DAY OF September, 2022.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

CITY OF ROCKWALL CASE NO.: SP2022-039

SITE PLAN

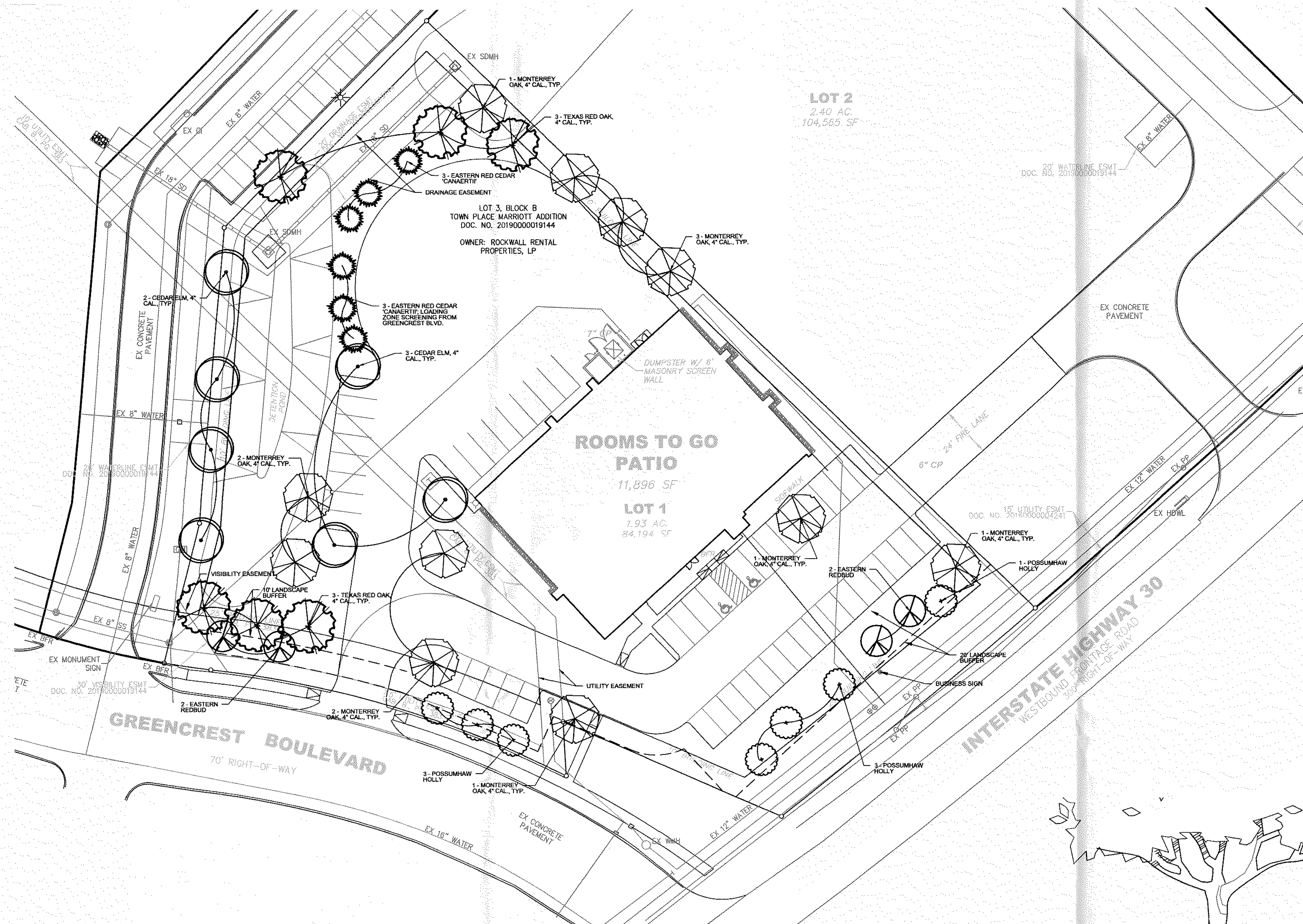
ROOMS TO GO PATIO
904 E. INTERSTATE 30

LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION

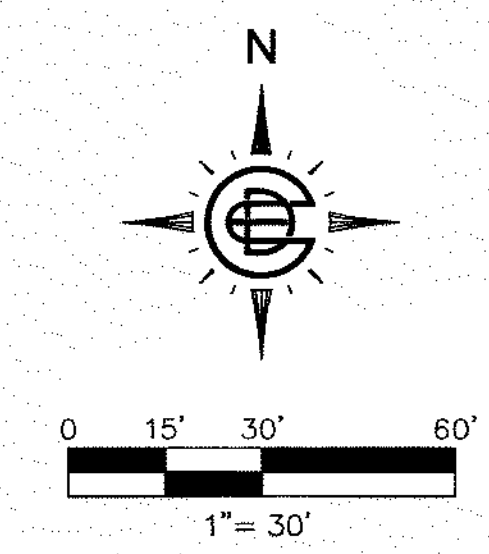
<p>OWNER/DEVELOPER TEXAS RTG PATIO PARTNERS-II, LLC 4004 SUMMIT BOULEVARD NE, SUITE 600 ATLANTA, GEORGIA 30319 CONTACT: NICHOLAS ROTH PHONE: (678) 338-4545 EMAIL: nroth@roomstogo.com</p> <p>ENGINEER/APPLICANT DEC, LLP 5300 TOWN & COUNTRY BLVD, SUITE 150 FRISCO, TEXAS, 75034 CONTACT: DANIEL STEWART, P.E. PHONE: (469) 850-0060 EMAIL: dstewart@dec-en.com</p>	<p>DESIGN 5300 TOWN & COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-850-0060 TBPE FIRM NO. F-20255</p>
<p>ISSUE DATE 08/25/22</p> <p>CITY FILE NO. SP2022-039</p>	<p>DEC FILE NO. 10046</p> <p>SHEET NO. 1</p>

DIMENSION CONTROL GENERAL NOTES

- BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY EAGLE SURVEYING, DATED 07/05/2022.
- PROPERTY LINES & EASEMENTS: REFER TO THE TOPOGRAPHIC SURVEY TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
- DIMENSION CONTROL: ALL PAVING DIMENSIONS AND COORDINATES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
- CURB RADII: ALL CURB RADII SHALL BE TWO FEET (2') AT THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS: REFER TO THE BUILDING PLANS FOR EXACT BUILDING DIMENSIONS.



SITE DATA	
LOT AREA:	1.93 ACRES (84,194 SF)
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PROPOSED USE:	COMMERCIAL
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TOTAL:	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84194 SQ. FT.



SITE TREE REQUIREMENTS

NO EXISTING TREES ON SITE

REQUIRED SITE:
 IH30 FRONTAGE RD. (154 LF)
 2 CANOPY AND 4 ACCENTS TREES PER 100 LF OF STREET FRONTAGE
 EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 3 TREES
 ACCENT TREES = 6 TREES

GREENCREST BLVD. (278 LF)
 1 CANOPY AND 1 ACCENT TREE PER 50 LF OF STREET FRONTAGE
 EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 5 TREES
 ACCENT TREES = 5 TREES

NO PARKING SPACE SHALL BE FURTHER THAN 80' FROM A TREE

DETENTION AREA = 8,504 SF
 1 TREE PER 750 SF OF DETENTION AREA (8,504/750) = 11 TREES
 1 ACCENT TREE PER 1500 SF OF DETENTION AREA (8,504/1,500) = 5 TREES

PROVIDED SITE:
 IH30 FRONTAGE RD. (154 LF)
 2 CANOPY AND 4 ACCENTS TREES PER 100 LF OF STREET FRONTAGE
 EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 1 TREE*
 ACCENT TREES = 6 TREES

GREENCREST BLVD. (278 LF)
 1 CANOPY AND 1 ACCENT TREE PER 50 LF OF STREET FRONTAGE
 EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 5 TREES
 ACCENT TREES = 5 TREES

ALL PARKING SPACES WITH 80' FROM A TREE

DETENTION AREA TREES PROVIDED:
 12 CANOPY TREES PROVIDED
 8 ACCENT TREES PROVIDED*

*VARIANCE IS BEING REQUESTED FOR UDC CANOPY TREE REQUIREMENT ALONG IH30 FRONTAGE ROAD

*REQUEST FOR EASTERN RED CEDAR 'CANAERTII' TO COUNT AS ACCENT TREE IN LIEU OF CANOPY TREE DUE TO SIZE AND BEING FULL TO GROUND TO SCREEN BACK OF HOUSE.

- GENERAL NOTES**
- REFERENCE DETAIL THIS SHEET FOR TREE PLANTING DETAIL.
 - AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
 - REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
 - COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
 - CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
 - QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
 - NO TREE SHALL BE CLOSER THAN 2 1/2 FEET TO PAVEMENT AND NO CLOSER THAN 5' TO ANY PUBLIC WATER, SEWER OR STORM THAT IS LESS 10" DIA. OR 10' WHERE UTILITY IS GREATER THAN 10" DIA.
 - ALL PARKING SPACES SHALL BE WITH 80' OF A TREE.
 - CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

APPROVED
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 31st day of August, 2022.

WITNESS OUR HANDS, THIS 31st DAY OF August, 2022

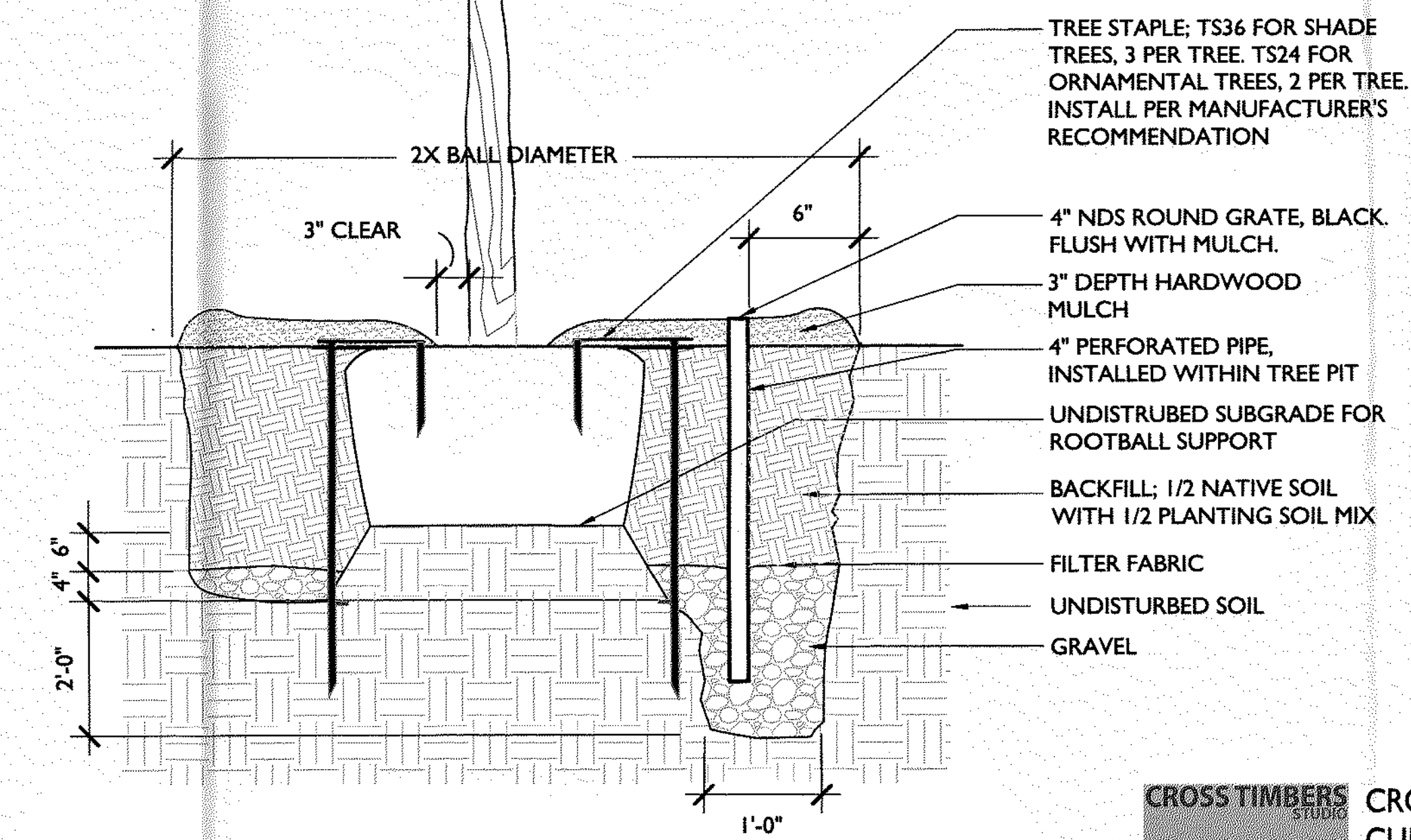
[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning & Zoning

CITY OF ROCKWALL CASE NO.: SP2022-039

TREE SCHEDULE

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
LARGE CANOPY AND ORNAMENTAL TREES			
7 EA	CEDAR ELM	<i>Ulmus crassifolia</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8" sp.
6 EA	TEXAS RED OAK	<i>Taxodium distichum</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8" sp.
10 EA	MONTERREY OAK	<i>Quercus polymorpha</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8" sp.
4 EA	EASTERN REDBUD	<i>Cercis canadensis</i>	45 gal., 6'-8" ht. x 4" sp., single trunk, tree form
7 EA	POSSUMHAW HOLLY	<i>Ilex decidua</i>	45 gal., 6'-8" ht. x 4" sp., single trunk, tree form
6 EA	EASTERN RED CEDAR 'CANAERTII'	<i>Juniperus virginiana 'Canaertii'</i>	45 gal., 6'-8" ht. x 4" sp. min. at base, full to ground

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.



(A) ACCENT AND CANOPY TREE STAKING SECTION
 NOT TO SCALE

CROSS TIMBERS STUDIO
 CROSS TIMBERS STUDIO
 CLIFTON HALL, ASLA
 GRANDVIEW, TX 76050
 PH: 972-896-1900
 TBAE REG. NUMBER: BR 3558

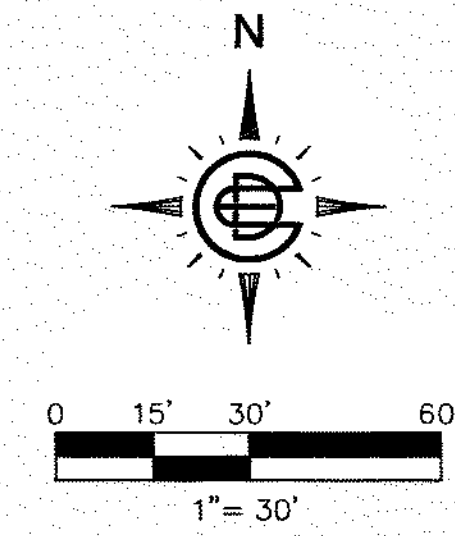
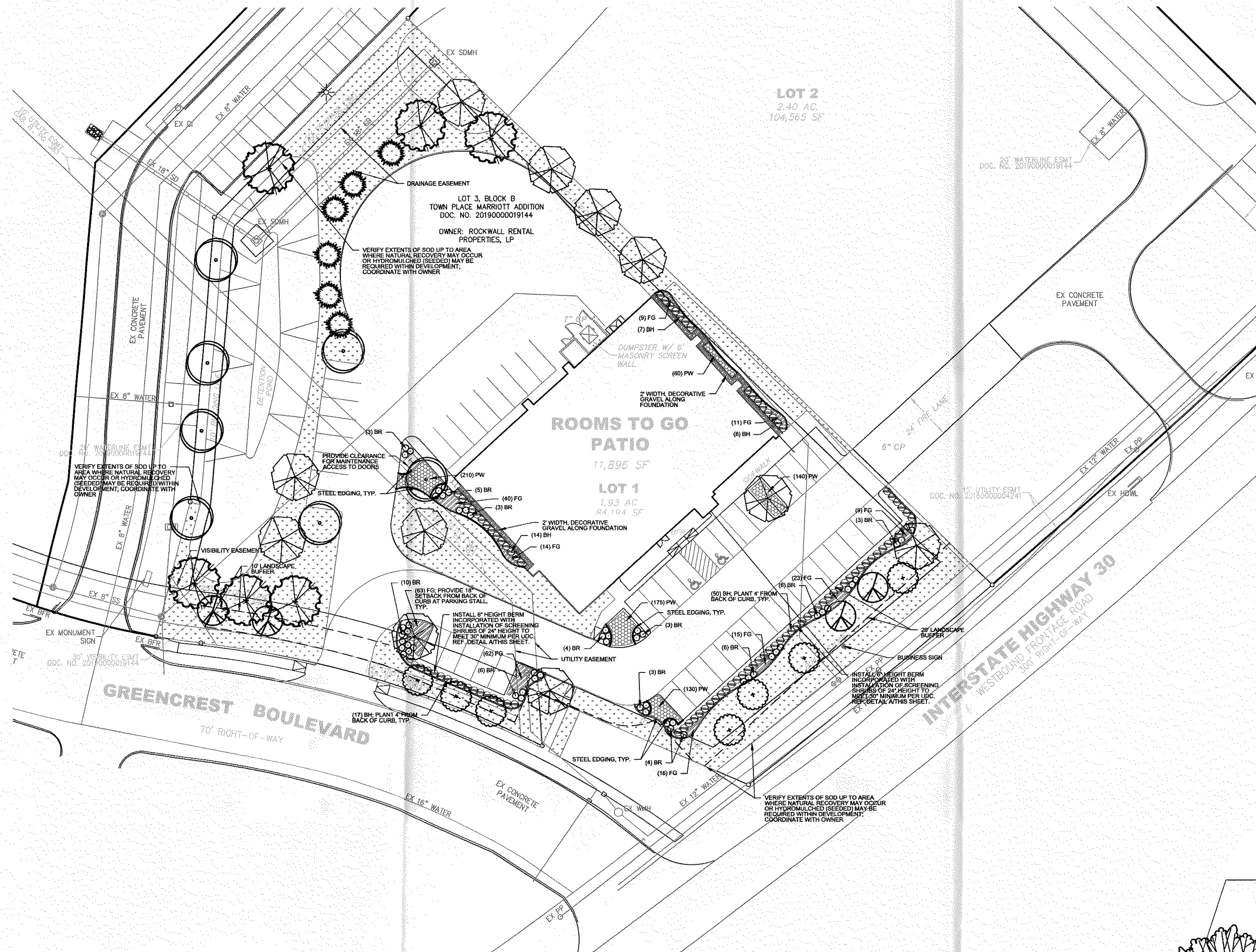
#	MM/DD/YY	TEXT	REMARKS
REV	DATE	TEXT	REMARKS

OVERALL TREE PLAN

ROOMS TO GO PATIO
 904 E. INTERSTATE 30
 LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION

PRELIMINARY FOR REVIEW ONLY
 These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806

ISSUE DATE	DEC FILE NO.
09/08/22	10046
CITY FILE NO.	SHEET NO.
SP2022-039	L1.1



SITE DATA	
LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	48 SPACES
9x18' ACCESSIBLE	2 SPACES
TOTAL	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84194 SQ. FT.

SITE REQUIREMENTS

COMMERCIAL 20% REQUIRED SITE:
20% OF TOTAL AREA TO BE DEVELOPED SHALL BE LANDSCAPED = 16,839 SF

PROVIDED SITE:
>20% OF TOTAL AREA LANDSCAPED = +/- 37,000 SF

INTERIOR PARKING LOT LANDSCAPE

REQUIRED SITE:
PARKING AND MANEUVERING GREATER THAN 20,000 SF;
1 TREE REQUIRED PER 10 PARKING SPACES

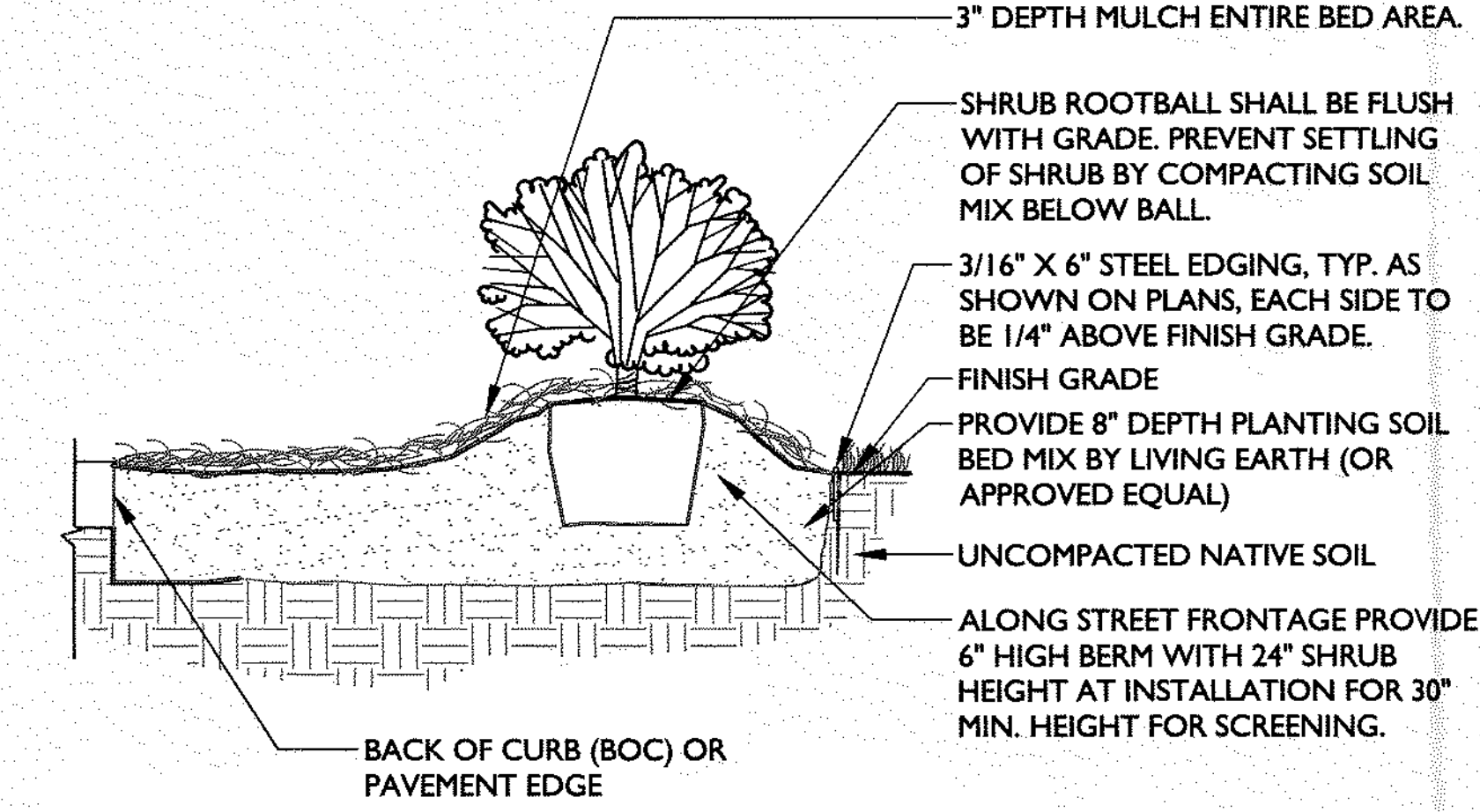
PROVIDED SITE:
5 TREES PROVIDED FOR 52 PARKING SPACES
NO SITE CREDITS WERE USED IN CALCULATIONS

- GENERAL NOTES**
- REFERENCE SHEET L1.3 FOR PLANTING DETAILS.
 - AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
 - REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
 - COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
 - CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
 - QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
 - TREES AND SHRUBS SHALL BE INSTALLED 4' FROM BACK OF CURB.
 - CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

LANDSCAPE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
SHRUBS/ORNAMENTAL PLANTS				
⊗	96 EA	DWARF BURFORD HOLLY (BH)	<i>Ilex cornuta 'Burfordii nana'</i>	7 gal., 24" ht. min. x 12"-14" sp., full
⊙	56 EA	BARBERRY (BR)	<i>Berberis thunbergii 'Crimson Pygmy'</i>	5 gal., 10"-12" ht. x 10"-12" sp.,
ORNAMENTAL GRASS AND GROUNDCOVER				
▨	262 EA	MEXICAN FEATHERGRASS (FG)	<i>Nassella tenuissima</i>	1 gal., heavily rooted, full, 15" o.c. spacing
▩	715 EA	PURPLE WINTERCREEPER (PW)	<i>Euonymus fortunei 'coloratus'</i>	1 gal., 1"-2" ht. x 6"-8" sp, 12" o.c. spacing
TURF AND AGGREGATE				
▽	+/-22,860 SF	BERMUDAGRASS	<i>Cynodon dactylon</i>	sod, full
⊘	+/-325 SF	DECORATIVE GRAVEL		6" depth, 1"-3" aggregate, New Mexico cobble or approved equal by Owner

- ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.
- PER UDC ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO THE PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH A FULL STAND OF GRASS AS DEFINED AND APPROVED BY THE CITY.



A SHRUB WITH BERM PLANTING DETAIL SECTION NOT TO SCALE

APPROVED
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 21st day of August, 2022.

WITNESS OUR HANDS, THIS 21st DAY OF September, 2022

[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning & Zoning

CITY OF ROCKWALL CASE NO.: SP2022-039

REV	MM/DD/YY	TEXT	DATE	REMARKS
LANDSCAPE PLAN				
ROOMS TO GO PATIO				
904 E. INTERSTATE 30				
LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION				
PRELIMINARY FOR REVIEW ONLY These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806			DESIGN	
ISSUE DATE	09/08/22	DEC FILE NO.	10046	
CITY FILE NO.	SP2022-039	SHEET NO.	L1.2	

CROSS TIMBERS STUDIO
CROSS TIMBERS STUDIO
CLIFTON HALL, ASLA
GRANDVIEW, TX 76050
PH: 972-896-1900
TBAE REG. NUMBER: BR 3558

MATERIAL RATIOS - SOUTH ELEVATION

STONE	828 SF	19%
CMU	391 SF	9%
ALUM/GLASS	1998 SF	45%
STUCCO	829 SF	19%
METAL	372 SF	8%
TOTAL	4423 SF	100%

MATERIAL RATIOS - NORTH ELEVATION

STONE	910 SF	23%
CMU	2575 SF	65%
ALUM/GLASS	0 SF	0%
STUCCO	338 SF	8%
METAL	256 SF	7%
TOTAL	3977 SF	100%

MATERIAL RATIOS - WEST ELEVATION

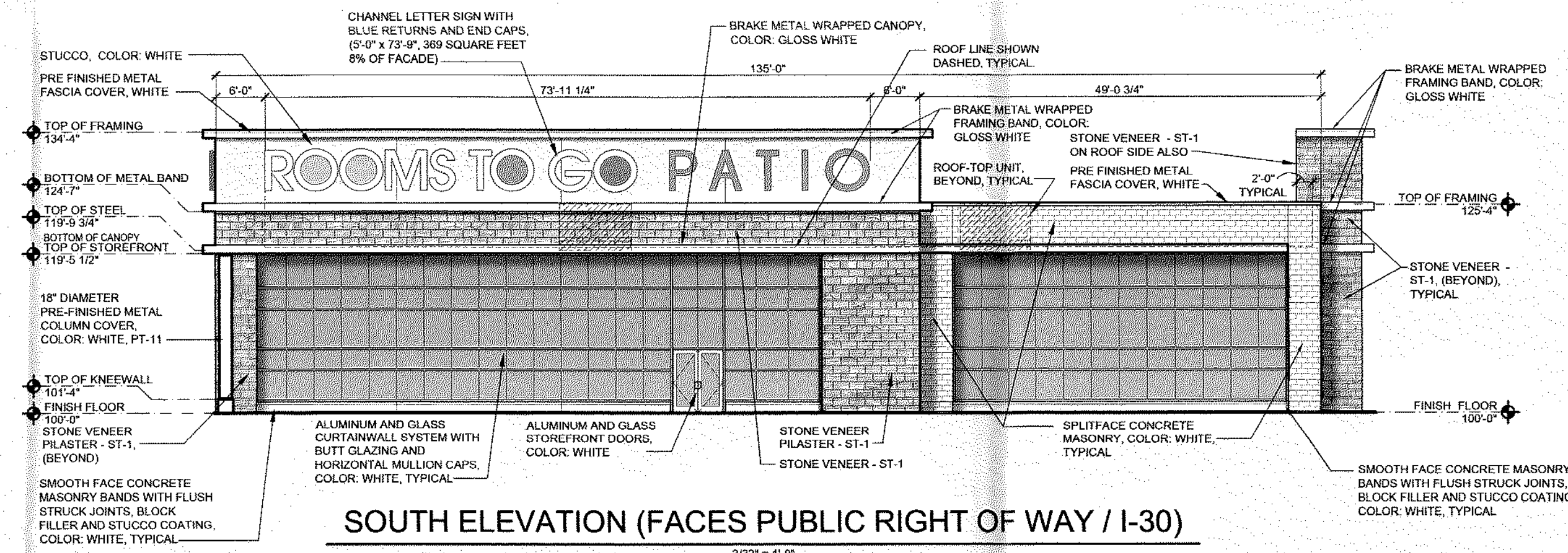
STONE	650 SF	21%
CMU	1163 SF	38%
ALUM/GLASS	480 SF	16%
STUCCO	518 SF	17%
METAL	206 SF	7%
TOTAL	3016 SF	100%

MATERIAL RATIOS - EAST ELEVATION

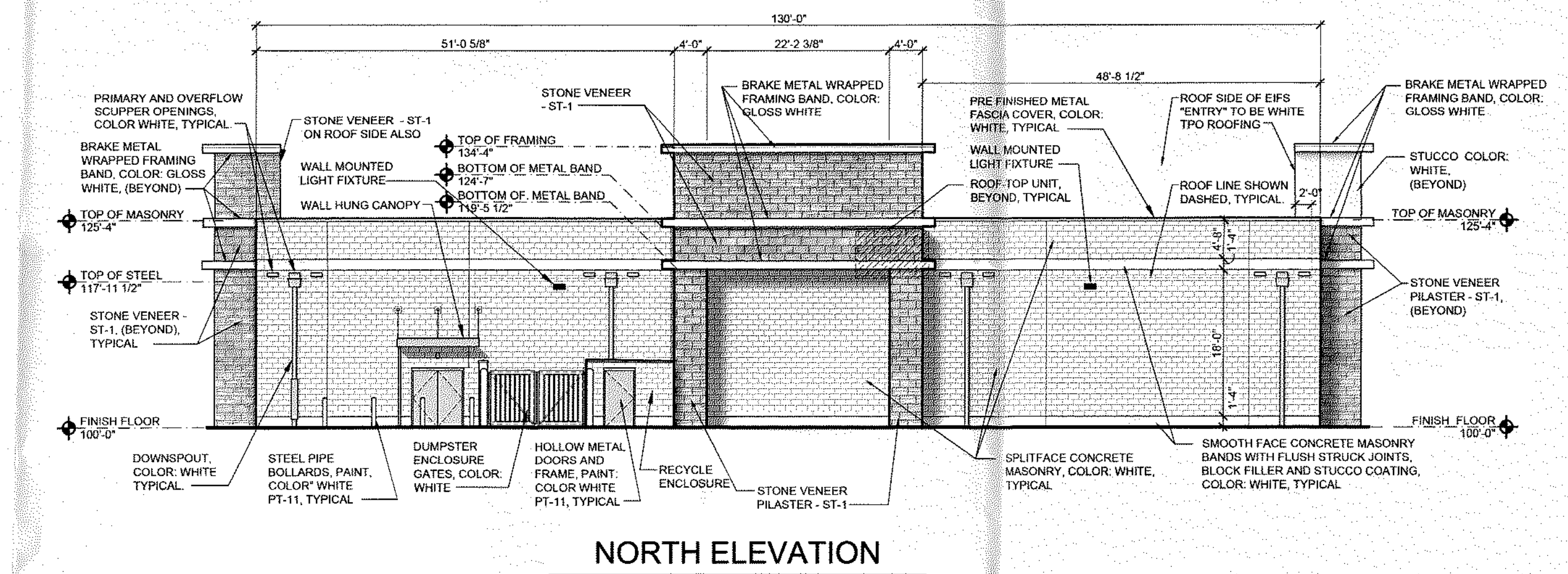
STONE	721 SF	22%
CMU	1474 SF	43%
ALUM/GLASS	392 SF	12%
STUCCO	478 SF	15%
METAL	192 SF	6%
TOTAL	3257 SF	100%

MATERIAL RATIOS - OVERALL

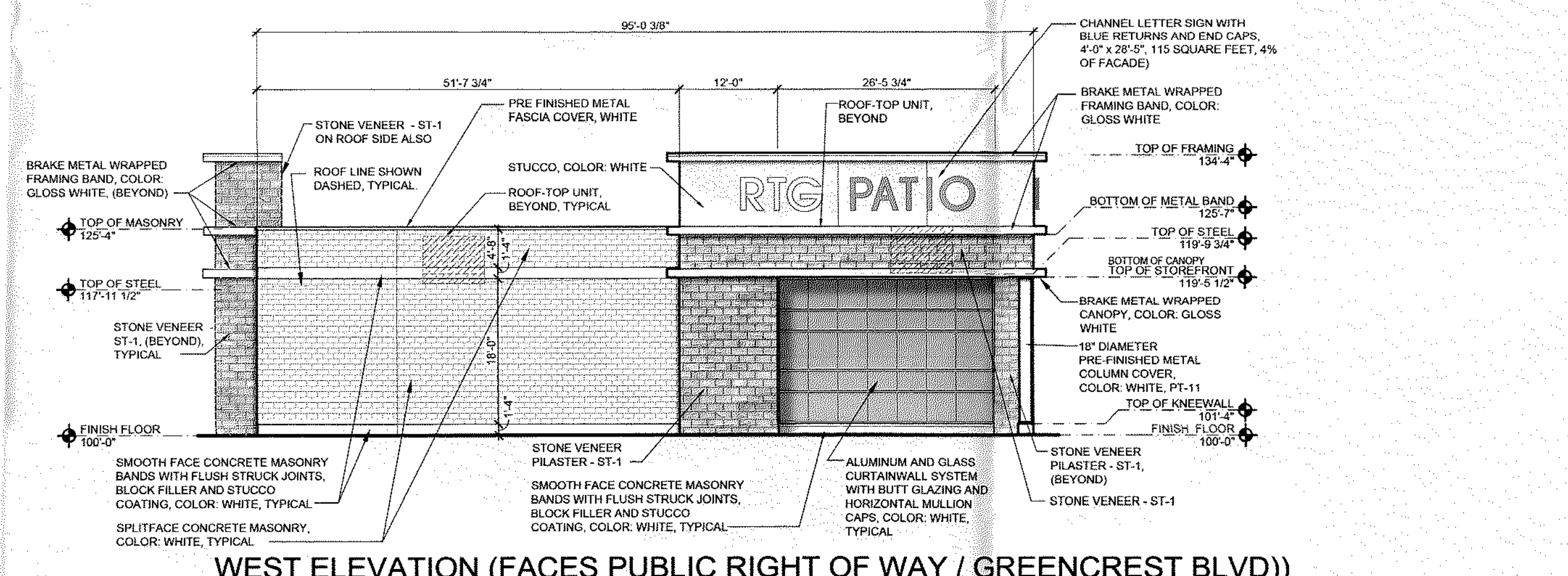
STONE	3609 SF	20%
CMU	5603 SF	38%
ALUM/GLASS	2870 SF	20%
STUCCO	2153 SF	15%
METAL	1941 SF	7%
TOTAL	14876 SF	100%



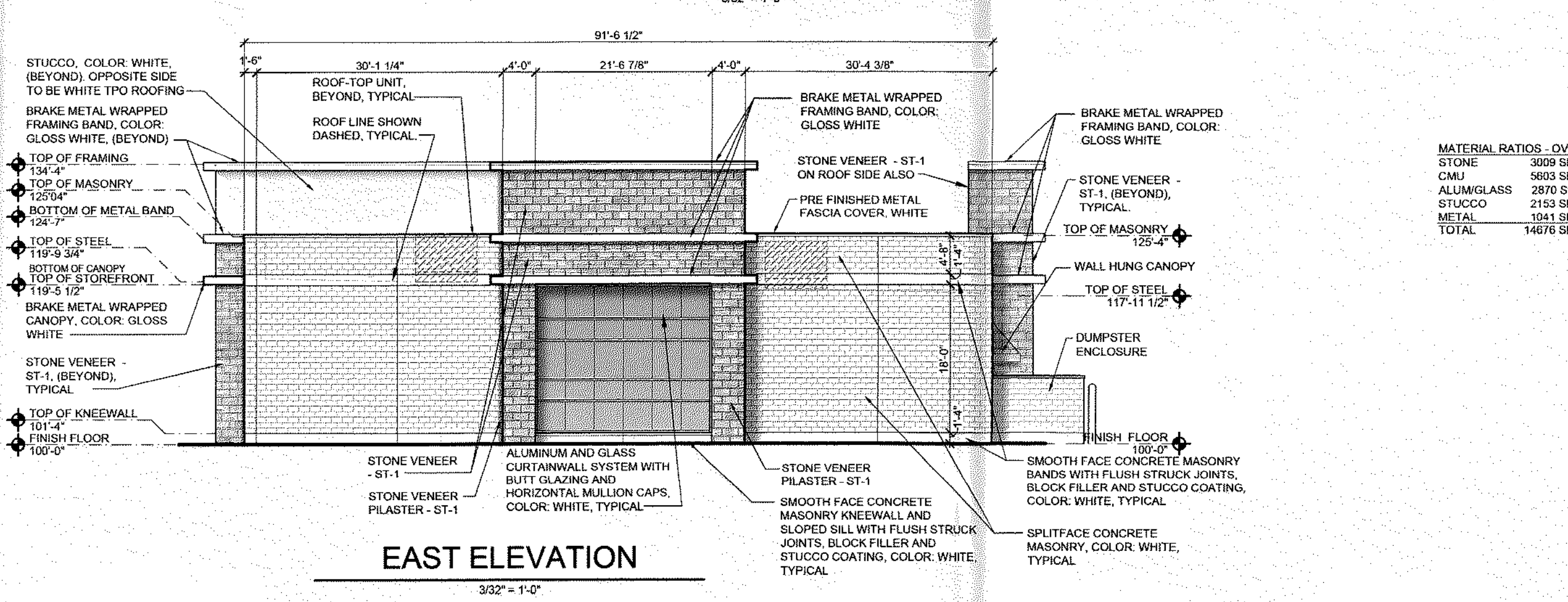
SOUTH ELEVATION (FACES PUBLIC RIGHT OF WAY / I-30)



NORTH ELEVATION



WEST ELEVATION (FACES PUBLIC RIGHT OF WAY / GREENCREST BLVD)



EAST ELEVATION

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 31st day of August, 2022.

[Signature]
Chairman

[Signature]
Director of Planning & Zoning

EXTERIOR MATERIAL SCHEDULE	
MATERIAL	FINISHES
SPLIT FACE CONCRETE MASONRY UNIT, FIELD	8" HIGH INTEGRALLY COLORED SPLIT-FACE CONCRETE MASONRY UNITS APPLY WATER REPELLENT (REFER SPECIFICATION 09900). MANUFACTURER: ADAMS OLD CASTLE COLOR: SNOW WHITE AVAILABLE THROUGH BEST BLOCK / MIDWEST BLOCK BRIDGEON, MISSOURI OR APPROVED EQUAL.
SMOOTHFACE CONCRETE MASONRY UNIT AT BANDS AND KNEEWALL	8" HIGH SMOOTHFACE CONCRETE MASONRY UNITS WITH FLUSH STRUCK JOINTS, BLOCK FILLER, AND EXTERIOR INSULATION FINISH SYSTEM COATING. TEXTURE: FINE. COLOR: WHITE TO MATCH DRYVIT #101 SUPER WHITE
LIMESTONE VENEER AT PLASTER AND FIELD	ST-1 COLOR: ROUGH/TEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 2 SIDES (TOP, BOTTOM) CHOPPED, LENGTH: COURSE SIZE = 12" (X18" TO 30" LENGTH), BED DEPTH: 3" TO 5"
STUCCO	STO POWERWALL STUCCO, TEXTURE: FINE, COLOR: WHITE TO MATCH DRYVIT #101 SUPER WHITE
PRE-FINISHED METAL COPING AND FASCIA COVER	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
CURTAINWALL MULLIONS AND ENTRY DOORS	KYNAR FINISH - WHITE ON EXTERIOR AND INTERIOR
PRE-FINISHED METAL ROOF AT RECYCLE AREA	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
WALL HUNG CANOPY	ALL EXPOSED COMPONENTS FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
ALUMINUM SOFFIT PANEL	NON - VENTED ALUMINUM SOFFIT PANEL, COLOR - PRE-FINISHED TO MATCH CANOPY WHITE

CASCO

12 SUNNEN DR. SUITE. 100
ST. LOUIS, MO 63143
ARCHITECTS/ENGINEERS
314-821-1100

ROOMS TO GO

ROCKWALL, TEXAS
09/15/2022

D-Series Size 2 LED Area Luminaire

Specifications:
 Lumens: 2115
 Beam Angle: 40°
 Height: 1.57'
 Weight: 1.57 lbs

Introduction:
 The D-Series luminaire is a high performance, high efficiency luminaire. The luminaire is designed to provide uniform lighting with a high level of efficiency. The luminaire is designed to provide uniform lighting with a high level of efficiency. The luminaire is designed to provide uniform lighting with a high level of efficiency.

Accessories:
 Back Box (BWB) E20WC
 Mounting Hardware
 Pole Base
 Pole Tip

Example: DSX2 LED P3 40K TFM MVOILT 30A NATURAL PRSN DCSB

Item	Quantity	Description
DSX2 LED P3 40K TFM MVOILT 30A NATURAL PRSN DCSB	1	DSX2 LED P3 40K TFM MVOILT 30A NATURAL PRSN DCSB

D-Series Size 1 LED Wall Luminaire

Specifications:
 Lumens: 1500
 Beam Angle: 40°
 Height: 1.57'
 Weight: 1.57 lbs

Introduction:
 The D-Series wall luminaire is a high performance, high efficiency luminaire. The luminaire is designed to provide uniform lighting with a high level of efficiency. The luminaire is designed to provide uniform lighting with a high level of efficiency. The luminaire is designed to provide uniform lighting with a high level of efficiency.

Accessories:
 Back Box (BWB) E20WC
 Mounting Hardware
 Pole Base
 Pole Tip

Example: DSX1 LED DC 1000 40K TFM MVOILT DCSB

Item	Quantity	Description
DSX1 LED DC 1000 40K TFM MVOILT DCSB	1	DSX1 LED DC 1000 40K TFM MVOILT DCSB

D-Series Size 1 LED Wall Luminaire

Specifications:
 Lumens: 1500
 Beam Angle: 40°
 Height: 1.57'
 Weight: 1.57 lbs

Introduction:
 The D-Series wall luminaire is a high performance, high efficiency luminaire. The luminaire is designed to provide uniform lighting with a high level of efficiency. The luminaire is designed to provide uniform lighting with a high level of efficiency. The luminaire is designed to provide uniform lighting with a high level of efficiency.

Accessories:
 Back Box (BWB) E20WC
 Mounting Hardware
 Pole Base
 Pole Tip

Example: DSX1 LED DC 1000 40K TFM MVOILT DCSB

Item	Quantity	Description
DSX1 LED DC 1000 40K TFM MVOILT DCSB	1	DSX1 LED DC 1000 40K TFM MVOILT DCSB

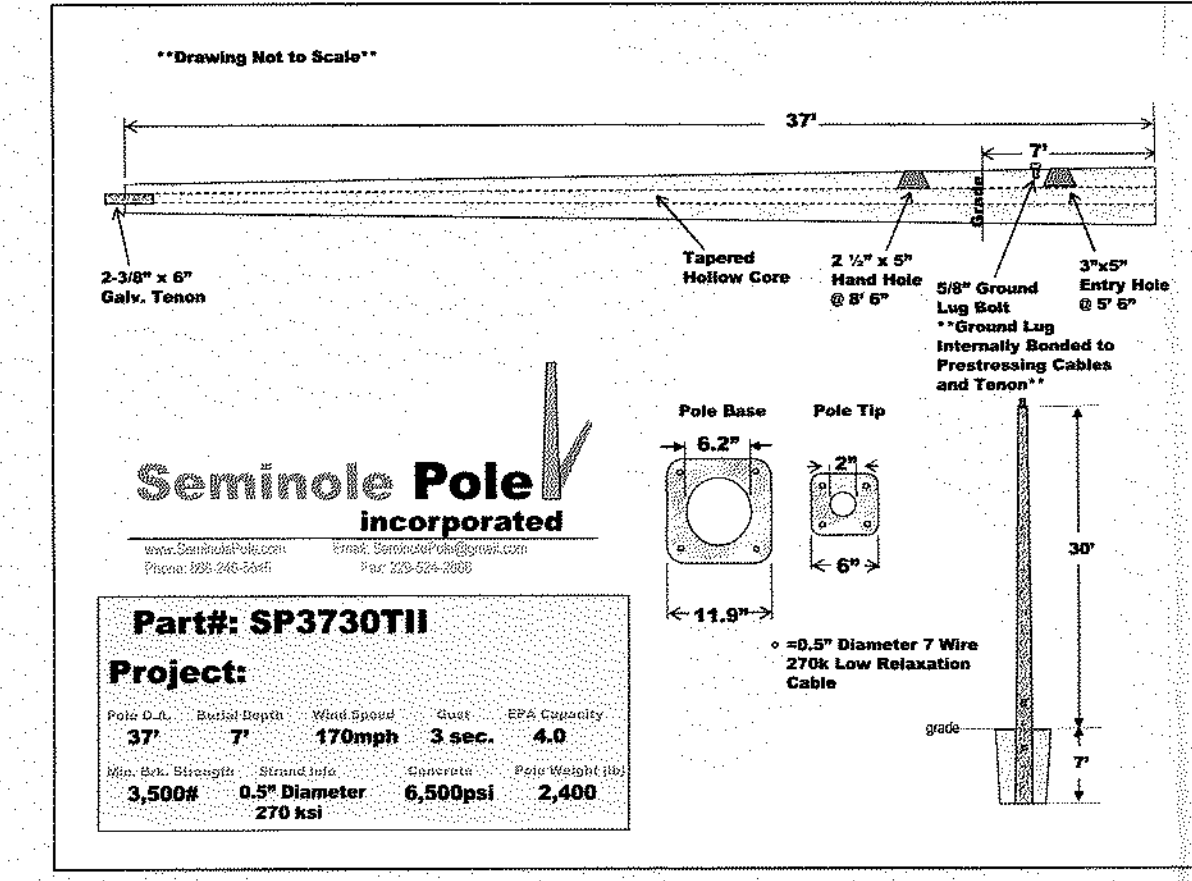
Light Pole Specifications

Lumen Ambient Temperature (EAT) Multiplier

EAT	Multiplier
0-10	1.0
10-20	1.1
20-30	1.2
30-40	1.3
40-50	1.4
50-60	1.5
60-70	1.6
70-80	1.7
80-90	1.8
90-100	1.9

Electrical Load

Item	Quantity	Description
DSX2 LED P3 40K BLC MVOILT	1	DSX2 LED P3 40K BLC MVOILT
DSX2 LED P3 40K TFM MVOILT HS	1	DSX2 LED P3 40K TFM MVOILT HS
DSX1 LED DC 1000 40K TFM MVOILT DCSB	1	DSX1 LED DC 1000 40K TFM MVOILT DCSB



Seminole Pole Incorporated
 Part#: SP3730TII
 Project: 37' 7" 170mph 3 sec. 4.0
 Pole Dia. 6.2" Diameter 6,500psi 2,400
 Min. 270k Relaxation 270k

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ELECTRICAL CONTRACTOR SHALL DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

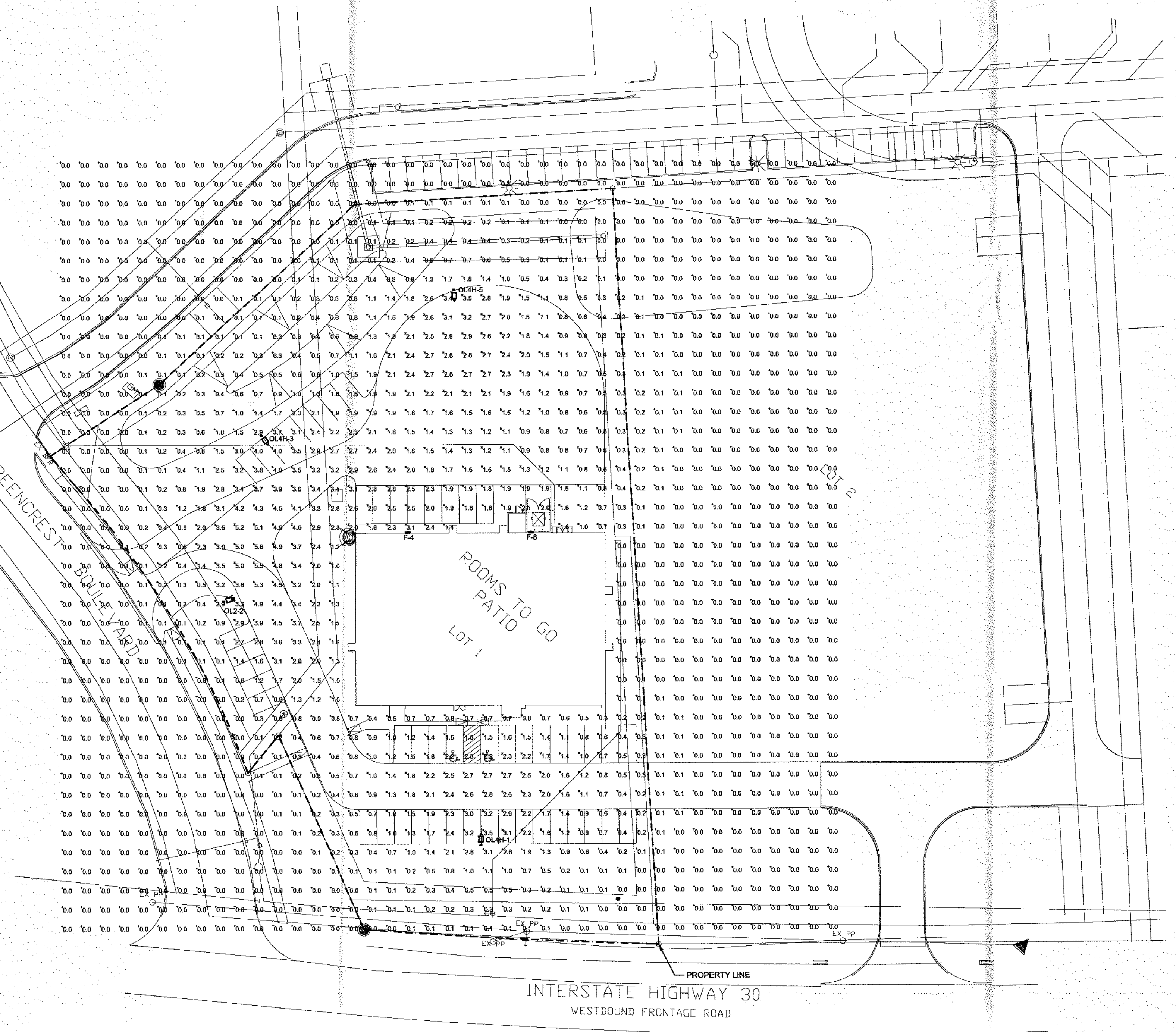
THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

NOTES:

- SITE PHOTOMETRICS PERFORMED WITHOUT CONTRIBUTION OF EXISTING ADJACENT PARKING LOT OR STREETLIGHTS.
- REFER TO LUMINAIRE LOCATIONS FOR MOUNTING HEIGHT (MH).
- ILLUMINATION CALCULATIONS PERFORMED ON A MAINTAINED BASIS WITH LLF=0.91 FOR LED LUMINAIRES AT FINISHED GRADE.
- ALL LUMINAIRES USED FOR SITE LIGHTING SHALL BE FULL CUTOFF.
- ALL LUMINAIRES SHOWN IN SCHEDULE ARE "LITHONIA" EQUAL FULL CUT OFF LUMINAIRES WITH SAME TYPE OF DISTRIBUTION AND LIGHT SOURCE WILL BE CONSIDERED FOR APPROVAL.
- ANY DEVIATION FROM THE LUMINAIRES SHOWN WILL REQUIRE A PHOTOMETRICS PLAN TO ENSURE THE LUMINAIRES MEET EXTERIOR LIGHTING REQUIREMENTS.
- SITE LIGHTING POLES SHALL PRE-CAST CONCRETE POLES AS SHOWN ON LIGHT POLE DETAIL.
- ALL LUMINAIRES SHALL BE CONTROLLED BY PHOTOCELL ON, ASTRONOMICAL TIME CLOCK OFF, EXCEPT SECURITY LIGHTS CONTROLLED PHOTOCELL ON, PHOTOCELL OFF.
- ALL POLE MOUNT LUMINAIRES SHALL BE NATURAL ALUMINUM IN COLOR. WALL MOUNT LUMINAIRES SHALL BE WHITE IN COLOR.

2 SITE LUMINAIRES
 SCALE: NOT TO SCALE

WALL MOUNTED LUMINAIRE TYPE F



LUMINAIRE SCHEDULE

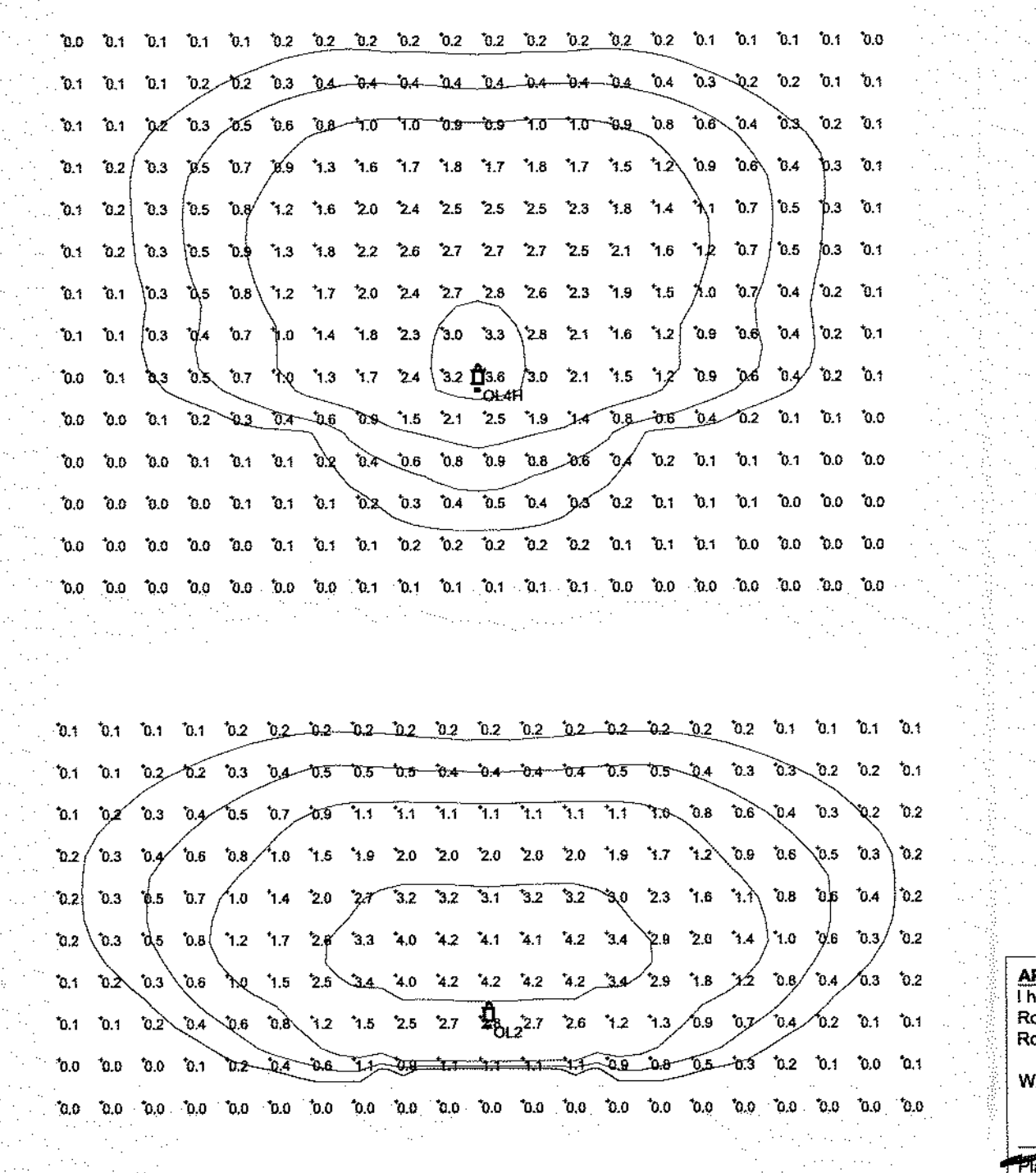
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
OL2	1	DSX2 LED P3 40K BLC MVOILT	DSX2 LED P3 40K BLC MVOILT	DSX2 LED P3 40K BLC MVOILT	LED	DSX2_LED_P3_40K_BLC_MV_OL2.tbl	23165	0.91	217
OL4H	3	DSX2 LED P3 40K TFM MVOILT HS	DSX2 LED P3 40K TFM MVOILT HS	DSX2 LED P3 40K TFM MVOILT HS	LED	DSX2_LED_P3_40K_TFM_MVOLT_HS.tbl	22660	0.91	217
F	2	DSX1 LED DC 1000 40K TFM MVOILT DCSB	DSX1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFM OPTIC, 4000K @ 1000MA.	DSX1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFM OPTIC, 4000K @ 1000MA.	LED	DSX1_LED_DC_1000_40K_TFM_MVOILT.tbl	7711	0.91	73.2

LUMINAIRE LOCATIONS

No.	Label	MH	Orientation	Tilt
1	OL4H	30.0	0.0	0.0
2	OL2	30.0	70.0	0.0
3	OL4H	30.0	145.0	0.0
4	F	17.0	0.0	0.0
5	OL4H	30.0	190.0	0.0
6	F	17.0	0.0	0.0

STATISTICS

Description	Symbol	Avg	Max	Min
Area	+	0.6 fc	5.6 fc	0.0 fc
RTG Parking	X	1.9 fc	5.6 fc	0.2 fc



LUMINAIRE TEMPLATES

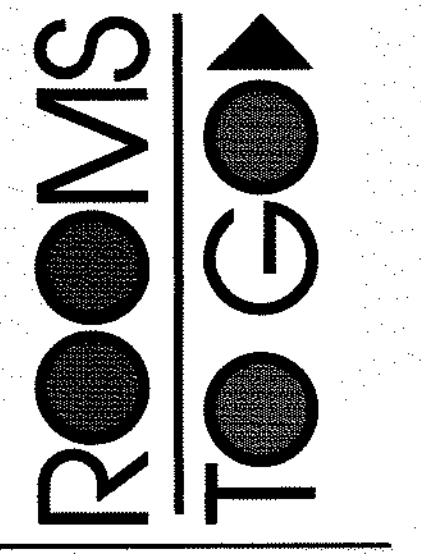
Label	Mounting Height
OL4H	30.0
OL2	30.0
F	17.0

1 SITE LIGHTING PHOTOMETRICS
 SCALE: 1" = 30'-0"



4 TEMPLATES
 SCALE: 1" = 30'-0"

PATIO SHOWROOM
 LOT 3, BLOCK A,
 TOWN PLACE MARIOTT ADDITION,
 904 E. INTERSTATE 30
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS



CONSTR. DOC. & REVISIONS
 Date: 07/13/22
 Description: SITE APPROVAL
 No.:

Drawn By/Checked By: ZT
 Project Number: 2202184
 Bid Date:
 Owner Date:

APPROVED
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 21st day of August, 2022.

[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning & Zoning

SITE LIGHTING PHOTOMETRICS

E0.2