

MATCHLINE (SEE THIS SHEET)

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SITE PLAN

5901 HORIZON RD. ROCKWALL, TX 75032
13.55± ACRES
5879, 5917 & 5981 FM 3097, ROCKWALL, TX 75035
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. SP2022-031
SUBMITTED: 07-06-2022

OWNER/APPLICANT:
GARAGES OF TEXAS @ TARPLEY, LLC
2323 TARPLEY RD, STE 100
CARROLLTON, TX 75606
PHONE: 866-379-3670
CONTACT: FRED GANS

ENGINEER:
BOHLER
6017 MAIN STREET
FRISCO, TX 75034
PHONE: 469-458-7300
CONTACT: MATHIAS HAUBERT

SURVEYOR:
HUDSON SITE CONTROL, LLC
2384 HIGHWAY 287 N STE 224
MANSFIELD, TX 75663
PHONE: 817-225-6700
CONTACT: RICHARD CUMMOK

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED SIDEWALKS, LANDINGS, AND BARRIER-FREE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
3. HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
4. THE REQUIRED SIDEWALK ALONG FM 3097 SHALL BE IN ACCORDANCE WITH TxDOT STANDARDS.
5. NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.
6. PROPOSED BUILDINGS THAT ARE CLOSER THAN 15' SHALL INCORPORATE A FIRE RATED WALL.

FLOOD NOTE:

ACCORDING TO THE FLOOD INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL NUMBER 48397C0040L, EFFECTIVE SEPTEMBER 26, 2008, AND COMMUNITY PANEL NUMBER 48397C0105L, EFFECTIVE SEPTEMBER 26, 2008, THE SUBJECT PROPERTIES LIE IN AN UNSHADED "ZONE X" AREA, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



LOCATION MAP

SCALE: N.T.S.

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|------|---------|----------|------------|
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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT TO BE USED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT NO.: TXA220027-00
DRAWN BY: MJP
CHECKED BY: MJH
DATE: 07/06/2022
CAD I.D.: SCD

ROCKWALL SITE PLAN

FOR

5901 HORIZON ROAD
ROCKWALL, TX 75032
13.55± ACRES
5879, 5917 & 5981 FM 3097,
ROCKWALL, TX 75035
LOT 8R, 9R, 10 AND 11
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CITY OF ROCKWALL,
ROCKWALL COUNTY

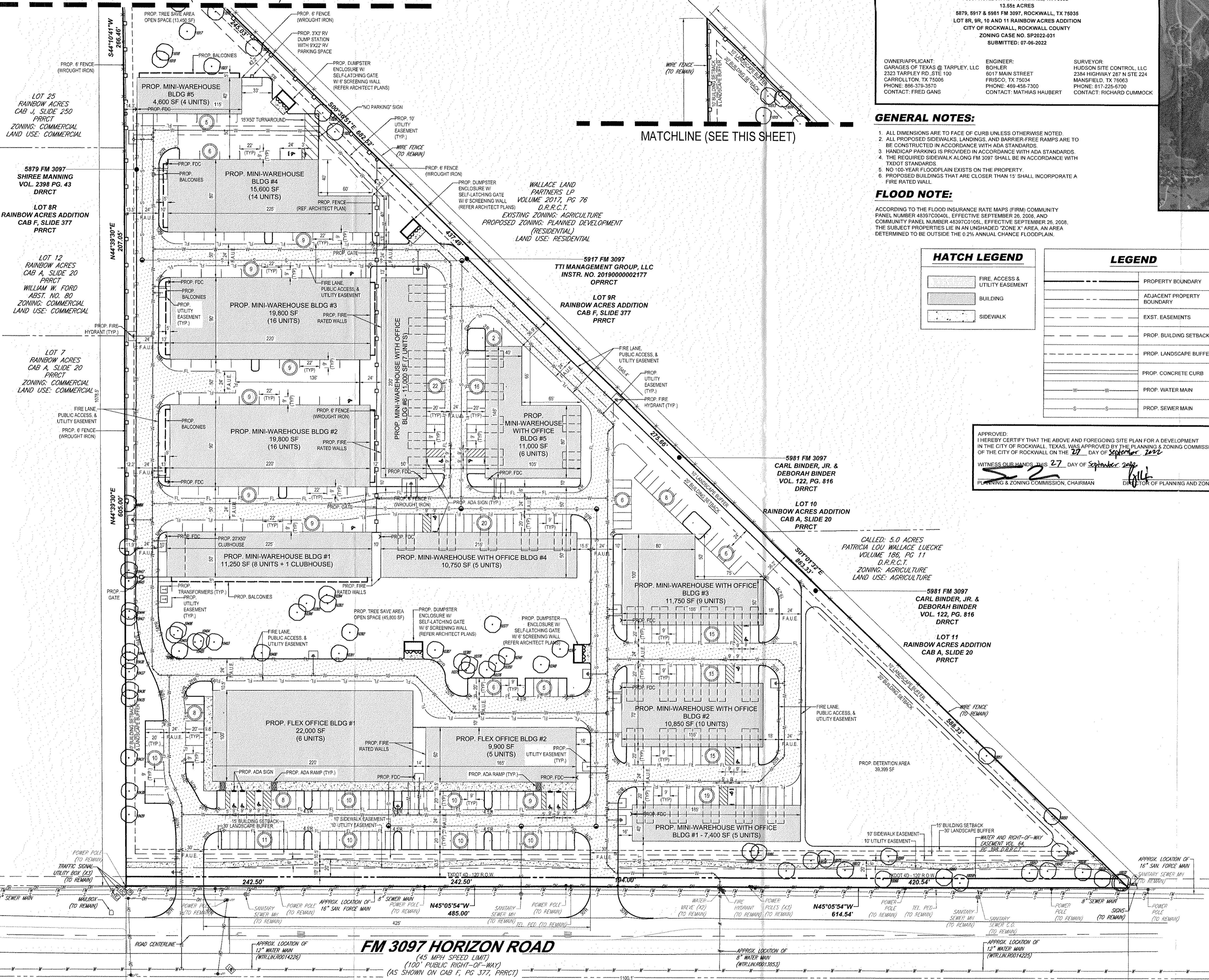
BOHLER

6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
TBP# No. 15055 | TBP#S No. 10154413

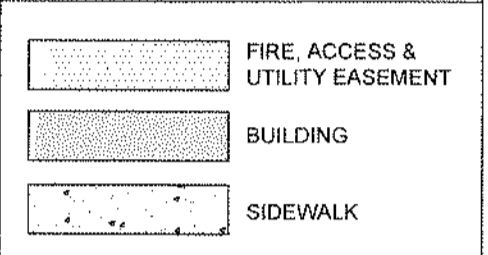
PLANS PREPARED BY
BOHLER
FOR REVIEW PURPOSES ONLY

SITE PLAN

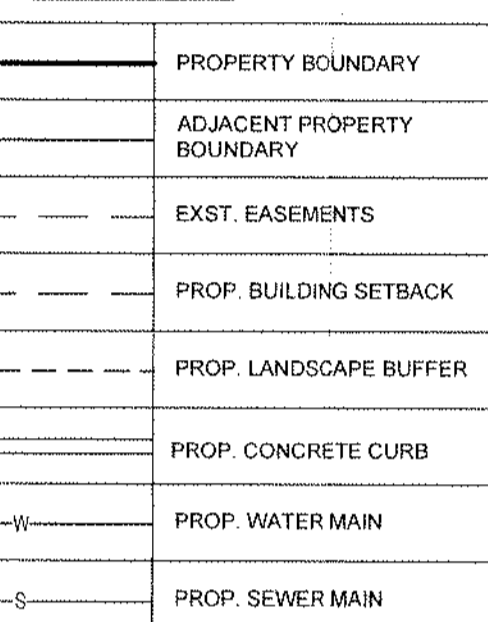
SHEET NUMBER:
01
ZONING CASE: SP2022-031



HATCH LEGEND



LEGEND



SITE DATA SUMMARY TABLE

| LEGAL | |
|---|------------------------------------|
| GROSS ACREAGE | 13.55 ACRES |
| CURRENT ZONING | PD - PLANNED DEVELOPMENT DISTRICT |
| CURRENT BASE ZONING DISTRICT | C - COMMERCIAL DISTRICT |
| CURRENT LAND USE | MINI-WAREHOUSE & FLEX OFFICE |
| PARKING | |
| REQUIRED PARKING (FLEX OFFICE) | (1 SPACES/300 SF) = 107 SPACES |
| PROVIDED PARKING (FLEX OFFICE) | 107 SPACES |
| ADA PARKING (FLEX OFFICE) | 5 SPACES (1 VAN, 4 STANDARD) |
| REQUIRED PARKING (MINI-WAREHOUSE WITH OFFICE) | (1 SPACE/300 SF) = 210 SPACES |
| PROVIDED PARKING (MINI-WAREHOUSE WITH OFFICE) | 221 SPACES |
| ADA PARKING (MINI-WAREHOUSE WITH OFFICE) | 7 SPACES (1 VAN, 6 STANDARD) |
| REQUIRED PARKING (MINI-WAREHOUSE) | (3 + 1 SPACE/100 UNITS) = 4 SPACES |
| PROVIDED PARKING (MINI-WAREHOUSE) | 65 SPACES |
| ADA PARKING (MINI-WAREHOUSE) | 3 SPACES (1 VAN, 2 STANDARD) |
| SETBACKS | |
| FRONT YARD SETBACK | 15' REQUIRED, 40' PROVIDED |
| REAR YARD SETBACK | 10' REQUIRED, 30' PROVIDED |
| REAR YARD SETBACK (ADJACENT TO RESIDENTIAL) | 20' REQUIRED, 30' PROVIDED |
| SIDE YARD SETBACK | 10' REQUIRED, 14' PROVIDED |
| SIDE YARD SETBACK (ADJACENT TO RESIDENTIAL) | 20' REQUIRED, N/A PROVIDED |
| UNITS | |
| MINI-WAREHOUSE UNIT COUNT | 58 UNITS |
| MINI-WAREHOUSE WITH OFFICE UNIT COUNT | 42 UNITS |
| FLEX OFFICE UNIT COUNT | 11 UNITS |
| BUILDINGS | |
| MINIMUM DISTANCE BETWEEN BUILDINGS | 10' REQUIRED, 10' PROVIDED |
| MAXIMUM BUILDING COVERAGE | 60% REQUIRED, 28% PROVIDED |
| MAXIMUM FLOOR-AREA-RATIO (FAR) | 4.1 REQUIRED, 4.1 PROVIDED |
| MAXIMUM HEIGHT | 36' REQUIRED, 28' PROVIDED |
| LANDSCAPING | |
| LANDSCAPE BUFFER (ABUTTING PUBLIC R.O.W.) | PER PD |
| LANDSCAPE BUFFER (ABUTTING RESIDENTIAL) | PER PD |
| PARKING | |
| MAXIMUM IMPERVIOUS PARKING (%) | REQUIRED: 85%-90%, PROVIDED: 67% |
| MINIMUM REQUIRED LANDSCAPING/OPEN SPACE AREAS | REQUIRED: 20%, PROVIDED: 33% |

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27th DAY OF September, 2022.
WITNESS OUR HANDS THIS 27th DAY OF September, 2022.
PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

11/22/2022 10:23:07 AM D:\ENGINEERING\DRAWINGS\EXHIBITS\SP2022\CONCEPT PLAN - ALA VOIUE CONCEPT

MATCHLINE (SEE THIS SHEET)

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SITE PLAN

5901 HORIZON RD. ROCKWALL, TX 75032
 13.55± ACRES
 5879, 5917 & 5981 FM 3097, ROCKWALL, TX 75035
 LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
 CITY OF ROCKWALL, ROCKWALL COUNTY
 ZONING CASE NO. SP2022-031
 SUBMITTED: 07-06-2022

OWNER/APPLICANT: GARAGES OF TEXAS @ TARPLEY, LLC
 2323 TARPLEY RD, STE 100
 CARROLLTON, TX 75006
 PHONE: 956-379-3570
 CONTACT: FRED GANS

ENGINEER: BOHLER
 6017 MAIN STREET
 FRISCO, TX 75034
 PHONE: 469-458-7300
 CONTACT: MATHIAS HAUBERT

SURVEYOR: HUDSON SITE CONTROL, LLC
 2384 HIGHWAY 287 N STE 224
 MANSFIELD, TX 76063
 PHONE: 817-225-8700
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LOCATION MAP

SCALE: N.T.S.

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|------|---------|----------|------------|
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811
 Know what's below.
 Call before you dig.
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

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PROJECT NO.: TXA220027-00
 DRAWN BY: MJP
 CHECKED BY: MJP
 DATE: 07/06/2022
 CAD ID: SDP

ROCKWALL SITE PLAN



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 ROCKWALL, TX 75032
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 ROCKWALL, TX 75035
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 CITY OF ROCKWALL,
 ROCKWALL COUNTY

BOHLER

6017 MAIN STREET
 FRISCO, TX 75034
 Phone: (469) 458-7300
 TX@BohlerEng.com
 TBP# No. 15065 | TPL# No. 10194413

PLANS PREPARED BY
BOHLER
 FOR REVIEW PURPOSES ONLY
 MATHIAS HAUBERT
 LICENSE NUMBER: 13436

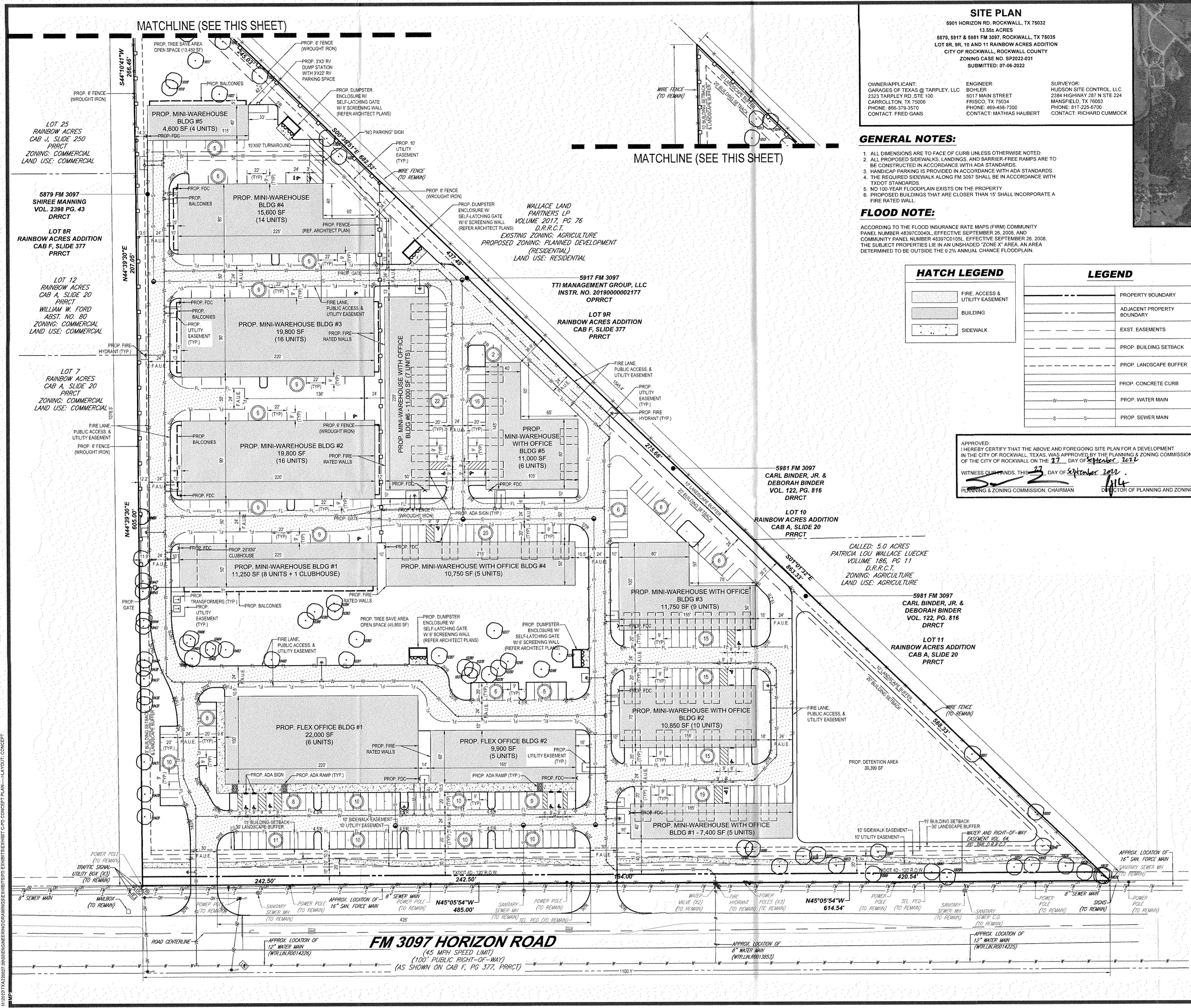
SHEET TITLE:

SITE PLAN

SHEET NUMBER:

01

ZONING CASE: SP2022-031



HATCH LEGEND

| | |
|-----------|--------------------------------|
| [Pattern] | FIRE ACCESS & UTILITY EASEMENT |
| [Pattern] | BUILDING |
| [Pattern] | SIDEWALK |

LEGEND

| | |
|----------|----------------------------|
| [Symbol] | PROPERTY BOUNDARY |
| [Symbol] | ADJACENT PROPERTY BOUNDARY |
| [Symbol] | EXT. EASEMENTS |
| [Symbol] | PROP. BUILDING SETBACK |
| [Symbol] | PROP. LANDSCAPE BUFFER |
| [Symbol] | PROP. CONCRETE CURB |
| [Symbol] | PROP. WATER MAIN |
| [Symbol] | PROP. SEWER MAIN |

SITE DATA SUMMARY TABLE

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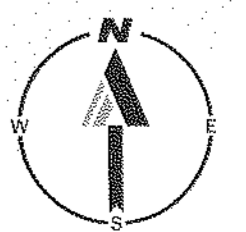
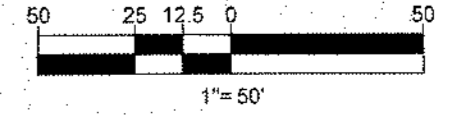
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WITNESS OUR HANDS, THIS 27 DAY OF September 2022

[Signature] PLANNING & ZONING COMMISSION, CHAIRMAN
 [Signature] DIRECTOR OF PLANNING AND ZONING

FM 3097 HORIZON ROAD

(45 MPH SPEED LIMIT)
 (100' PUBLIC RIGHT-OF-WAY)
 (AS SHOWN ON CAB F, PG 377, PRRCT)



MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS EXCEPT FOR TURF AND SEEDED AREAS...

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS...

PLAN LEGEND

Table with columns: CANOPY TREES, QTY, BOTANICAL / COMMON NAME, CAL, SIZE. Includes entries for Acer saccharum, Magnolia, Quercus stellata, etc.

NOTE: ALL SEED MIXES AVAILABLE FROM NATIVE AMERICAN SEED (SEEDSOURCE.COM)

LANDSCAPE STANDARDS

Table with columns: REQUIREMENT, STANDARD. Includes sections for Landscape Buffers, Screening, Requirements - Commercial, and Parking Lot Landscaping.

IRRIGATION CONCEPT

- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION... 2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER... 3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED... 4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE...

TREE MITIGATION SUMMARY

Table with columns: CATEGORY, QUANTITY, VALUE. Includes rows for Total Mitigation Required, Mitigation Provided by Planting, and Mitigation Provided by Purchasing Preservation Credits.



LOCATION MAP

SCALE: N.T.S.

SITE DATA TABLE

Table with columns: SITE AREA, LEGAL DESCRIPTION, EXISTING ZONING, PROPOSED ZONING, etc. Includes details like 13.55 AC / 590,200 SF and AG (Agricultural District).

LEGEND

Table with columns: LINE STYLE, DESCRIPTION. Includes symbols for Exist. Property Line, Prop. Property Line, Setback Line, etc.



Project information block including Case # (SP2022-031), Garages of Texas logo, Owner (Garages of Texas @ Tarpley, LLC), Applicant (Garages of Texas @ Tarpley, LLC), Surveyor (Hudson Site Control, LLC), and Legal Description.

Bohler logo and company information: Bohler Engineering, Site Civil and Consulting Engineering, Land Surveying, Program Management, Landscape Architecture, Sustainable Design, Permitting Services, Transportation Services.

Revisions table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY.

811 logo and text: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

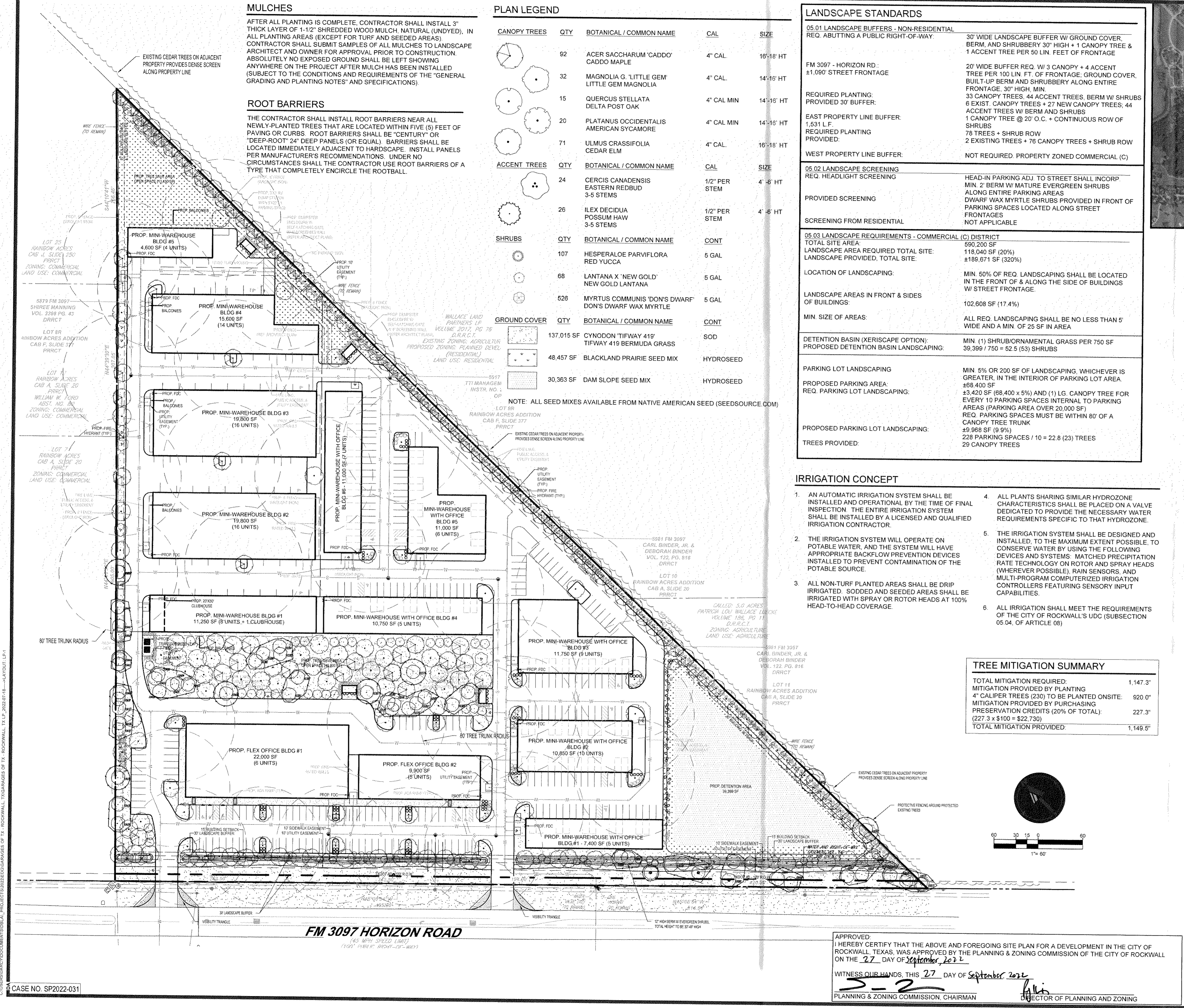
Issued for Municipal & Agency Review & Approval. Includes project number (TXA220027.00), drawn by (MVP), checked by (MJH), date (05/03/2022), and CAD I.D. (SDS).

Rockwall Planned Development logo and text: FOR Garages of Texas. 5901 HORIZON RD. 13.55 ACRES. 5879, 5917 & 5981 FM 3097, ROCKWALL, TX 75035.

Bohler logo and address: 6017 MAIN STREET, FRISCO, TX 75034. Phone: (469) 458-7300. TX@BohlerEng.com

Professional Engineer Seal for Fred Gans, State of Texas, License No. 3423, dated 07/18/2022.

Landscape Planting Plan title block. SHEET TITLE: LANDSCAPE PLANTING PLAN. SHEET NUMBER: LP-1. ZONING CASE: Z2022-019.



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27 DAY OF September, 2022. WITNESS OUR HANDS, THIS 27 DAY OF September, 2022. Planning & Zoning Commission, Chairman.

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
 1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

B. SCOPE OF WORK

1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
B. CONTAINER AND BALLED AND BURLAPPED PLANTS:
 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADERS REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE IS NOT FULLY COVERED, SHALL BE REJECTED.
C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1" EACH PIECE OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 3/4" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 6; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT 0.5 TO 1.0 DECEMBER 31, NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
H. TREE STAKING AND GUYING
 1. STAKES: 6" LONG GREEN METAL T-POSTS.
 2. GUY AND TIE WIRE: ASTM A41, CLASS 1, GALVANIZED STEEL WIRE, 2-STRAND, TWISTED, 0.168 INCH DIAMETER.
 3. STRAP: CARBON FIBER, REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COLMET OR APPROVED EQUAL.
J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION**
 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING
 a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALTY (CEC, LIME, SOIL ION ADSORPTION RATIO (SAR) AND BORON CONTENT).
 c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR IRRIGATING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU YDS PER 1,000 S.F.
 ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU YDS PER 1,000 S.F.
 ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS PER CU YD.
 iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 iv. IRON SULPHATE - 2 LBS PER CU YD.
 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND FINISH BED PREPARATION.
 b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

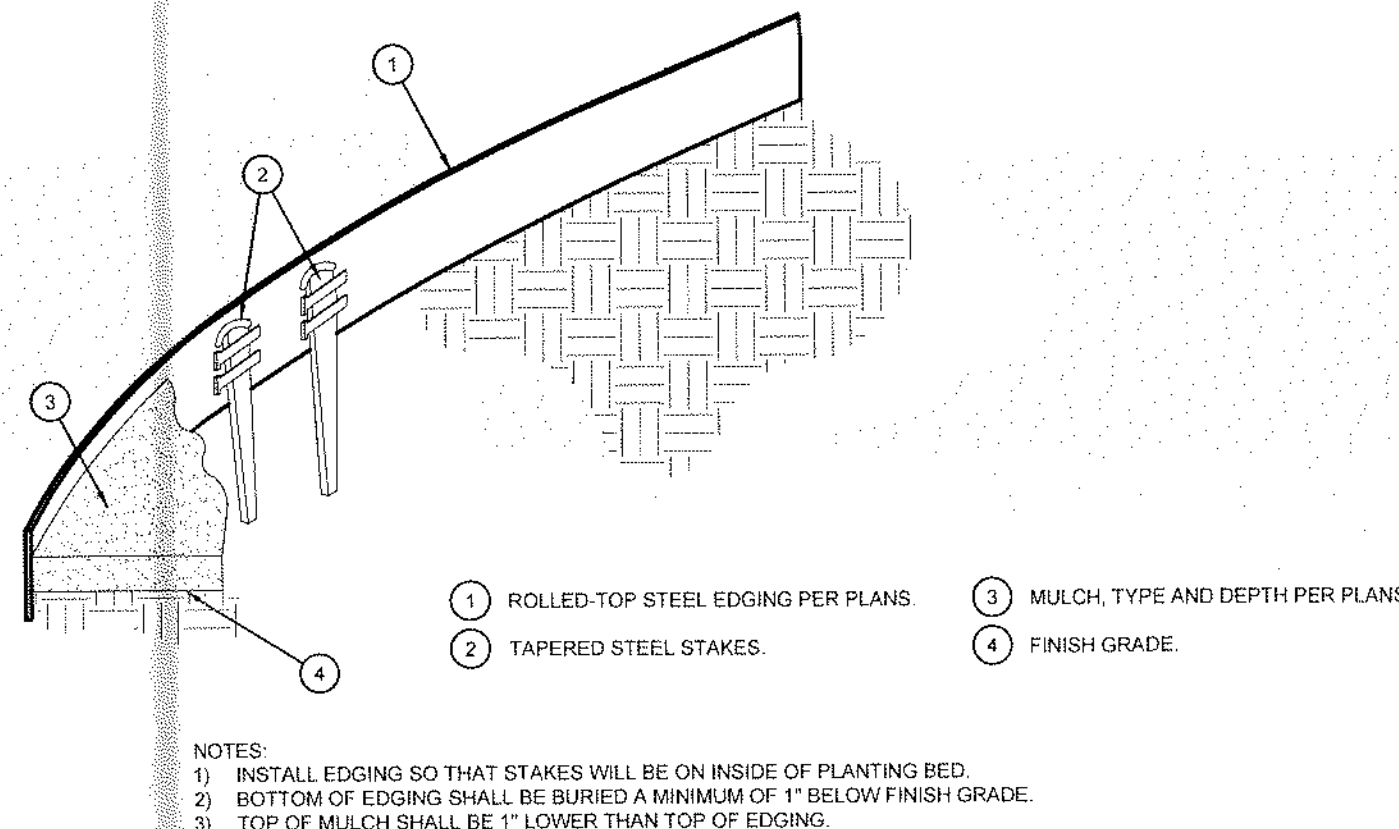
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING

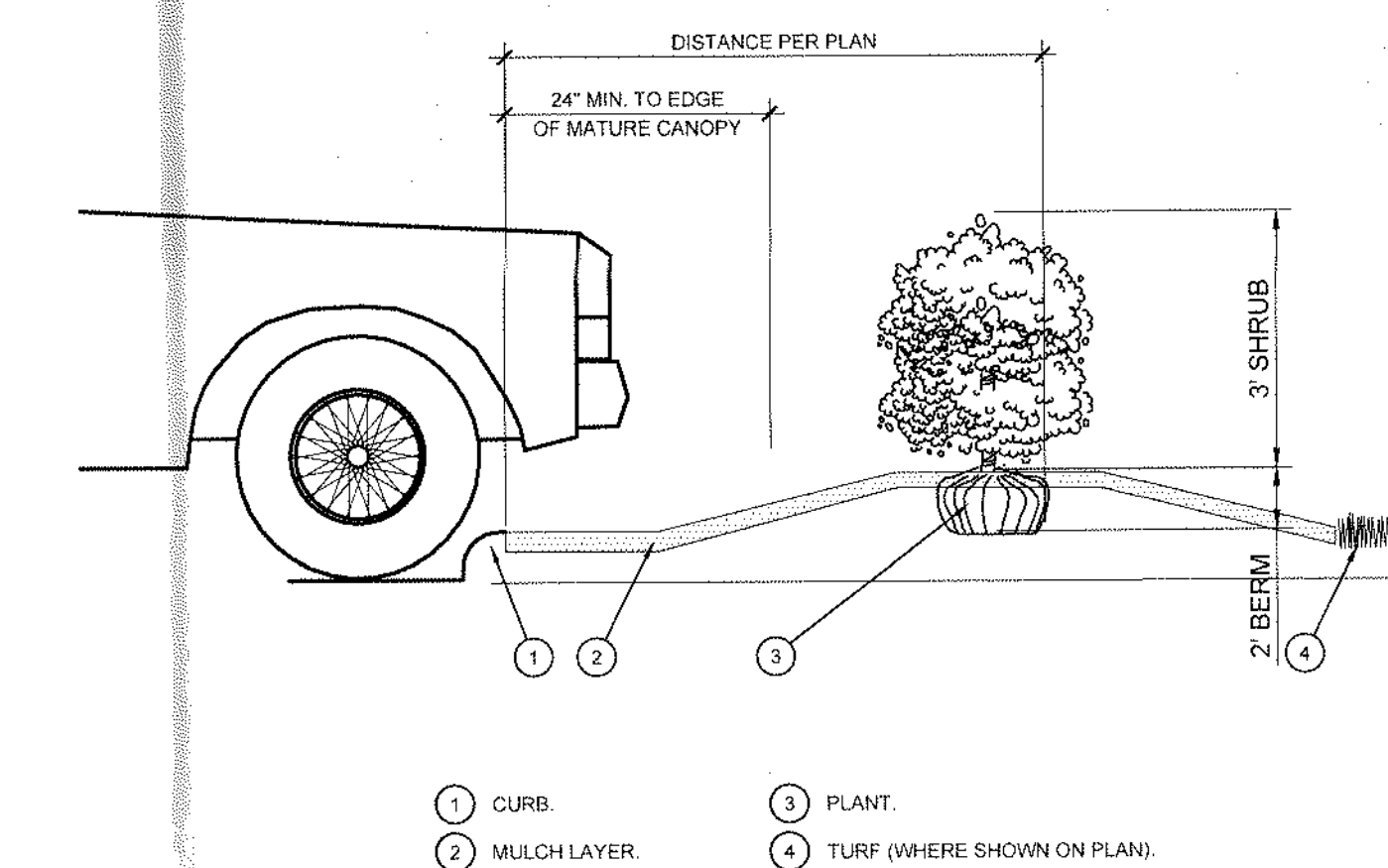
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 3. TRENCHING NEAR EXISTING TREES
 a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT BREAST-HIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PATCHES.

D. TREE PLANTING

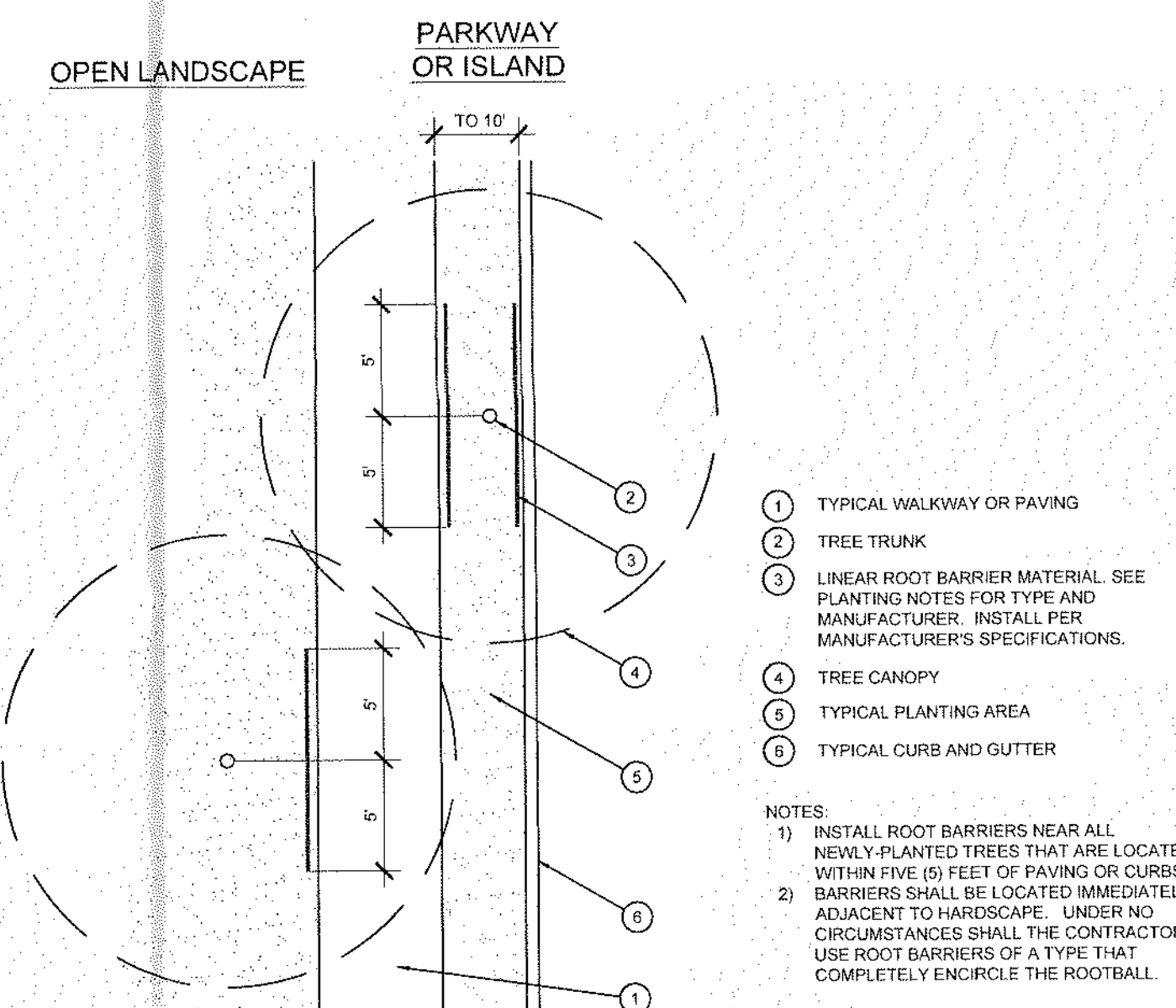
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 2. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "FEASE" ROOTS OUT FROM THE ROOTBALL.
 3. INSTALL THE UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION TO THE ON-SITE SOIL.
 5. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE NUMBER LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 a. 1"-2" TREES TWO STAKES PER TREE
 b. 2-1/2"-4" TREES THREE STAKES PER TREE
 c. TREES OVER 4" CALIPER GUY AS NEEDED
 d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 e. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 6. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
E. SHRUB, PERENNIAL, AND GROUND-COVER PLANTING
 1. DIG THE PLANTING HOLES AT LEAST 2" WIDER AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH MULCH AMENDED PER SOIL TEST RECOMMENDATIONS.
 2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
F. SODDING
 1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. LAY SOD WITHIN 24 HOURS OF TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD WITH THE SOIL UNDERNEATH.
 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
G. MULCH
 1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITAT STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE CURB AND WALKS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
H. CLEAN UP
 1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
I. INSPECTION AND ACCEPTANCE
 1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
J. LANDSCAPE MAINTENANCE
 1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS.
 2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SENSOR TO MAXIMIZE WATER CONSERVATION. SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
L. RECORD DRAWINGS
 1. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



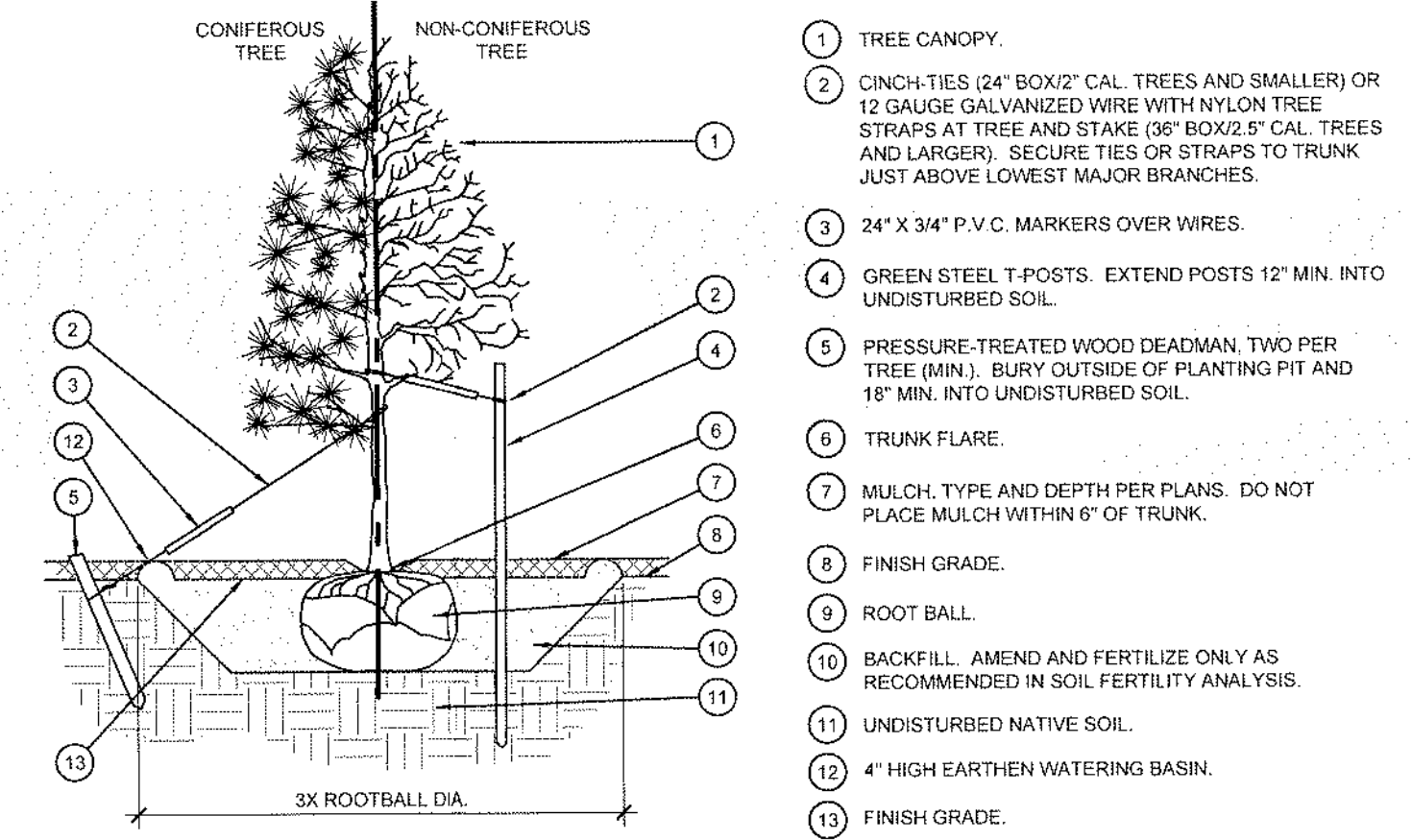
C. STEEL EDGING
SCALE: NOT TO SCALE



E. PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



E. ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



A. TREE PLANTING
SCALE: NOT TO SCALE

B. SHRUB AND PERENNIAL PLANTING
SCALE: NTS

- TREE CANOPY.
- CINCH-TIES (24" BOX" CAL. TREES AND SMALLER) OR 1/2 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN. 1" BEYOND OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL).
- TRUNK FLARE.
- MULCH TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- FINISH GRADE.

- NOTES:**
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2-4" ABOVE FINISH GRADE.
 - FOR 888 TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, HOPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 - REMOVE ALL NURSERY STAKES AFTER PLANTING.
 - FOR TREES 36" BOX" CAL. AND LARGER, USE THREE STAKES OR STAKING BARS TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

- SHRUB, PERENNIAL, OR ORNAMENTAL GRASS
- MULCH TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27 DAY OF September, 2022.

WITNESS OUR HANDS, THIS 27 DAY OF September, 2022.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

| | |
|---|-----------------|
| CASE # : SP2022-031 | |
| GARAGES OF TEXAS | |
| OWNER: GARAGES OF TEXAS @ TARPLEY, LLC 2323 TARPLEY RD., STE 100 CARROLLTON, TX 75608 PHONE: 866-379-3570 | |
| CONTACT NAME: FRED GANIS | |
| APPLICANT: GARAGES OF TEXAS @ TARPLEY, LLC 2323 TARPLEY RD., STE 100 CARROLLTON, TX 75608 PHONE: 866-379-3570 | |
| CONTACT NAME: FRED GANIS | |
| SURVEYOR: HUDSON SITE CONTROL, LLC 2384 HWY 287 N, STE 224 MANSFIELD, TX 78063 PHONE: 817-225-8700 | |
| CONTACT NAME: RICHARD CUMMOCK | |
| LEGAL DESCRIPTION: 5879, 5917, & 5981 FM 3097 LOT 8R, 9R, & 10 RAINBOW ACRES ADDITION | |
| CITY: ROCKWALL | STATE: TEXAS |
| COUNTY: ROCKWALL | ABSTRACT NO.: |

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
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811
 Know what's below.
 Call before you dig.
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL
 THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT TO BE USED FOR CONSTRUCTION UNLESS INDICATED OTHERWISE.

| | |
|--------------|---------------|
| PROJECT NO.: | TKAZ202207.00 |
| DRAWN BY: | MVP |
| CHECKED BY: | MJH |
| DATE: | 05/03/2022 |
| GAP I.D.: | SDO |

ROCKWALL PLANNED DEVELOPMENT
 FOR

 5901 HORIZON RD.
 13.55± ACRES
 5879, 5917 & 5981 FM 3097,
 ROCKWALL, TX 75035
 LOT 8R, 9R, 10 AND 11
 RAINBOW ACRES ADDITION
 CITY OF ROCKWALL,
 ROCKWALL COUNTY

BOHLER
 6017 MAIN STREET
 FRISCO, TX 75034
 Phone: (468) 458-7300
 TX@BohlerEng.com
 TBPE No: 18655 | TBPLS No: 10194413

07/14/2022

LANDSCAPE DETAILS & SPECS
 SHEET NUMBER:
 ZONING CASE: Z2022-019

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27 DAY OF September 2022

WITNESS OUR HANDS, THIS 27 DAY OF September 2022

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

CONTACTS

OWNER/APPLICANT: GARAGES OF TEXAS @ TARPLEY, LLC
2323 TARPLEY RD. STE 100
CARROLLTON, TX 75006
PHONE: 866-379-3570
CONTACT: FRED GANS

ENGINEER: BOHLER
6017 MAIN STREET
FRISCO, TX 75034
PHONE: 469-458-7300
CONTACT: MATHIAS HAUBERT

SURVEYOR: HUDSON SITE CONTROL, LLC
2384 HIGHWAY 287 N STE 224
MANSFIELD, TX 76063
PHONE: 817-225-6700
CONTACT: RICHARD CUMMOCK

GENERAL NOTES:

1. THE PROPOSED DEVELOPMENT IS TO BE FOR MINI-WAREHOUSE & FLEX OFFICE USE.
2. THE PROPERTY IS COMPOSED OF 13.55 ACRES.
3. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL PROPOSED SIDEWALKS, LANDINGS, AND BARRIER-FREE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
5. HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
6. THE REQUIRED SIDEWALK ALONG FM 3097 SHALL BE IN ACCORDANCE WITH TxDOT STANDARDS.
7. NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.
8. PROPOSED BUILDINGS THAT ARE CLOSER THAN 15' SHALL INCORPORATE A FIRE RATED WALL.



LEGEND

| | |
|----------|----------------------------|
| [Symbol] | PROPERTY BOUNDARY |
| [Symbol] | ADJACENT PROPERTY BOUNDARY |
| [Symbol] | EXST. FENCE |
| [Symbol] | EXST. EASEMENTS |
| [Symbol] | PROP. BUILDING SETBACK |
| [Symbol] | PROP. LANDSCAPE BUFFER |
| [Symbol] | PROP. CONCRETE CURB |
| [Symbol] | EXST. TREE TO REMAIN |
| [Symbol] | EXST. TREE TO BE REMOVED |

HATCH LEGEND

| | |
|---------|--------------------------------|
| [Hatch] | FIRE ACCESS & UTILITY EASEMENT |
| [Hatch] | BUILDING |
| [Hatch] | SIDEWALK |

TREE MITIGATION INVENTORY:

| LOCATION KEY | SPECIES | DBH (in) | PROTECTION CLASSIFICATION | TO BE REMOVED | MITIGATION REQUIRED (IN) | TO REMAIN |
|--------------|------------|----------|---------------------------|---------------|--------------------------|-----------|
| 10031 | Winged Elm | 16 | Primary | | | X |
| 10032 | Winged Elm | 8 | Primary | | | X |
| 10035 | Cedar Elm | 12 | Secondary | | | X |
| 10038 | Bois D'arc | 12 | Unprotected | | | X |
| 10039 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10045 | White Ash | 16 | Primary | | | X |
| 10046 | Hackberry | 11 | Secondary | | | X |
| 10050 | Cedar Elm | 20 | Secondary | | | X |
| 10051 | Bodarc | 14 | Primary | | | X |
| 10057 | Hackberry | 11 | Secondary | | | X |
| 10058 | Cedar Elm | 15 | Secondary | | | X |
| 10061 | Hackberry | 15 | Secondary | | | X |
| 10066 | Winged Elm | 13 | Primary | | | X |
| 10069 | Winged Elm | 11 | Primary | | | X |
| 10072 | Cedar Elm | 12 | Secondary | | | X |
| 10073 | Cedar Elm | 12 | Secondary | | | X |
| 10075 | Winged Elm | 11 | Primary | | | X |
| 10078 | Cedar Elm | 11 | Secondary | | | X |
| 10080 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10081 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10082 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10085 | White Ash | 12 | Primary | X | 12 | |
| 10086 | White Ash | 11 | Primary | X | 11 | |
| 10090 | White Ash | 14 | Primary | X | 14 | |
| 10166 | Red Oak | 12 | Primary | X | 12 | |
| 10167 | Red Oak | 17 | Primary | X | 17 | |
| 10170 | Red Oak | 15 | Primary | X | 15 | |
| 10171 | Pecan | 15 | Primary | X | 15 | |
| 10174 | White Ash | 18 | Primary | X | 18 | |
| 10175 | White Ash | 12 | Primary | X | 12 | |
| 10176 | White Ash | 14 | Primary | X | 14 | |
| 10177 | White Ash | 13 | Primary | X | 13 | |
| 10178 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10179 | White Ash | 14 | Primary | X | 14 | |
| 10283 | Cedar Elm | 17 | Secondary | X | 17 | |
| 10284 | White Ash | 17 | Primary | | | X |
| 10285 | White Ash | 11 | Primary | X | 11 | |
| 10286 | White Ash | 12 | Primary | X | 12 | |
| 10287 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10288 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10289 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10290 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10291 | Cedar Elm | 14 | Secondary | X | 14 | |
| 10292 | Cedar Elm | 16 | Secondary | X | 16 | |
| 10293 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10294 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10295 | Cedar | 12 | Secondary | X | 6 | |
| 10296 | Cedar | 12 | Secondary | X | 6 | |
| 10297 | Cedar | 11 | Secondary | X | 5.5 | |
| 10298 | Cedar | 11 | Secondary | X | 5.5 | |
| 10299 | Cedar | 11 | Secondary | X | 5.5 | |
| 10300 | Red Oak | 11 | Primary | X | 11 | |
| 10301 | Cedar Elm | 20 | Secondary | X | 20 | |
| 10303 | Red Oak | 12 | Primary | X | 12 | |
| 10304 | Sycamore | 18 | Primary | X | 18 | |
| 10305 | Sycamore | 17 | Primary | X | 17 | |
| 10306 | White Ash | 17 | Primary | X | 17 | |
| 10307 | Pine | 10 | Primary | X | 10 | |
| 10322 | White Ash | 19 | Primary | | | X |
| 10323 | Box Elder | 20 | Primary | X | 20 | |
| 10324 | Box Elder | 16 | Primary | X | 16 | |
| 10325 | Hackberry | 11 | Secondary | X | 5.5 | |
| 10326 | Bodarc | 15 | Unprotected | X | | |
| 10327 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10328 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10329 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10330 | Cedar Elm | 19 | Secondary | X | 19 | |
| 10331 | Cedar Elm | 17 | Secondary | X | 17 | |
| 10332 | Cedar Elm | 13 | Secondary | X | 13 | |
| 10333 | Cedar Elm | 11 | Secondary | X | 11 | |

TREE MITIGATION INVENTORY NOTES:

1. IT WAS ASSUMED THAT ALL TREES WERE IN "GOOD" CONDITION. FINAL DETERMINATION OF TREE HEALTH WILL BE INVESTIGATED AT THE TIME OF THE FINAL SITE PLAN.

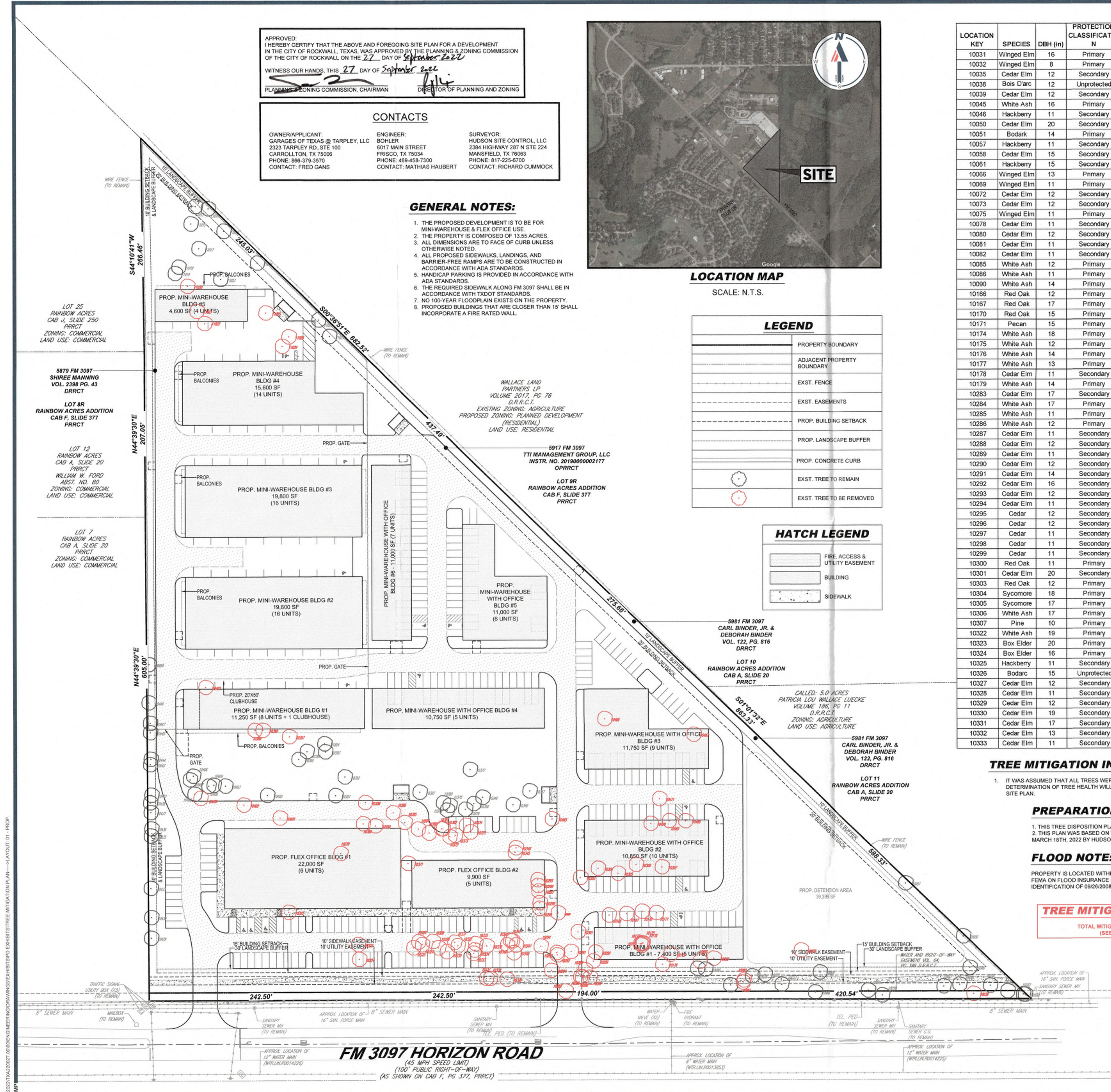
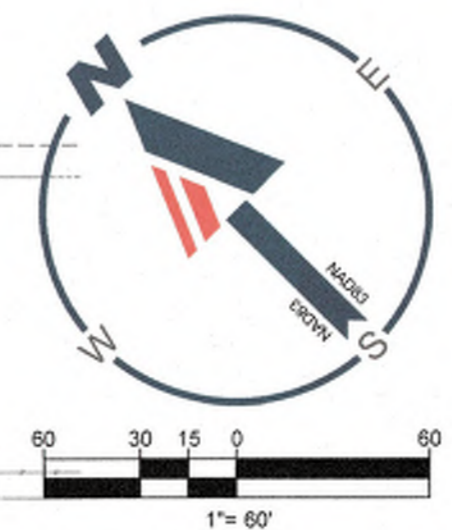
PREPARATION DATE NOTES:

1. THIS TREE DISPOSITION PLAN WAS PREPARED ON MAY 3RD, 2022.
2. THIS PLAN WAS BASED ON THE TREE LOCATION SURVEY SIGNED ON MARCH 18TH, 2022 BY HUDSON SITE CONTROL, LLC.

FLOOD NOTE:

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY FEMA ON FLOOD INSURANCE RATE MAP NO. 48397C0105L, WITH A DATE OF IDENTIFICATION OF 09/26/2008.

TREE MITIGATION REQUIRED:
TOTAL MITIGATION REQUIRED (IN): 1,147'
(SEE LANDSCAPE PLAN)



BOHLER //

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|------|---------|----------|------------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT TO BE USED FOR CONSTRUCTION DOCUMENTS UNLESS INDICATED OTHERWISE.

PROJECT No.: TXA220027.00
DRAWN BY: MJP
CHECKED BY: MJH
DATE: 07/06/2022
CAD I.D.: SD0

ROCKWALL SITE PLAN

FOR

Garages OF TEXAS

5901 HORIZON ROAD
ROCKWALL, TX 75032
13.55 ACRES
5879, 5917 & 5981 FM 3097,
LOT 8R, 9R, 10 AND 11
RAINBOW ACRES ADDITION
CITY OF ROCKWALL,
ROCKWALL COUNTY

BOHLER //

6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
TBP# No. 18055 | TBP#L No. 10194413

PLANS PREPARED BY
BOHLER //
FOR REVIEW PURPOSES ONLY
METHOD NUMBER:
LICENSE NUMBER: 15939

SHEET TITLE:
TREE MITIGATION PLAN

SHEET NUMBER:
01

ZONING CASE: SP2022-031

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27 DAY OF September 2022.

WITNESS MY HANDS, THIS 27 DAY OF September 2022.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

CONTACTS

| | | |
|--|---|---|
| OWNER/APPLICANT: GARAGES OF TEXAS @ TARPLEY, LLC 2323 TARPLEY RD, STE 100 CARROLLTON, TX 75006 PHONE: 866-378-3070 CONTACT: FRED GANS | ENGINEER: BOHLER 6017 MAIN STREET FRISCO, TX 75034 PHONE: 469-458-7300 CONTACT: MATIAS HAUBERT | SURVEYOR: HUDSON SITE CONTROL, LLC 2384 HIGHWAY 287 N STE 224 MANSFIELD, TX 76063 PHONE: 817-225-6700 CONTACT: RICHARD CUMMOCK |
|--|---|---|



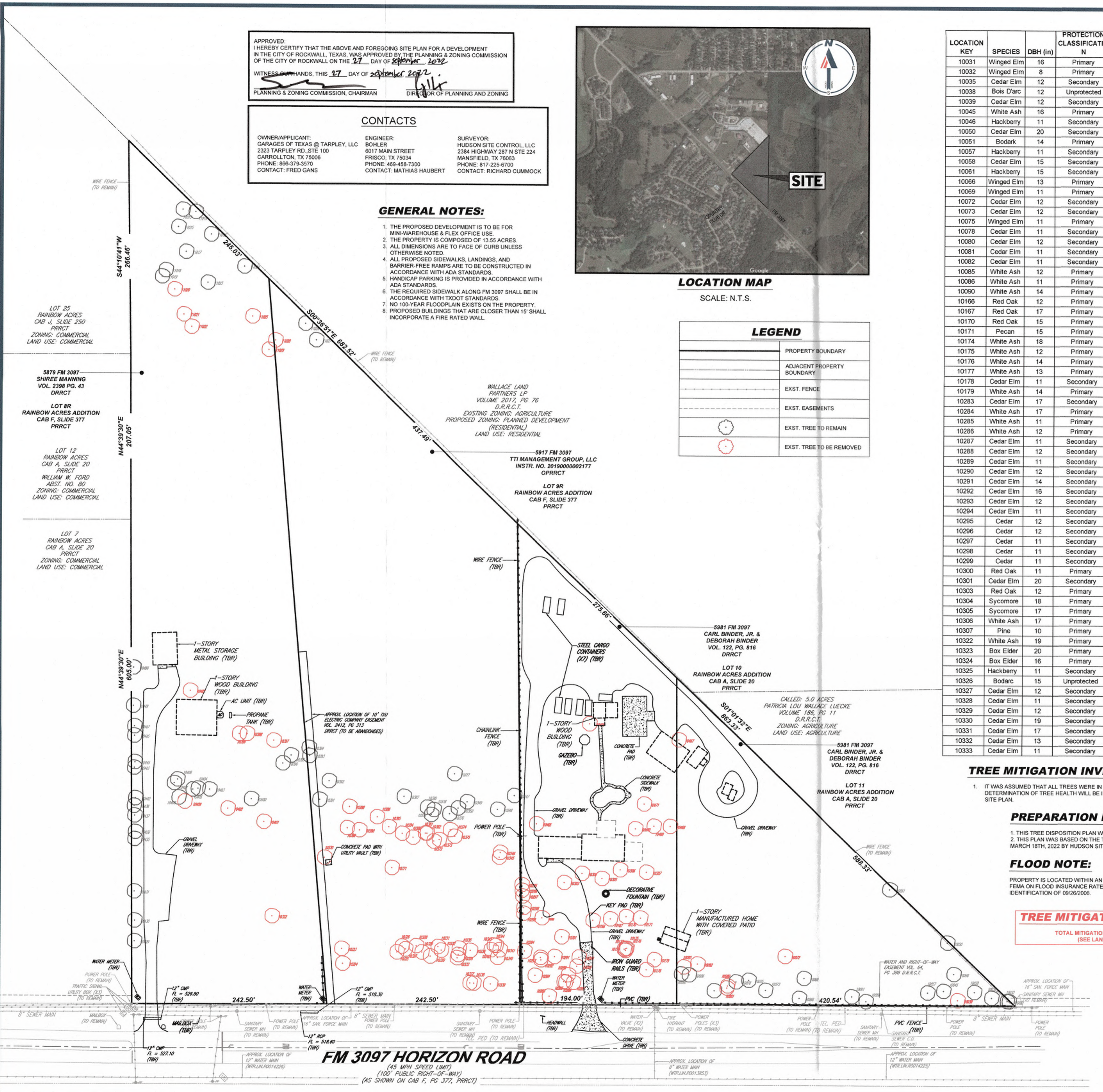
LOCATION MAP
SCALE: N.T.S.

GENERAL NOTES:

1. THE PROPOSED DEVELOPMENT IS TO BE FOR MINI-WAREHOUSE & FLEX OFFICE USE.
2. THE PROPERTY IS COMPOSED OF 13.55 ACRES.
3. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL PROPOSED SIDEWALKS, LANDINGS, AND BARRIER-FREE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
5. HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
6. THE REQUIRED SIDEWALK ALONG FM 3097 SHALL BE IN ACCORDANCE WITH TxDOT STANDARDS.
7. NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.
8. PROPOSED BUILDINGS THAT ARE CLOSER THAN 15' SHALL INCORPORATE A FIRE RATED WALL.

LEGEND

| | |
|--|----------------------------|
| | PROPERTY BOUNDARY |
| | ADJACENT PROPERTY BOUNDARY |
| | EXST. FENCE |
| | EXST. EASEMENTS |
| | EXST. TREE TO REMAIN |
| | EXST. TREE TO BE REMOVED |



TREE MITIGATION INVENTORY:

| LOCATION KEY | SPECIES | DBH (in) | PROTECTION CLASSIFICATION | TO BE REMOVED | MITIGATION REQUIRED (in) | TO REMAIN |
|--------------|------------|----------|---------------------------|---------------|--------------------------|-----------|
| 10031 | Winged Elm | 16 | Primary | | | X |
| 10032 | Winged Elm | 8 | Primary | | | X |
| 10035 | Cedar Elm | 12 | Secondary | | | X |
| 10038 | Bois D'arc | 12 | Unprotected | | | X |
| 10039 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10045 | White Ash | 16 | Primary | | | X |
| 10046 | Hackberry | 11 | Secondary | | | X |
| 10050 | Cedar Elm | 20 | Secondary | | | X |
| 10051 | Bodark | 14 | Primary | | | X |
| 10057 | Hackberry | 11 | Secondary | | | X |
| 10058 | Cedar Elm | 15 | Secondary | | | X |
| 10061 | Hackberry | 15 | Secondary | | | X |
| 10066 | Winged Elm | 13 | Primary | | | X |
| 10069 | Winged Elm | 11 | Primary | | | X |
| 10072 | Cedar Elm | 12 | Secondary | | | X |
| 10073 | Cedar Elm | 12 | Secondary | | | X |
| 10075 | Winged Elm | 11 | Primary | | | X |
| 10078 | Cedar Elm | 11 | Secondary | | | X |
| 10080 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10081 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10082 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10085 | White Ash | 12 | Primary | X | 12 | |
| 10086 | White Ash | 11 | Primary | X | 11 | |
| 10090 | White Ash | 14 | Primary | X | 14 | |
| 10166 | Red Oak | 12 | Primary | X | 12 | |
| 10167 | Red Oak | 17 | Primary | X | 17 | |
| 10170 | Red Oak | 15 | Primary | X | 15 | |
| 10171 | Pecan | 15 | Primary | X | 15 | |
| 10174 | White Ash | 18 | Primary | X | 18 | |
| 10175 | White Ash | 12 | Primary | X | 12 | |
| 10176 | White Ash | 14 | Primary | X | 14 | |
| 10177 | White Ash | 13 | Primary | X | 13 | |
| 10178 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10179 | White Ash | 14 | Primary | X | 14 | |
| 10283 | Cedar Elm | 17 | Secondary | X | 17 | |
| 10284 | White Ash | 17 | Primary | | | X |
| 10285 | White Ash | 11 | Primary | X | 11 | |
| 10286 | White Ash | 12 | Primary | X | 12 | |
| 10287 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10288 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10289 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10290 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10291 | Cedar Elm | 14 | Secondary | X | 14 | |
| 10292 | Cedar Elm | 16 | Secondary | X | 16 | |
| 10293 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10294 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10295 | Cedar | 12 | Secondary | X | 6 | |
| 10296 | Cedar | 12 | Secondary | X | 6 | |
| 10297 | Cedar | 11 | Secondary | X | 5.5 | |
| 10298 | Cedar | 11 | Secondary | X | 5.5 | |
| 10299 | Cedar | 11 | Secondary | X | 5.5 | |
| 10300 | Red Oak | 11 | Primary | X | 11 | |
| 10301 | Cedar Elm | 20 | Secondary | X | 20 | |
| 10303 | Red Oak | 12 | Primary | X | 12 | |
| 10304 | Sycamore | 18 | Primary | X | 18 | |
| 10305 | Sycamore | 17 | Primary | X | 17 | |
| 10306 | White Ash | 17 | Primary | X | 17 | |
| 10307 | Pine | 10 | Primary | X | 10 | |
| 10322 | White Ash | 19 | Primary | | | X |
| 10323 | Box Elder | 20 | Primary | X | 20 | |
| 10324 | Box Elder | 16 | Primary | X | 16 | |
| 10325 | Hackberry | 11 | Secondary | X | 5.5 | |
| 10326 | Bodark | 15 | Unprotected | X | | |
| 10327 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10328 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10329 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10330 | Cedar Elm | 19 | Secondary | X | 19 | |
| 10331 | Cedar Elm | 17 | Secondary | X | 17 | |
| 10332 | Cedar Elm | 13 | Secondary | X | 13 | |
| 10333 | Cedar Elm | 11 | Secondary | X | 11 | |

TREE MITIGATION INVENTORY NOTES:

1. IT WAS ASSUMED THAT ALL TREES WERE IN "GOOD" CONDITION. FINAL DETERMINATION OF TREE HEALTH WILL BE INVESTIGATED AT THE TIME OF THE FINAL SITE PLAN.

PREPARATION DATE NOTES:

1. THIS TREE DISPOSITION PLAN WAS PREPARED ON MAY 3RD, 2022.
2. THIS PLAN WAS BASED ON THE TREE LOCATION SURVEY SIGNED ON MARCH 18TH, 2022 BY HUDSON SITE CONTROL, LLC.

FLOOD NOTE:

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY FEMA ON FLOOD INSURANCE RATE MAP NO. 48397C0105L, WITH A DATE OF IDENTIFICATION OF 09/26/2005.

TREE MITIGATION REQUIRED:

TOTAL MITIGATION REQUIRED (in): 1,147"
(SEE LANDSCAPE PLAN)

| LOCATION KEY | SPECIES | DBH (in) | PROTECTION CLASSIFICATION | TO BE REMOVED | MITIGATION REQUIRED (in) | TO REMAIN |
|--------------|--------------|----------|---------------------------|---------------|--------------------------|-----------|
| 10334 | White Ash | 11 | Primary | X | 11 | |
| 10335 | White Ash | 13 | Primary | X | 13 | |
| 10336 | White Ash | 11 | Primary | X | 11 | |
| 10337 | Bodark | 14 | Unprotected | X | | |
| 10338 | Bodark | 18 | Unprotected | X | | |
| 10339 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10340 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10341 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10342 | Cedar Elm | 12 | Secondary | X | 12 | |
| 10343 | White Ash | 12 | Primary | X | 12 | |
| 10344 | Cedar Elm | 14 | Secondary | X | 14 | |
| 10345 | Cedar Elm | 14 | Secondary | X | 14 | |
| 10346 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10347 | Cedar Elm | 14 | Secondary | | | X |
| 10348 | Box Elder | 11 | Primary | | | X |
| 10349 | White Ash | 26 | Primary | | | X |
| 10350 | Cedar Elm | 15 | Secondary | | | X |
| 10370 | Hackberry | 18 | Secondary | X | 9 | |
| 10371 | White Ash | 11 | Primary | X | 11 | |
| 10372 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10373 | Cedar Elm | 13 | Secondary | X | 13 | |
| 10374 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10375 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10376 | Cedar Elm | 11 | Secondary | | | X |
| 10377 | Bodark | 18 | Primary | | | X |
| 10378 | Cedar Elm | 11 | Secondary | | | X |
| 10379 | Cedar Elm | 11 | Secondary | | | X |
| 10380 | White Ash | 12 | Primary | | | X |
| 10381 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10382 | Cedar Elm | 13 | Secondary | X | 13 | |
| 10383 | Cedar Elm | 13 | Secondary | X | 13 | |
| 10384 | Cedar Elm | 13 | Secondary | X | 13 | |
| 10385 | White Ash | 12 | Primary | X | 12 | |
| 10386 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10387 | White Ash | 18 | Primary | | | X |
| 10388 | White Ash | 11 | Primary | X | 11 | |
| 10389 | Hackberry | 19 | Secondary | X | 9.5 | |
| 10390 | Cedar Elm | 11 | Secondary | X | 11 | |
| 10391 | Black Willow | 17 | Unprotected | | | X |
| 10392 | White Ash | 12 | Primary | | | X |
| 10393 | Hackberry | 11 | Secondary | | | X |
| 10394 | White Ash | 11 | Primary | | | X |
| 10395 | Hackberry | 11 | Secondary | | | X |
| 10396 | Hackberry | 12 | Secondary | | | X |
| 10397 | Cedar Elm | 11 | Secondary | | | X |
| 10398 | Hackberry | 13 | Secondary | X | 6.5 | |
| 10399 | Hackberry | 11 | Secondary | X | 5.5 | |
| 10400 | Hackberry | 11 | Secondary | | | X |
| 10401 | Hackberry | 11 | Secondary | X | 5.5 | |
| 10402 | Hackberry | 12 | Secondary | X | 6 | |
| 10403 | Hackberry | 16 | Secondary | | | X |
| 10404 | Hackberry | 14 | Secondary | | | X |
| 10405 | Hackberry | 12 | Secondary | | | X |
| 10406 | Hackberry | 16 | Secondary | | | X |
| 10407 | Hackberry | 13 | Secondary | | | X |
| 10408 | Hackberry | 11 | Secondary | | | X |
| 10409 | Hackberry | 14 | Secondary | X | 7 | |
| 10429 | Cedar | 13 | Secondary | | | X |
| 10430 | Hackberry | 12 | Secondary | | | X |
| 10431 | Hackberry | 11 | Secondary | | | X |
| 10435 | Hackberry | 16 | Secondary | | | X |
| 10436 | Cedar | 12 | Secondary | | | X |
| 10437 | Hackberry | 11 | Secondary | | | X |
| 10438 | Hackberry | 15 | Secondary | | | X |
| 10442 | Hackberry | 17 | Secondary | | | X |
| 10443 | Hackberry | 15 | Secondary | | | X |
| 10444 | Hackberry | 13 | Secondary | | | X |
| 10445 | Cedar | 11 | Secondary | | | X |
| 10447 | Cedar | 12 | Secondary | | | X |
| 10449 | Cedar | 13 | Secondary | | | X |
| 10455 | Cedar | 19 | Secondary | | | X |
| 10465 | Red Oak | 12 | Primary | | | X |
| 10466 | Silver Maple | 18 | Primary | X | 18 | |
| 10467 | Red Oak RL | 14 | Primary | X | 14 | |
| 10468 | Red Oak | 20 | Primary | X | 20 | |
| 10469 | Red Oak | 22 | Primary | X | 22 | |
| 10470 | White Oak | 15 | Primary | X | 15 | |
| 10471 | Red Oak | 11 | Primary | X | 11 | |
| 10481 | Cedar | 18 | Secondary | | | X |
| 10482 | Red Oak | 12 | Primary | X | 12 | |
| 11013 | Cedar | 17 | Secondary | | | X |
| 11014 | Cedar | 12 | Secondary | | | X |
| 11015 | Cedar | 20 | Secondary | | | X |
| 11016 | Cedar | 11 | Secondary | | | X |
| 11017 | Cedar | 20 | Secondary | | | X |
| 11018 | Cedar | 11 | Secondary | | | X |
| 11019 | Cedar | 12 | Secondary | | | X |
| 11020 | Cedar | 12 | Secondary | X | 6 | |
| 11021 | Cedar | 12 | Secondary | X | 6 | |
| 11022 | Hackberry | 11 | Secondary | X | 5.5 | |
| 11023 | Cherry | 15 | Primary | | | X |
| 11024 | Cedar Elm | 12 | Secondary | | | X |
| 11025 | White Ash | 16 | Primary | X | 16 | |
| 11026 | Cedar Elm | 15 | Secondary | X | 15 | |
| 11027 | Cedar Elm | 11 | Secondary | | | X |
| 11028 | Cedar | 11 | Secondary | X | 5.5 | |
| 11029 | Cedar Elm | 14 | Secondary | X | 14 | |

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LANDSCAPE ARCHITECTURE
PROGRAM MANAGEMENT
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|------|---------|----------|------------|
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PROJECT NO.: TXA220027-00
DRAWN BY: MJP
CHECKED BY: MJH
DATE: 07/06/2022
CAD I.D.: SDO

ROCKWALL SITE PLAN
FOR
Garages of Texas

5601 HORIZON ROAD
ROCKWALL, TX 75032
13.55± ACRES
5879, 5917 & 5981 FM 3097,
ROCKWALL, TX 75035
LOT 8R, 9R, 10 AND 11
RAINBOW ACRES ADDITION
CITY OF ROCKWALL,
ROCKWALL COUNTY

BOHLER
6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
TFPE No. 18065 | TBPFLS No. 10194413

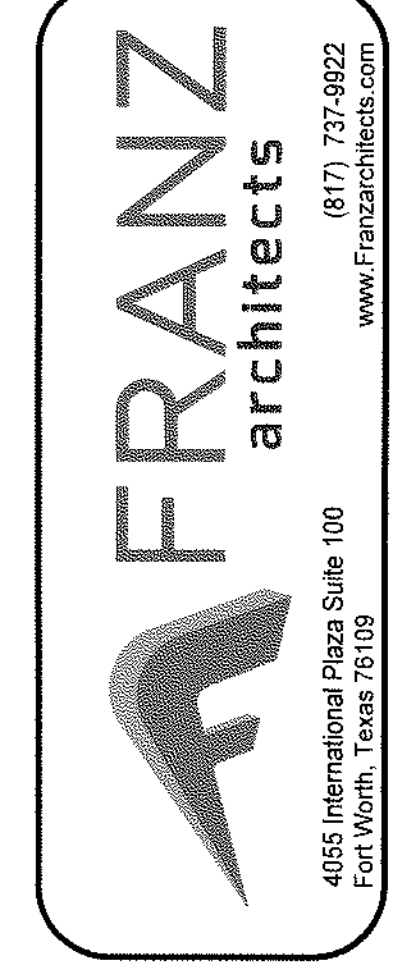
PLANS PREPARED BY
BOHLER
FOR REVIEW PURPOSES ONLY
MATHIAS HAUBERT
LICENSE NUMBER: 15166

TREE MITIGATION PLAN

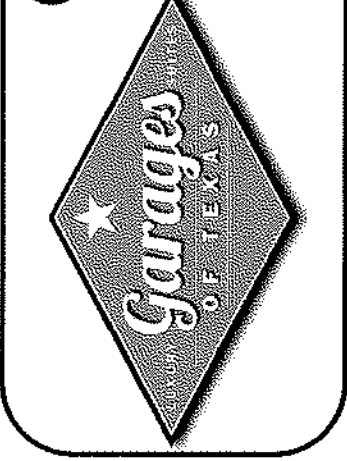
SHEET NUMBER: **02**

ZONING CASE: SP2022-031

PRELIMINARY
NOT TO BE USED
FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION



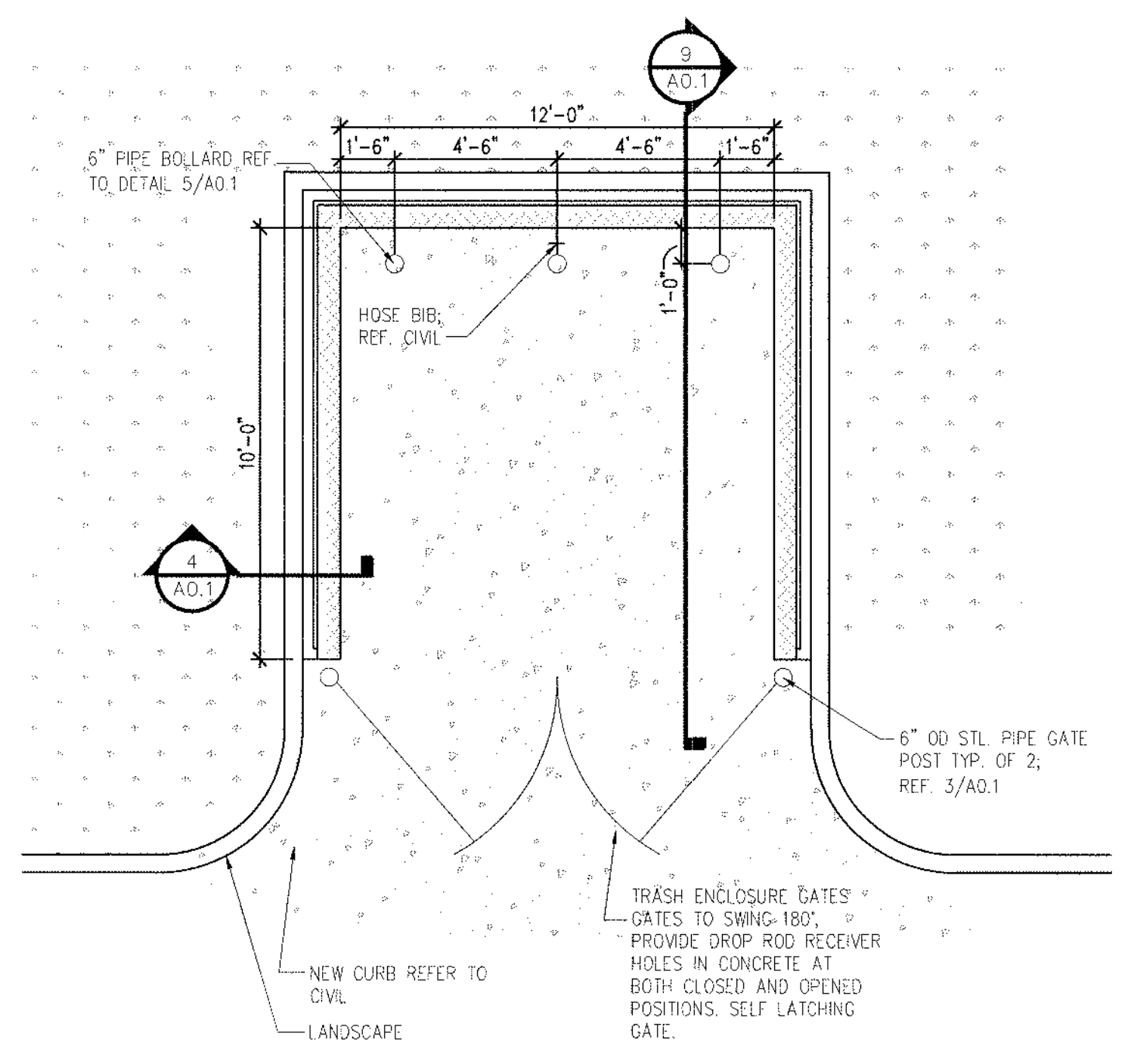
GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER:
GARAGES OF TEXAS @ HARLEY LLC
13000 W. STATE ST. SUITE 100
CHARLOTTE, TX 75008
Phone: (214) 341-9620
Contact: FRED GAINS

File Name: 22161-A0.1
Project No: 22161
Date: 05/06/22
Drawn By: MNK
Checked By: JWF

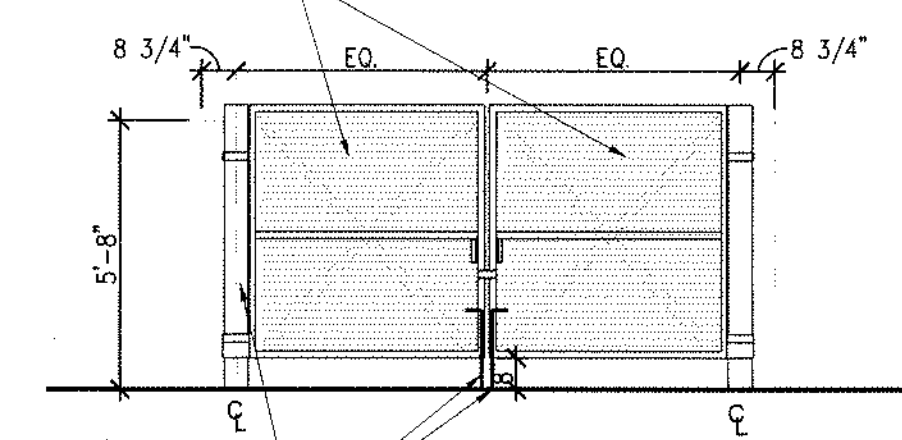
SHEET
A0.1
SITE PLAN
AND DETAILS



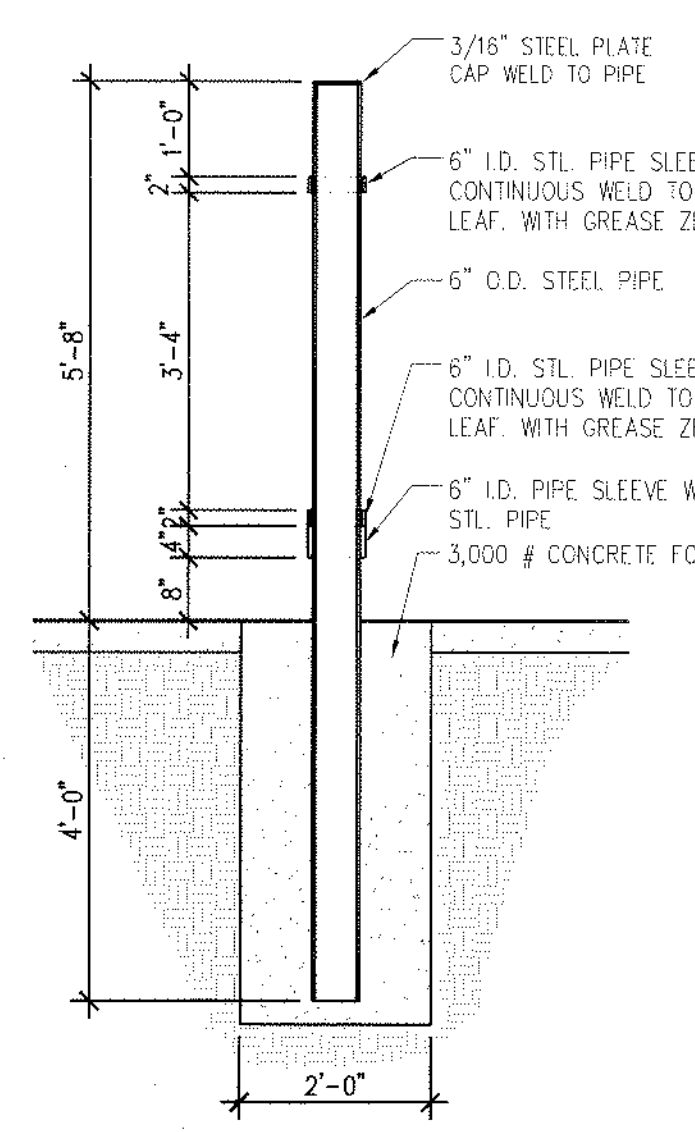
1 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

| TRASH ENCLOSURE DOOR | | |
|----------------------|---------------------------|------------------------------------|
| QTY. | DESCRIPTION | NUMBER - FINISH |
| 4 | RICHARD WILCOX: HINCE | 1035.00271 24" - BLK |
| 2 | RICHARD WILCOX: CANE BOLT | 0524.00021 - BLK |
| 2 | LAWRENCE BROS PULL | CD1210S - BLK |
| 1 | LAWRENCE BROS HASP | CD1915S-6" |
| 1 | PAULOCK | C955-2 PIC - 6.06 |
| 1 | CYLINDER CORP | (hardware number to be determined) |

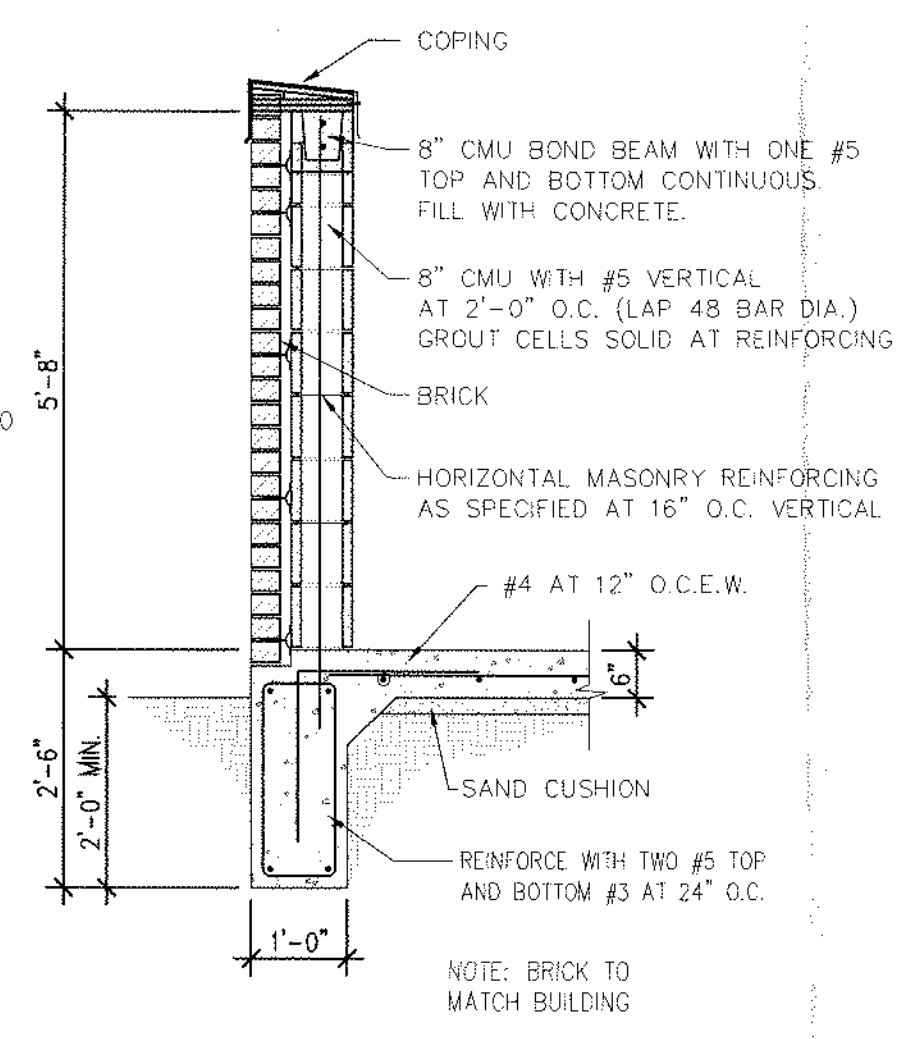
TRASH ENCLOSURE GATES. 1 1/2" 16 GAGE STEEL DECKING WELDED TO 1 3/4"x1 3/4"x3/16" STEEL ANGLE FRAME WITH 2" WIDE "X" STRAP BRACING WELDED TO STEEL ANGLE FRAME ON INSIDE FACE. PAINT TO MATCH BUILDING BRICK COLOR.



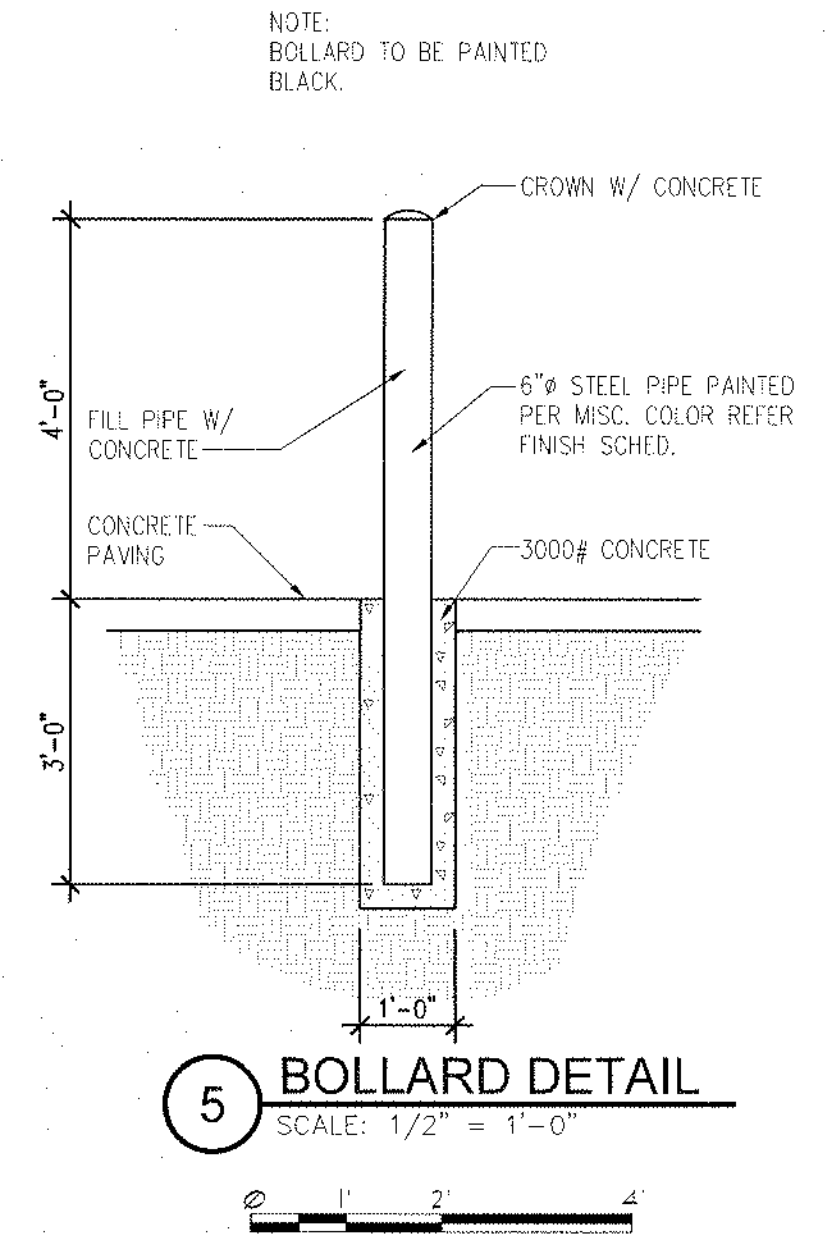
2 TRASH ENCLOSURE ELEV.
SCALE: 1/4" = 1'-0"



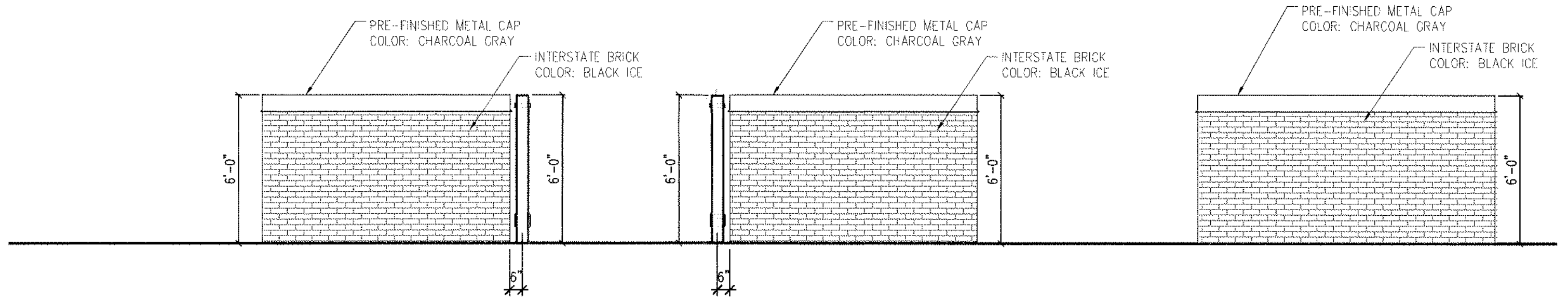
3 GATE POST
SCALE: 1/2" = 1'-0"



4 SECTION
SCALE: 1/2" = 1'-0"



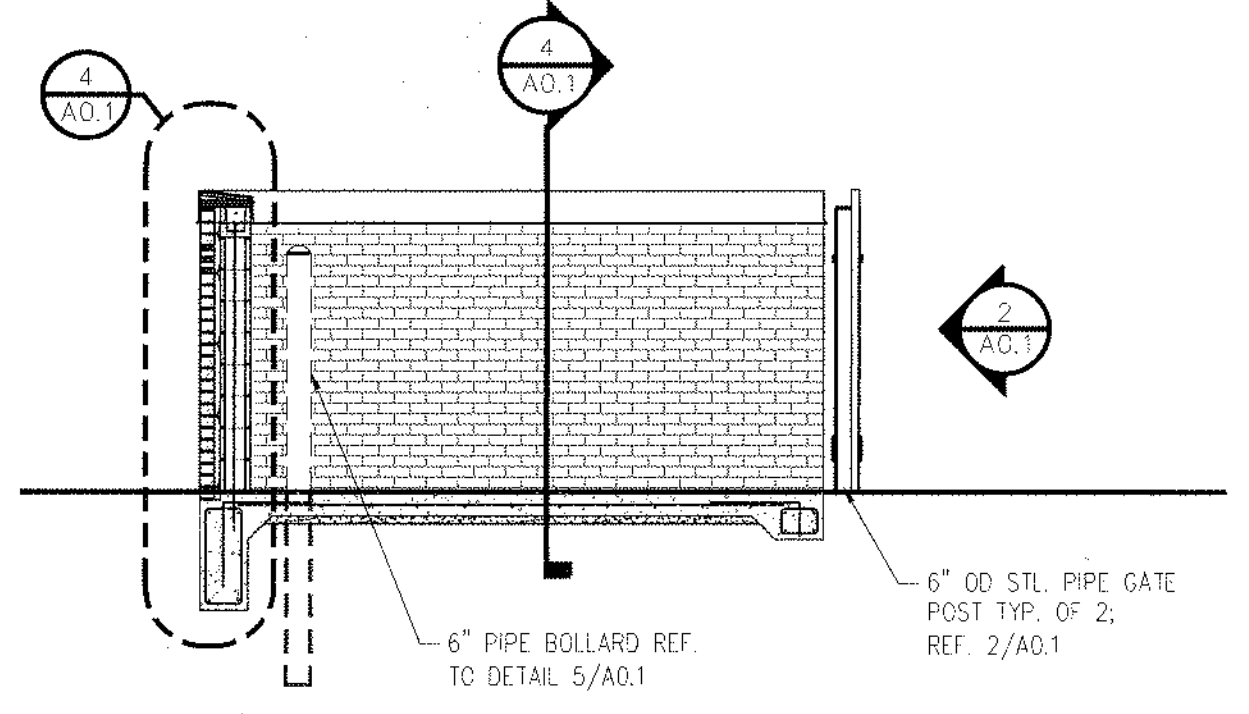
5 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



6 TRASH ENCLOSURE ELEV.
SCALE: 1/4" = 1'-0"

7 TRASH ENCLOSURE ELEV.
SCALE: 1/4" = 1'-0"

8 TRASH ENCLOSURE ELEV.
SCALE: 1/4" = 1'-0"



9 TRASH ENCLOSURE SECTION
SCALE: 1/4" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27 day of September, 2022.
[Signature]
Chairman

PRELIMINARY
NOT TO BE USED
FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION

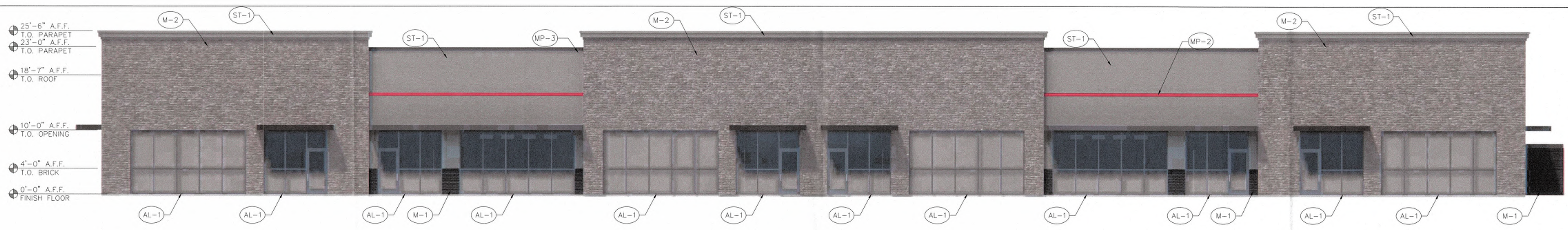


GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 8, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019

OWNER: GARAGES OF TEXAS @ TAPLEY LLC
13000 CARROLLTON TX 75046
Phone: (214) 341-9820
Contact: FRED GANS

File Name: 22161-A2.2
Project No: 22161
Date: 06/06/22
Drawn By: DBL
Checked By: JMF

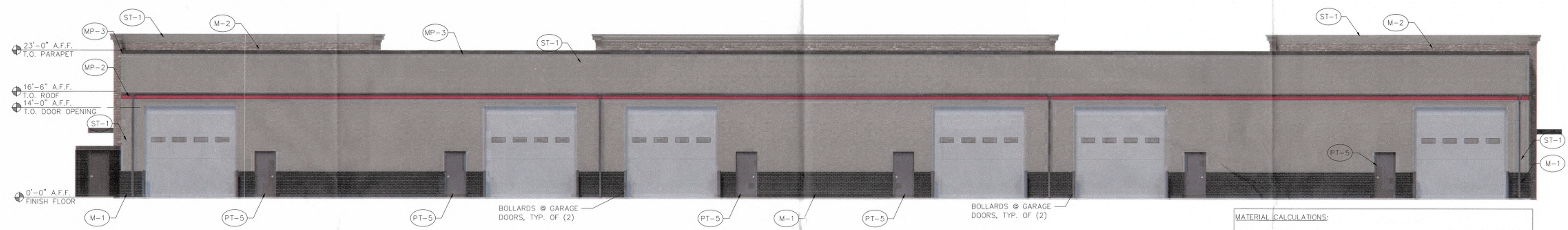
SHEET
A2.2
EXTERIOR ELEVATION
BUILDING 1



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

MATERIAL CALCULATIONS:

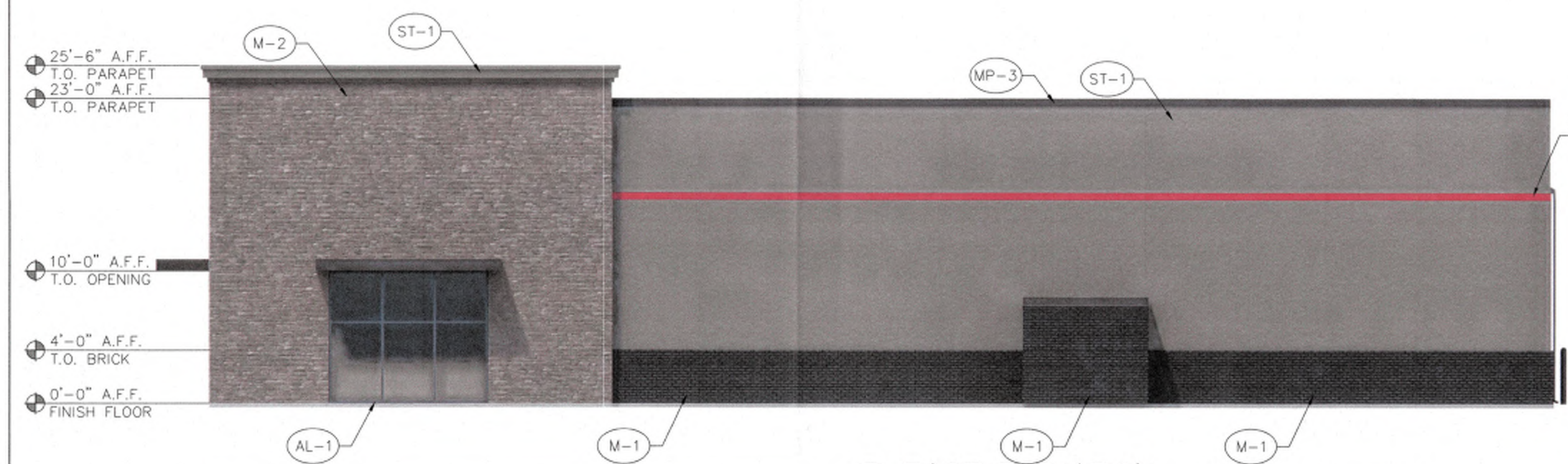
| | |
|--|-----------------------|
| AUSTIN STONE VENEER: | 2,590 SQ. FT. (66.7%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 1,051 SQ. FT. (27.1%) |
| BRICK VENEER (BLACK ICE): | 99 SQ. FT. (2.5%) |
| MISC. (METAL COPING / AWNING) | 144 SQ. FT. (3.7%) |
| FACADE TOTAL: | 3,884 SQ. FT. |
| MASONRY TOTAL: | 96.3% |



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

MATERIAL CALCULATIONS:

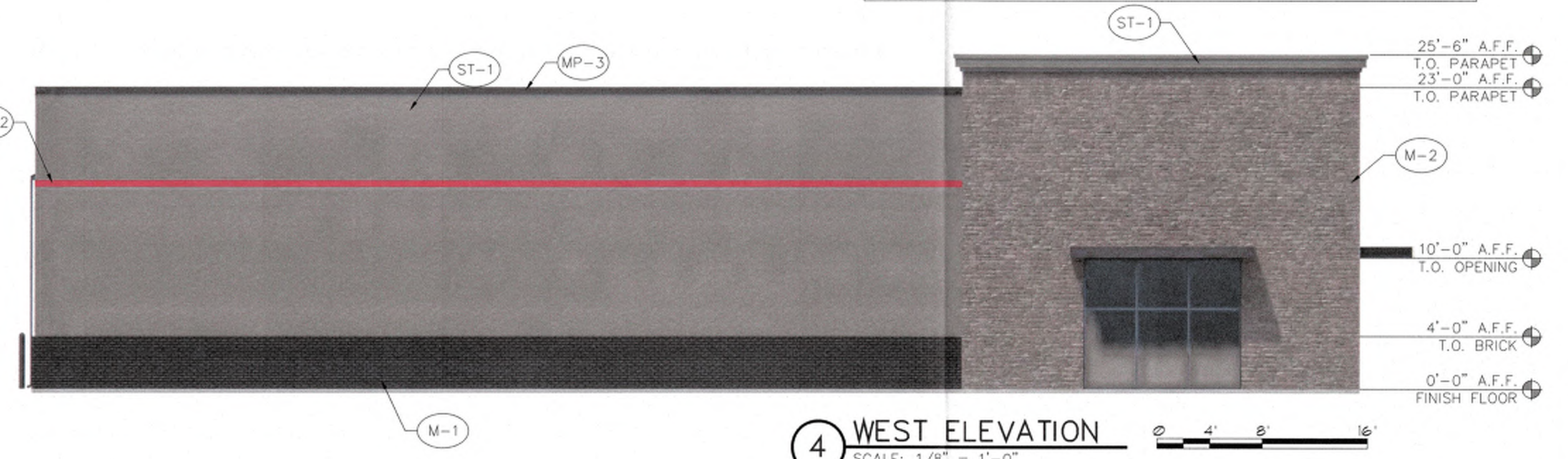
| | |
|--|-----------------------|
| AUSTIN STONE VENEER: | 464 SQ. FT. (11.7%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 2,698 SQ. FT. (68.1%) |
| BRICK VENEER (BLACK ICE): | 492 SQ. FT. (12.4%) |
| MISC. (METAL COPING) | 309 SQ. FT. (7.8%) |
| FACADE TOTAL: | 3,963 SQ. FT. |



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

MATERIAL CALCULATIONS:

| | |
|--|-----------------------|
| AUSTIN STONE VENEER: | 605 SQ. FT. (31.1%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 1,211 SQ. FT. (50.0%) |
| BRICK VENEER (BLACK ICE): | 334 SQ. FT. (14.9%) |
| MISC. (METAL COPING / AWNING) | 88 SQ. FT. (4.0%) |
| FACADE TOTAL: | 2,238 SQ. FT. |
| MASONRY TOTAL: | 96% |



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

MATERIAL CALCULATIONS:

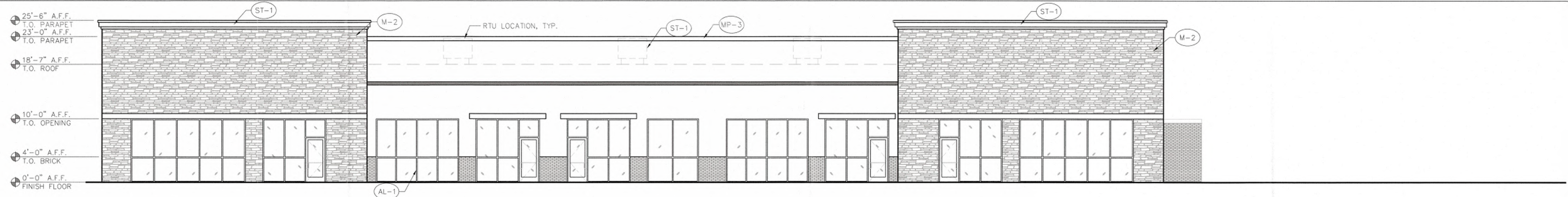
| | |
|--|-----------------------|
| AUSTIN STONE VENEER: | 605 SQ. FT. (31.1%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 1,211 SQ. FT. (50.0%) |
| BRICK VENEER (BLACK ICE): | 334 SQ. FT. (14.9%) |
| MISC. (METAL COPING / AWNING) | 88 SQ. FT. (4.0%) |
| FACADE TOTAL: | 2,238 SQ. FT. |
| MASONRY TOTAL: | 96% |

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27 day of September, 2022.
[Signature]
Director of Planning & Zoning
Chairman

EXTERIOR FINISH SCHEDULE

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| M-1 | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| M-2 | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| PT-5 | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| MP-2 | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| MP-3 | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| ST-1 | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| AL-1 | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

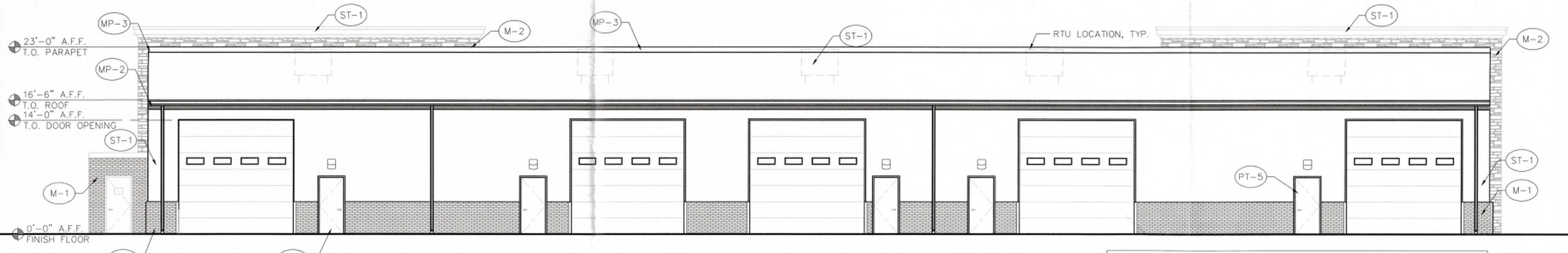
NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY
COPYRIGHT © 2022



MATERIAL CALCULATIONS:

| | |
|--|-----------------------|
| AUSTIN STONE VENEER: | 1,388 SQ. FT. (48.4%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 1,147 SQ. FT. (40.0%) |
| BRICK VENEER (BLACK ICE): | 134 SQ. FT. (4.7%) |
| MISC. (METAL COPING / AWNING) | 198 SQ. FT. (6.9%) |
| FACADE TOTAL: | 2,867 SQ. FT. |
| MASONRY TOTAL: | 93.1% |

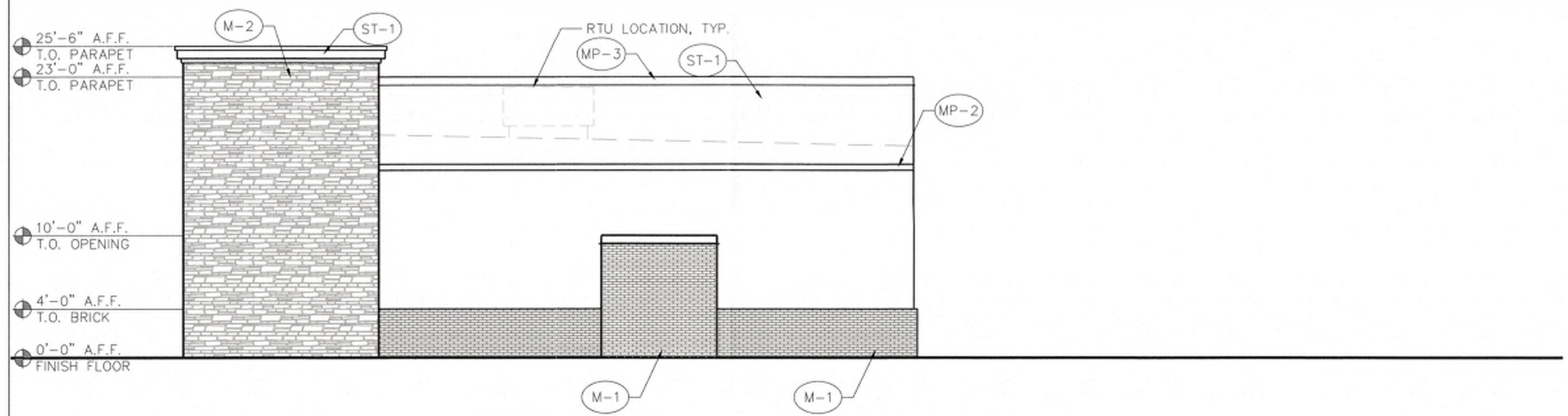
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|--|-----------------------|
| AUSTIN STONE VENEER: | 508 SQ. FT. (18.0%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 1,931 SQ. FT. (68.4%) |
| BRICK VENEER (BLACK ICE): | 285 SQ. FT. (10.1%) |
| MISC. (METAL COPING) | 99 SQ. FT. (3.5%) |
| FACADE TOTAL: | 2,823 SQ. FT. |

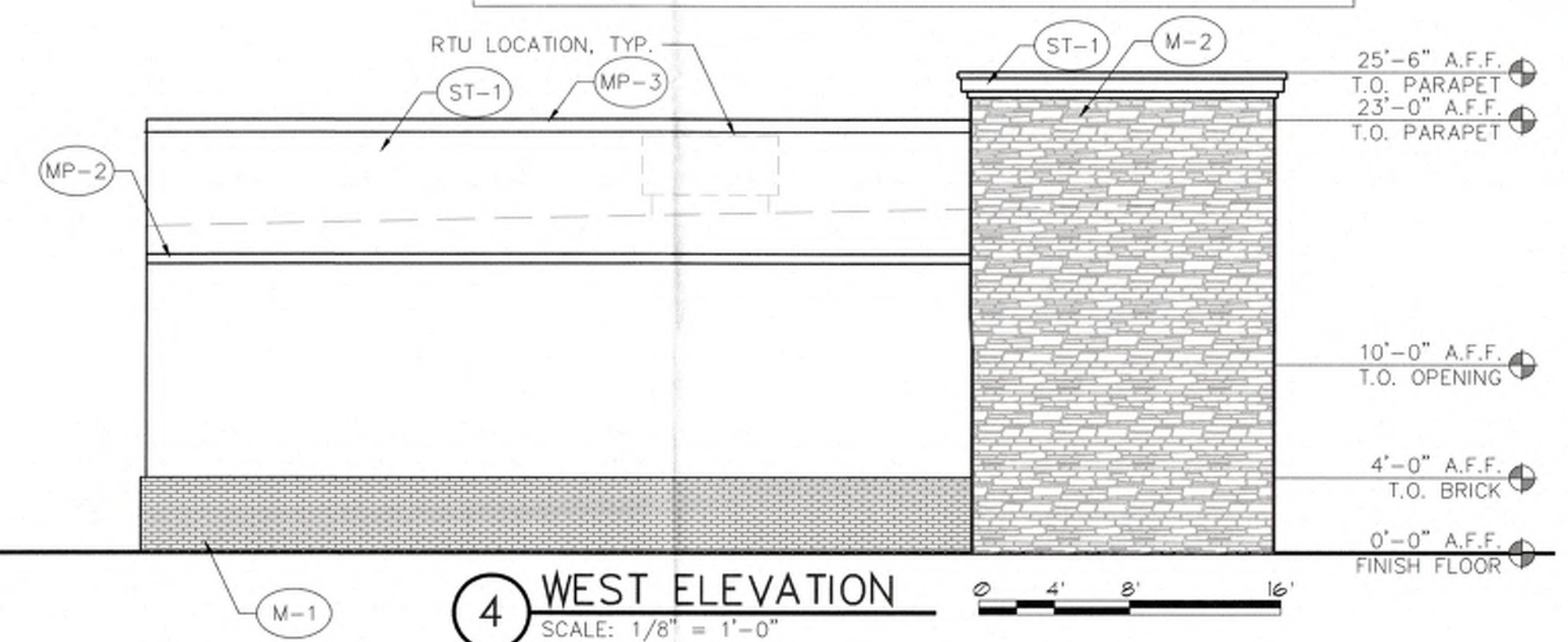
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|--|---------------------|
| AUSTIN STONE VENEER: | 386 SQ. FT. (27.8%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 722 SQ. FT. (50%) |
| BRICK VENEER (BLACK ICE): | 226 SQ. FT. (16.3%) |
| MISC. (METAL COPING / AWNING) | 56 SQ. FT. (4%) |
| FACADE TOTAL: | 1,390 SQ. FT. |
| MASONRY TOTAL: | 94.4% |

3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|--|---------------------|
| AUSTIN STONE VENEER: | 386 SQ. FT. (27.8%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 722 SQ. FT. (50%) |
| BRICK VENEER (BLACK ICE): | 226 SQ. FT. (16.3%) |
| MISC. (METAL COPING / AWNING) | 56 SQ. FT. (4%) |
| FACADE TOTAL: | 1,390 SQ. FT. |
| MASONRY TOTAL: | 94.4% |

4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| (M-1) | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| (M-2) | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| (PT-5) | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| (MP-2) | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| (MP-3) | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| (ST-1) | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| (AL-1) | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27 day of September, 2022.

[Signature]
Director of Planning & Zoning
Chairman

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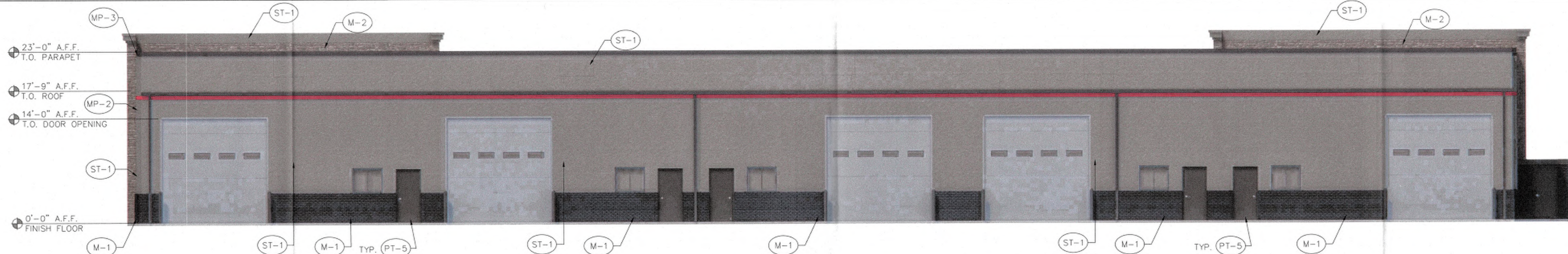
GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER:
GARAGES OF TEXAS @ TARPLEY LLC
13515 TARPLEY RD
CARROLLTON, TX 75006
Phone: (214) 341-9920
Contact: FRED GANS

File Name: 22161-A2.2
Project No: 22161
Date: 06/16/22
Drawn By: DBL
Checked By: JWF

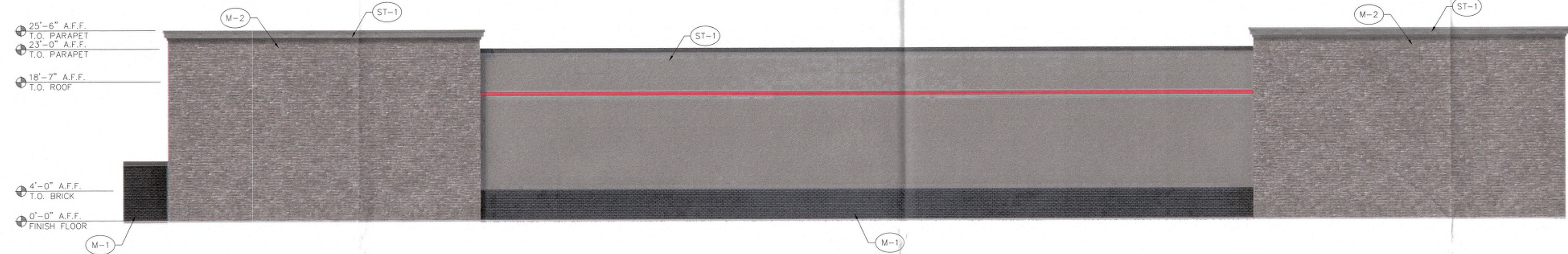
SHEET
A2.2
EXTERIOR FINISH
BUILDING 2



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

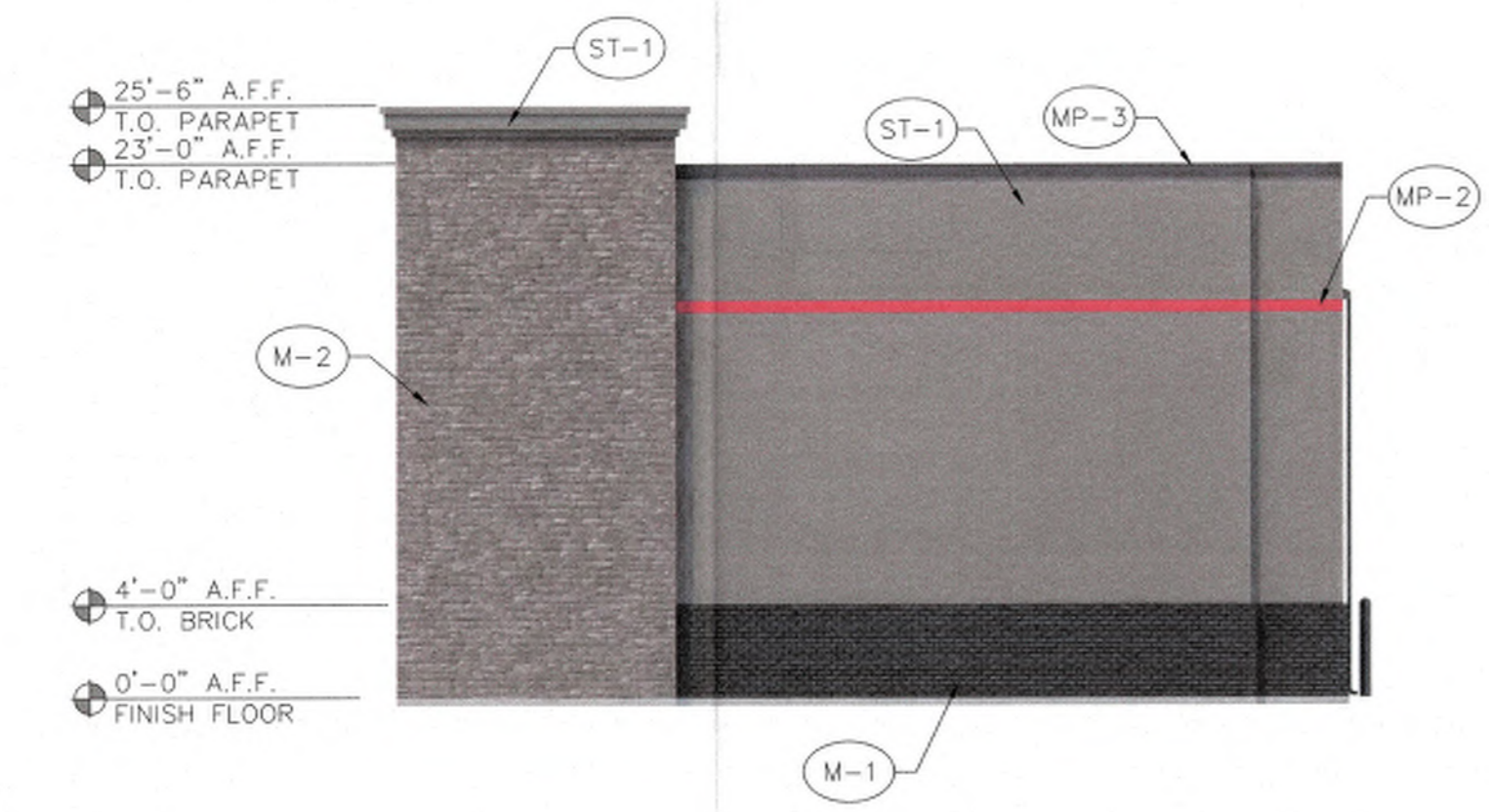
| | |
|--|-----------------------|
| AUSTIN STONE VENEER: | 510 SQ. FT. (15.4%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 2,181 SQ. FT. (65.7%) |
| BRICK VENEER (BLACK ICE): | 258 SQ. FT. (7.8%) |
| MISC. (METAL COPING) | 371 SQ. FT. (11.1%) |
| FACADE TOTAL: | 3,320 SQ. FT. |



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

| | |
|--|-----------------------|
| AUSTIN STONE VENEER: | 2,022 SQ. FT. (44.7%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 1,848 SQ. FT. (40.9%) |
| BRICK VENEER (BLACK ICE): | 469 SQ. FT. (10.4%) |
| MISC. (METAL COPING / AWNING) | 181 SQ. FT. (4%) |
| FACADE TOTAL: | 4,520 SQ. FT. |
| MASONRY TOTAL: | 94.7% |



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

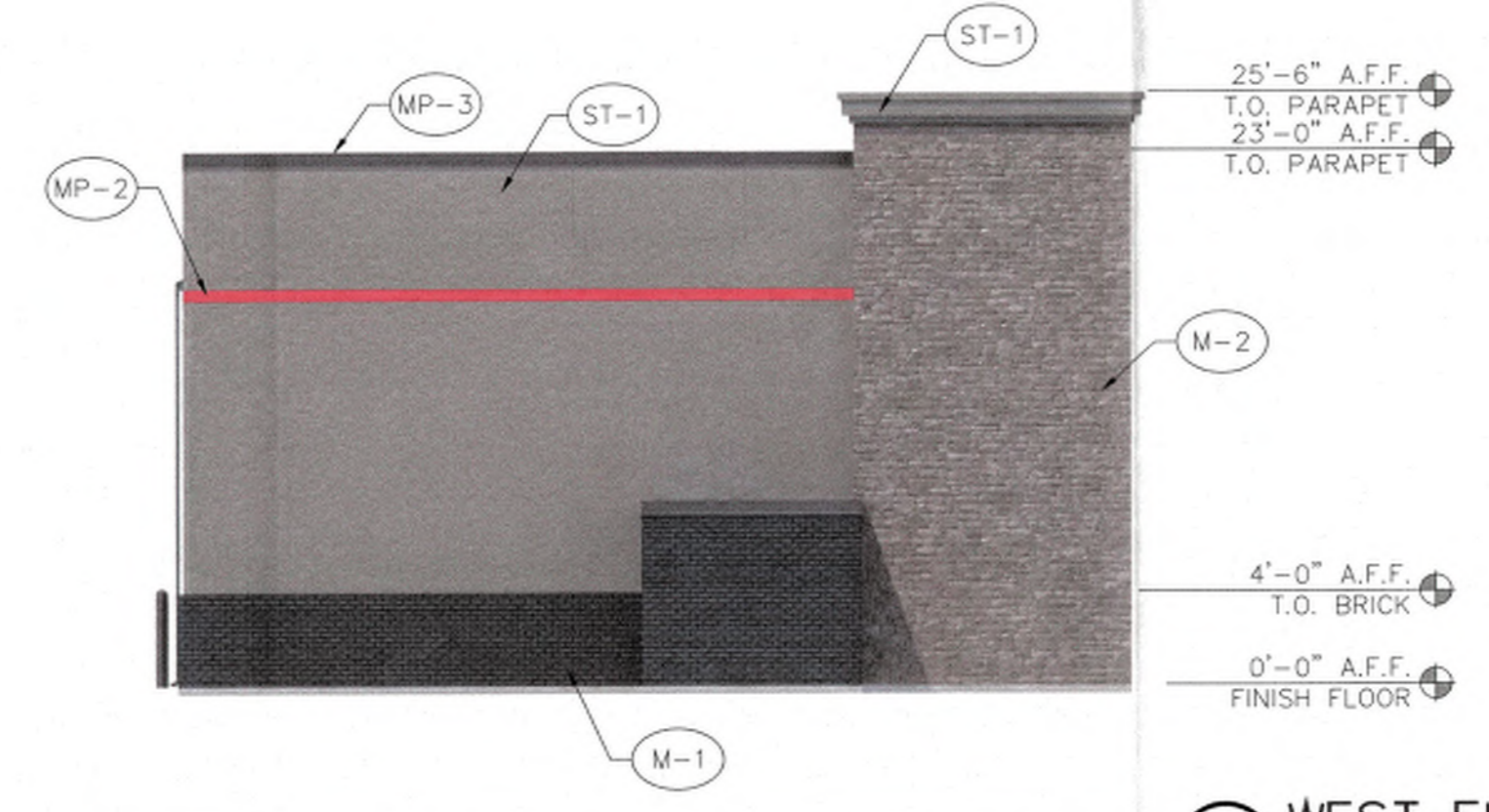
MATERIAL CALCULATIONS:

| | |
|--|---------------------|
| AUSTIN STONE VENEER: | 314 SQ. FT. (32.6%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 505 SQ. FT. (50%) |
| BRICK VENEER (BLACK ICE): | 113 SQ. FT. (11.7%) |
| MISC. (METAL COPING / AWNING) | 32 SQ. FT. (3.3%) |
| FACADE TOTAL: | 964 SQ. FT. |
| MASONRY TOTAL: | 94.7% |

EXTERIOR FINISH SCHEDULE

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| M-1 | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| M-2 | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| PT-5 | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| MP-1 | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: LT-3.3 COLOR: ASH GRAY |
| MP-2 | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| MP-3 | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| ST-1 | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| AL-1 | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

| | |
|--|---------------------|
| AUSTIN STONE VENEER: | 314 SQ. FT. (32.6%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 505 SQ. FT. (50%) |
| BRICK VENEER (BLACK ICE): | 113 SQ. FT. (11.7%) |
| MISC. (METAL COPING / AWNING) | 32 SQ. FT. (3.3%) |
| FACADE TOTAL: | 964 SQ. FT. |
| MASONRY TOTAL: | 94.7% |

APPROVED:
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[Signature]
Director of Planning & Zoning
Chairman

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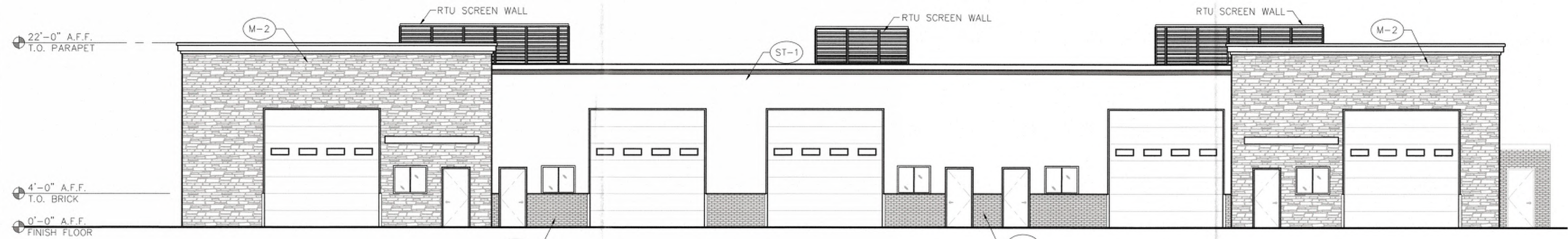
GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER:
GARAGES OF TEXAS @ TARPLEY LLC
2323 TARPLEY, SUITE 100
ROCKWALL, TX 75087
Phone: (972) 441-9929
Contact: FRED GANS

File Name: 22161-A2.2
Project No: 22161
Date: 05/06/22
Drawn By: DBL
Checked By: JWF

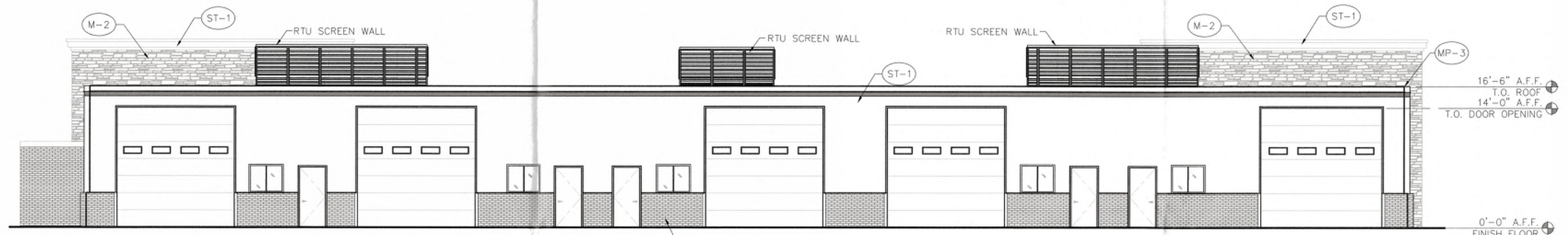
SHEET
A2.2
EXTERIOR ELEVATION
BLDG 1 MINI
WAREHOUSE
WITH OFFICE



MATERIAL CALCULATIONS:

| | |
|--|---------------------|
| AUSTIN STONE VENEER: | 927 SQ. FT. (46.8%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 761 SQ. FT. (38.4%) |
| BRICK VENEER (BLACK ICE): | 174 SQ. FT. (8.7%) |
| MISC. (METAL COPING / AWNING) | 118 SQ. FT. (5.9%) |
| FACADE TOTAL: | 1,980 SQ FT. |
| MASONRY TOTAL: | 94.3% |

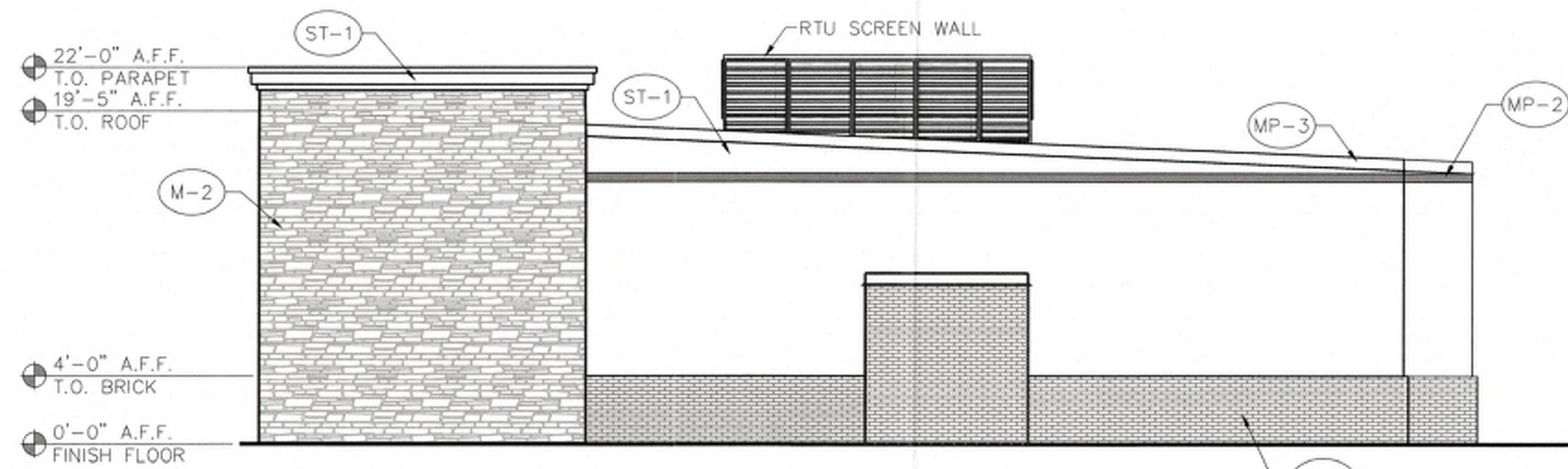
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|--|---------------------|
| AUSTIN STONE VENEER: | 234 SQ. FT. (14.5%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 917 SQ. FT. (50%) |
| BRICK VENEER (BLACK ICE): | 335 SQ. FT. (20.8%) |
| MISC. (METAL COPING) | 118 SQ. FT. (7.4%) |
| FACADE TOTAL: | 1,604 SQ FT. |

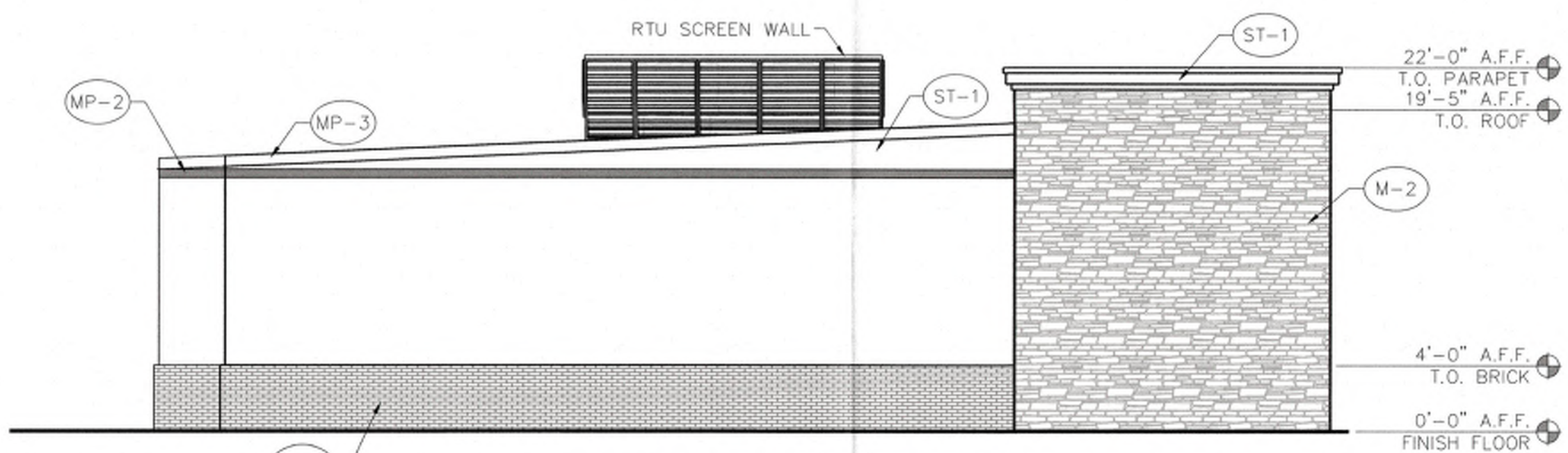
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|--|---------------------|
| AUSTIN STONE VENEER: | 392 SQ. FT. (29.9%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 584 SQ. FT. (44.6%) |
| BRICK VENEER (BLACK ICE): | 259 SQ. FT. (19.7%) |
| MISC. (METAL COPING / AWNING) | 75 SQ. FT. (5.7%) |
| FACADE TOTAL: | 1,310 SQ FT. |
| MASONRY TOTAL: | 93.9% |

3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|--|---------------------|
| AUSTIN STONE VENEER: | 392 SQ. FT. (29.9%) |
| PAINTED STUCCO (SW7019 GAUNTLET GRAY): | 584 SQ. FT. (44.6%) |
| BRICK VENEER (BLACK ICE): | 259 SQ. FT. (19.7%) |
| MISC. (METAL COPING / AWNING) | 75 SQ. FT. (5.7%) |
| FACADE TOTAL: | 1,310 SQ FT. |
| MASONRY TOTAL: | 93.9% |

4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| M-1 | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| M-2 | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| PT-5 | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| MP-1 | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY |
| MP-2 | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| MP-3 | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| ST-1 | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| AL-1 | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

HVAC - SCREENING

| DETAIL DESCRIPTION |
|---|
| MANUFACTURER: CITYSCAPES STYLE: LOUVER (HORIZONTAL) TRIM: LINEAL BAND COLOR: SHADOW GRAY |

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27 day of September, 2022.

[Signature]
Chairman

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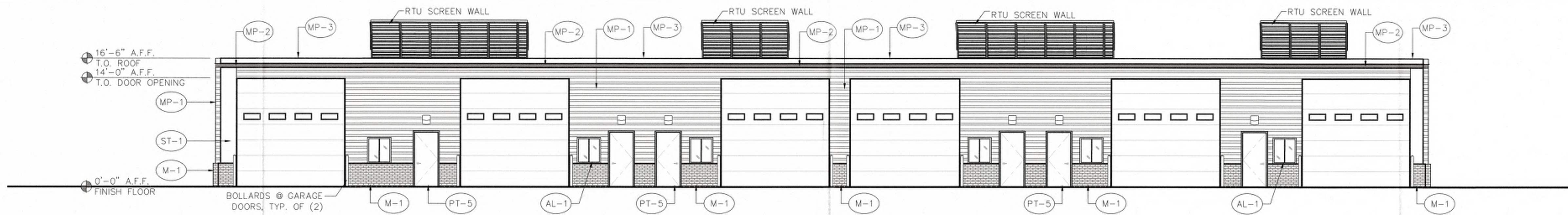
GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75035
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER: GARAGES OF TEXAS @ HARLEY LLC
PROJECT: 22161
DATE: 06/06/22
DRAWN BY: DBL
CHECKED BY: JWF

File Name: 22161-A2.2
Project No: 22161
Date: 06/06/22
Drawn By: DBL
Checked By: JWF

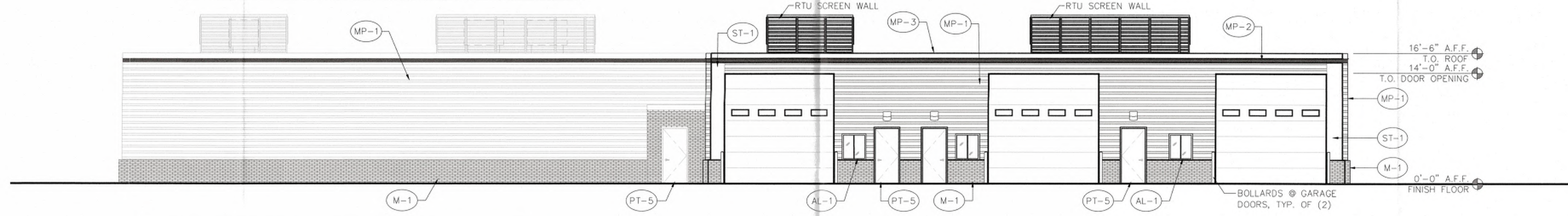
SHEET
A2.2
EXTERIOR ELEVATION
BUILDING 2



MATERIAL CALCULATIONS:

| | |
|---------------------------|----------------------|
| BRICK VENEER (BLACK ICE): | 155 SQ. FT. (13.2%) |
| STUCCO | 46 SQ. FT. (3.9%) |
| METAL WALL PANEL | 795 SQ. FT. (67.4%) |
| MISC. (METAL COPING) | 183 SQ. FT. (15.5%) |
| FACADE TOTAL: | 1,179 SQ. FT. |

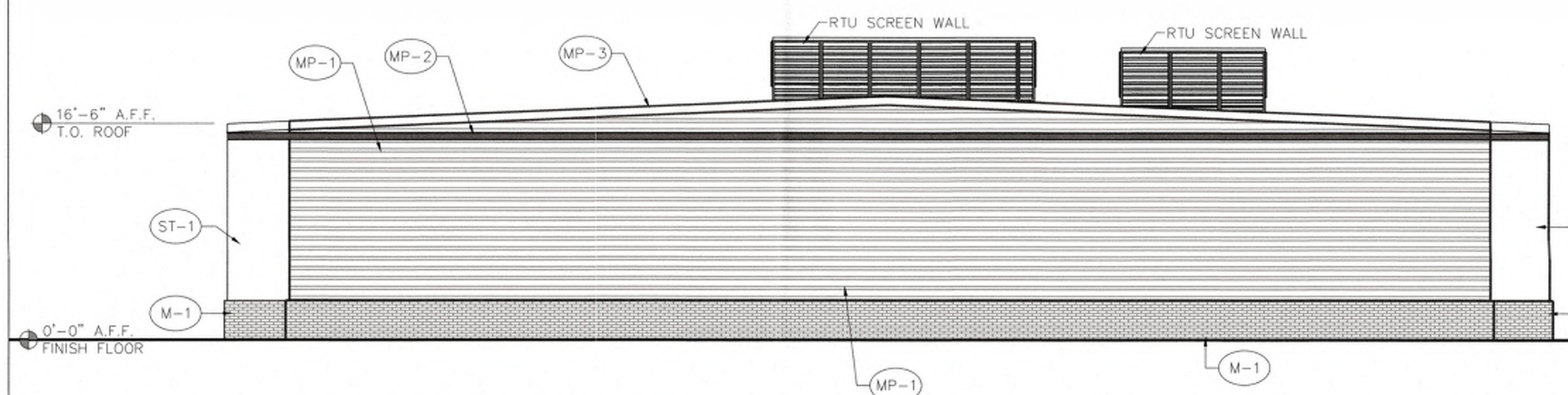
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|---------------------------|----------------------|
| BRICK VENEER (BLACK ICE): | 333 SQ. FT. (18.0%) |
| METAL WALL PANEL: | 1335 SQ. FT. (72.1%) |
| AWNING | 183 SQ. FT. (9.9%) |
| FACADE TOTAL: | 1,851 SQ. FT. |

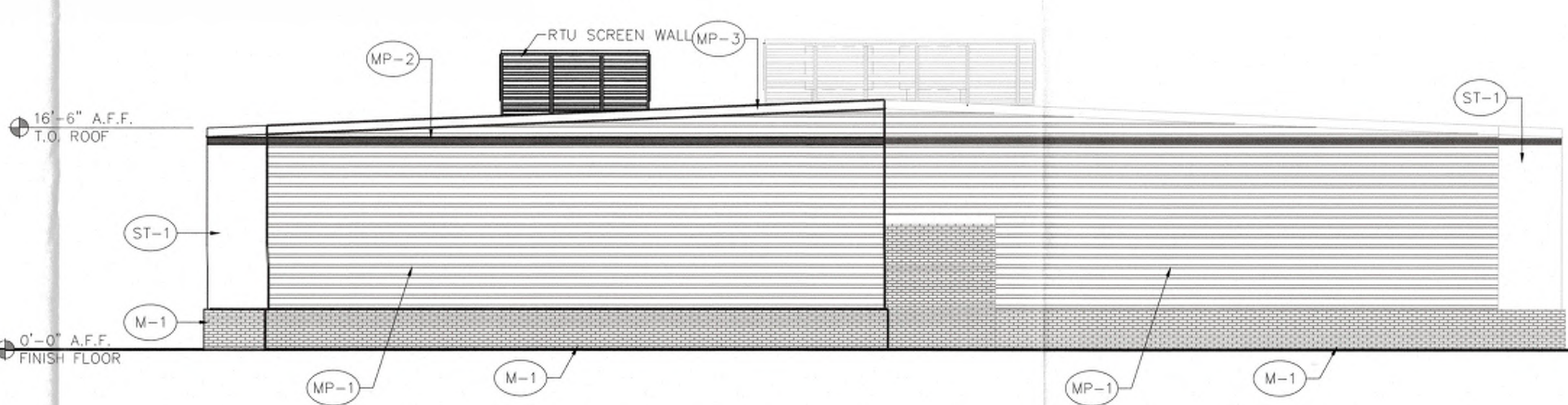
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|---------------------------|----------------------|
| BRICK VENEER (BLACK ICE): | 303 SQ. FT. (26%) |
| STUCCO: | 100 SQ. FT. (5.7%) |
| METAL WALL PANEL: | 1120 SQ. FT. (57.%) |
| MISC. (METAL COPING): | 228 SQ. FT. (10%) |
| FACADE TOTAL: | 1,751 SQ. FT. |

3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|---------------------------|----------------------|
| BRICK VENEER (BLACK ICE): | 355 SQ. FT. (20%) |
| STUCCO: | 100 SQ. FT. (6.0%) |
| METAL WALL PANEL: | 1068 SQ. FT. (61.%) |
| MISC. (METAL COPING): | 228 SQ. FT. (13%) |
| FACADE TOTAL: | 1,751 SQ. FT. |

4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| M-1 | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| M-2 | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| PT-5 | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| MP-1 | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY |
| MP-2 | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| MP-3 | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| ST-1 | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| AL-1 | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

NOTE: ALL MISC. METALS - PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

| HVAC - SCREENING | DETAIL DESCRIPTION |
|------------------|---|
| | MANUFACTURER: CITYSCAPES STYLE: LOUVER (HORIZONTAL) TRIM: LINEAL BAND COLOR: SHADOW GRAY |

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27 day of September 2022.

[Signature]
Director of Planning & Zoning
Chairman

PRELIMINARY
NOT TO BE USED
FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION



GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75035
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER:
GARAGES OF TEXAS @ HARLEY, LLC
LET'S BUILD IT RIGHT!
CARROLLTON, TX 75006
Phone: (214) 341-9920
Contact: FRED GANS

File Name: 22161-A2.2
Project No: 22161
Date: 06/6/22
Drawn By: DBL
Checked By: JWF

SHEET
A2.2
EXTERIOR ELEVATION
BUILDING 3

PRELIMINARY
NOT TO BE USED
FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION



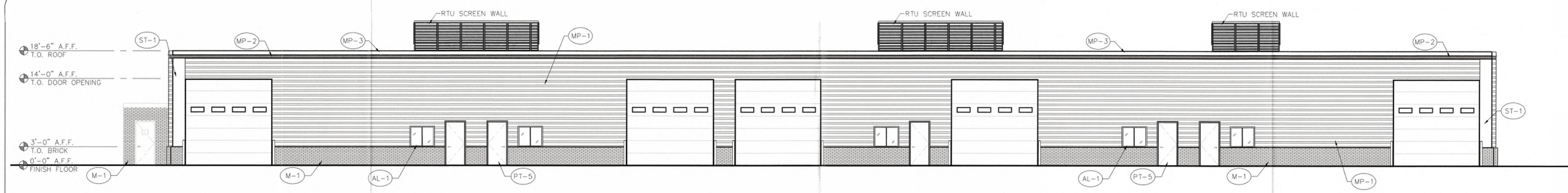
GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER:
GARAGES OF TEXAS @ FARLEY LLC
13000
CARROLLTON, TX 75006
Phone: (214) 341-9620
Contact: FRED GANS

File Name: 22161-A2.2
Project No: 22161
Date: 06/06/22
Drawn By: DBL
Checked By: JMF

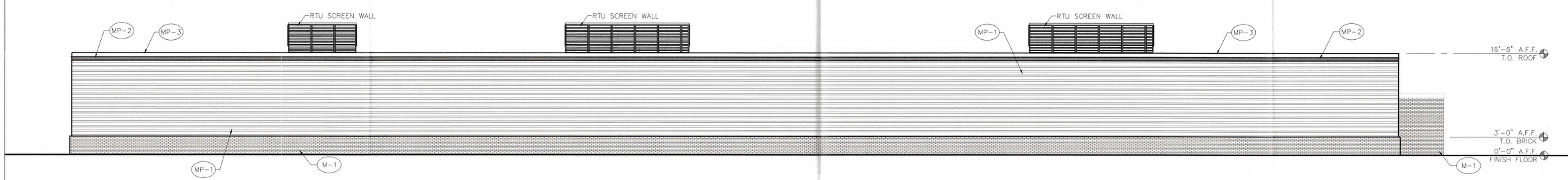
SHEET
A2.2
EXTERIOR ELEVATION
BUILDING 4



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

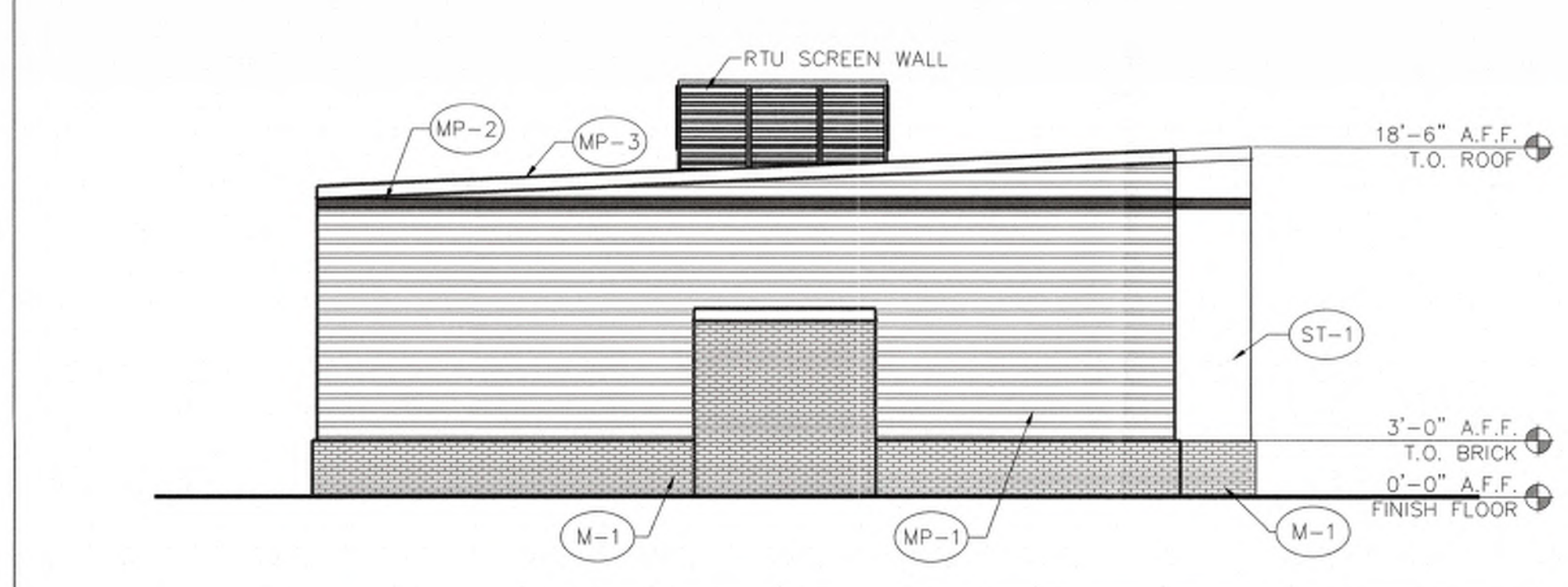
| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 416 SQ. FT. (17.4%) |
| STUCCO | 48 SQ. FT. (2.0%) |
| METAL WALL PANEL | 1,672 SQ. FT. (70.0%) |
| MISC. (METAL COPING) | 253 SQ. FT. (10.6%) |
| FACADE TOTAL: | 2,389 SQ. FT. |



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

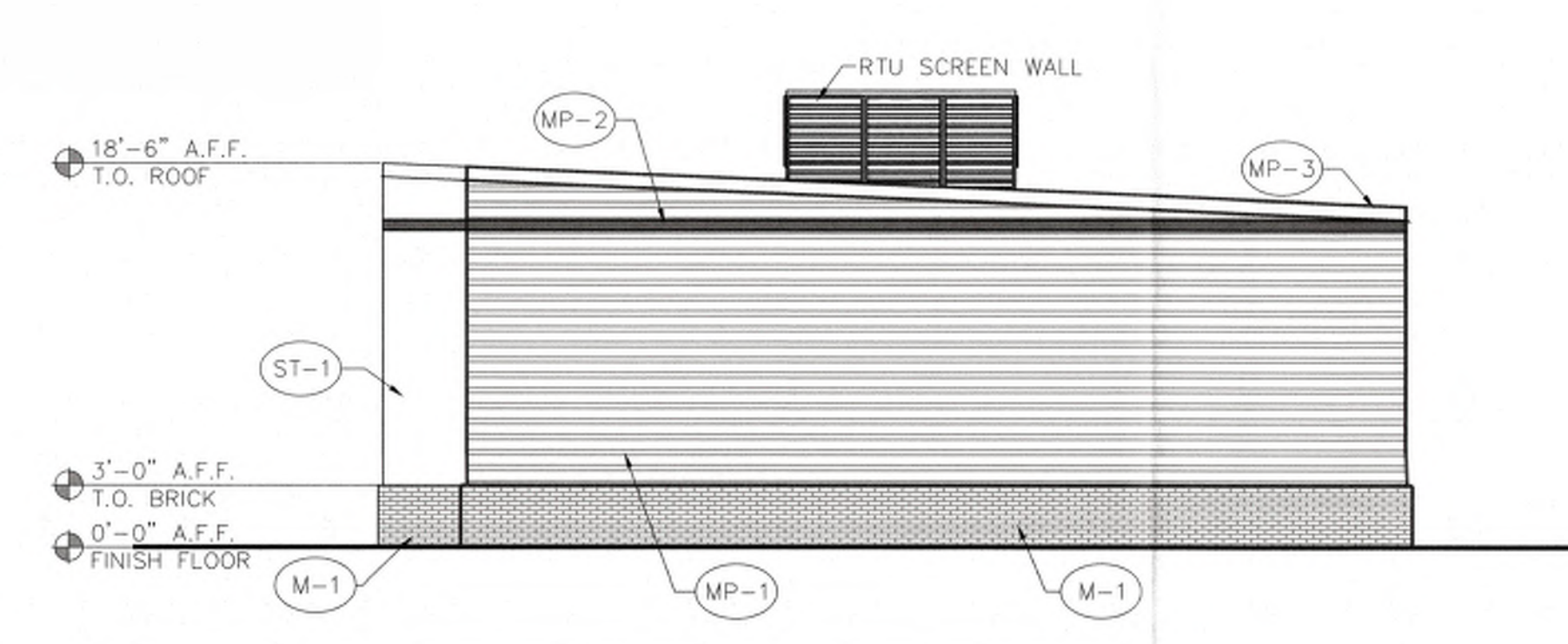
| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 712 SQ. FT. (19.7%) |
| METAL WALL PANEL | 2,641 SQ. FT. (73.1%) |
| MISC. (METAL COPING) | 258 SQ. FT. (7.1%) |
| FACADE TOTAL: | 3,611 SQ. FT. |



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

| | |
|---------------------------|---------------------|
| BRICK VENEER (BLACK ICE): | 210 SQ. FT. (24.9%) |
| STUCCO: | 50 SQ. FT. (5.9%) |
| METAL WALL PANEL: | 518 SQ. FT. (61.4%) |
| MISC. (METAL COPING) | 66 SQ. FT. (7.8%) |
| FACADE TOTAL: | 844 SQ. FT. |



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

| | |
|---------------------------|---------------------|
| BRICK VENEER (BLACK ICE): | 150 SQ. FT. (17.5%) |
| STUCCO | 50 SQ. FT. (5.9%) |
| METAL WALL PANEL | 585 SQ. FT. (69.3%) |
| MISC. (METAL COPING) | 59 SQ. FT. (7%) |
| FACADE TOTAL: | 844 SQ. FT. |

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| (M-1) | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| (M-2) | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| (PT-5) | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| (MP-1) | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY |
| (MP-2) | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| (MP-3) | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| (ST-1) | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| (AL-1) | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

| DETAIL DESCRIPTION |
|---|
| MANUFACTURER: CITYSCAPES STYLE: LOUVER (HORIZONTAL) TRIM: LINEAL BAND COLOR: SHADOW GRAY |

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27 day of September, 2022.

[Signature]
Director of Planning & Zoning
Chairman

PRELIMINARY
NOT TO BE USED
FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION



GARAGES OF TEXAS

OWNER:
GARAGES OF TEXAS @ TARPLEY, LLC
2228 TARPLEY, SUITE 100
FARMERSBURG, TEXAS 76044
Phone: (214) 341-9920
Contact: FRED GANS

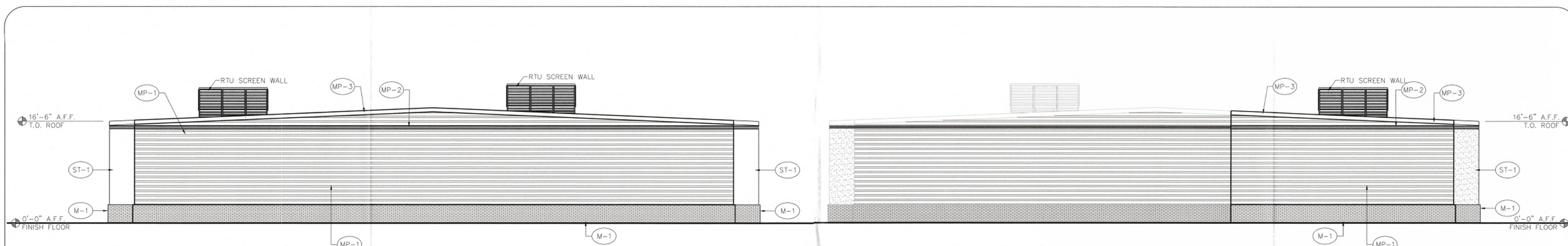
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27 day of September, 2022.

[Signature]
Planning & Zoning Commission, Director of Planning & Zoning Chairman

File Name: 22161-A2.2
Project No: 22161
Date: 06/16/22
Drawn By: DBL
Checked By: JWF

SHEET
A2.2
EXTERIOR ELEVATION
BUILDING 5



MATERIAL CALCULATIONS:

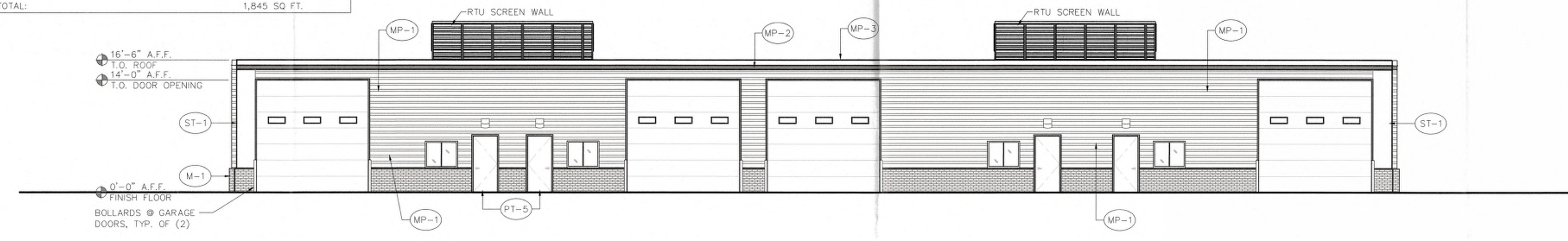
| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 316 SQ. FT. (17.1%) |
| STUCCO: | 102 SQ. FT. (5.5%) |
| METAL WALL PANEL: | 1,208 SQ. FT. (65.5%) |
| MISC. (METAL COPING): | 219 SQ. FT. (11.8%) |
| FACADE TOTAL: | 1,845 SQ. FT. |

1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 316 SQ. FT. (17.1%) |
| STUCCO: | 102 SQ. FT. (5.5%) |
| METAL WALL PANEL: | 1,208 SQ. FT. (65.5%) |
| MISC. (METAL COPING): | 219 SQ. FT. (11.8%) |
| FACADE TOTAL: | 1,845 SQ. FT. |

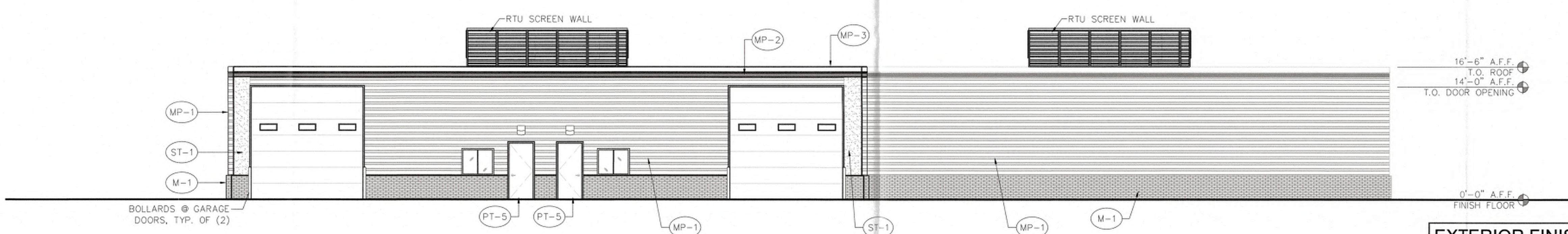
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



MATERIAL CALCULATIONS:

| | |
|---------------------------|----------------------|
| BRICK VENEER (BLACK ICE): | 224 SQ. FT. (15.6%) |
| STUCCO: | 158 SQ. FT. (11.0%) |
| METAL WALL PANEL: | 882 SQ. FT. (61.5%) |
| MISC. (METAL COPING): | 169 SQ. FT. (11.9%) |
| FACADE TOTAL: | 1,433 SQ. FT. |

3 WEST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 327 SQ. FT. (16.4%) |
| STUCCO: | 158 SQ. FT. (8.0%) |
| METAL WALL PANEL: | 1,322 SQ. FT. (66.4%) |
| MISC. (METAL COPING): | 183 SQ. FT. (9.2%) |
| FACADE TOTAL: | 1,990 SQ. FT. |

4 EAST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27 day of September, 2022.

[Signature]
Planning & Zoning Commission, Director of Planning & Zoning Chairman

EXTERIOR FINISH SCHEDULE

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| (M-1) | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| (M-2) | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| (PT-5) | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| (MP-1) | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY |
| (MP-2) | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| (MP-3) | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| (ST-1) | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| (AL-1) | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

HVAC - SCREENING

DETAIL DESCRIPTION
MANUFACTURER: CITYSCAPES
STYLE: LOUVER (HORIZONTAL)
TRIM: LINEAL BAND
COLOR: SHADOW GRAY

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

PRELIMINARY
NOT TO BE USED
FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION



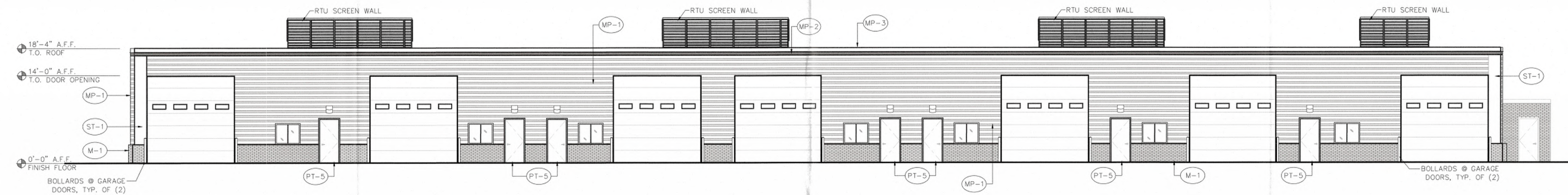
GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER:
GARAGES OF TEXAS @ HARLEY LLC
13500 HARLEY BLVD
CARROLLTON, TX 75006
Phone: (214) 341-9920
Contact: FRED GANS

File Name: 22161-A2.2
Project No: 22161
Date: 06/06/22
Drawn By: DBL
Checked By: JWF

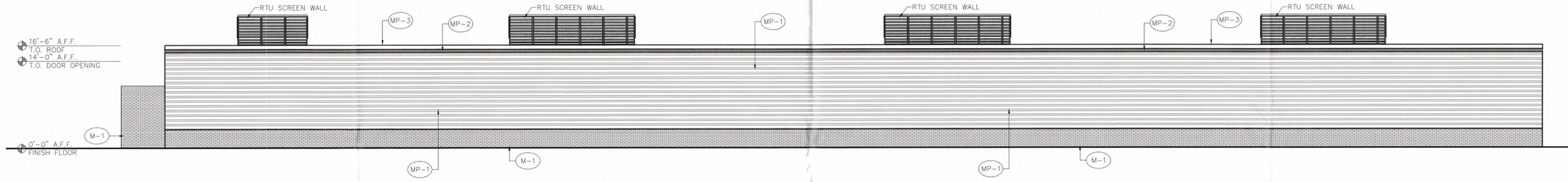
SHEET
A2.2
EXTERIOR ELEVATION
BUILDING 6



MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 332 SQ. FT. (16.2%) |
| STUCCO | 48 SQ. FT. (2.3%) |
| METAL WALL PANEL | 1,407 SQ. FT. (68.8%) |
| MISC. (METAL COPING) | 259 SQ. FT. (12.7%) |
| FACADE TOTAL: | 2,046 SQ. FT. |

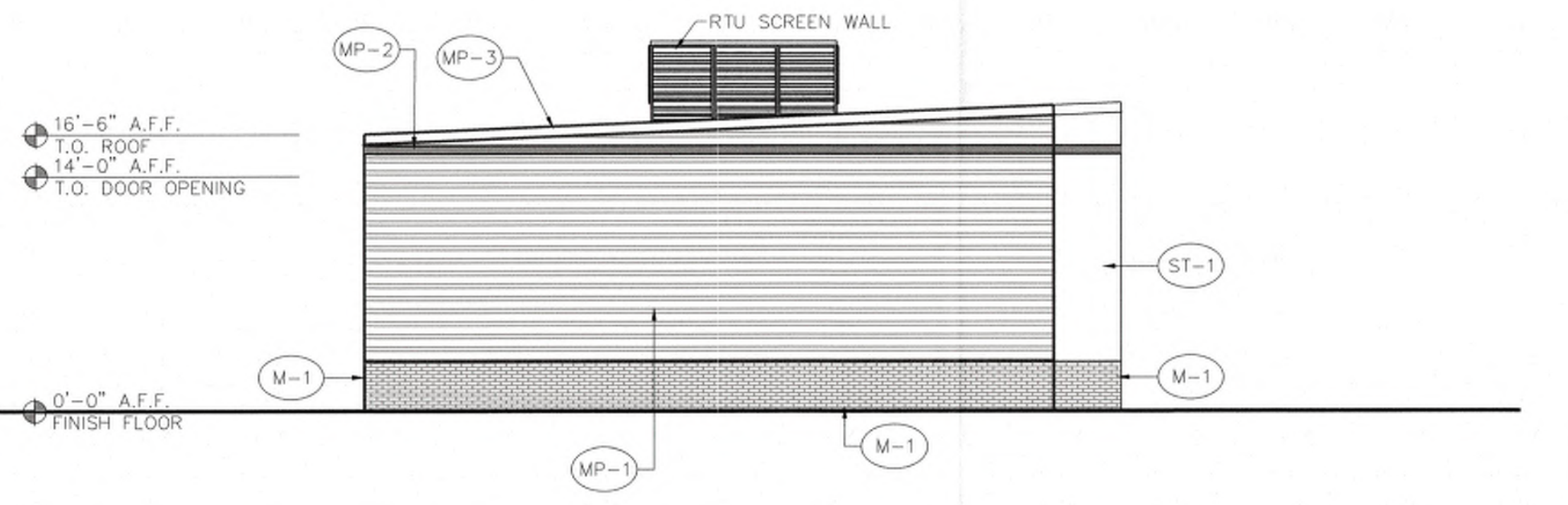
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 723 SQ. FT. (19.6%) |
| METAL WALL PANEL: | 2,720 SQ. FT. (73.6%) |
| MISC. (METAL COPING): | 260 SQ. FT. (7%) |
| FACADE TOTAL: | 3,694 SQ. FT. |

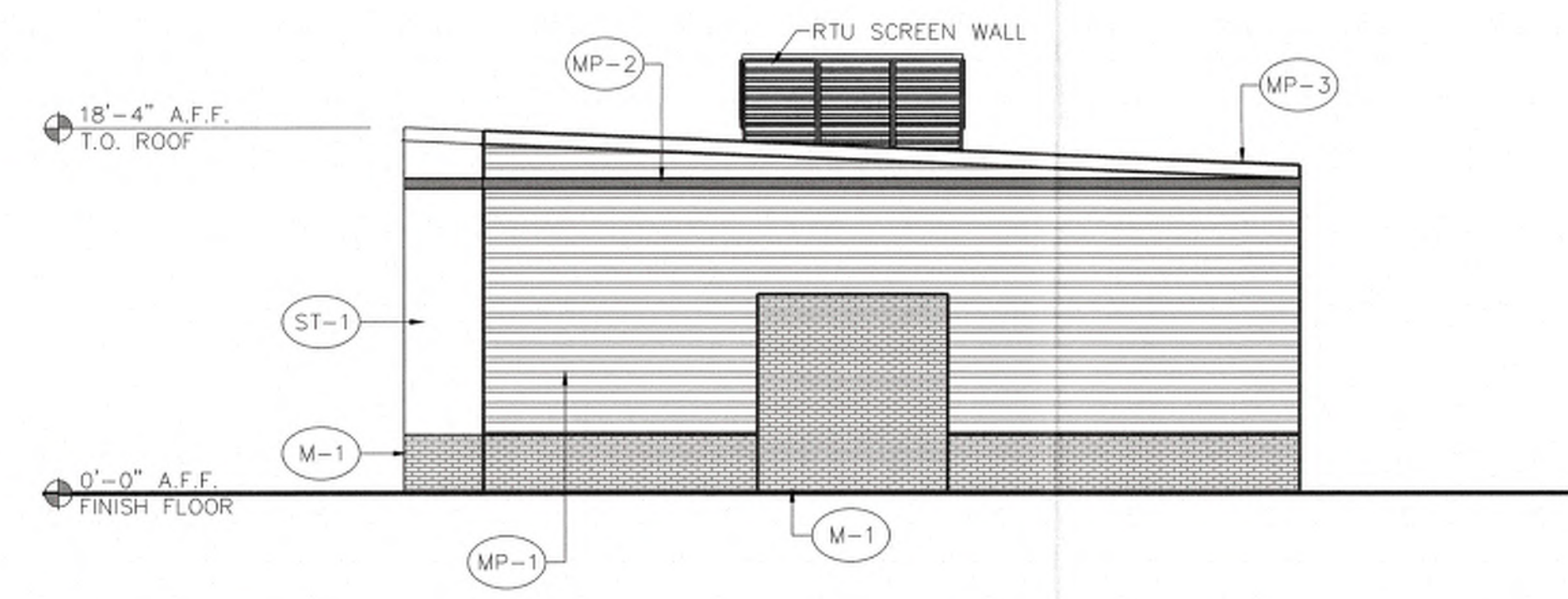
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|---------------------------|---------------------|
| BRICK VENEER (BLACK ICE): | 134 SQ. FT. (17.3%) |
| STUCCO: | 49 SQ. FT. (6.3%) |
| METAL WALL PANEL: | 507 SQ. FT. (65.6%) |
| MISC. (METAL COPING): | 83 SQ. FT. (10.7%) |
| FACADE TOTAL: | 773 SQ. FT. |

3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL CALCULATIONS:

| | |
|---------------------------|---------------------|
| BRICK VENEER (BLACK ICE): | 201 SQ. FT. (26%) |
| STUCCO: | 49 SQ. FT. (6.3%) |
| METAL WALL PANEL: | 440 SQ. FT. (56.9%) |
| MISC. (METAL COPING): | 83 SQ. FT. (10.7%) |
| FACADE TOTAL: | 773 SQ. FT. |

4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| (M-1) | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| (M-2) | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| (PT-5) | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| (MP-1) | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY |
| (MP-2) | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| (MP-3) | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| (ST-1) | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| (AL-1) | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

HVAC - SCREENING

| DETAIL DESCRIPTION |
|----------------------------|
| MANUFACTURER: CITYSCAPES |
| STYLE: LOUVER (HORIZONTAL) |
| TRIM: LINEAL BAD |
| COLOR: SHADOW GRAY |

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission on the **27** day of **September**, **2022**.

[Signature]
Director of Planning and Zoning
Chairman

PRELIMINARY
NOT TO BE USED
FOR
REGULATORY
APPROVAL,
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CONSTRUCTION



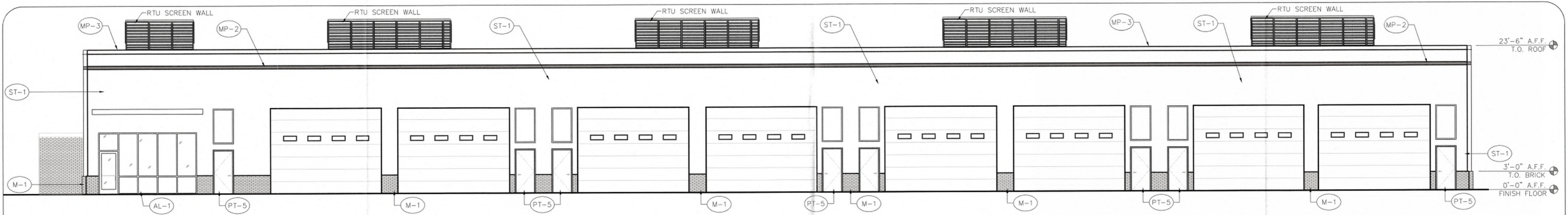
GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 9R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER:
GARAGES OF TEXAS @ TARPLEY LLC
2223 TARPLEY, SUITE 100
ROCKWALL, TX 75085
Phone: (214) 341-9920
Contact: FRED GANS

File Name: 22161 - A2.1
Project No: 22161
Date: 06/16/22
Drawn By: DBL
Checked By: JWF

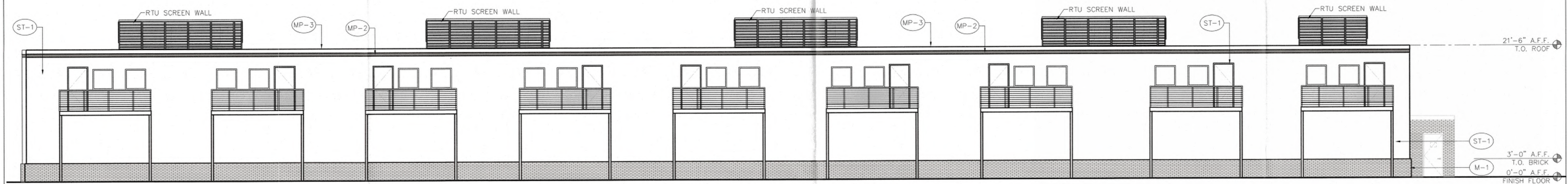
SHEET
A2.1
EXTERIOR ELEVATION
BUILDING 1



MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 181 SQ. FT. (6.4%) |
| STUCCO | 2,383 SQ. FT. (84.1%) |
| MISC. (METAL COPING) | 283 SQ. FT. (10.1%) |
| FACADE TOTAL: | 2,845 SQ. FT. |

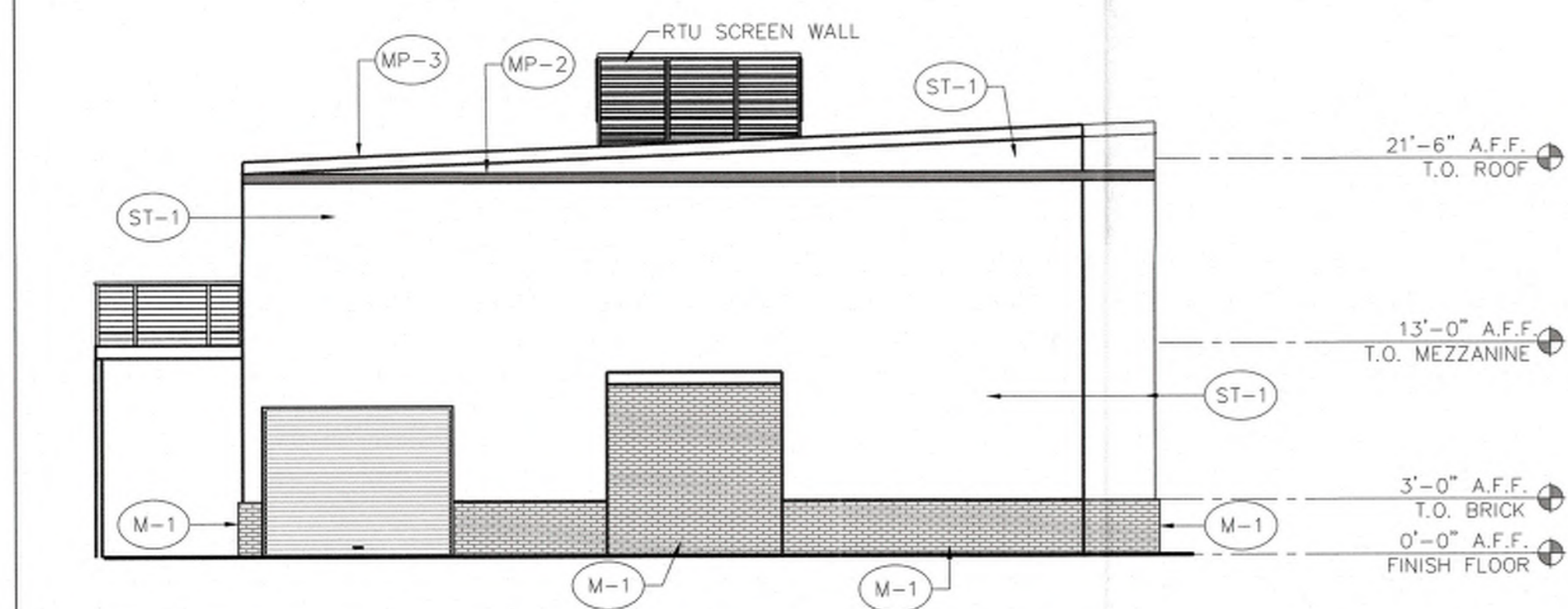
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 704 SQ. FT. (14.1%) |
| STUCCO: | 2,383 SQ. FT. (48.4%) |
| MISC. (METAL COPING): | 2,397 SQ. FT. (48.3%) |
| FACADE TOTAL: | 4,959 SQ. FT. |

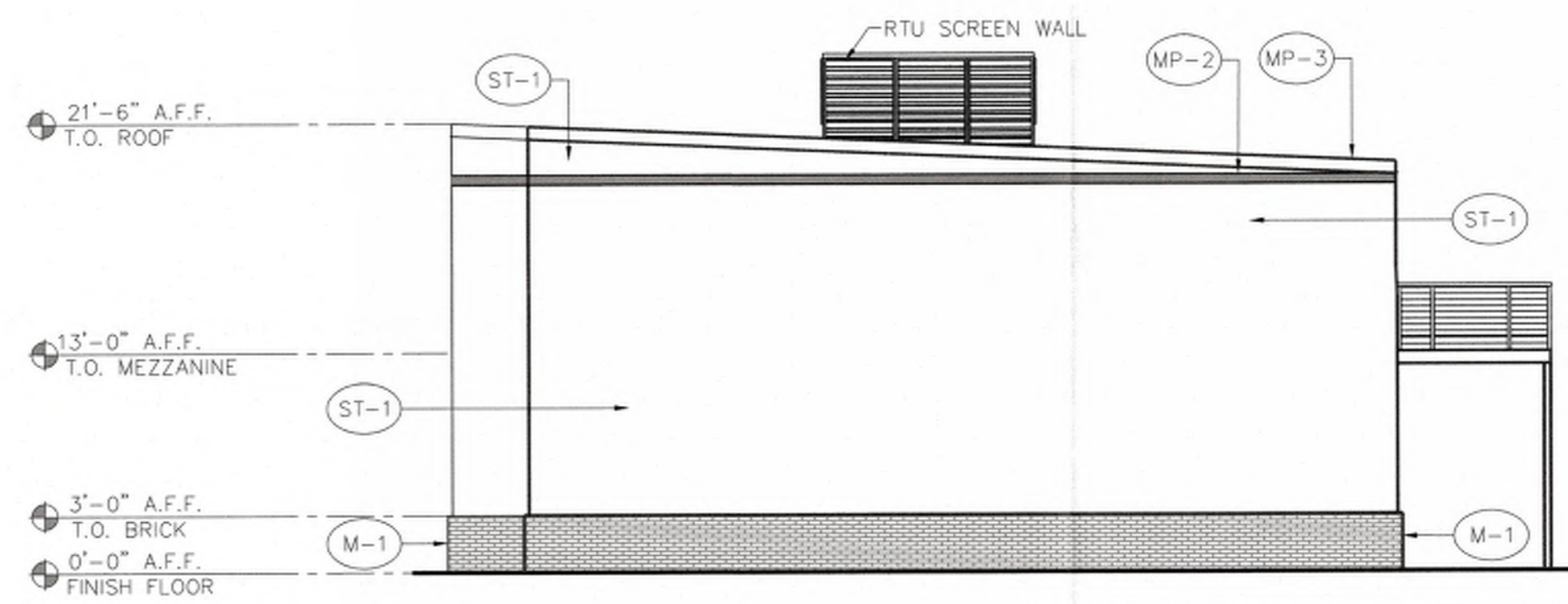
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



MATERIAL CALCULATIONS:

| | |
|---------------------------|---------------------|
| BRICK VENEER (BLACK ICE): | 179 SQ. FT. (17.3%) |
| STUCCO: | 788 SQ. FT. (76.4%) |
| MISC. (METAL COPING): | 65 SQ. FT. (6.3%) |
| FACADE TOTAL: | 1,032 SQ. FT. |

3 WEST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



MATERIAL CALCULATIONS:

| | |
|---------------------------|---------------------|
| BRICK VENEER (BLACK ICE): | 150 SQ. FT. (13.4%) |
| STUCCO: | 908 SQ. FT. (81.3%) |
| MISC. (METAL COPING): | 58 SQ. FT. (5.2%) |
| FACADE TOTAL: | 1,116 SQ. FT. |

4 EAST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

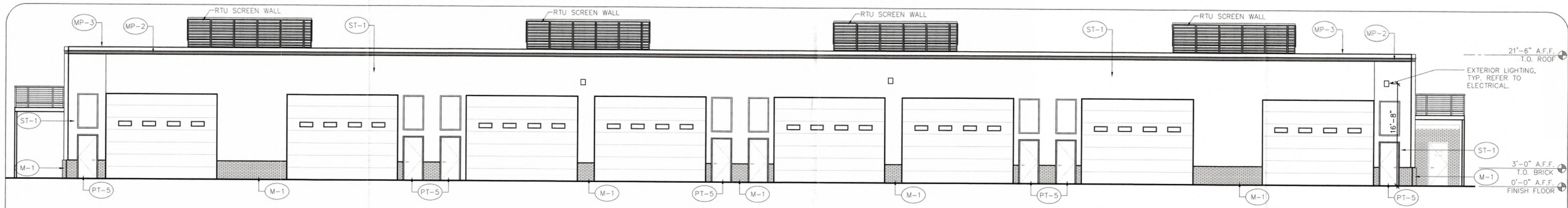
| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| (M-1) | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| (M-2) | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| (PT-5) | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| (MP-1) | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY |
| (MP-2) | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| (MP-3) | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| (ST-1) | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| (AL-1) | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

HVAC - SCREENING

| DETAIL DESCRIPTION |
|--|
| MANUFACTURER: CITYSCAPES STYLE: LOUVER (HORIZONTAL) TRIM: LINEAL BAD COLOR: SHADOW GRAY |

NOTE: ALL MISC. METALS - PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

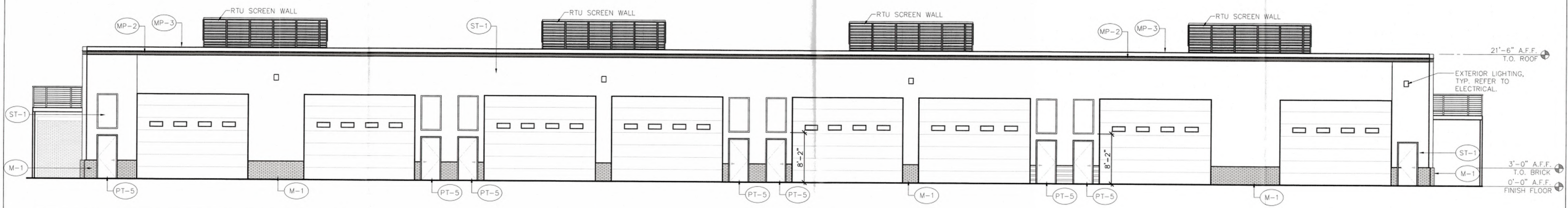
APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 21 day of September, 2022.
[Signature]
Director of Planning & Zoning
Chairman



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

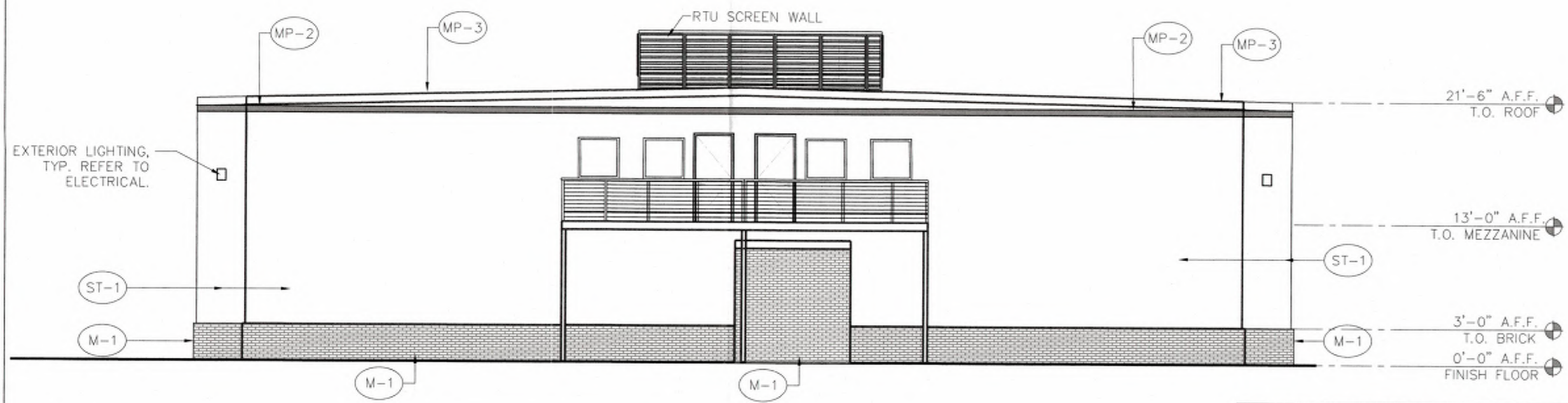
| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 185 SQ. FT. (8.1%) |
| STUCCO | 1,956 SQ. FT. (81.4%) |
| MISC. (METAL COPING) | 283 SQ. FT. (12.1%) |
| FACADE TOTAL: | 2,404 SQ. FT. |



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

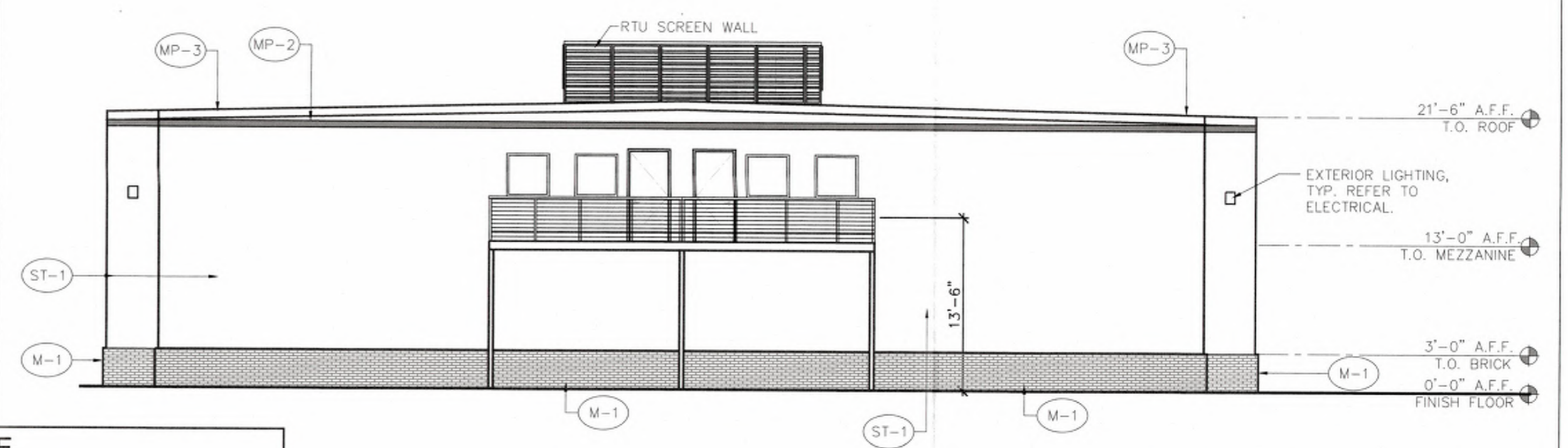
| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 185 SQ. FT. (8.1%) |
| STUCCO | 1,956 SQ. FT. (81.4%) |
| MISC. (METAL COPING) | 283 SQ. FT. (12.1%) |
| FACADE TOTAL: | 2,404 SQ. FT. |



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 541 SQ. FT. (29.1%) |
| STUCCO | 1,282 SQ. FT. (68.2%) |
| MISC. (METAL COPING) | 67 SQ. FT. (4.1%) |
| FACADE TOTAL: | 1,878 SQ. FT. |



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 267 SQ. FT. (14.2%) |
| STUCCO | 1,392 SQ. FT. (74.1%) |
| MISC. (METAL COPING) | 67 SQ. FT. (4.1%) |
| FACADE TOTAL: | 1,878 SQ. FT. |

EXTERIOR FINISH SCHEDULE

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| (M-1) | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| (M-2) | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| (PT-5) | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| (MP-1) | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY |
| (MP-2) | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| (MP-3) | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| (ST-1) | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| (AL-1) | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

HVAC - SCREENING

| DETAIL DESCRIPTION |
|--|
| MANUFACTURER: CITYSCAPES STYLE: LOUVER (HORIZONTAL) TRIM: LINEAL BAD COLOR: SHADOW GRAY |

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

NOTE: ALL LISTED HEIGHTS ARE ESTABLISHED FROM FINISH FLOOR 0'-0"

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

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APPROVAL,
PERMITTING OR
CONSTRUCTION



GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 89, 90 AND 111 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER:
GARAGES OF TEXAS @ TABLEY, LLC
2323 TRAPLEY, SUITE 100
CARROLTON, TX 75006
Phone: (214)-341-9620
Contact: FRED GANS

File Name: 22161-A2.1
Project No: 22161
Date: 06/16/22
Drawn By: DBL
Checked By: JWF

SHEET
A2.1
EXTERIOR ELEVATION
BUILDING 2

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FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION



GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER:
GARAGES OF TEXAS @ HARLEY LLC
2223 HARLEY, SUITE 100
ROCKWALL, TX 75087
Phone: (972) 441-9620
Contact: FRED GANS

File Name: 22161-A2.1
Project No: 22161
Date: 06/16/22
Drawn By: DBL
Checked By: JWF

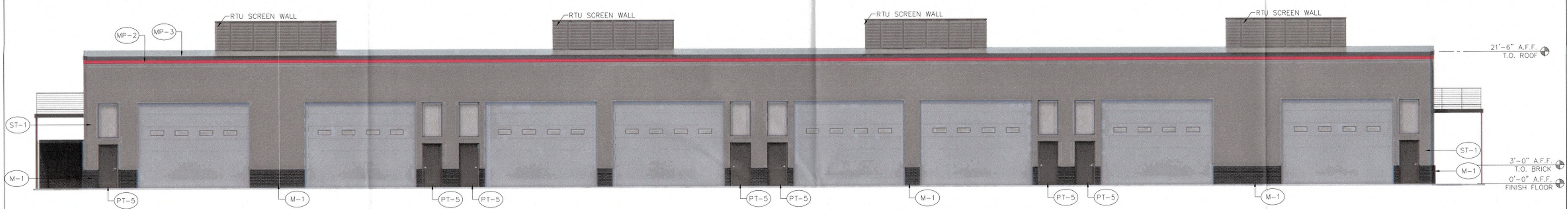
SHEET
A2.1
EXTERIOR ELEVATION
BUILDING 3



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

MATERIAL CALCULATIONS:

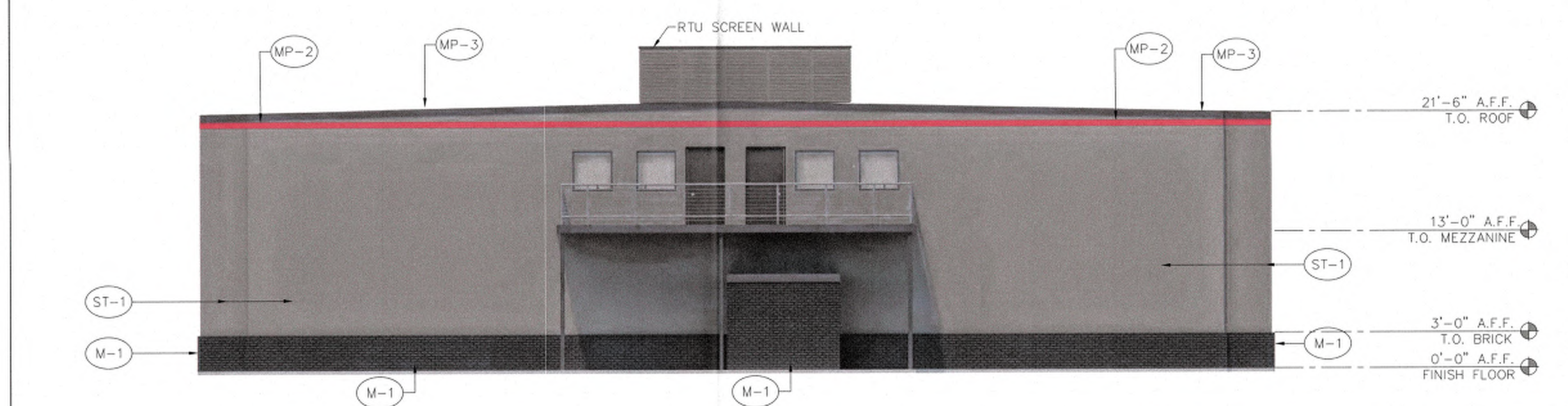
| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 183 SQ. FT. (7.7%) |
| STUCCO | 1,937 SQ. FT. (82.2%) |
| MISC. (METAL COPING) | 256 SQ. FT. (11.1%) |
| FACADE TOTAL: | 2,376 SQ. FT. |



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 183 SQ. FT. (8.1%) |
| STUCCO | 1,937 SQ. FT. (82.1%) |
| MISC. (METAL COPING) | 256 SQ. FT. (11.1%) |
| FACADE TOTAL: | 2,376 SQ. FT. |



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

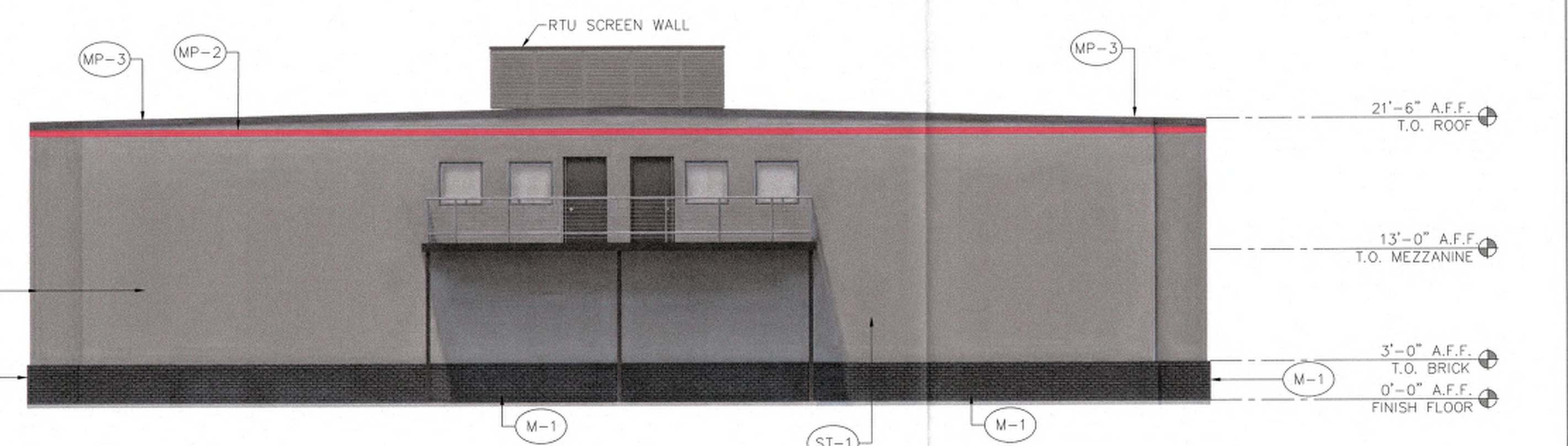
MATERIAL CALCULATIONS:

| | |
|---------------------------|----------------------|
| BRICK VENEER (BLACK ICE): | 267 SQ. FT. (14.2%) |
| STUCCO: | 1,391 SQ.FT. (74.1%) |
| MISC. (METAL COPING): | 220 SQ. FT. (12.1%) |
| FACADE TOTAL: | 1,878 SQ FT. |

EXTERIOR FINISH SCHEDULE

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| M-1 | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| M-2 | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| PT-5 | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| MP-1 | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY |
| MP-2 | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| MP-3 | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| ST-1 | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| AL-1 | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

HVAC - SCREENING
DETAIL DESCRIPTION
MANUFACTURER: CITYSCAPES
STYLE: LOUVER (HORIZONTAL)
TRIM: LINEAL BAD
COLOR: SHADOW GRAY
NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

MATERIAL CALCULATIONS:

| | |
|---------------------------|----------------------|
| BRICK VENEER (BLACK ICE): | 267 SQ. FT. (14.2%) |
| STUCCO: | 1,391 SQ.FT. (74.1%) |
| MISC. (METAL COPING): | 220 SQ. FT. (12.1%) |
| FACADE TOTAL: | 1,878 SQ FT. |

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27 day of September, 2022.
[Signature]
Planning & Zoning Commission, Chairman

PRELIMINARY
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PERMITTING OR
CONSTRUCTION



4055 International Plaza Suite 100
Fort Worth, Texas 76108
(817) 737-9622
www.franzarchitects.com

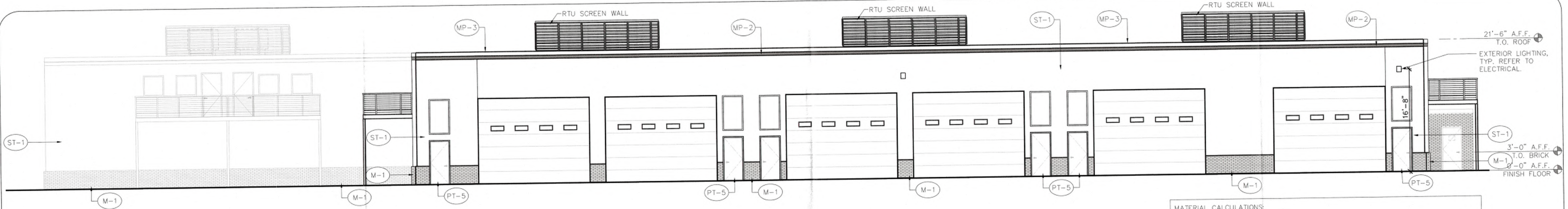
GARAGES OF TEXAS



OWNER:
GARAGES OF TEXAS @ TAPLEY LLC
2323 TAPLEY, SUITE 100
CARROLLTON, TX 75006
Phone: (214) 341-9620
Contact: FRED GANS

File Name: 22161-A2.1
Project No: 22161
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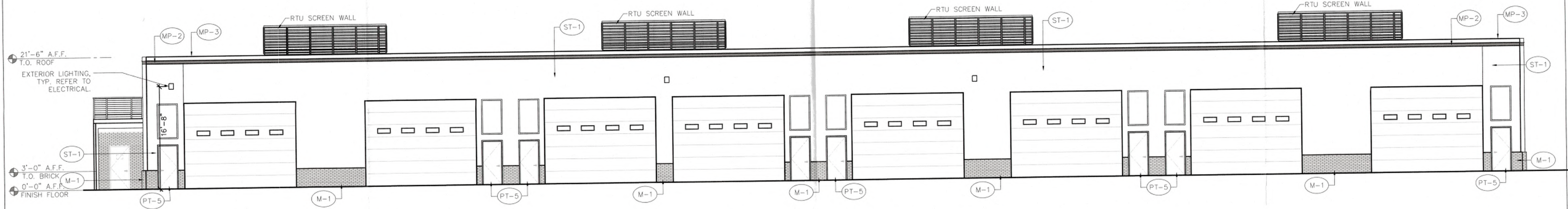
SHEET
A2.1
EXTERIOR ELEVATION
BUILDING 4



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

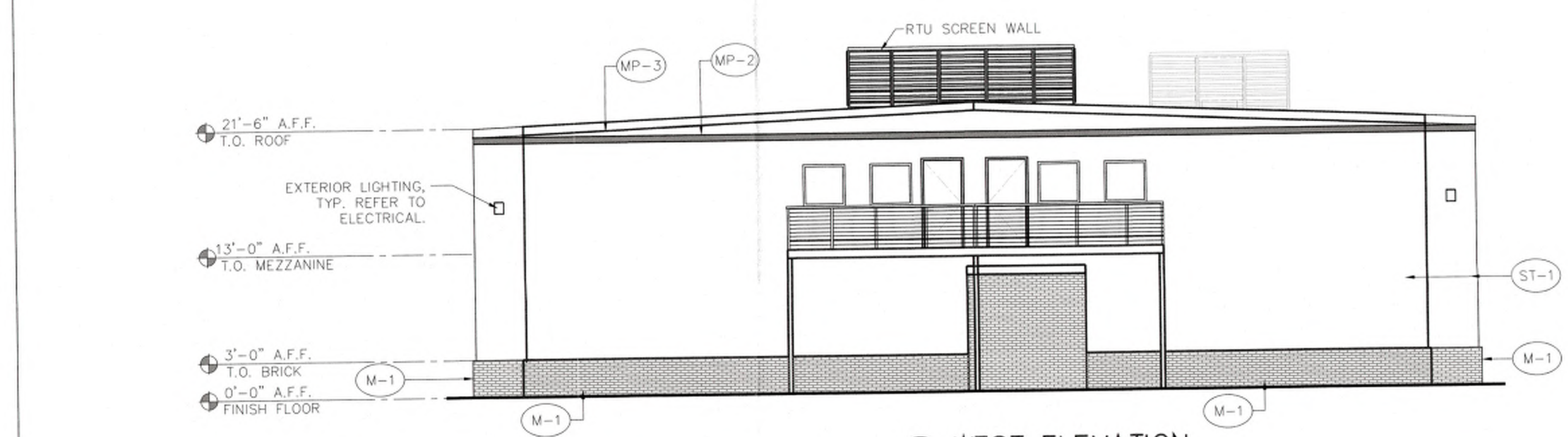
| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 338 SQ. FT. (11.2%) |
| STUCCO | 2,255 SQ. FT. (74.8%) |
| MISC. (METAL COPING) | 155 SQ. FT. (5.1%) |
| FACADE TOTAL: | 3,015 SQ. FT. |



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

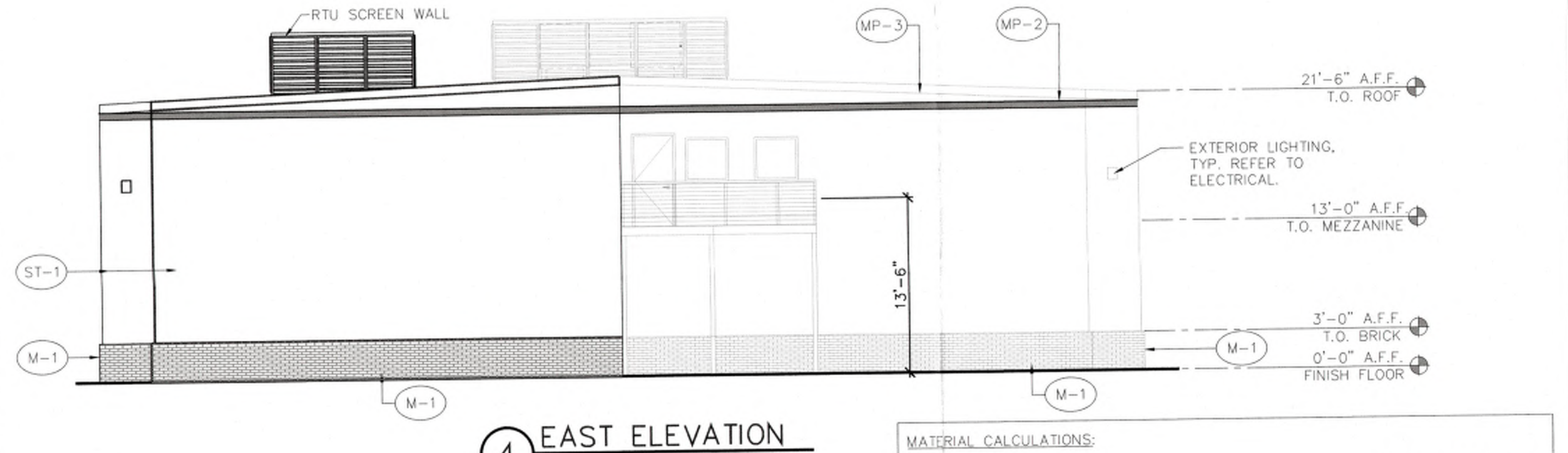
| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 200 SQ. FT. (8.0%) |
| STUCCO | 2,041 SQ. FT. (81.2%) |
| MISC. (METAL COPING) | 155 SQ. FT. (6.2%) |
| FACADE TOTAL: | 2,511 SQ. FT. |



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 296 SQ. FT. (16.5%) |
| STUCCO | 1,184 SQ. FT. (66.3%) |
| MISC. (METAL COPING) | 60 SQ. FT. (3.4%) |
| FACADE TOTAL: | 1,787 SQ. FT. |



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 239 SQ. FT. (14.0%) |
| STUCCO | 1,340 SQ. FT. (77.1%) |
| MISC. (METAL COPING) | 283 SQ. FT. (16.2%) |
| FACADE TOTAL: | 1,741 SQ. FT. |

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| M-1 | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| M-2 | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| PT-5 | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| MP-1 | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY |
| MP-2 | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| MP-3 | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| ST-1 | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| AL-1 | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

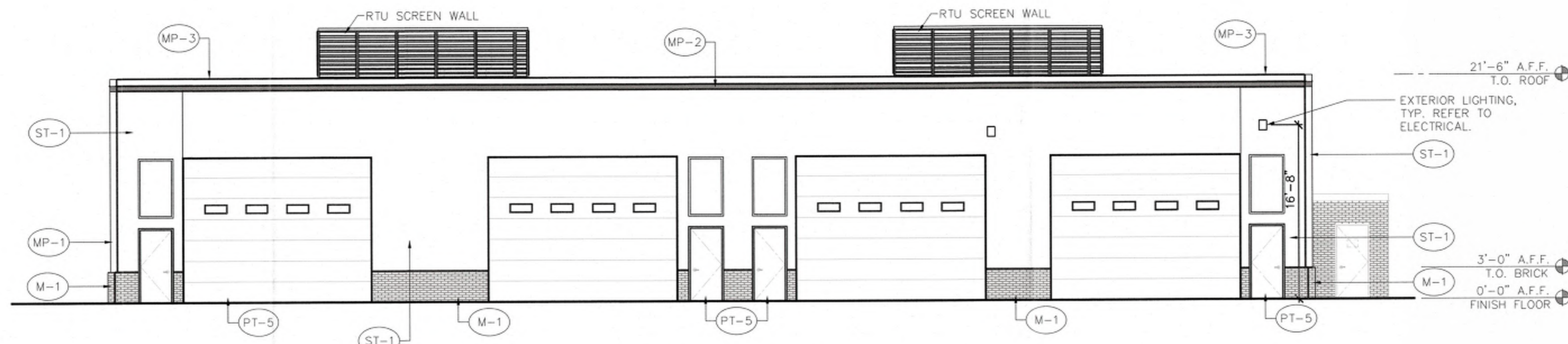
NOTE: ALL MISC. METALS - PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

| DETAIL DESCRIPTION |
|--|
| HVAC - SCREENING |
| MANUFACTURER: CITYSCAPES STYLE: LOUVER (HORIZONTAL) TRIM: LINEAL BAD COLOR: SHADOW GRAY |

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 27th day of September, 2022.

[Signature]
Director of Planning & Zoning
Chairman

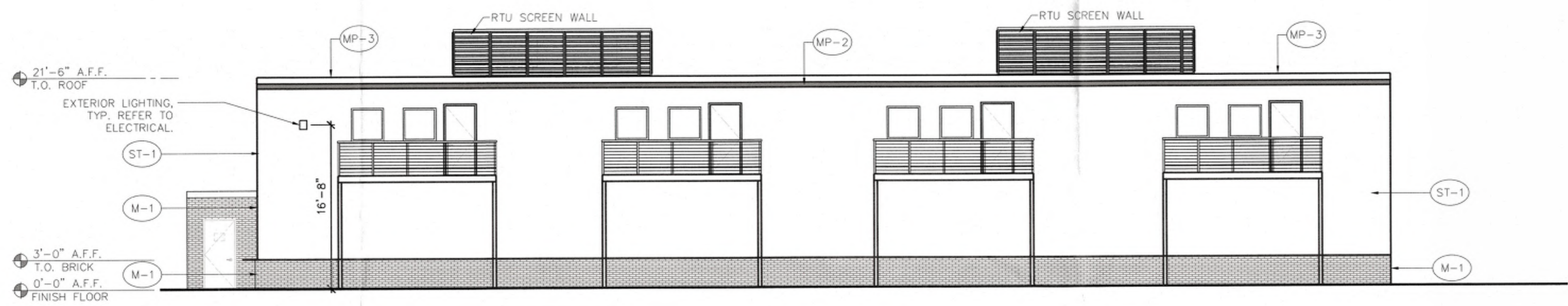
NOTE: ALL LISTED HEIGHTS ARE ESTABLISHED FROM FINISH FLOOR 0'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

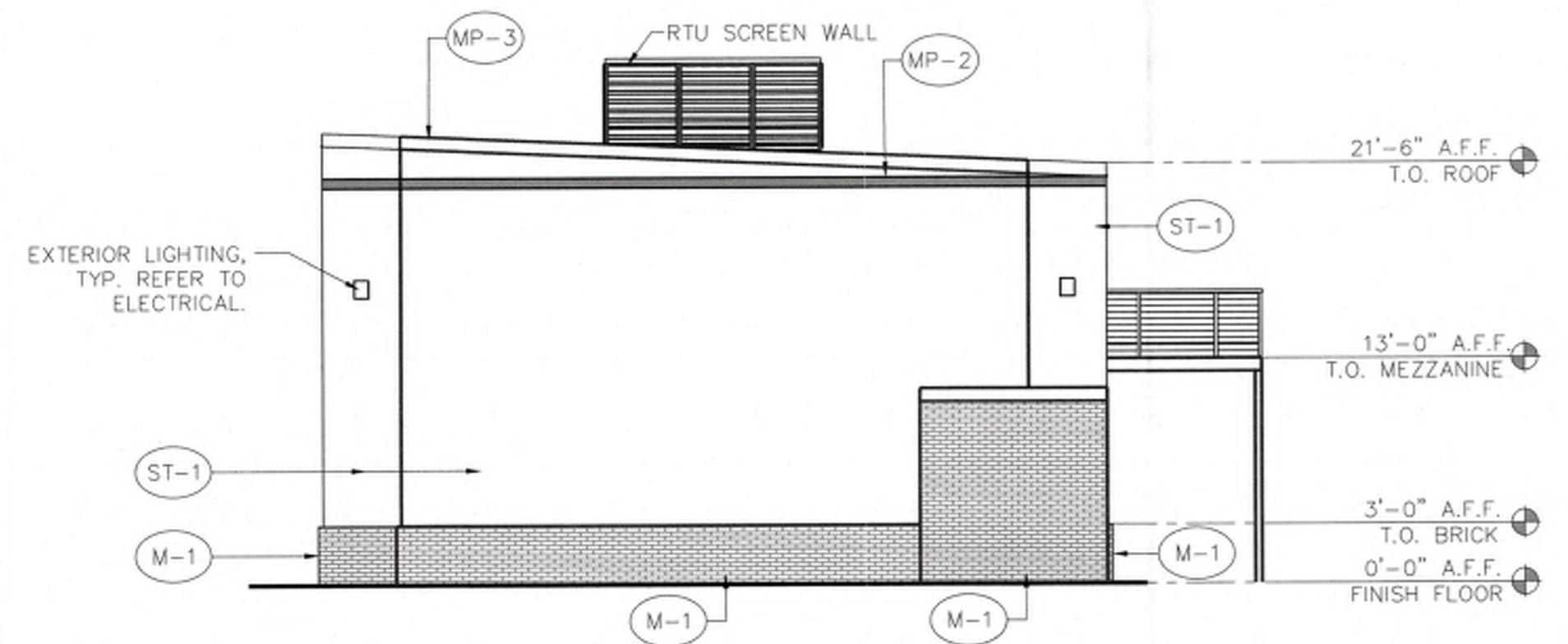
| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 129 SQ. FT. (5.1%) |
| STUCCO | 1,068 SQ. FT. (42.0%) |
| MISC. (METAL COPING) | 83 SQ. FT. (3.3%) |
| FACADE TOTAL: | 2,546 SQ. FT. |



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

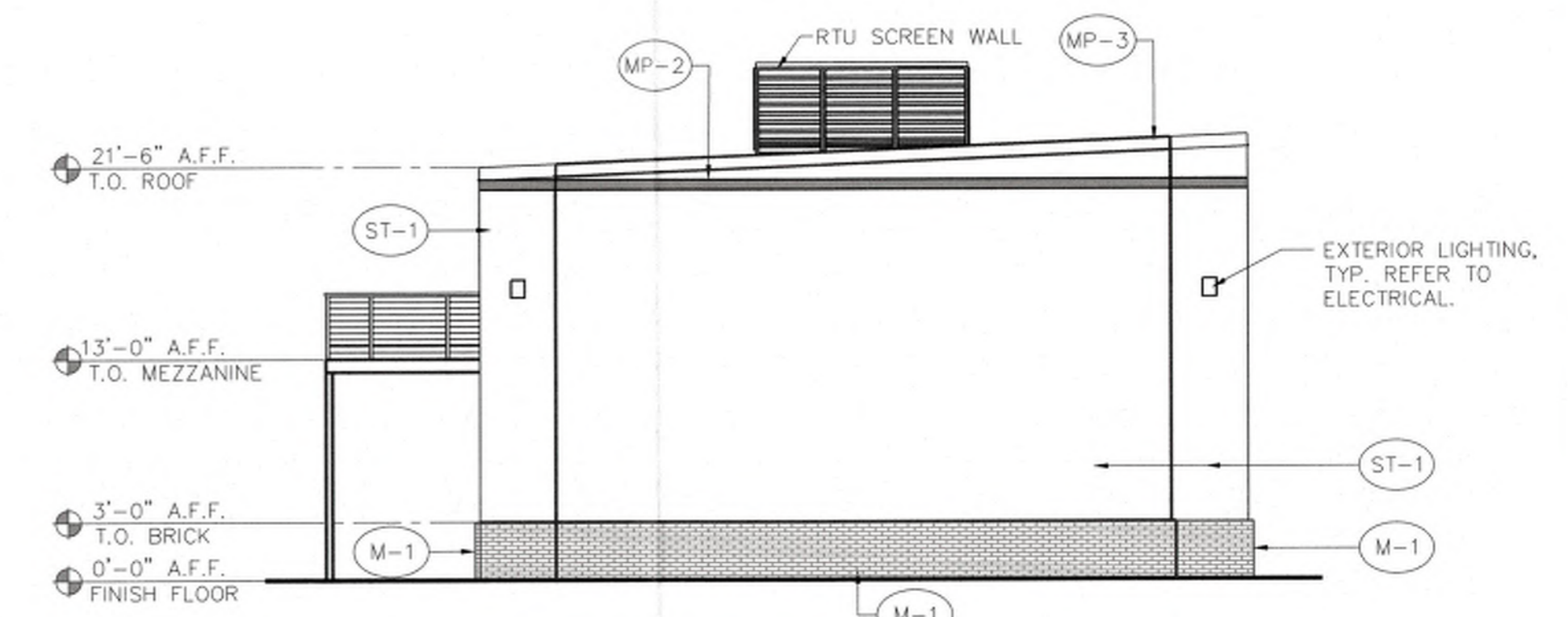
| | |
|---------------------------|-----------------------|
| BRICK VENEER (BLACK ICE): | 380 SQ. FT. (15.0%) |
| STUCCO | 1,584 SQ. FT. (68.8%) |
| MISC. (METAL COPING) | 83 SQ. FT. (3.5%) |
| FACADE TOTAL: | 2,337 SQ. FT. |



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

| | |
|---------------------------|---------------------|
| BRICK VENEER (BLACK ICE): | 182 SQ. FT. (2.0%) |
| STUCCO | 657 SQ. FT. (73.5%) |
| MISC. (METAL COPING) | 33 SQ. FT. (3.7%) |
| FACADE TOTAL: | 894 SQ. FT. |



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS:

| | |
|---------------------------|---------------------|
| BRICK VENEER (BLACK ICE): | 122 SQ. FT. (13.7%) |
| STUCCO | 724 SQ. FT. (81.0%) |
| MISC. (METAL COPING) | 27 SQ. FT. (3.0%) |
| FACADE TOTAL: | 894 SQ. FT. |

| NUMBER | TYPE | DETAIL DESCRIPTION |
|--------|-----------------------------|---|
| (M-1) | BRICK VENEER | MANUFACTURER: INTERSTATE BRICK COLOR: BLACK ICE MORTAR: BLACK |
| (M-2) | STONE VENEER | 4" NATURAL STONE VENEER COLOR: AUSTIN STONE |
| (PT-5) | PAINT | MANUFACTURER: SHERWIN WILLIAMS COLOR: GAUNTLET GRAY (SW7019) |
| (MP-1) | PRE-FINISHED METAL PANEL | MANUFACTURER: ALLIANCE STEEL STYLE: AW-16 COLOR: ASH GRAY |
| (MP-2) | PRE-FINISHED METAL FLASHING | MANUFACTURER: ALLIANCE STEEL COLOR: CRIMSON RED |
| (MP-3) | PRE-FINISHED METAL COPING | MANUFACTURER: ALLIANCE STEEL COLOR: CHARCOAL GRAY |
| (ST-1) | 3-COAT STUCCO | COLOR: DORIAN GRAY (SW7017) |
| (AL-1) | ALUMINUM STOREFRONT | MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED |

| DETAIL DESCRIPTION |
|--|
| MANUFACTURER: CITYSCAPES STYLE: LOUVER (HORIZONTAL) TRIM: LINEAL BAD COLOR: SHADOW GRAY |

NOTE: ALL MISC. METALS, PARAPET CAP, GUTTERS, DOWNSPOUTS, ETC. TO BE FINISHED ALLIANCE STEEL, COLOR: CHARCOAL GRAY

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission on the 27 day of September, 2011.

NOT EST.
[Signature]
Director of Planning & Zoning
Chairman

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APPROVAL,
PERMITTING OR
CONSTRUCTION



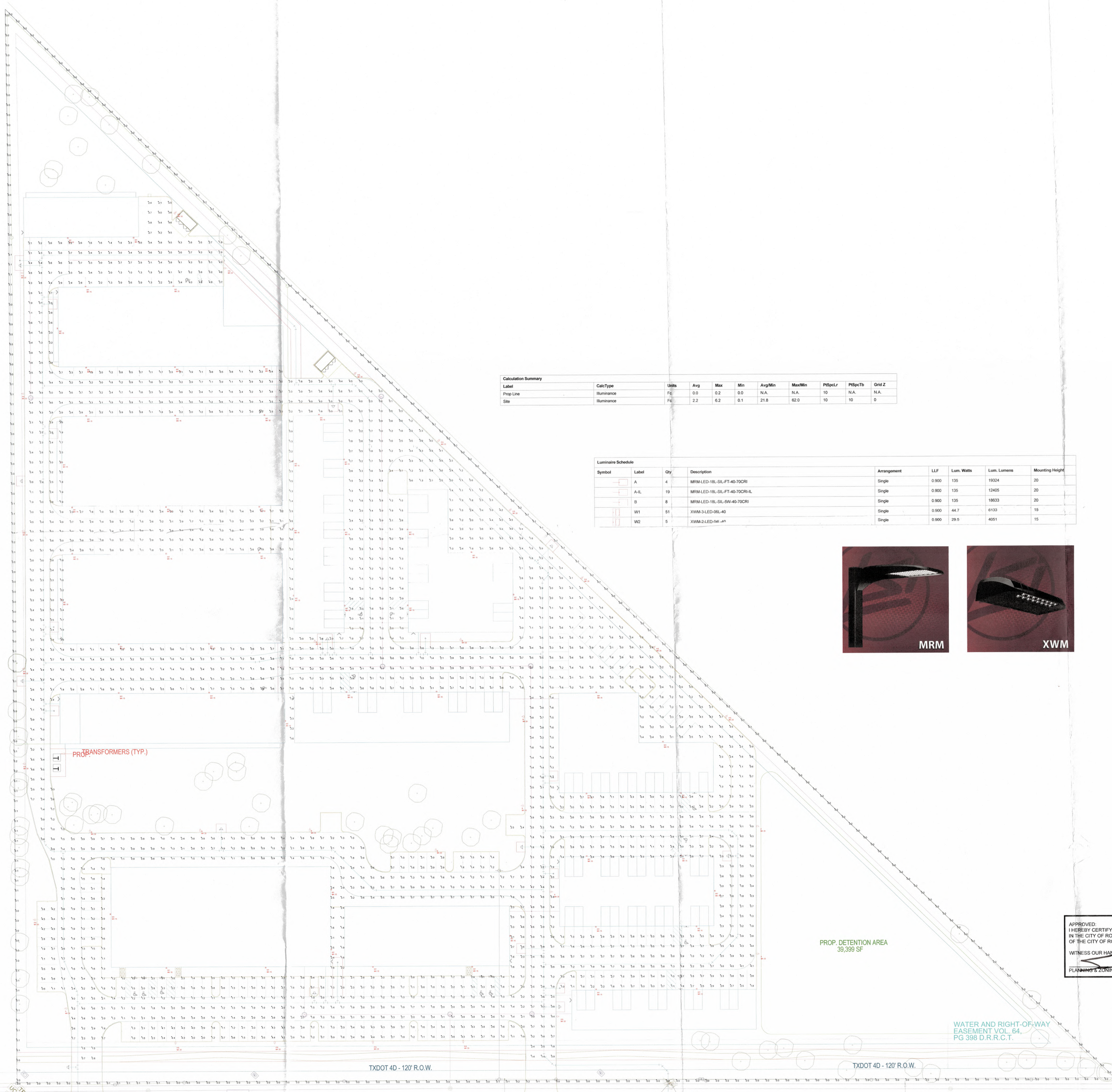
GARAGES OF TEXAS
ADDRESS TBD
13.55 ACRES
5879, 5917 & 5981 FM 3097
ROCKWALL, TEXAS 75085
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019



OWNER:
GARAGES OF TEXAS @ TARPLEY LLC
2223 TARPLEY, SUITE 100
ROCKWALL, TX 75085
Phone: (972) 441-9820
Contact: FRED GANS

File Name: 22161-A2.1
Project No: 22161
Date: 06/16/22
Drawn By: DBL
Checked By: JWF

SHEET
A2.1
EXTERIOR ELEVATION
BUILDING 5



Calculation Summary

| Label | CalcType | Units | Avg | Max | Min | AvgMin | MaxMin | P5pCr | P5pCb | Grid Z |
|-----------|-------------|-------|-----|-----|-----|--------|--------|-------|-------|--------|
| Prop Line | Illuminance | Fc | 0.0 | 0.2 | 0.0 | N.A. | N.A. | 10 | N.A. | N.A. |
| Site | Illuminance | Fc | 2.2 | 6.2 | 0.1 | 21.8 | 62.0 | 10 | 10 | 0 |

Luminaire Schedule

| Symbol | Label | Qty | Description | Arrangement | LLF | Lum. Watts | Lum. Lumens | Mounting Height |
|--------|-------|-----|----------------------------|-------------|-------|------------|-------------|-----------------|
| | A | 4 | MRM LED 18L-SL-FT-40-TCR | Single | 0.900 | 135 | 19324 | 20 |
| | A-R | 19 | MRM LED 18L-SL-FT-40-TCR-R | Single | 0.900 | 135 | 12405 | 20 |
| | B | 8 | MRM LED 18L-SL-4W-40-TCR | Single | 0.900 | 135 | 18533 | 20 |
| | W1 | 51 | XWM 3 LED 96L-40 | Single | 0.900 | 44.7 | 6133 | 15 |
| | W2 | 5 | XWM 2 LED 60L-40 | Single | 0.900 | 29.5 | 4051 | 15 |



PROP. DETENTION AREA
39,399 SF

WATER AND RIGHT-OF-WAY
EASEMENT VOL. 64,
PG. 398 D.R.R.C.T.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT
IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION
OF THE CITY OF ROCKWALL ON THE 27 DAY OF September 2022
WITNESS OUR HANDS, THIS 27 DAY OF September 2022
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

DISCLAIMER: --- CALCULATED VALUES:
Calculations have been performed according to IESNA & CIE standards and good practice. Some differences between measured values and calculated results may occur due to changes in the provided information and tolerances in the calculation methods, testing procedures, component performance, measuring techniques and field conditions such as voltage and temperature variations. The attached calculations such as room dimensions, reflectance, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data furnished provided, such as differences in luminaire location, area, geometry, reflectance, or lighting from other sources than listed in layouts, differences will occur between measured values and calculated values.

Revisions

| Rev # | Date | Comments: |
|-------|----------|--|
| REV A | 06/16/22 | LED Lighting proposal |
| REV B | 06/20/22 | Changed per request |
| REV C | 07/11/22 | Changed background and fixture locations |
| REV D | 07/13/22 | Changed background and fixture locations |



**Garages of Texas
Rockwell, TX**