

Sep. 16, 2022 - 2:43pm  
 C:\Users\Cherilyn\AppData\Local\Temp\Acf7dab8...18320\ROCKWALL\_HS\_NINTH\_GRADE\_CENTER-ENG.dwg  
 User: Cheryl  
 C:\Users\Cherilyn\AppData\Local\Temp\Acf7dab8...18320\ROCKWALL\_HS\_NINTH\_GRADE\_CENTER-ENG.dwg

# NINTH GRADE CENTERS NORTH SITE

for  
Rockwall Independent School District  
2852 FM 1141 Rockwall, TX 75087

## OVERALL SITE PLAN

LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
(972) 771-0605  
CONTACT: JAMES WATSON

SURVEYOR:  
BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
(817) 484-8888  
CONTACT: ROBERT HANSEN

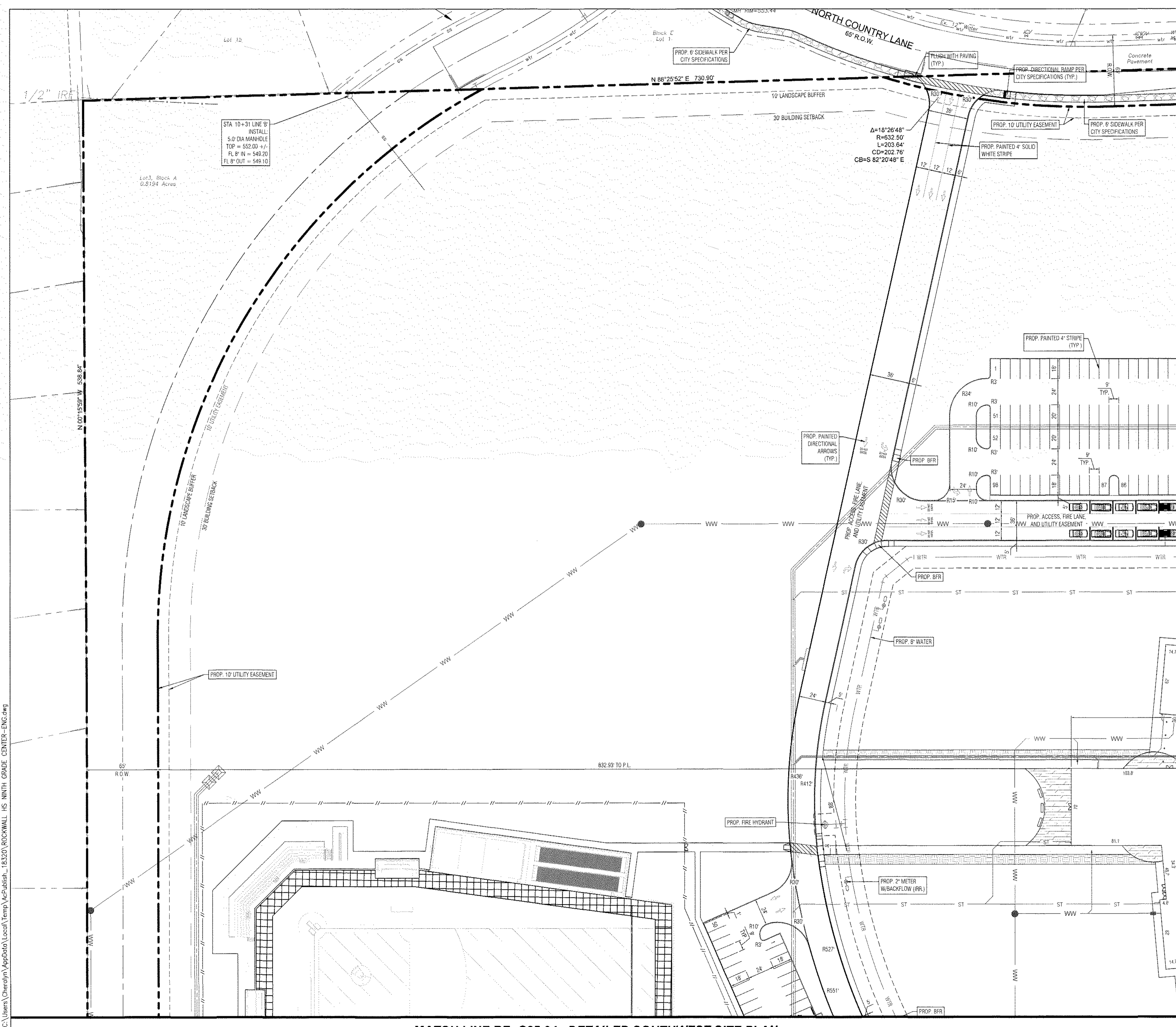
ENGINEER:  
GLENN ENGINEERING CORP.  
4503 FULLEBURN  
IRVING, TEXAS 75038  
(972) 717-5191  
CONTACT: CHERALYN M. ARNUJO

CITY OF ROCKWALL CASE NO. SP2022-017

JOB 21572.0000  
DATE 9/19/22  
SHEET

# C05.00

Sep 15, 2022 - 2:43pm User: Cheryl  
 C:\Users\Cheryl\AppData\Local\Temp\AcP\dbs\18320 ROCKWALL HS NINTH GRADE CENTER-ENG.dwg



MATCH LINE RE: C05.04 - DETAILED SOUTHWEST SITE PLAN

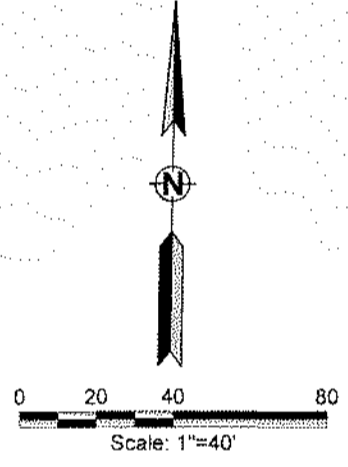
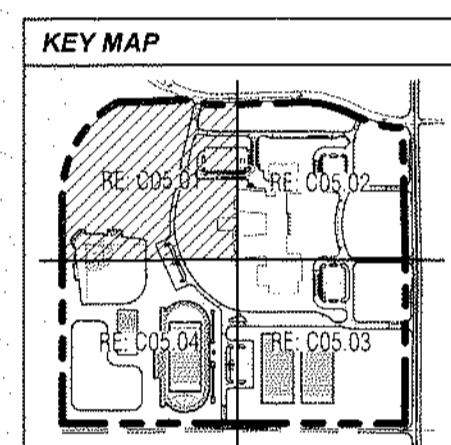
MATCH LINE RE: C05.02 - DETAILED NORTHEAST SITE PLAN

**SITE LEGEND (PROPOSED)**

[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	ORNAMENTAL FENCE
[Symbol]	FIRE LINE
[Symbol]	PAINTED TRAFFIC DIRECTIONAL ARROW
[Symbol]	PLANTING AREAS RE LANDSCAPE
[Symbol]	PROPERTY LINE
[Symbol]	WASTEWATER
[Symbol]	10 MANDATORY SCREENING WALL
[Symbol]	SIDEWALK (PRIVATE)
[Symbol]	SIDEWALK (PUBLIC)
[Symbol]	WTR
[Symbol]	WATER

**SITE LEGEND (EXISTING)**

[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	FENCE
[Symbol]	PROPERTY LINE
[Symbol]	WASTEWATER
[Symbol]	STORM SEWER
[Symbol]	WTR
[Symbol]	WATER



ALL RETAINING WALL FACES TO BE CLAD IN STONE.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 21<sup>st</sup> day of September, 2022.  
 WITNESSES OUR HANDS: this 21<sup>st</sup> day of September, 2022.  
 [Signature] Planning and Zoning Commission, City of Rockwall, Texas

**ROCKWALL - NINTH GRADE CENTER LOT 1, BLOCK A**  
 OUT OF THE JOHN M. GASS SURVEY, ABSTRACT NO. 88 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD 801 E WASHINGTON ST ROCKWALL, TEXAS 75087 (972) 771-6665 CONTACT: JAMES WATSON	SURVEYOR: BOWMAN 1200 W MAGNOLIA BLVD SUITE 300 FORT WORTH, TEXAS 76104 (214) 494-5588 CONTACT: ROBERT HANSEN	ENGINEER: GLENN ENGINEERING CORP 4000 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMSTRONG
---	---	---

CITY OF ROCKWALL CASE NO. SP2022-017  
 CITY OF ROCKWALL CASE NO. SP2022-017

**CORGAN**  
 CORGAN  
 Dallas, TX 75202  
 T. 214.748.2000

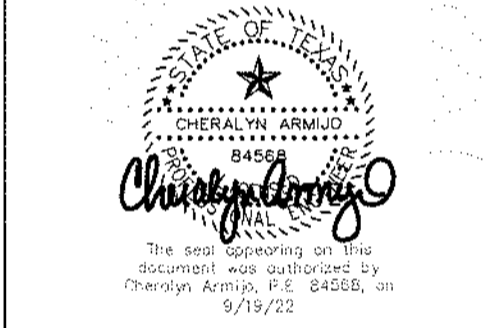
**ISSUES**

1	08/26/22	ISSUE FOR CONSTRUCTION
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**REVISIONS**

1	9/9/2022	ADDENDUM 1
2	9/19/2022	ADDENDUM 2

**GLENN ENGINEERING**  
 TEXAS REGISTRATION # P-300 HUB # 17022019000  
 PHONE #972.717.5151 FAX #972.717.5176  
 4900 FULLER DRIVE, SUITE 200 IRVING, TEXAS 75038



**NINTH GRADE CENTERS NORTH SITE**  
 for  
 Rockwall Independent School District  
 2852 FM 1141 Rockwall, TX 75087

**DETAILED NORTHWEST SITE PLAN**

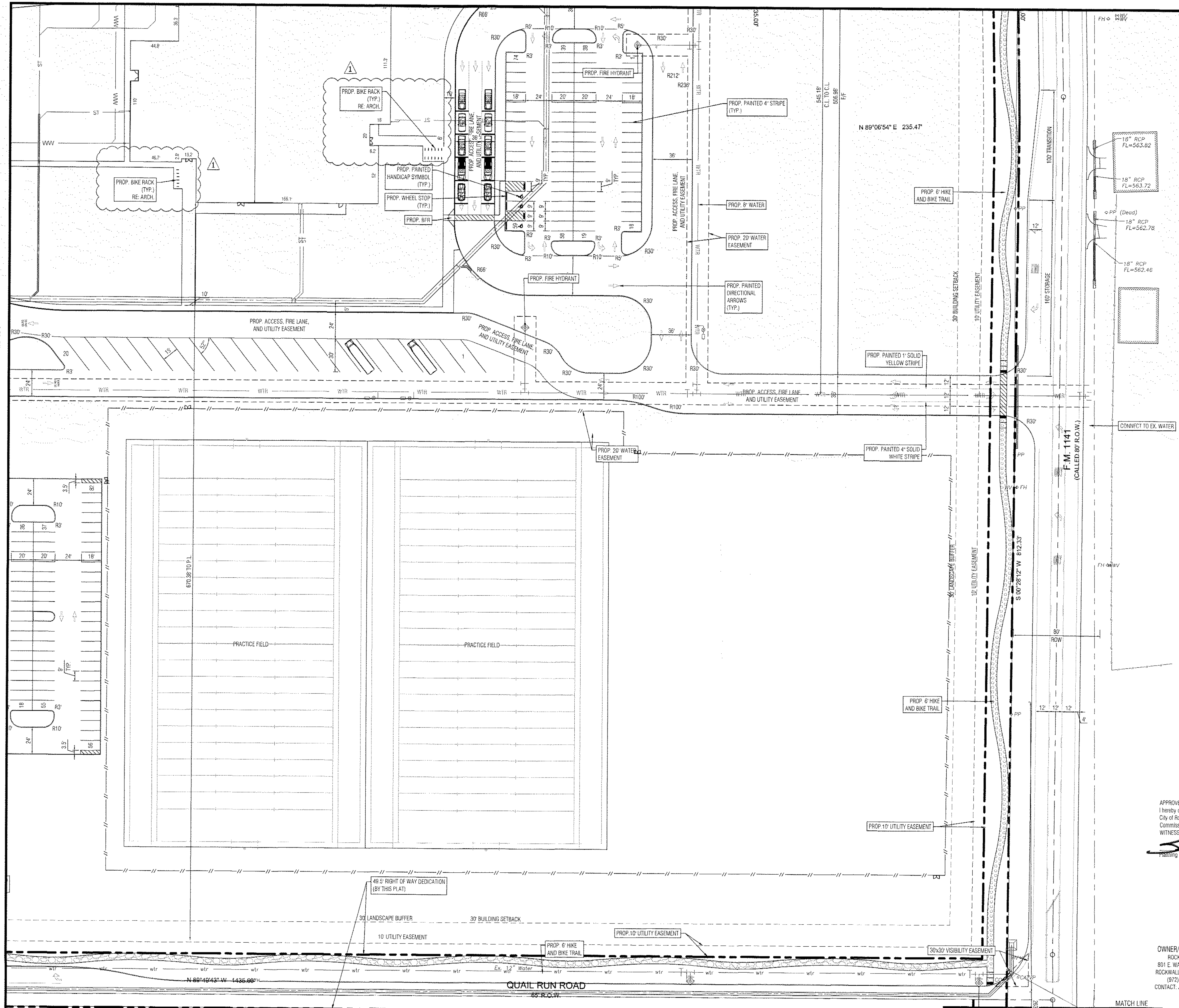
JOB 21572.0000  
 DATE 9/19/22  
 SHEET **C05.01**



Sep 16, 2022 2:44pm User: Charolyn  
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MATCH LINE RE: C05.04 - DETAILED SOUTHWEST SITE PLAN

MATCH LINE RE: C05.02 - DETAILED NORTHEAST SITE PLAN

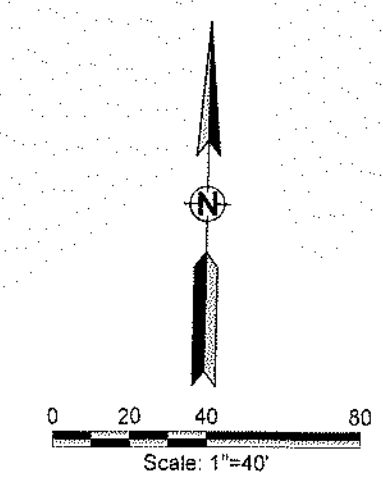
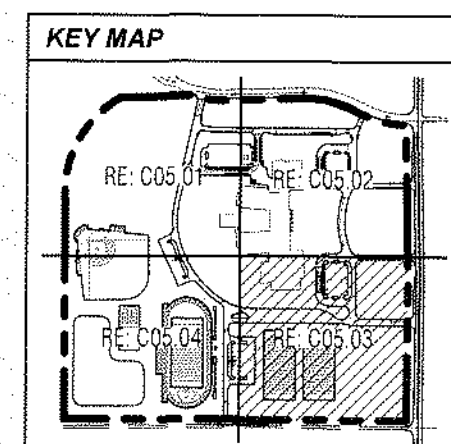


**SITE LEGEND (PROPOSED)**

CONCRETE CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
ORNAMENTAL FENCE
FIRE LANE
PAINTED TRAFFIC DIRECTIONAL ARROW
PLANTING AREAS
RE: LANDSCAPE
PROPERTY LINE
WASTEWATER
10 MASONRY SCREENING WALL
SEWER (PRIVATE)
SEWER (PUBLIC)
WATER

**SITE LEGEND (EXISTING)**

CONCRETE CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
FENCE
PROPERTY LINE
WASTEWATER
STORM SEWER
WATER



ALL RETAINING WALL FACES TO BE CLAD IN STONE.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 21st day of September, 2022. WITNESS OUR HANDS, this 21st day of September, 2022.

*[Signature]*  
 Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
 LOT 1, BLOCK A  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL, LLC  
 801 E. WASHINGTON ST.  
 ROCKWALL, TEXAS 75087  
 (972) 771-0925  
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN  
 1200 W. MANOLLA BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 491-8588  
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
 4500 FULLER DR.  
 IRVING, TEXAS 75038  
 (972) 717-5151  
 CONTACT: CHERYL M. ARMSTRONG

CITY OF ROCKWALL CASE NO. SP2022-017

**CORGAN**

CORGAN  
 Dallas, TX 75202  
 T. 214.748.2000

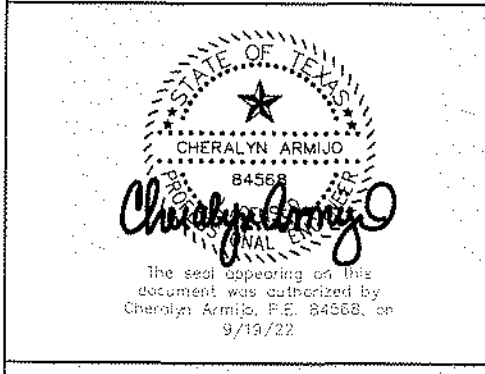
**ISSUES**

1	08/25/22	ISSUE FOR CONSTRUCTION

**REVISIONS**

1	9/8/2022	ADDENDUM 1

**GLENN ENGINEERING**  
 TEXAS REGISTRATION # P-307  
 PHONE (972) 717-5151 FAX (972) 717-5176  
 4500 FULLER DRIVE, SUITE 200 IRVING, TEXAS 75038

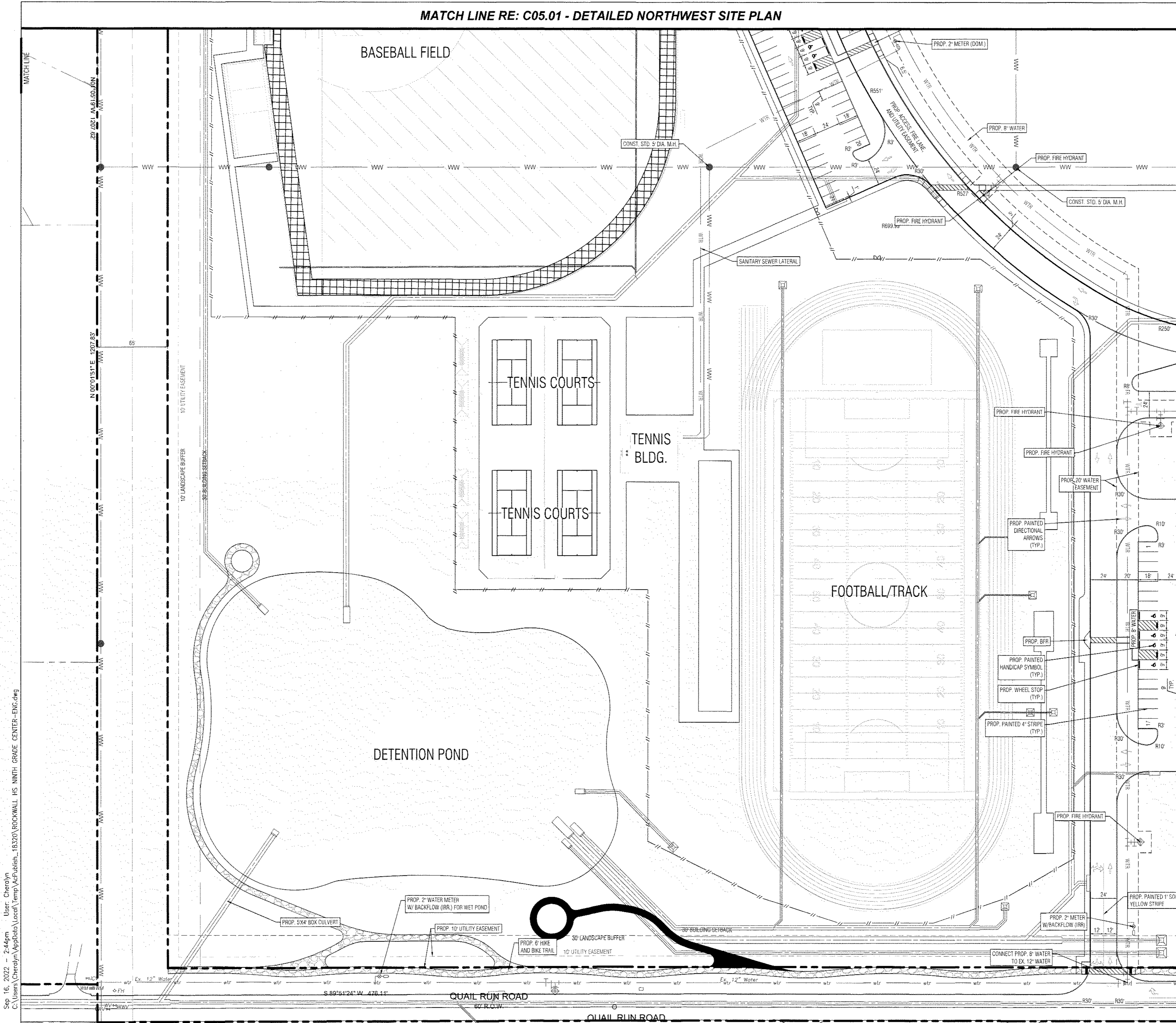


**NINTH GRADE CENTERS**  
 NORTH SITE  
 for  
 Rockwall Independent School District  
 2852 FM 1141 Rockwall, TX 75087

DETAILED  
 SOUTHWEST SITE  
 PLAN

JOB 21572.0000  
 DATE 9/19/22  
 SHEET

**C05.03**



MATCH LINE RE: C05.01 - DETAILED NORTHWEST SITE PLAN

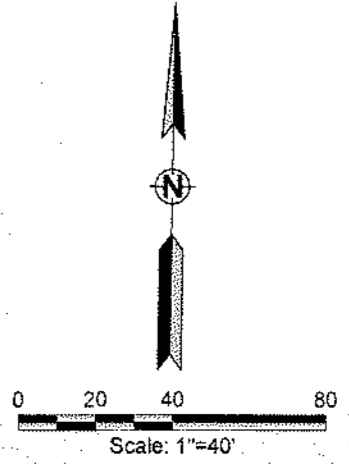
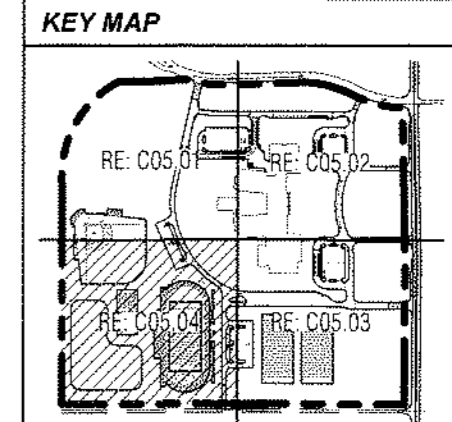
MATCH LINE RE: C05.03 - DETAILED SOUTHEAST SITE PLAN

**SITE LEGEND (PROPOSED)**

---	CONCRETE CURB
---	EDGE OF ASPHALT
---	EDGE OF CONCRETE
---	ORNAMENTAL FENCE
---	FIRE LINE
---	PAINTED TRAFFIC DIRECTIONAL ARROW
---	PLANTING AREAS
---	RE LANDSCAPE
---	PROPERTY LINE
---	BACKFLOWER
---	10 MAINTENANCE SCREENING WALL
---	SEWER (PRIVATE)
---	SEWER (PUBLIC)
---	WTR
---	WATER

**SITE LEGEND (EXISTING)**

---	CONCRETE CURB
---	EDGE OF ASPHALT
---	EDGE OF CONCRETE
---	FENCE
---	PROPERTY LINE
---	WASTEWATER
---	STORM SEWER
---	WTR
---	WATER



ALL RETAINING WALL FACES TO BE CLAD IN STONE.

**CORGAN**

CORGAN  
Dallas, TX 75202  
T: 214.746.2000

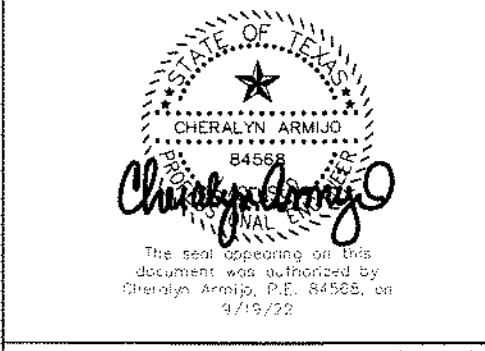
**ISSUES**

1	08/26/22	ISSUE FOR CONSTRUCTION
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**REVISIONS**

△	9/8/2022	ADDENDUM 1
△	9/19/2022	ADDENDUM 2

**GLENN ENGINEERING**  
TEXAS REGISTRATION # F-302  
PHONE (972) 717-5151  
4000 FULLER DRIVE, SUITE 200  
IRVING, TEXAS 75038



**NINTH GRADE CENTERS**  
**NORTH SITE**  
for  
Rockwall Independent School District  
2852 FM 1141 Rockwall, TX 75087

**DETAILED SOUTHWEST SITE PLAN**

**JOB** 21572.0000  
**DATE** 9/19/22  
**SHEET**

**C05.04**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 21st day of September, 2022.

*John M. Gass* (Signature)  
John M. Gass, Chairman  
*Cheralyn M. Arnuo* (Signature)  
Cheralyn M. Arnuo, City Engineer

ROCKWALL - NINTH GRADE CENTER  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

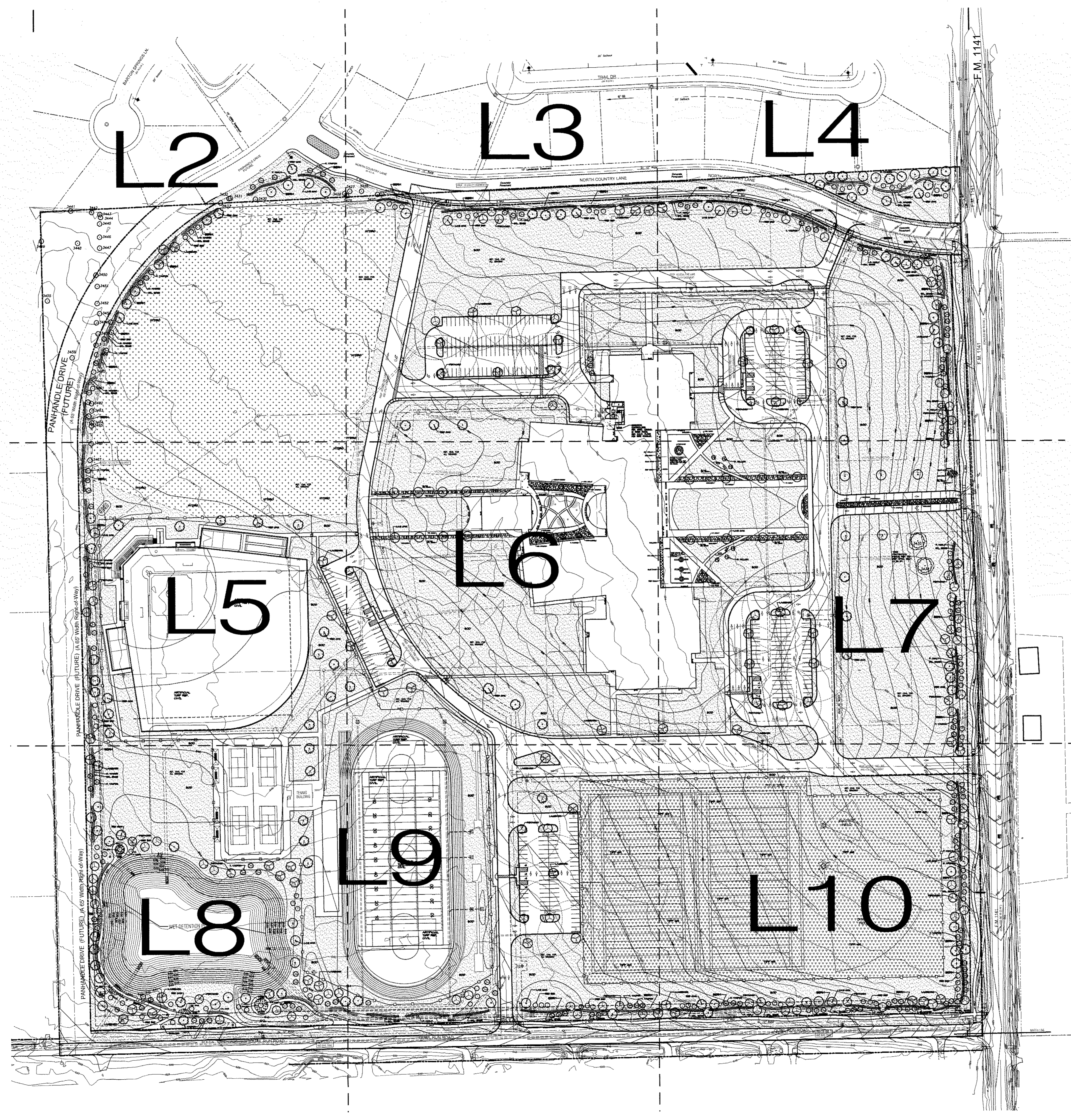
OWNER/DEVELOPER:  
ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
CONTACT: JAMES WATSON

SURVEYOR:  
BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
CONTACT: ROBERT HANSEN

ENGINEER:  
GLENN ENGINEERING CORP.  
4000 FULLER DR.  
IRVING, TEXAS 75038  
CONTACT: CHERALYN M. ARNUO

CITY OF ROCKWALL CASE NO. SP2022-017

User: Cheralyn  
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 Sep 16, 2022 - 2:44pm



**CORGAN**  
 401 N. Houston St  
 Dallas, TX 75202  
 T. 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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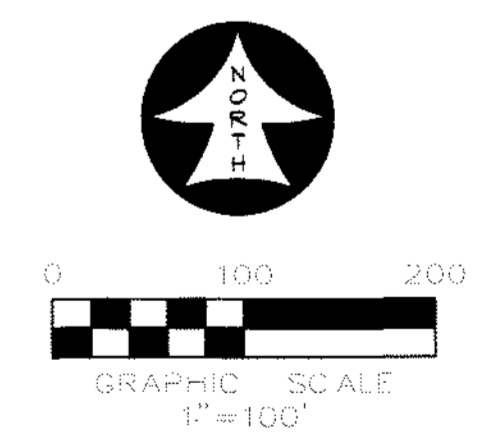
  

REVISIONS	
2	09/19/22 ADDENDUM C2



**RAMSEY LANDSCAPE ARCHITECTS, LLC**  
 11914 WISHING WELL CT.  
 FRISCO, TEXAS 75035  
 PHONE (972) 335-0889  
 FAX (469) 362-5433  
 EMAIL: MIKE.RLA@ATT.NET

SITE DATA SUMMARY	
EXISTING ZONING	AG
PROPOSED ZONING	PD FOR HS USES (22022-015)
USE	PUBLIC SCHOOL
LOT AREA	3,044.079 S.F. OR 69.88 AC.
BUILDING AREA (FLOOR AREA)	150,170 S.F.
PROPOSED FIRST FLOOR	41,019 S.F.
TOTAL BUILDING AREA	150,170 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	150,170 S.F.
LOT COVERAGE	150,170 S.F./3,044.079 S.F. = 4.93%
FLOOR AREA RATIO	0.05:1
TOTAL IMPERVIOUS AREA	731,645.38 S.F. OR 24.04 AC
BUILDING HEIGHT	13'-10" (2 STORIES)
TOTAL REQUIRED PARKING (1 PER 5 STUDENTS)	203 SPACES
PARKING PROVIDED	
PARKING SURFACE	202 SPACES
9.0x18.0	159 SPACES
9.0x20.0	20 SPACES
15.0x30.0	20 SPACES
TOTAL PARKING PROVIDED	202 SPACES



APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 13th day of July, 2022.  
 WITNESS OUR HANDS, this 24th day of September, 2022.

*[Signature]*  
 Planning & Zoning Commission, Chairman

*[Signature]*  
 Director of Planning and Zoning

**ROCKWALL - NINTH GRADE CENTER**  
**LOT 1, BLOCK A**  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

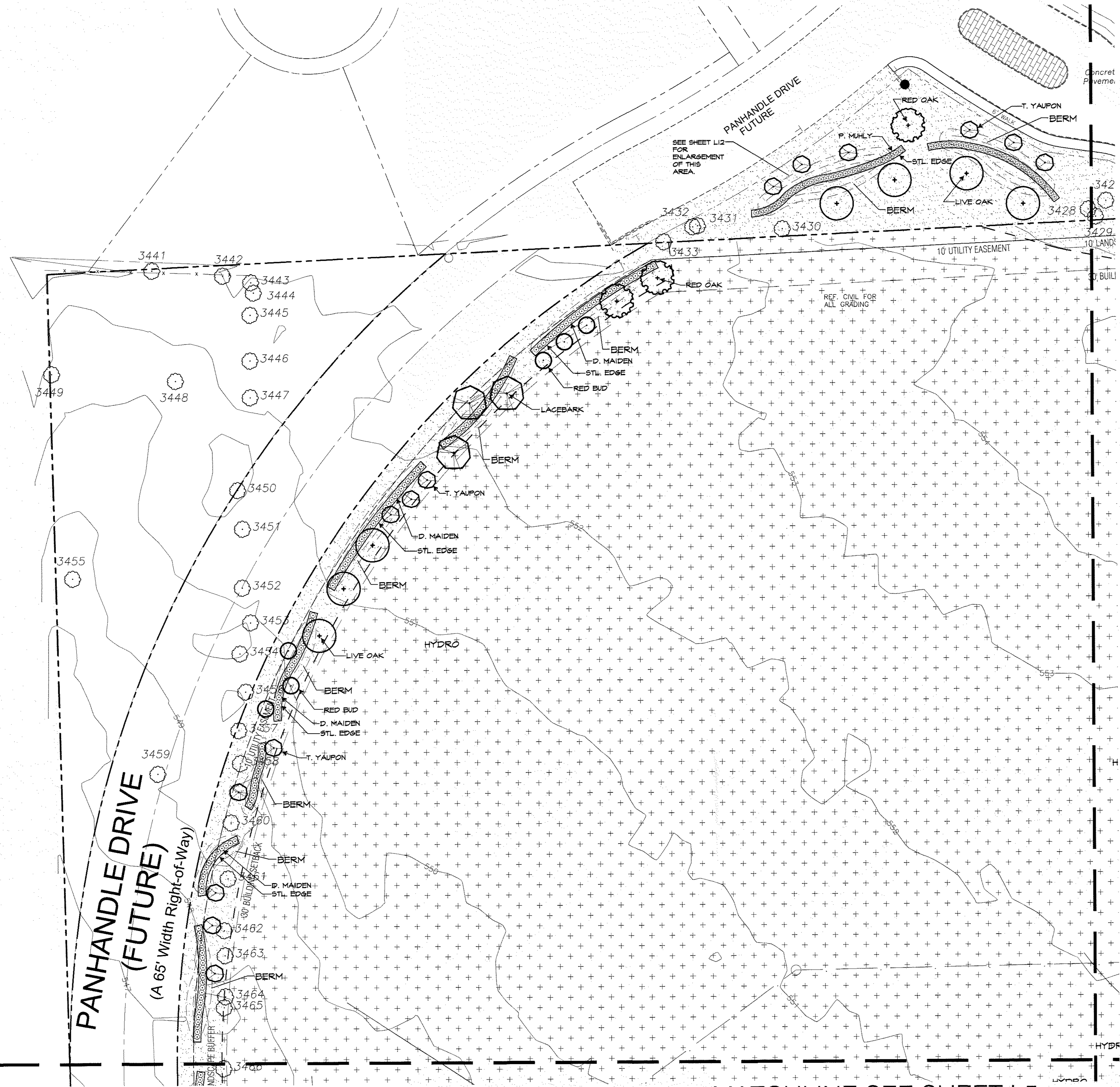
<b>OWNER/DEVELOPER:</b> ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-0605 CONTACT: JAMES WATSON	<b>SURVEYOR:</b> BOWMAN 1200 W. MAGNOLIA BLVD. SUITE 300 FORT WORTH, TEXAS 76104 (214) 484-8586 CONTACT: ROBERT HANSEN	<b>ENGINEER:</b> GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUJO
--	--	--

CITY OF ROCKWALL CASE NO. SP2022-017

**NINTH GRADE CENERS**  
 North Site  
 for  
 Rockwall Independent School district  
 2852 FM 1141 Rockwall, TX 75087

OVERALL  
 LANDSCAPE PLAN

**JOB** 21572.0000  
**DATE** 08/26/22  
**SHEET** L 1



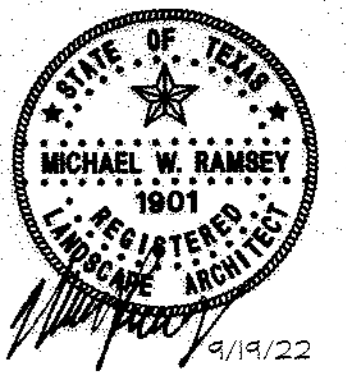
**CORGAN**

401 N. Houston St  
Dallas, TX 75202  
T: 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	



**RAMSEY LANDSCAPE ARCHITECTS, LLC**  
11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
FAX (469) 362-5433  
EMAIL: MIKE.RLA@ATT.NET

**NINTH GRADE CENERS**  
North Site  
for  
Rockwall Independent School district  
2852 FM 1141 Rockwall, TX 75087



APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of July, 2022. WITNESS OUR HANDS, this 20th day of September, 2022.

*John M. Gass*  
Planning & Zoning Commission, Chairman  
*James Watson*  
Director of Planning and Zoning

**ROCKWALL - NINTH GRADE CENTER**  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
(972) 771-0605  
CONTACT: JAMES WATSON

ENGINEER: GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUJO

SURVEYOR: BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
(214) 484-8586  
CONTACT: ROBERT HANSEN

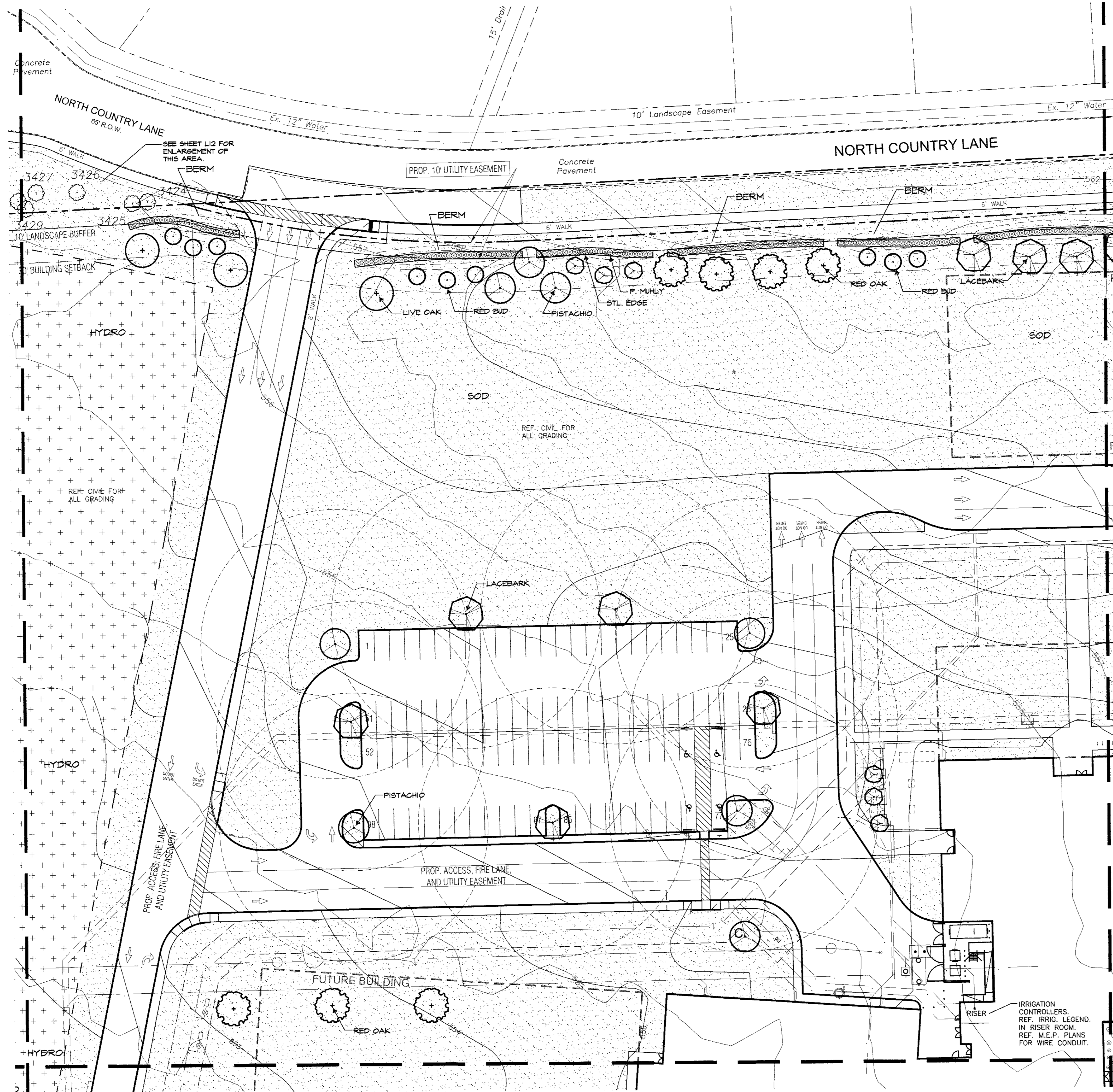
LANDSCAPE PLAN  
AREA A

JOB 21572.0000  
DATE 08/26/22  
SHEET

L 2

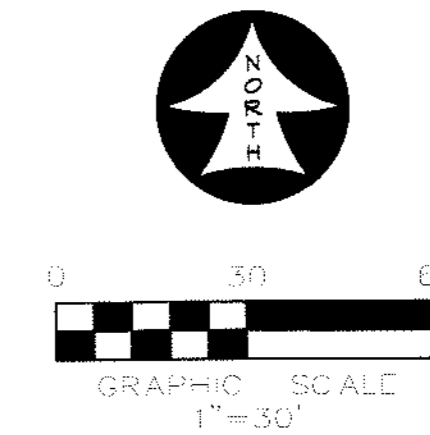
CITY OF ROCKWALL CASE NO. SP2022-017

MATCHLINE SEE SHEET L2



MATCHLINE SEE SHEET L6

MATCHLINE SEE SHEET L4



APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
 WITNESS OUR HANDS, this 29th day of September, 2022.

*[Signature]* Planning & Zoning Commission, Chairman  
*[Signature]* Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
 LOT 1, BLOCK A  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
 801 E. WASHINGTON ST.  
 ROCKWALL, TEXAS 75087  
 (972) 771-0605  
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN  
 1200 W. MAGNOLIA BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 484-8586  
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
 4500 FULLER DR.  
 IRVING, TEXAS 75038  
 (972) 717-5151  
 CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2022-017

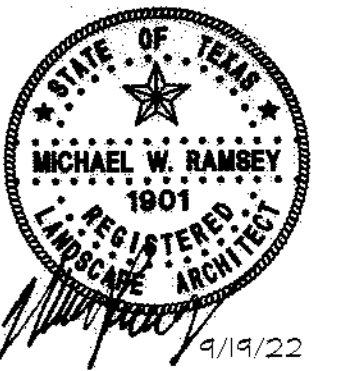
**CORGAN**

401 N. Houston St.  
 Dallas, TX 75202  
 T: 214-748-2000

ISSUES	
1	08/29/22 ISSUE FOR CONSTRUCTION
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REVISIONS	
2	08/18/22 ADDENDUM 02



RAMSEY LANDSCAPE ARCHITECTS, LLC  
 11914 WISHING WELL CT.  
 FRISCO, TEXAS 75035  
 PHONE (972) 335-0889  
 FAX (469) 362-5433  
 EMAIL: MIKE.RLA@ATT.NET

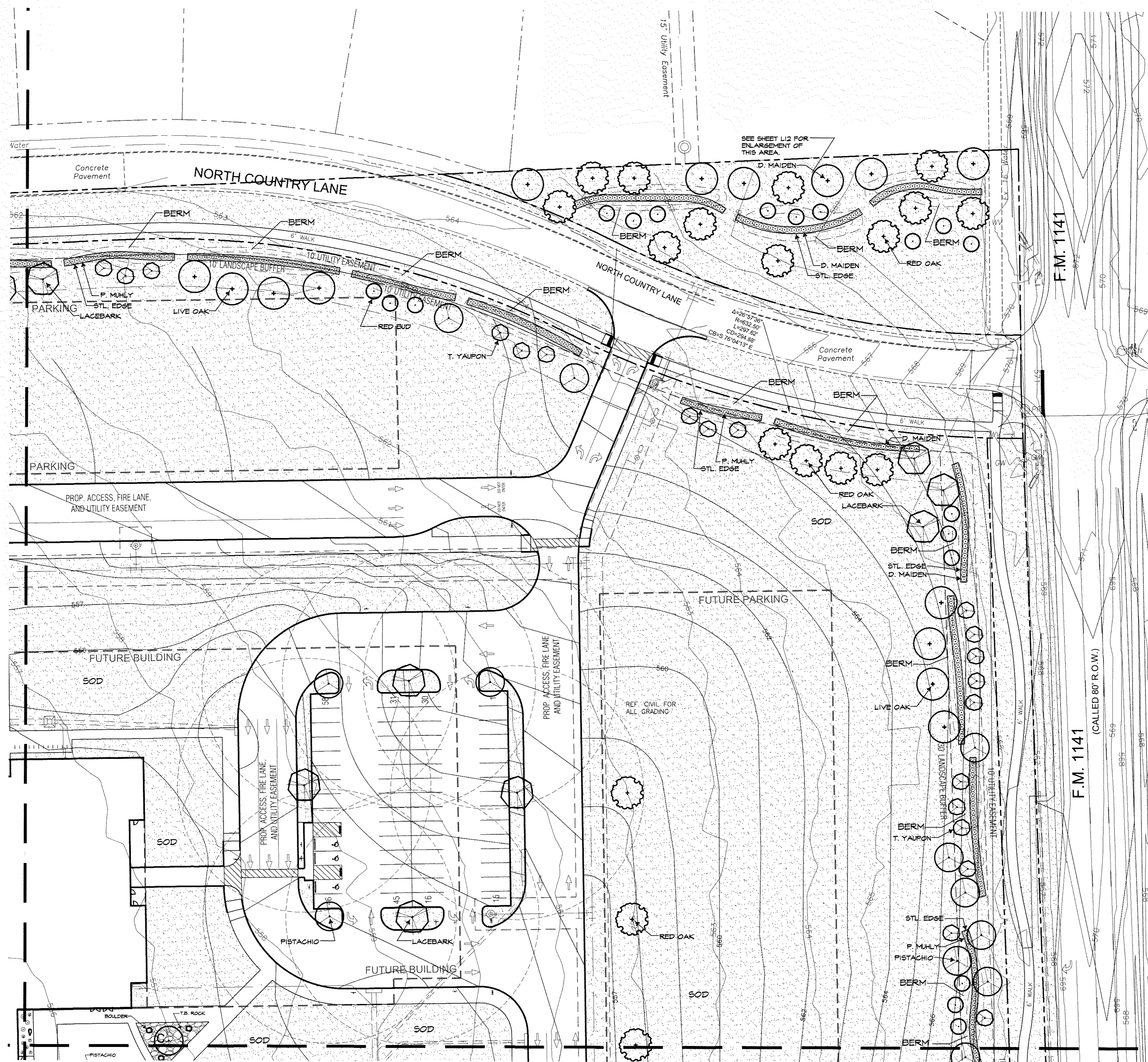
**NINTH GRADE CENERS**  
 North Site  
 for  
 Rockwall Independent School district  
 2852 FM 1141 Rockwall, TX 75087

LANDSCAPE PLAN AREA B

JOB 21572.0000  
 DATE 08/26/22  
 SHEET L 3



MATCHLINE SEE SHEET L3



MATCHLINE SEE SHEET L7

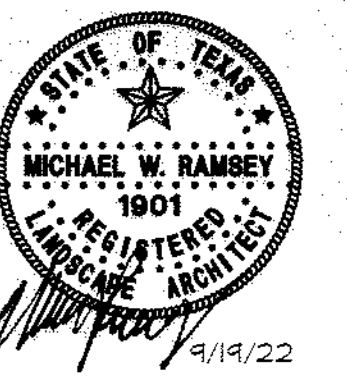
**CORGAN**

401 N. Houston St.  
Dallas, TX 75202  
T. 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	
2	09/19/22 APPENDUM 02



**RAMSEY LANDSCAPE ARCHITECTS, LLC**  
11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
FAX (469) 362-5433  
EMAIL: MIKE.RLA@ATT.NET

**NINTH GRADE CENERS**  
North Site  
for  
Rockwall Independent School district  
2852 FM 1141 Rockwall, TX 75087

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of July, 2022. WITNESS OUR HANDS, this 27th day of October, 2022.

*[Signature]* Planning & Zoning Commission, Chairman  
*[Signature]* Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
(972) 771-0605  
CONTACT: JAMES WATSON

SURVEYOR:  
BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
(214) 484-8586  
CONTACT: ROBERT HANSEN

ENGINEER:  
GLEN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUD

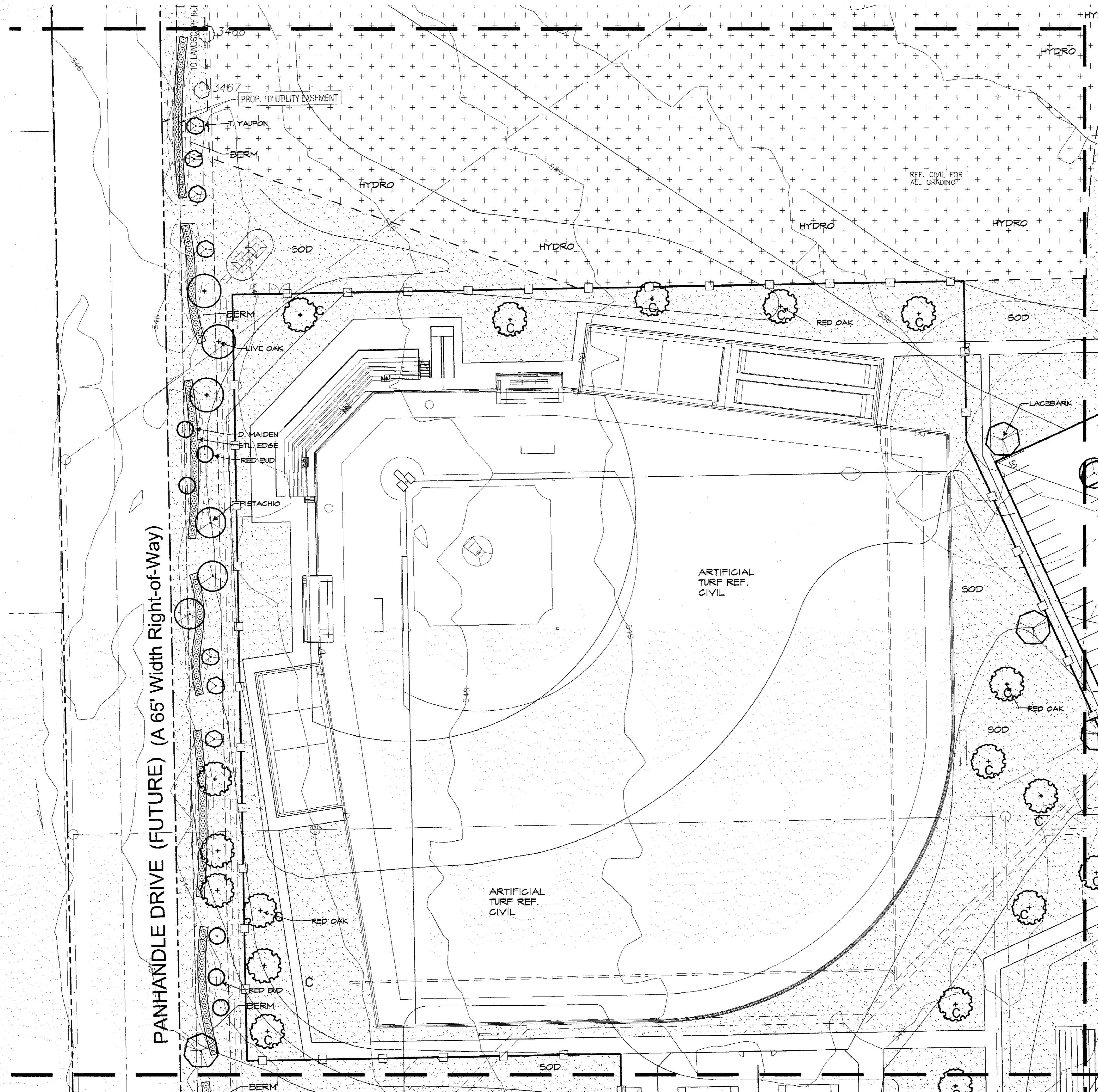
CITY OF ROCKWALL CASE NO. SP2022-017

LANDSCAPE PLAN  
AREA C

JOB 21572.0000  
DATE 08/26/22  
SHEET L 4

MATCHLINE SEE SHEET L2

MATCHLINE SEE SHEET L6



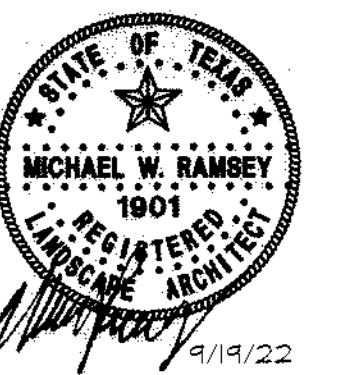
MATCHLINE SEE SHEET L8

**CORGAN**

401 N. Houston St  
Dallas, TX 75202  
T: 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	
1	09/19/22 ADDENDUM 02



**RAMSEY LANDSCAPE ARCHITECTS, LLC**  
 11914 WISHING WELL CT.  
 FRISCO, TEXAS 75035  
 PHONE (972) 335-0889  
 FAX (469) 362-5433  
 EMAIL: MIKE.RLA@ATT.NET

**NINTH GRADE CENTER**  
 North Site  
 for  
 Rockwall Independent School district  
 2852 FM 1141 Rockwall, TX 75087

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
 WITNESS OUR HANDS, this 29th day of September, 2022.

*[Signature]*  
 Planning & Zoning Commission, Chairman  
*[Signature]*  
 Director of Planning and Zoning

**ROCKWALL - NINTH GRADE CENTER**  
 LOT 1, BLOCK A  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
 ROCKWALL ISD  
 801 E. WASHINGTON ST.  
 ROCKWALL, TEXAS 75087  
 (972) 771-0605  
 CONTACT: JAMES WATSON

ENGINEER:  
 GLENN ENGINEERING CORP.  
 4500 FULLER DR.  
 IRVING, TEXAS 75038  
 (972) 717-5151  
 CONTACT: CHERALYN M. ARMUO

SURVEYOR:  
 BOWMAN  
 1200 W. MAGNOLIA BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 484-8586  
 CONTACT: ROBERT HANSEN

CITY OF ROCKWALL CASE NO. SP2022-017

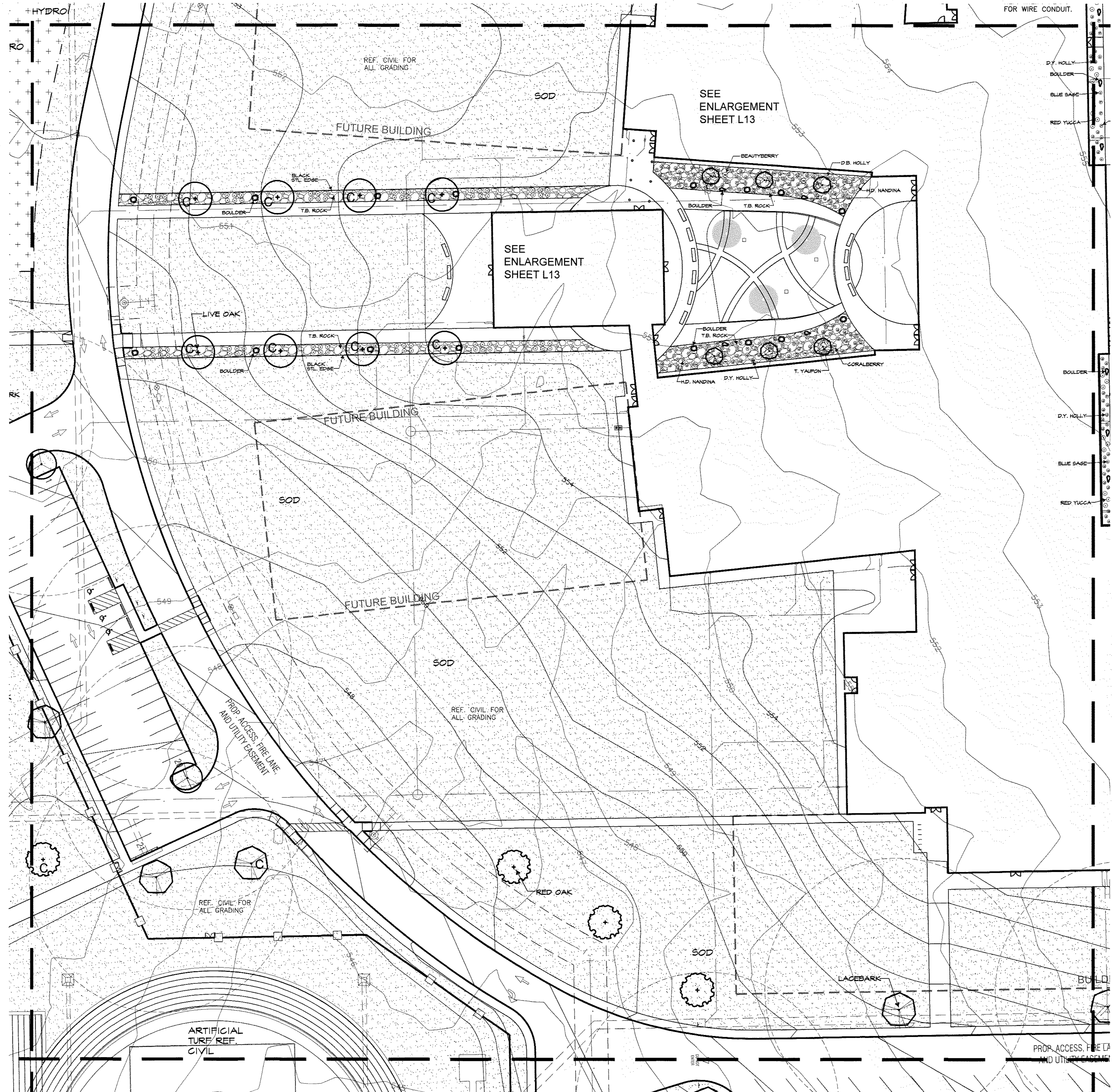
LANDSCAPE PLAN  
AREA D

**JOB** 21572.0000  
**DATE** 08/26/22  
**SHEET**

L 5

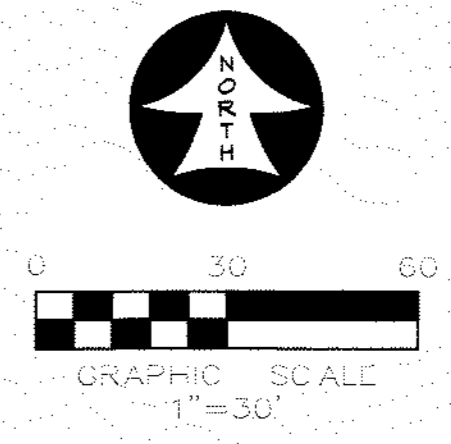
MATCHLINE SEE SHEET L5

MATCHLINE SEE SHEET L3



MATCHLINE SEE SHEET L7

MATCHLINE SEE SHEET L9



APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of July, 2022.  
 WITNESS OUR HANDS, this 29th day of September, 2022.

*[Signature]*  
 Planning & Zoning Commission, Chairman

*[Signature]*  
 Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
 LOT 1, BLOCK A  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
 801 E. WASHINGTON ST.  
 ROCKWALL, TEXAS 75087  
 (972) 771-0605  
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN  
 1200 W. MAGNOLIA BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 484-8586  
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
 4500 FULLER DR.  
 IRVING, TEXAS 75038  
 (972) 717-5151  
 CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2022-017

**CORGAN**

401 N. Houston St  
 Dallas, TX 75202  
 T: 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	
2	09/19/22 ADDENDUM 02



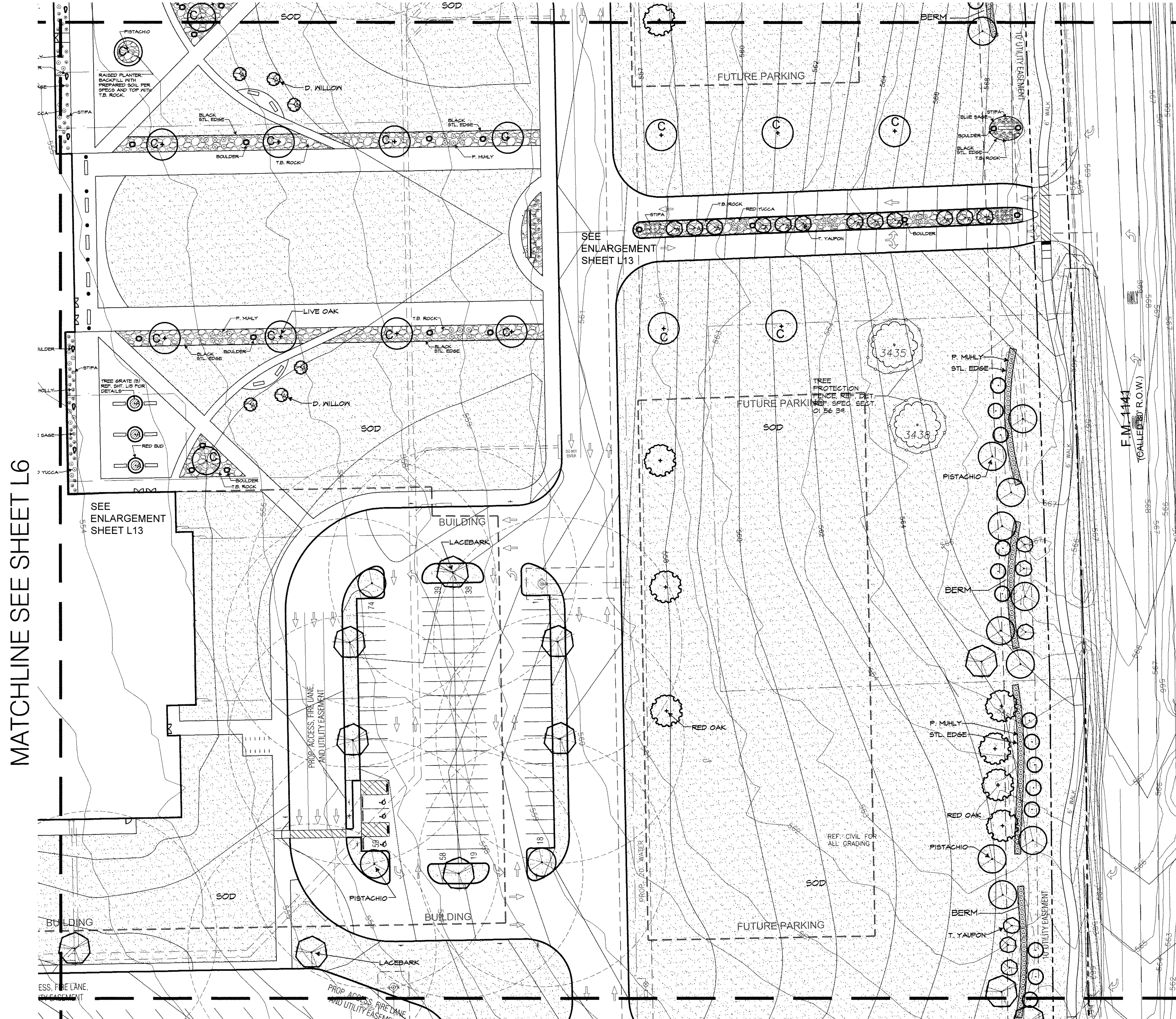
RAMSEY LANDSCAPE ARCHITECTS, LLC  
 11914 WISHING WELL CT.  
 FRISCO, TEXAS 75035  
 PHONE (972) 335-0889  
 FAX (469) 362-5433  
 EMAIL: MIKE.RLA@ATT.NET

**NINTH GRADE CENERS**  
 North Site  
 for  
 Rockwall Independent School district  
 2852 FM 1141 Rockwall, TX 75087

LANDSCAPE PLAN  
 AREA E

JOB 21572.0000  
 DATE 08/26/22  
 SHEET L 6

MATCHLINE SEE SHEET L4



MATCHLINE SEE SHEET L6

MATCHLINE SEE SHEET L10

**CORGAN**

401 N. Houston St.  
Dallas, TX 75202  
T. 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	
1	08/19/22 ADDENDUM 02

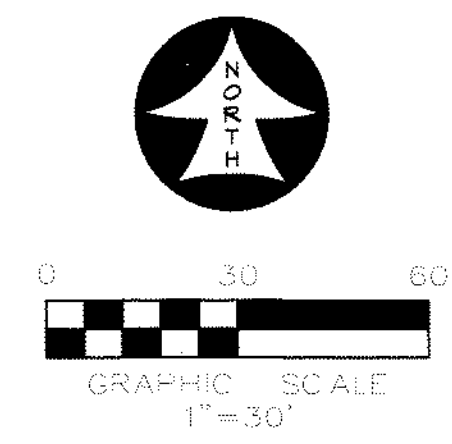


**RAMSEY LANDSCAPE ARCHITECTS, LLC**  
11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
FAX (469) 362-5433  
EMAIL: MIKE.RLA@ATT.NET

**NINTH GRADE CENERS**  
North Site  
for  
Rockwall Independent School district  
2852 FM 1141 Rockwall, TX 75087

LANDSCAPE PLAN  
AREA F

**JOB** 21572.0000  
**DATE** 08/26/22  
**SHEET** L 7



APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 29th day of September, 2022.

*Sally* Planning & Zoning Commission, Chairman  
*John* Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
(972) 771-0605  
CONTACT: JAMES WATSON

SURVEYOR: BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
(214) 484-8886  
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: GERALYNI M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-017

MATCHLINE SEE SHEET L5



MATCHLINE SEE SHEET L9

**CORGAN**

401 N. Houston St.  
Dallas, TX 75202  
T. 214-748-2000

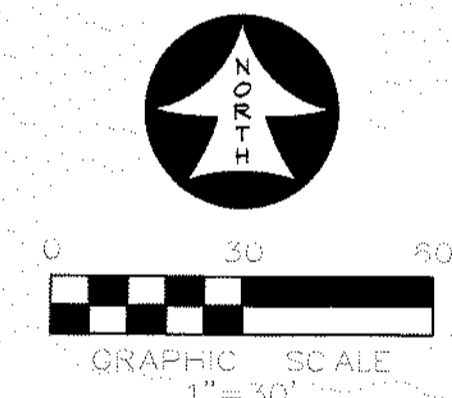
ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	



**RAMSEY LANDSCAPE ARCHITECTS, LLC**  
 11914 WISHING WELL CT.  
 FRISCO, TEXAS 75035  
 PHONE (972) 335-0889  
 FAX (469) 362-5433  
 EMAIL: MIKE.RLA@ATT.NET



APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of July, 2022. WITNESS OUR HANDS, this 29th day of September, 2022.

*Sue*  
 Planning & Zoning Commission, Chairman  
 Director of Planning and Zoning

**ROCKWALL - NINTH GRADE CENTER**  
 LOT 1, BLOCK A

OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
 ROCKWALL ISD  
 801 E. WASHINGTON ST.  
 ROCKWALL, TEXAS 75087  
 (972) 771-0605  
 CONTACT: JAMES WATSON

ENGINEER:  
 GLENN ENGINEERING CORP.  
 4500 FULLER DR.  
 IRVING, TEXAS 75038  
 (972) 717-5151  
 CONTACT: CHERALYN M. ARMUO

SURVEYOR:  
 BOWMAN  
 1200 W. MAGNOLIA BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 484-8586  
 CONTACT: ROBERT HANSEN

CITY OF ROCKWALL CASE NO. SP2022-017

**NINTH GRADE CENTERS**  
 North Site  
 for  
 Rockwall Independent School district  
 2852 FM 1141 Rockwall, TX 75087

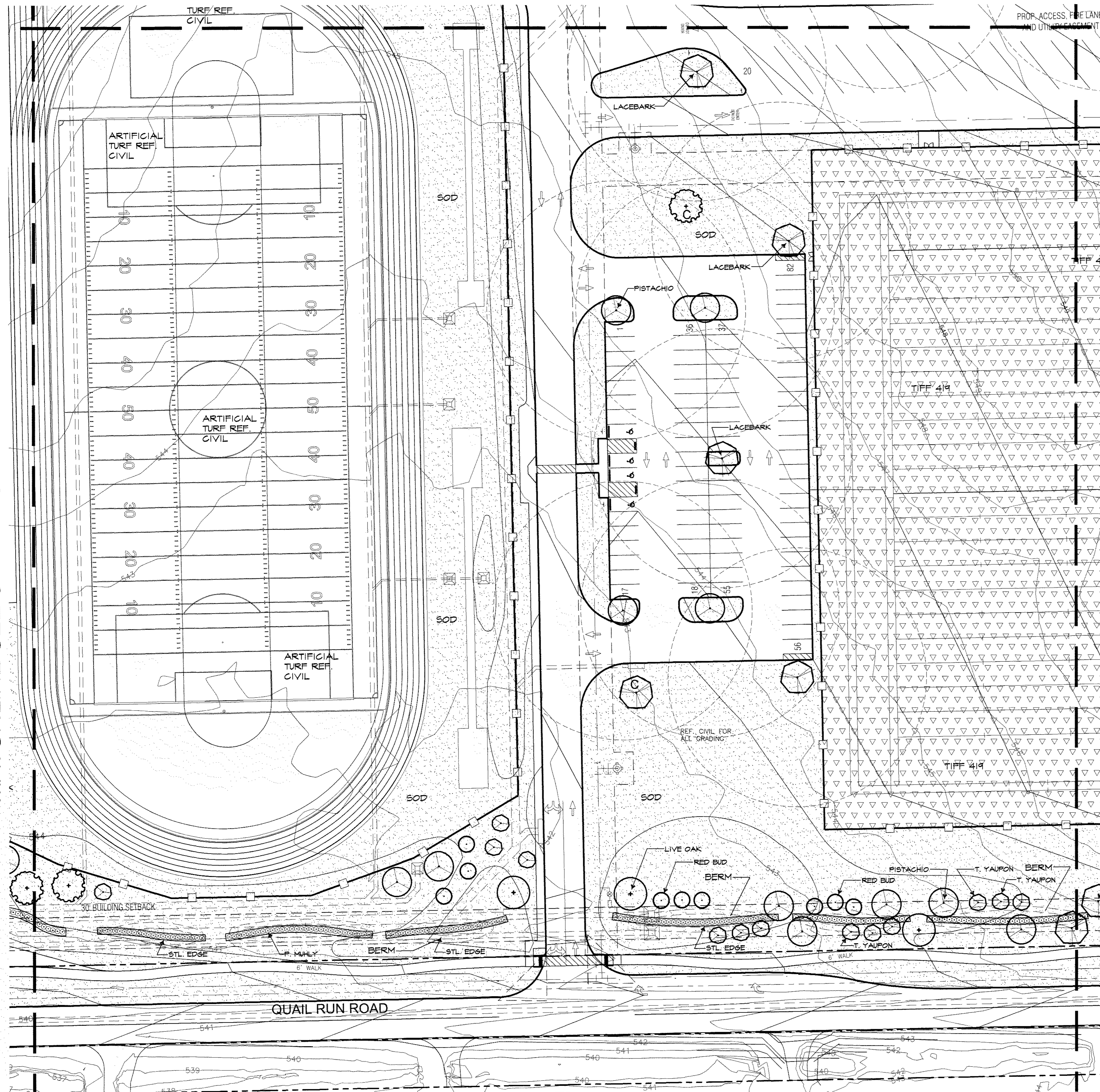
LANDSCAPE PLAN  
 AREA G

JOB 21572.0000  
 DATE 08/26/22  
 SHEET L 8

MATCHLINE SEE SHEET L6

MATCHLINE SEE SHEET L8

MATCHLINE SEE SHEET L10



PROP. ACCESS, FIRE LANE,  
AND UTILITY EASEMENT

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 21st day of September, 2022.

*[Signature]* Planning & Zoning Commission, Chairman  
*[Signature]* Director of Planning and Zoning

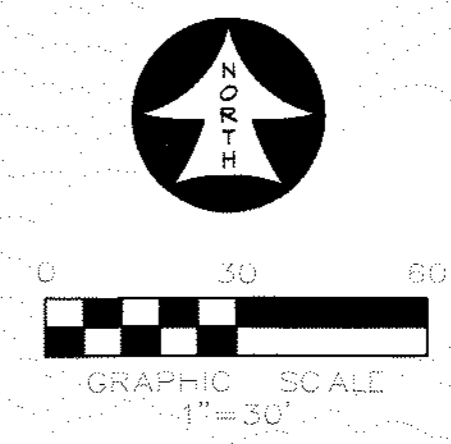
ROCKWALL - NINTH GRADE CENTER  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
CONTACT: JAMES WATSON

SURVEYOR: BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-017

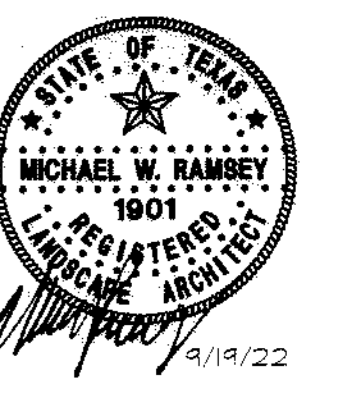


**CORGAN**

401 N. Houston St  
Dallas, TX 75202  
T. 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	
2	09/19/22 ADDENDUM 02



RAMSEY LANDSCAPE ARCHITECTS, LLC  
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FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
FAX (469) 362-5433  
EMAIL: MIKE.RLA@ATT.NET

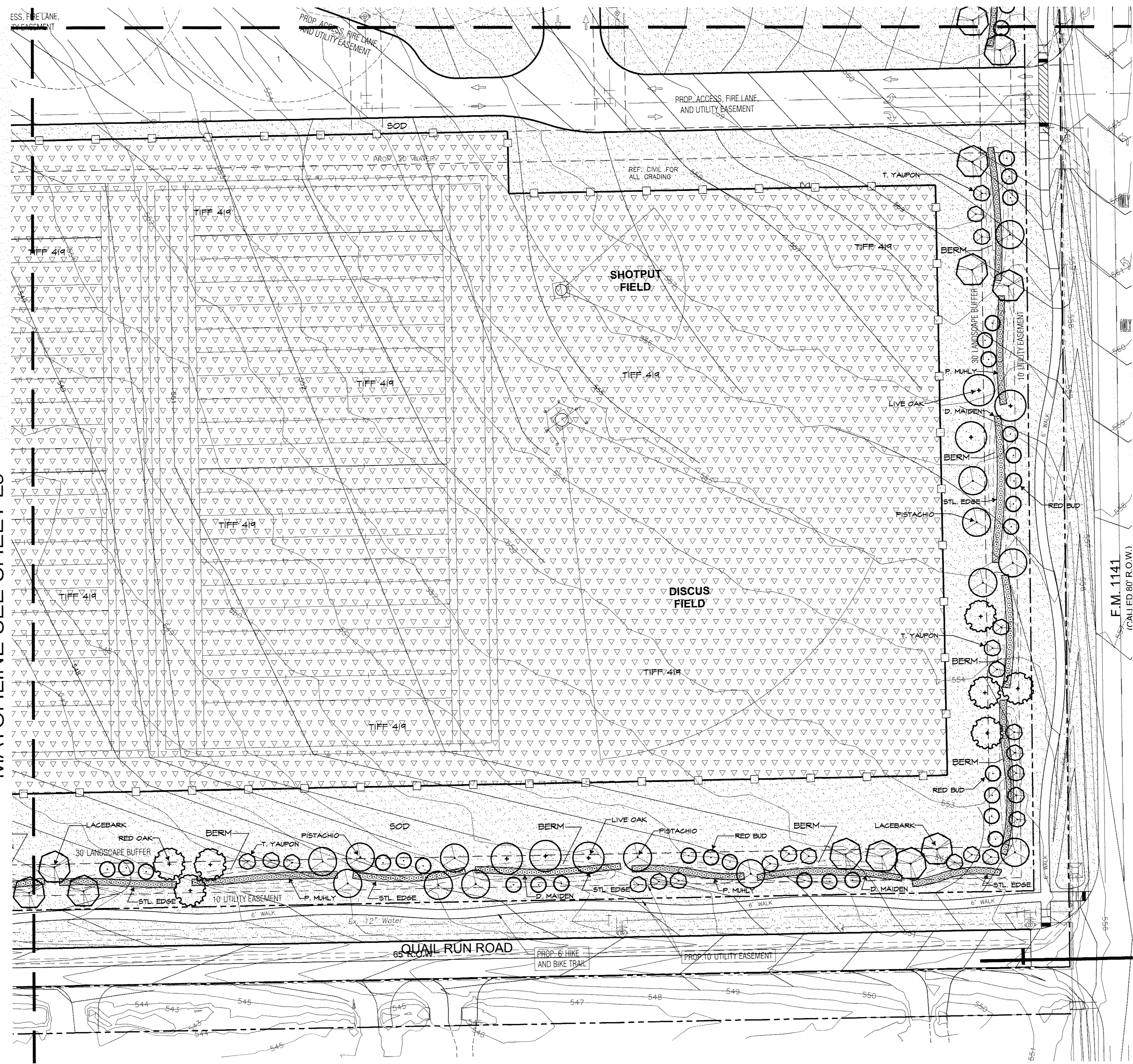
**NINTH GRADE CENERS**  
North Site  
for  
Rockwall Independent School district  
2852 FM 1141 Rockwall, TX 75087

LANDSCAPE PLAN AREA H

JOB 21572.0000  
DATE 08/26/22  
SHEET L 9

MATCHLINE SEE SHEET L7

MATCHLINE SEE SHEET L9



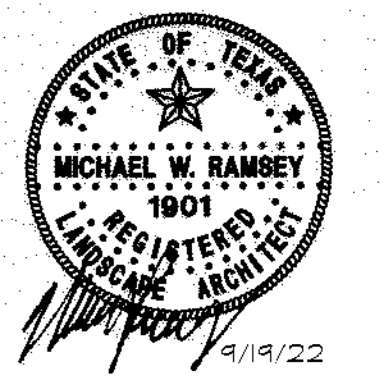
**CORGAN**

401 N. Houston St  
Dallas, TX 75202  
T. 214-748-2000

ISSUES	
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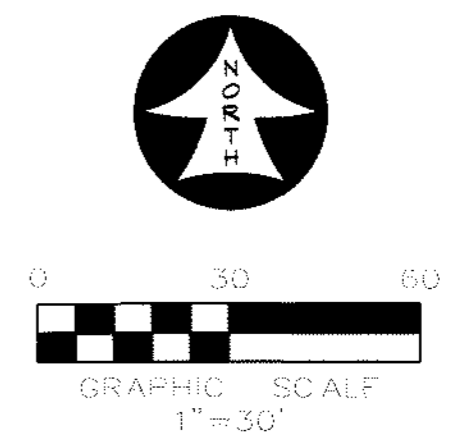
  

REVISIONS	



**RAMSEY LANDSCAPE ARCHITECTS, LLC**  
11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
FAX (469) 362-5433  
EMAIL: MIKE.RLA@ATT.NET

**NINTH GRADE CENERS**  
North Site  
for  
Rockwall Independent School district  
2852 FM 1141 Rockwall, TX 75087



APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 19th day of July, 2022.  
WITNESS OUR HANDS, this 21th day of September, 2022.  
*[Signature]*  
Planning & Zoning Commission, Chairman

ROCKWALL - NINTH GRADE CENTER  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
(972) 771-8605  
CONTACT: JAMES WATSON

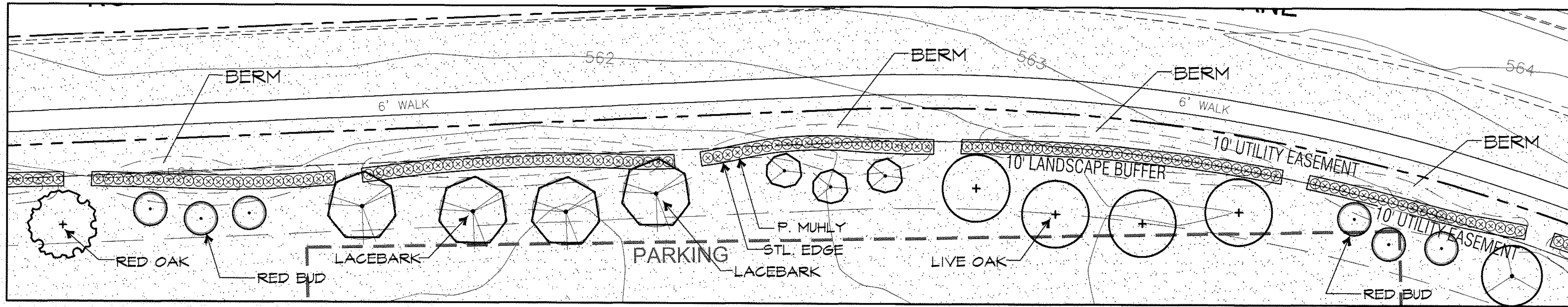
SURVEYOR:  
BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
(214) 484-8386  
CONTACT: ROBERT HANSEN

ENGINEER:  
GLENV ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUO

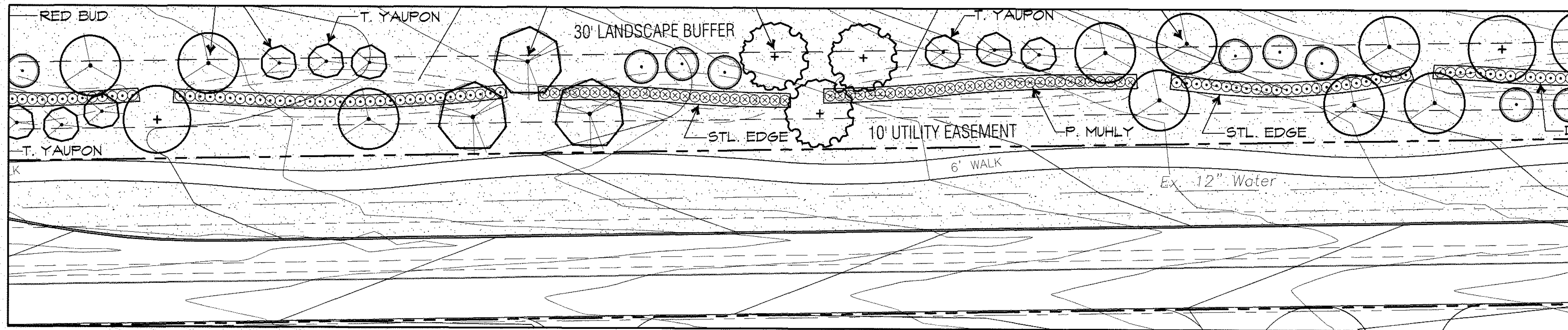
CITY OF ROCKWALL CASE NO. SP2022-017

LANDSCAPE PLAN  
AREA I

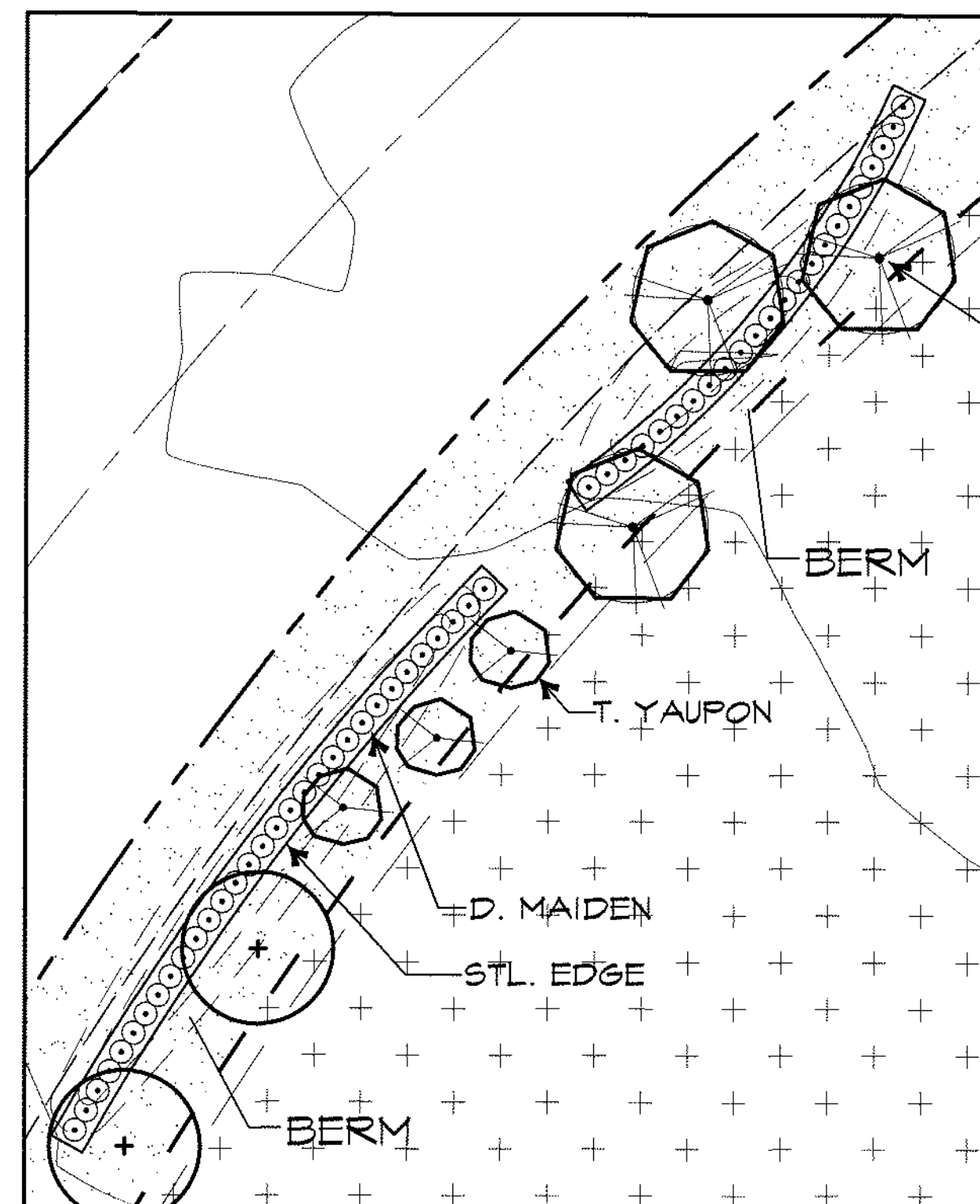
JOB 21572.0000  
DATE 08/26/22  
SHEET L 10



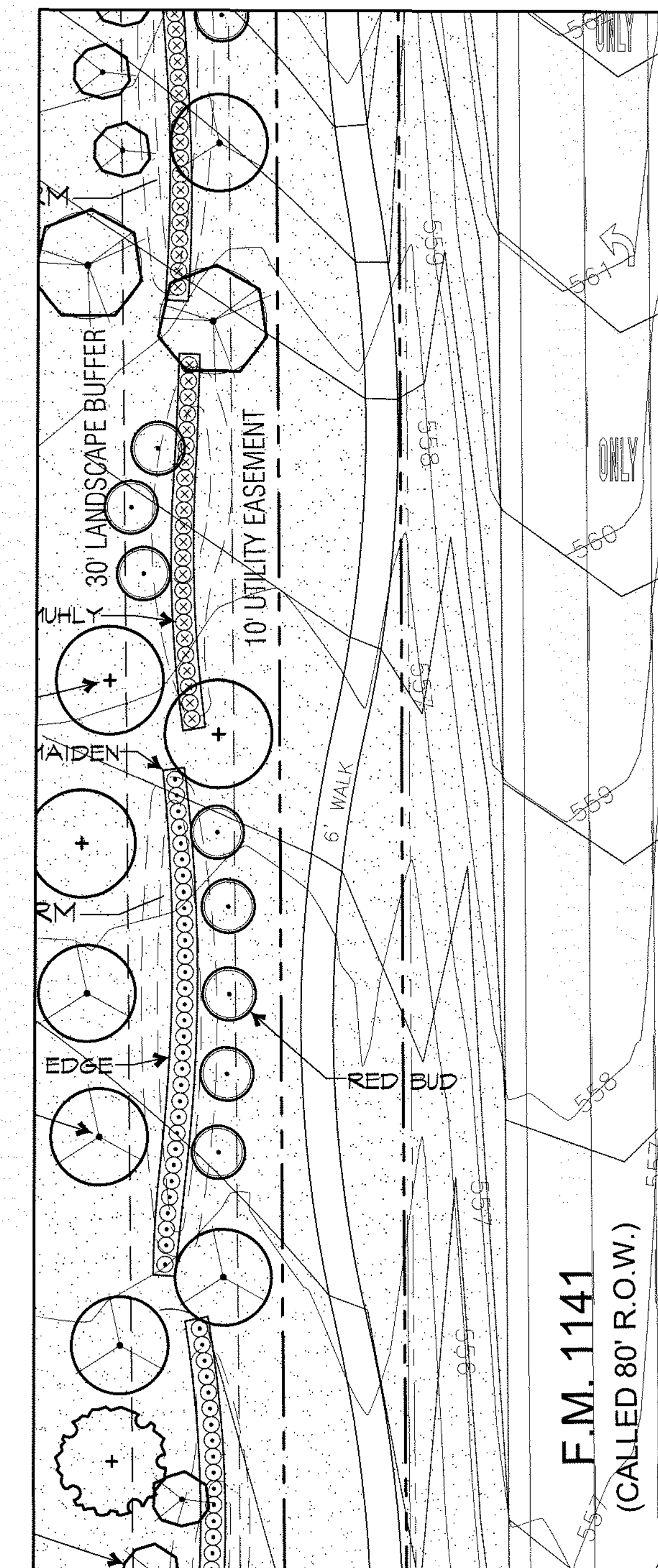
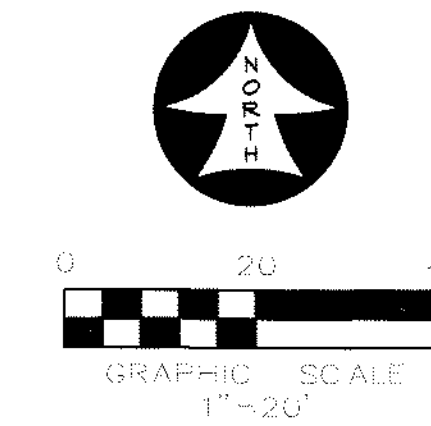
TYPICAL SEGMENT OF NORTH COUNTRY LANE  
SCALE: 1" = 20'-0"



TYPICAL SEGMENT OF QUAIL RUN ROAD  
SCALE: 1" = 20'-0"



TYPICAL SEGMENT OF PANHANDLE DRIVE BUFFER  
SCALE: 1" = 20'-0"



TYPICAL SEGMENT OF F.M. 1141  
SCALE: 1" = 20'-0"

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 29th day of September, 2022.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
(972) 771-0605  
CONTACT: JAMES WATSON

SURVEYOR:  
BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
(214) 484-8586  
CONTACT: ROBERT HANSEN

ENGINEER:  
GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMISTEAD

CITY OF ROCKWALL CASE NO. SP2022-017

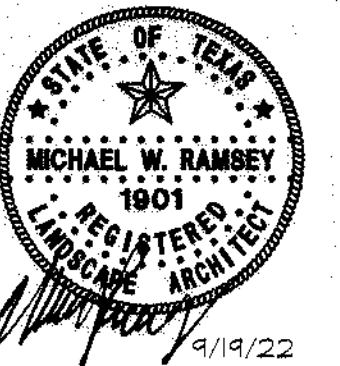
**CORGAN**

401 N Houston St  
Dallas, TX 75202  
T: 214-748-2000

ISSUES	
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REVISIONS	



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11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
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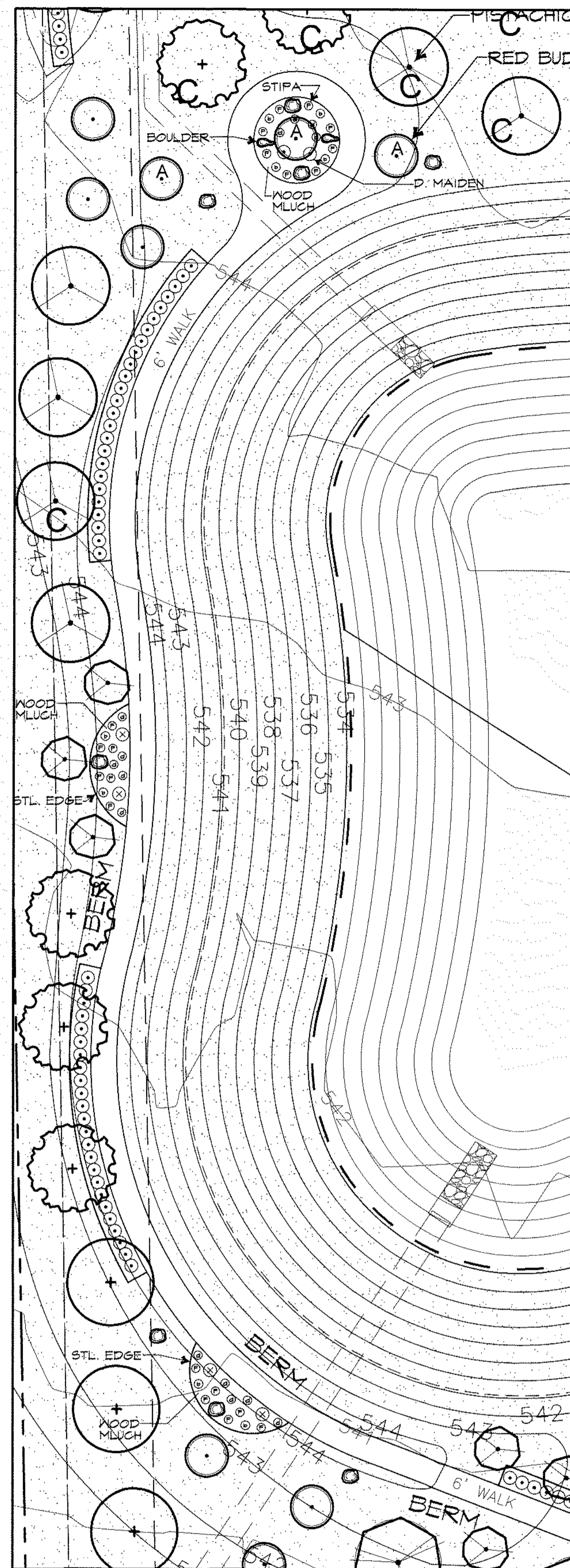
**NINTH GRADE CENTERS**  
North Site  
for  
Rockwall Independent School district  
2852 FM 1141 Rockwall, TX 75087

LANDSCAPE ENLARGEMENTS

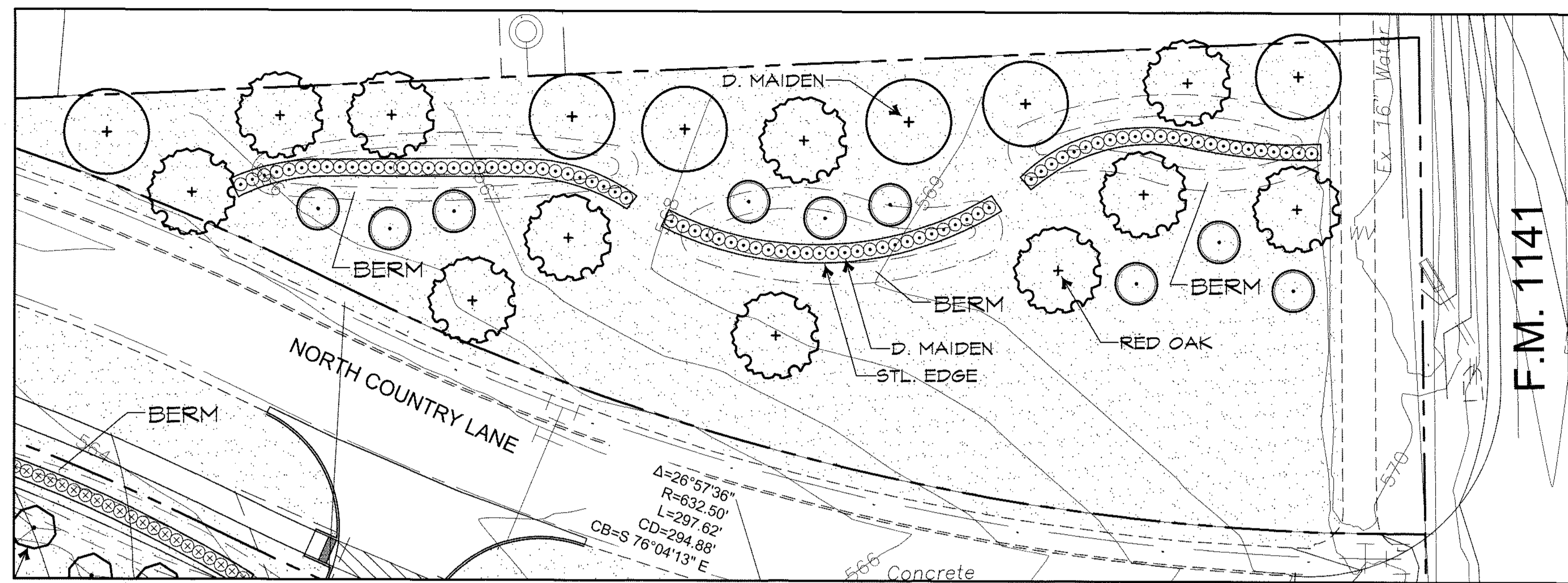
JOB 21572.0000  
DATE 08/26/22  
SHEET

L 11

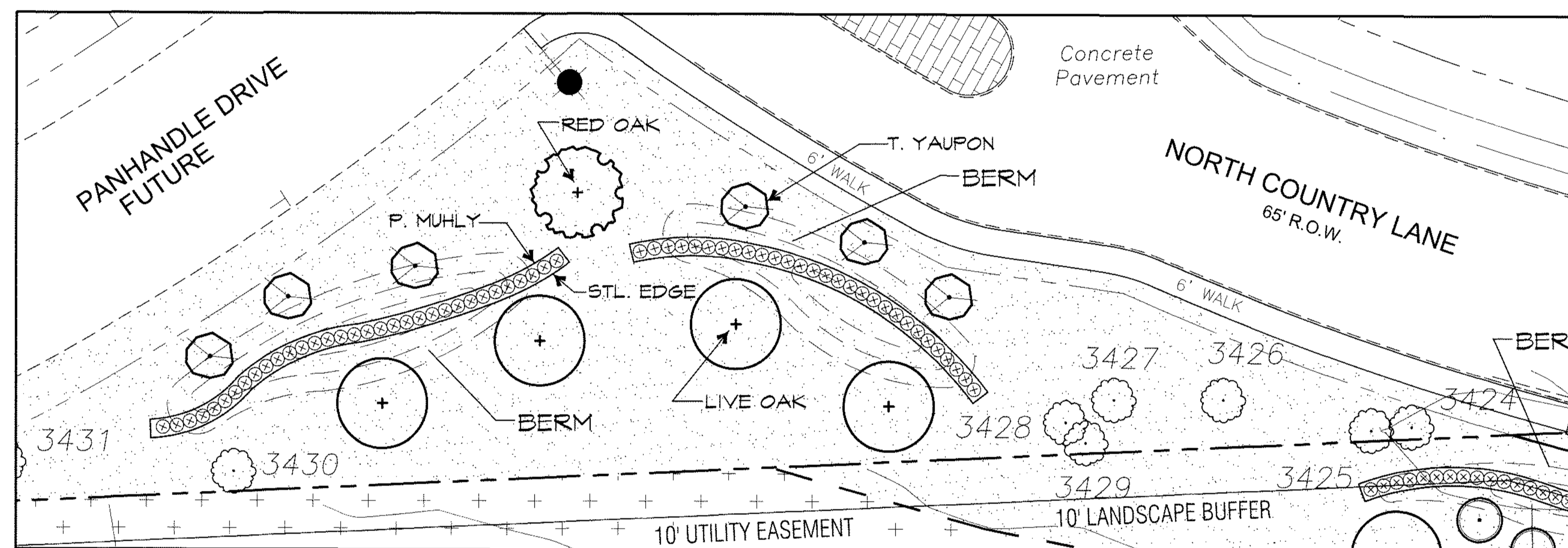




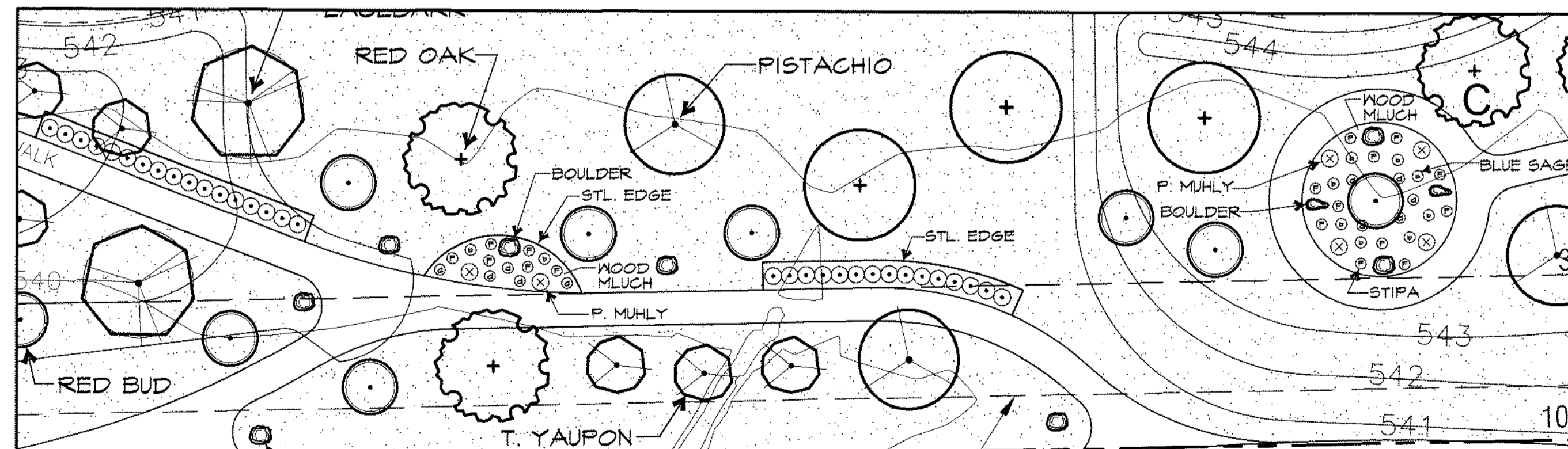
**WEST SIDE DETENTION ENLARGEMENT**  
SCALE: 1" = 20'-0"



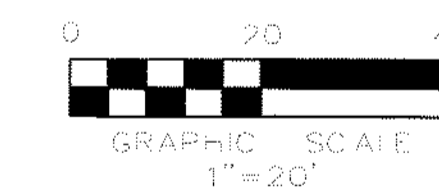
**EAST REMAINDER NORTH OF NORTH COUNTRY LANE**  
SCALE: 1" = 20'-0"



**WEST REMAINDER NORTH OF NORTH COUNTRY LANE**  
SCALE: 1" = 20'-0"



**SOUTH SIDE DETENTION ENLARGEMENT**  
SCALE: 1" = 20'-0"



APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 27th day of September, 2022.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

**ROCKWALL - NINTH GRADE CENTER**  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL SD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
CONTACT: JAMES WATSON

SURVEYOR: BOHMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
(214) 484-8586  
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-017

**CORGAN**

401 N. Houston St.  
Dallas, TX 75202  
T. 214-748-2000

ISSUES	
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REVISIONS	



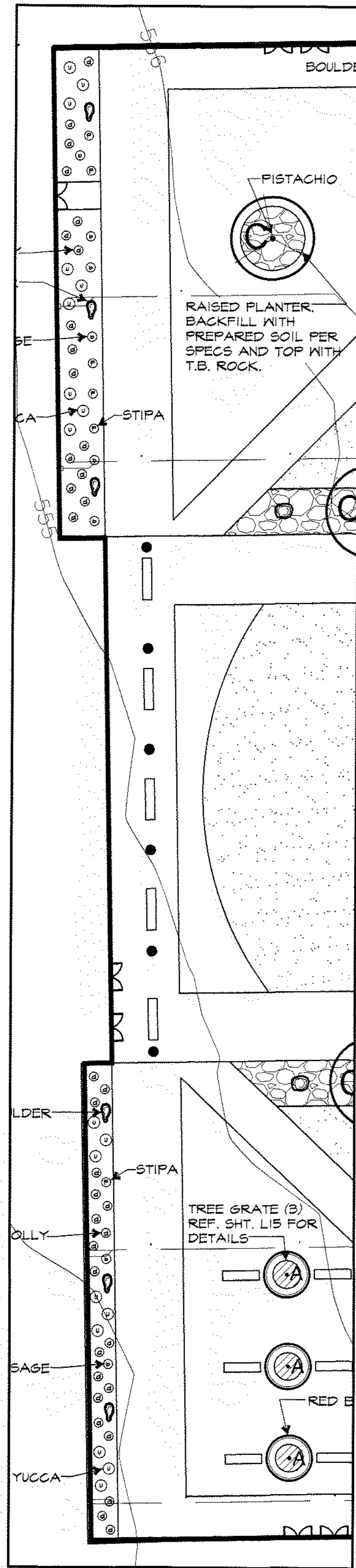
**RAMSEY LANDSCAPE ARCHITECTS, LLC**  
11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
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**NINTH GRADE CENERS**  
North Site  
for  
Rockwall Independent School district  
2852 FM 1141 Rockwall, TX 75087

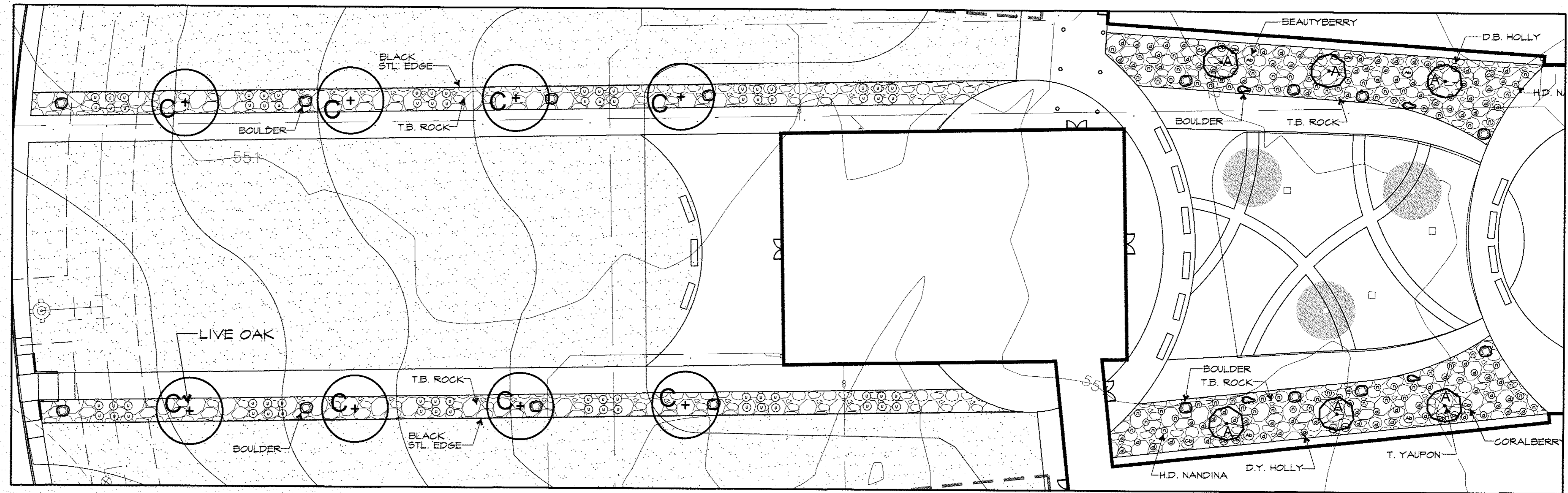
**LANDSCAPE ENLARGEMENTS**

**JOB** 21572.0000  
**DATE** 08/26/22  
**SHEET**

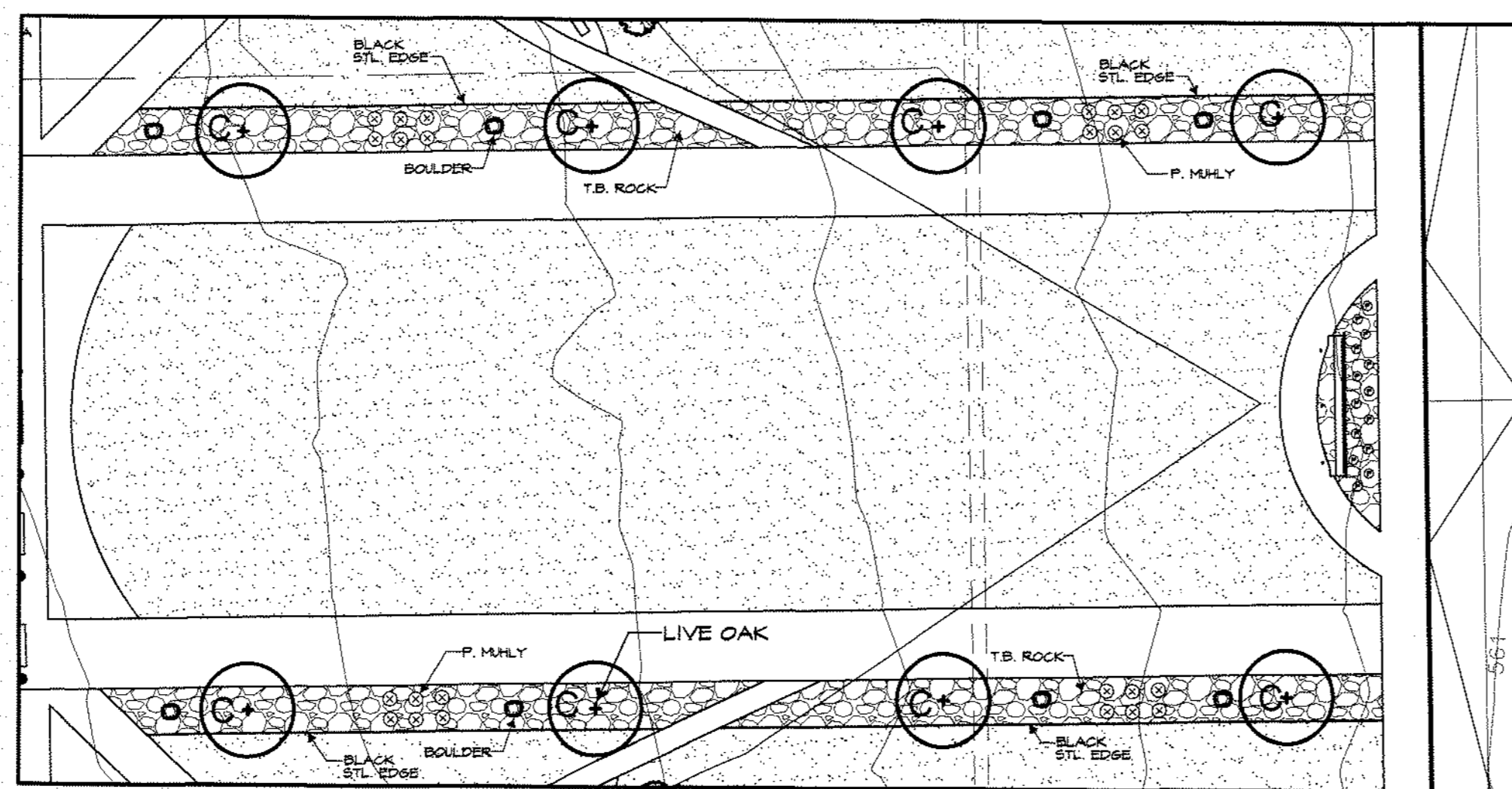
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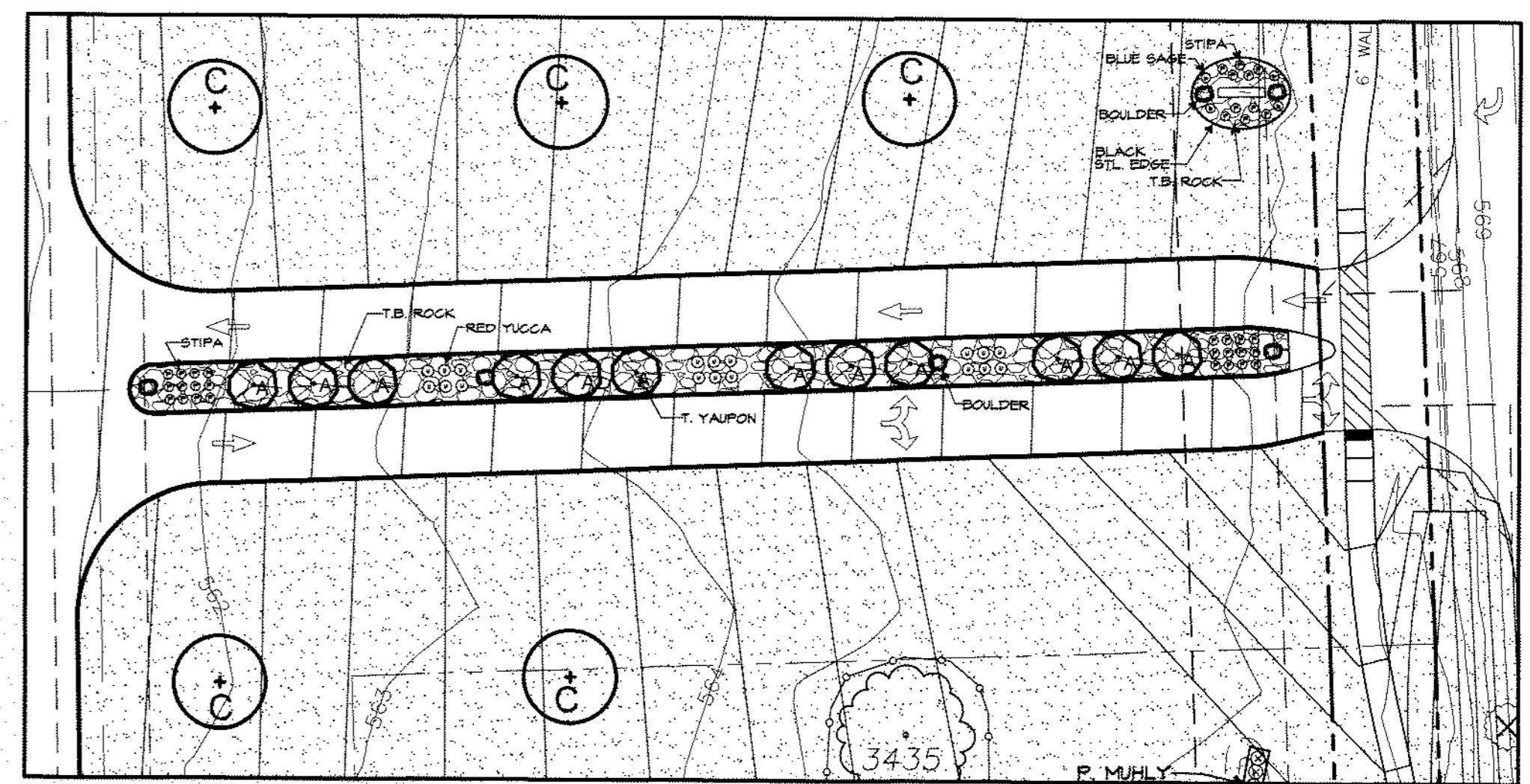
**EAST FACADE ENLARGEMENT**  
SCALE: 1" = 20'-0"



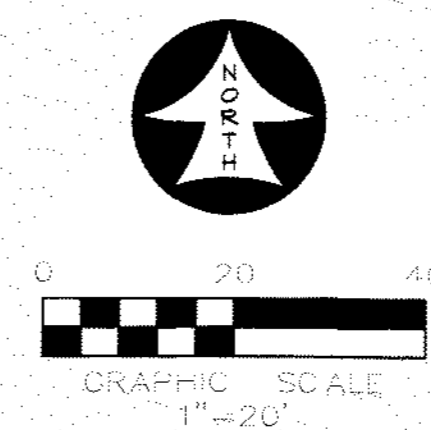
**WEST COURTYARD ENLARGEMENT**  
SCALE: 1" = 20'-0"



**EAST COURTYARD ENLARGEMENT**  
SCALE: 1" = 20'-0"



**EAST ENTRY ENLARGEMENT**  
SCALE: 1" = 20'-0"



APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of September, 2022.  
WITNESS OUR HANDS, this 18th day of September, 2022.

*Scott Hansen*  
Planning & Zoning Commission, Chairman

*Glenn*  
Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL SD  
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ROCKWALL, TEXAS 75087  
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CONTACT: JAMES WATSON

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CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2022-017

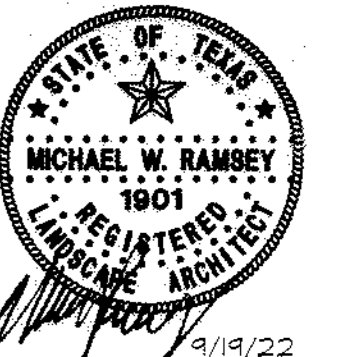
**CORGAN**

401 N. Houston St.  
Dallas, TX 75202  
T. 214-748-2000

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REVISIONS	



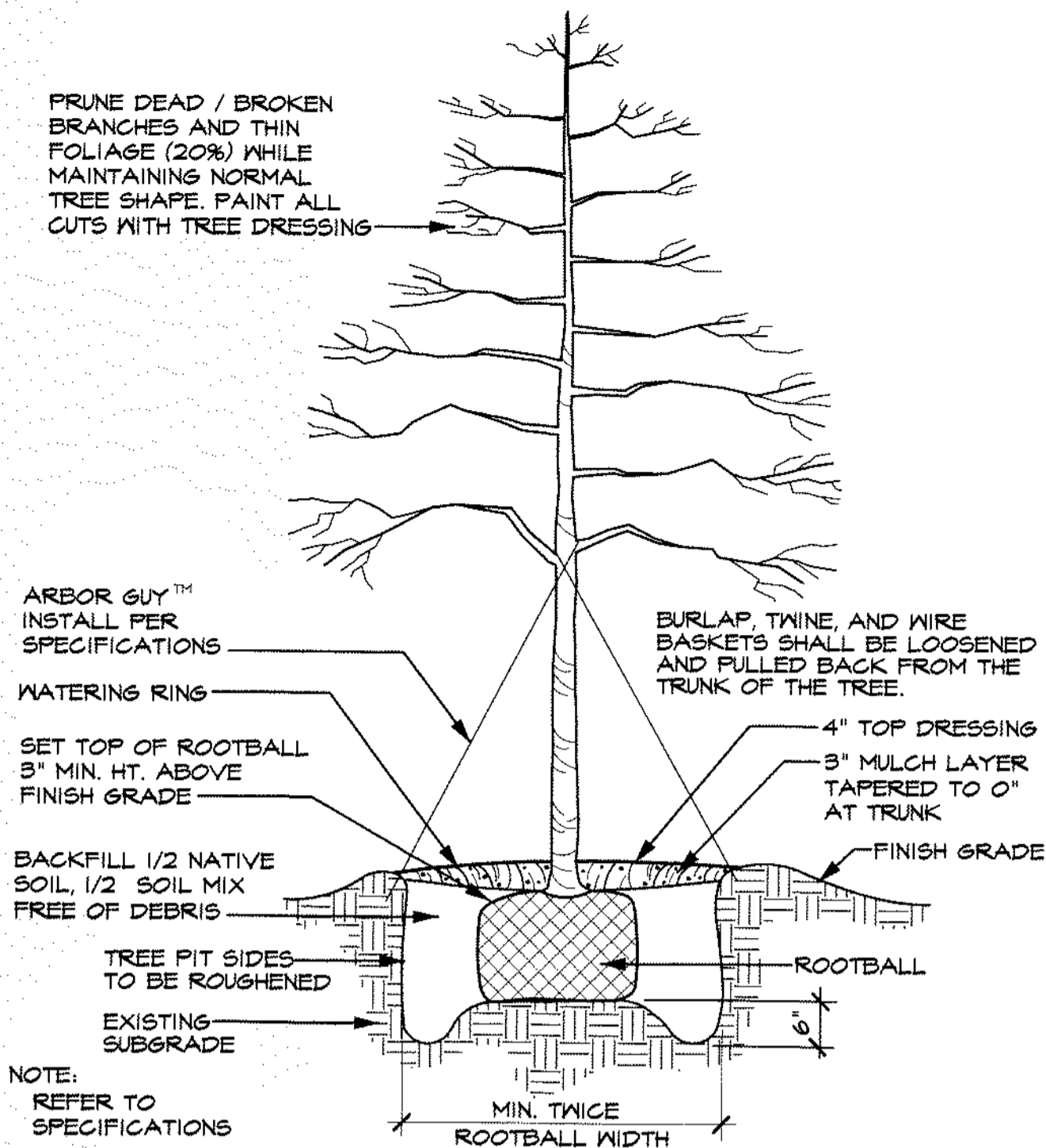
RAMSEY LANDSCAPE ARCHITECTS, LLC  
11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
FAX (469) 362-5433  
EMAIL: MIKE.RLA@ATT.NET

**NINTH GRADE CENTERS**  
North Site  
for  
Rockwall Independent School district  
2852 FM 1141 Rockwall, TX 75087

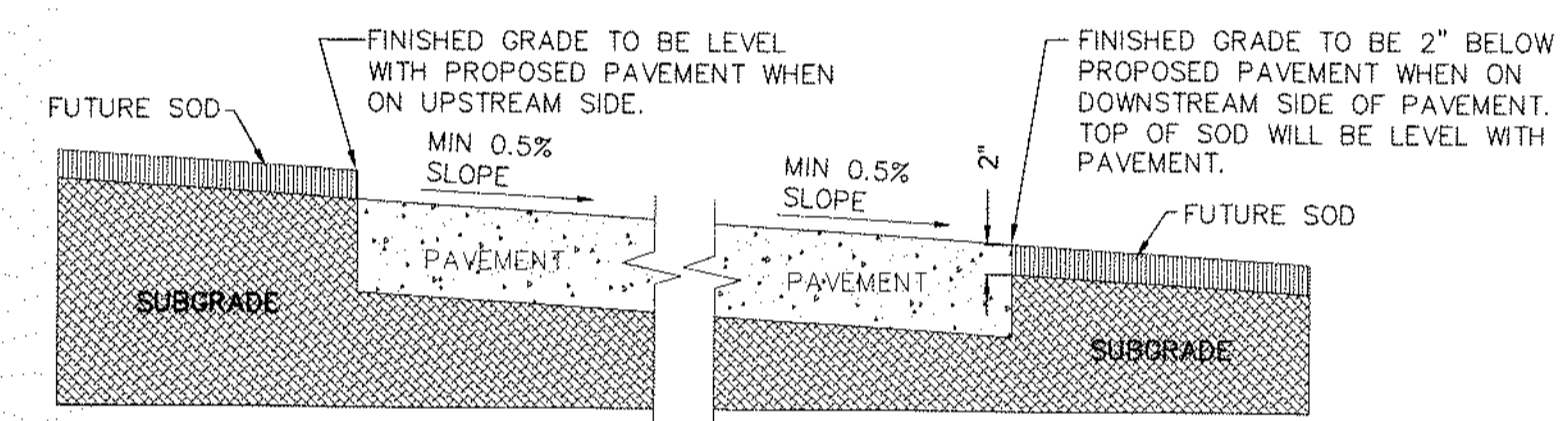
LANDSCAPE ENLARGEMENTS

JOB 21572.0000  
DATE 08/26/22  
SHEET

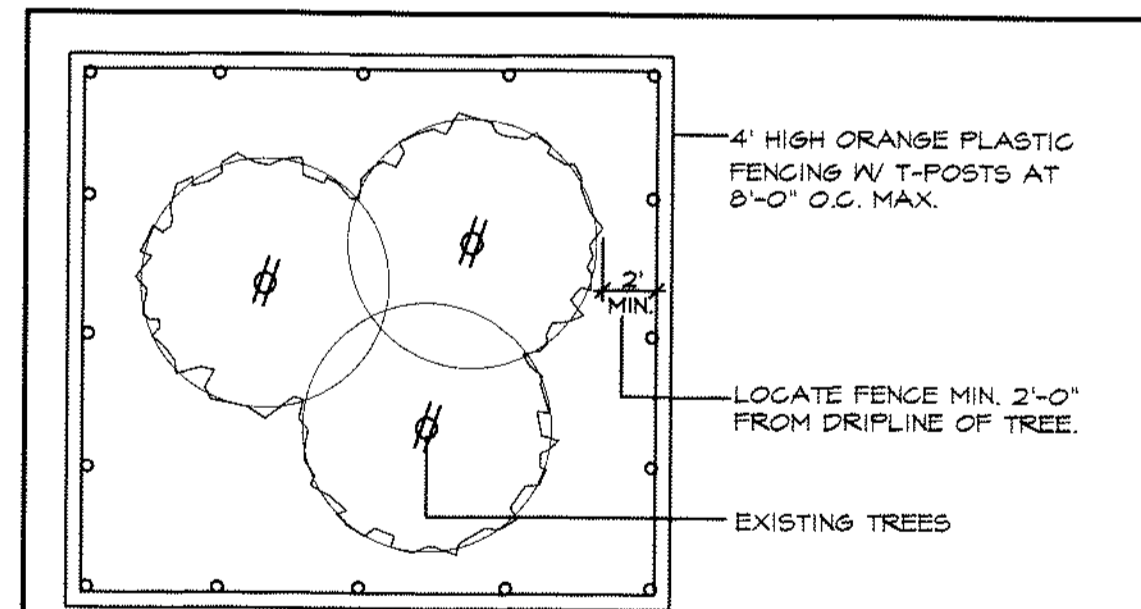
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**TREE PLANTING DETAIL (TYPICAL)**  
SCALE: N.T.S.

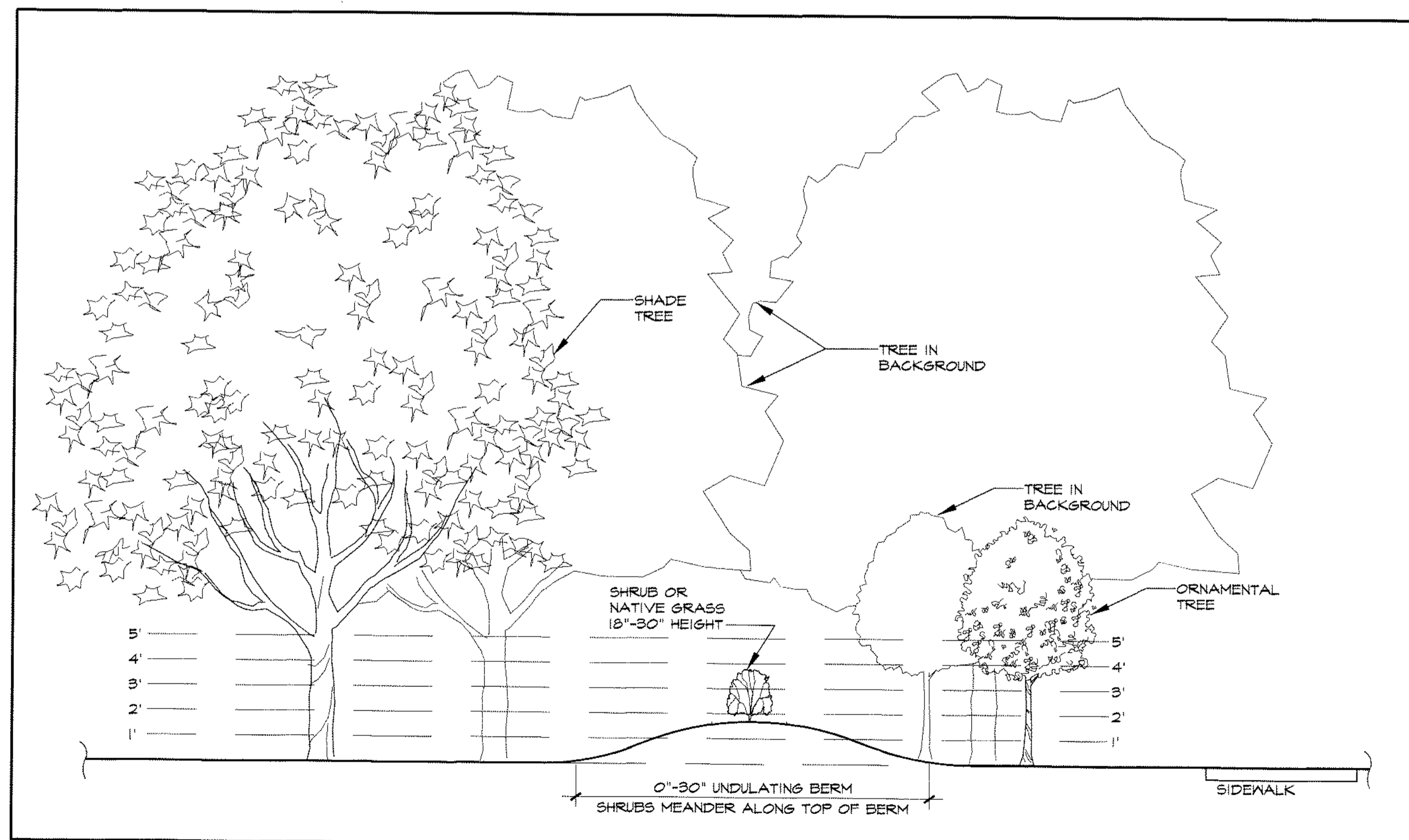


**GRADING DETAIL FOR PAVEMENT WITHOUT CURB**  
SCALE: N.T.S.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

**TREE PROTECTION FENCE AND NOTES**  
SCALE: N.T.S.



**LANDSCAPE BUFFER SECTION**

SCALE: 1/4" = 1'-0"

**LANDSCAPE TABULATIONS**

**F.M. 1141 AND QUAIL RUN ROAD STREET BUFFER**  
30' BUFFER, BERM, SHRUBS, BERM AND SHRUBS 30" MIN. HEIGHT, 3 CANOPY/4 ACCENT TREES PER 100 LF.  
F.M. 1141 STREET BUFFER REQUIRED 30' BUFFER  
BUFFER PROVIDED 30' BUFFER  
F.M. 1141 BUFFER TREES REQUIRED (1,518 LF/100 LF = ) 15.8 UNITS  
BUFFER TREES REQ. (CAN. 3x15.8=47, ACC. 4x15.8=63) 47 CANOPY/63 ACCENT  
BUFFER TREES PROVIDED 47 CANOPY/63 ACCENT

**QUAIL RUN ROAD STREET BUFFER REQUIRED** 30' BUFFER  
BUFFER PROVIDED 30' BUFFER  
QUAIL RUN BUFFER TREES REQUIRED (1,824 LF/100 LF = ) 18.2 UNITS  
BUFFER TREES REQ. (CAN. 3x18.2=55, ACC. 4x18.2=73) 55 CANOPY/73 ACCENT  
BUFFER TREES PROVIDED 55 CANOPY/73 ACCENT

**NORTH COUNTRY LANE AND PANHANDLE DRIVE STREET BUFFER**  
10' BUFFER, BERM, SHRUBS, BERM AND SHRUBS 30" MIN. HEIGHT, 1 CANOPY/1 ACCENT TREE PER 50 LF.  
NORTH COUNTRY LANE STREET BUFFER REQUIRED 10' BUFFER  
BUFFER PROVIDED 10' BUFFER  
NORTH COUNTRY LANE BUFFER TREES REQUIRED (1,176 LF/50 LF = ) 24 UNITS  
BUFFER TREES REQ. (CAN. 1x24=24, ACC. 1x24=24) 24 CANOPY/24 ACCENT  
BUFFER TREES PROVIDED 24 CANOPY/24 ACCENT

**PANHANDLE DRIVE STREET BUFFER REQUIRED** 10' BUFFER  
BUFFER PROVIDED 10' BUFFER  
PANHANDLE DRIVE BUFFER TREES REQUIRED (1,742 LF/50 LF = ) 36 UNITS  
BUFFER TREES REQ. (CAN. 1x36=36, ACC. 1x36=36) 36 CANOPY/36 ACCENT  
BUFFER TREES PROVIDED (29 NEW, 7 EX., 36 ORN) 36 CANOPY/36 ACCENT

**WEST OF PANHANDLE AND NORTH OF N. COUNTRY LANE**  
HEAVY LANDSCAPING, BERM, 3 TIER SCREEN, 1-SMALL/MID SHRUBS, 2-6 SHRUBS OR ACCENT TREES, 3-CANOPY MIN. 20' CENTERS.  
NORTH COUNTRY LANE REMAINDER 360 LF  
REMAINDER TREES REQUIRED (360 LF / 20' = ) 18 TREES  
REMAINDER TREES PROVIDED 18 TREES  
PANHANDLE DRIVE REMAINDER 440 LF  
REMAINDER TREES REQUIRED (440 LF / 20' = ) 22 TREES  
REMAINDER TREES PROVIDED (FUTURE WHEN DEVELOPED) 0 TREES

**PARKING LOT LANDSCAPING**  
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.  
PARKING SPACES 382 SPACES  
PARKING LANDSCAPE REQUIRED (29 NEW, 9 EX., 36 ORN) 5117 SF  
PARKING LANDSCAPE PROVIDED 8,203 SF

**AMOUNT OF LANDSCAPING**  
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.  
SITE AREA 3,044,080 SF  
SITE LANDSCAPE REQUIRED (3,044,080 SF X 15% = ) 456,612 SF  
SITE LANDSCAPE PROVIDED 1,718,250 SF  
% LANDSCAPE PROVIDED FRONT/SIDE (118%) 540,843 SF  
SITE IMPERVIOUS AREA 1,244,655 SF

**DETENTION POND TREES**  
1 CANOPY PER 750 SF AND 1 ACCENT PER 1,500 SF  
DETENTION POND AREA 71,406 SF  
CANOPY TREES REQ. (71,406 SF / 750 SF = ) 103 CANOPY TREES  
ACCENT TREES REQ. (71,406 SF / 1,500 SF = ) 52 ACCENT TREES  
TREE PROVIDED AT POND AND AROUND THE SITE NOTED WITH "C" FOR CANOPY TREE AND "A" FOR ACCENT TREE. TOTAL PROVIDED 67 CANOPY/ 34 ACCENT

ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.

TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
69	(+)	LIVE OAK	Live Oak	Quercus virginiana	4" caliper, 12'-14' ht./ 5'-6' spread, B&B straight trunk full rounded canopy
80	(+)	RED OAK	Shumard Red Oak	Quercus shumardii	4" caliper, 12'-14' ht./ 5'-6' spread, B&B straight trunk full rounded canopy
65	(/)	LACEBARK	Lacebark Elm	Ulmus parvifolia	4" caliper, 12'-14' ht./ 5'-6' spread, B&B straight trunk full rounded canopy
82	(/)	PISTACHIO	Chinese Pistachio	Pistacia chinensis	4" caliper, 12'-14' ht./ 5'-6' spread, B&B straight trunk full rounded canopy
129	(/)	T. YAUPON	Yaupon Holly	Ilex vomitoria	3/4" caliper per trunk, 5 trunk min., 6' ht./4' spread, container, female - heavy berried tree form, limbed to 3'
119	(.)	RED BUD	Oklahoma Red Bud	Cercis canadensis 'oklahoma'	5'-6' ht, 3'-4' spread, container
6	(/)	D. WILLOW	Desert Willow	Chilopsis linearis	6'-7' ht, 3'-4' spread, container
SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
882	(@)	P. MUHLY	Pink Muhly Grass	Muhlenbergia capillaris	5 gallon, 18" ht./18" full
844	(@)	D. MAIDEN	Dwarf Maiden Grass	Miscanthus sinensis 'Adagio'	5 gallon, 18" ht./18" full
152	(@)	D.Y. HOLLY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gallon, 16" ht./14" spread, bushy, full to ground
12	(@)	D.B. HOLLY	Dwarf Burford Holly	Ilex cornuta 'Nana'	5 gallon, 20" ht./16" spread, bushy, full to ground
108	(@)	RED YUCCA	Red Yucca	Hesperaloe parviflora	5 gallon
30	(@)	BLUE SAGE	Mealy Blue Sage	Salvia farinacea	1 gallon
4	(@)	BEAUTYBERRY	American Beautyberry	Callicarpa americana	5 gallon
4	(@)	CORALBERRY	Coralberry	Symplocarpus orbiculatus	5 gallon
91	(@)	STIPA	Mexican Feathergrass	Stipa tenuissima	1 gallon
68	(@)	H.D. NANDINA	Harbour Dwarf Nandina	Nandina domestica 'Harbour Dwarf'	3 gallon
GROUND COVER					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(S)	SOD	Common Bermuda Grass	Cynodon dactylon	Sod refer to specifications
AS SHOWN	(H)	HYDRO	Common Bermuda Grass	Cynodon dactylon	Hydro mulch refer to specifications
AS SHOWN	(T)	TIFF 419	Bermuda Hybrid	Cynodon dactylon TIF 419	Solid Rolled Sod refer to specifications
MISCELLANEOUS					
AS SHOWN	(S)	STL. EDGE	L.F. Ryerson steel edge, 1/8" x 4" with 12" stakes, black color adjacent to beds with rock, green at shrubs on berms.		
AS SHOWN	(R)	T.B. ROCK	3'-5" Tejas Black rock, 6"-8" deep. Provide weed barrier mat below rock. Separate at grass/bed areas with edging. Rock to cover all weed barrier mat.		
67	(B)	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS		

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 10th day of July, 2022. WITNESS OUR HANDS, this 29th day of September, 2022.

*[Signature]* Planning & Zoning Commission, Chairman  
*[Signature]* Director of Planning and Zoning

**ROCKWALL - NINTH GRADE CENTER**  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
801 E. WASHINGTON ST.  
ROCKWALL, TEXAS 75087  
CONTACT: JAMES WATSON

SURVEYOR: BOWMAN  
1200 W. MAGNOLIA BLVD.  
SUITE 300  
FORT WORTH, TEXAS 76104  
(214) 484-8536  
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
4500 FULLER DR.  
IRVING, TEXAS 75038  
(972) 717-5151  
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-017

**CORGAN**  
401 N. Houston St.  
Dallas, TX 75202  
T. 214-748-2000

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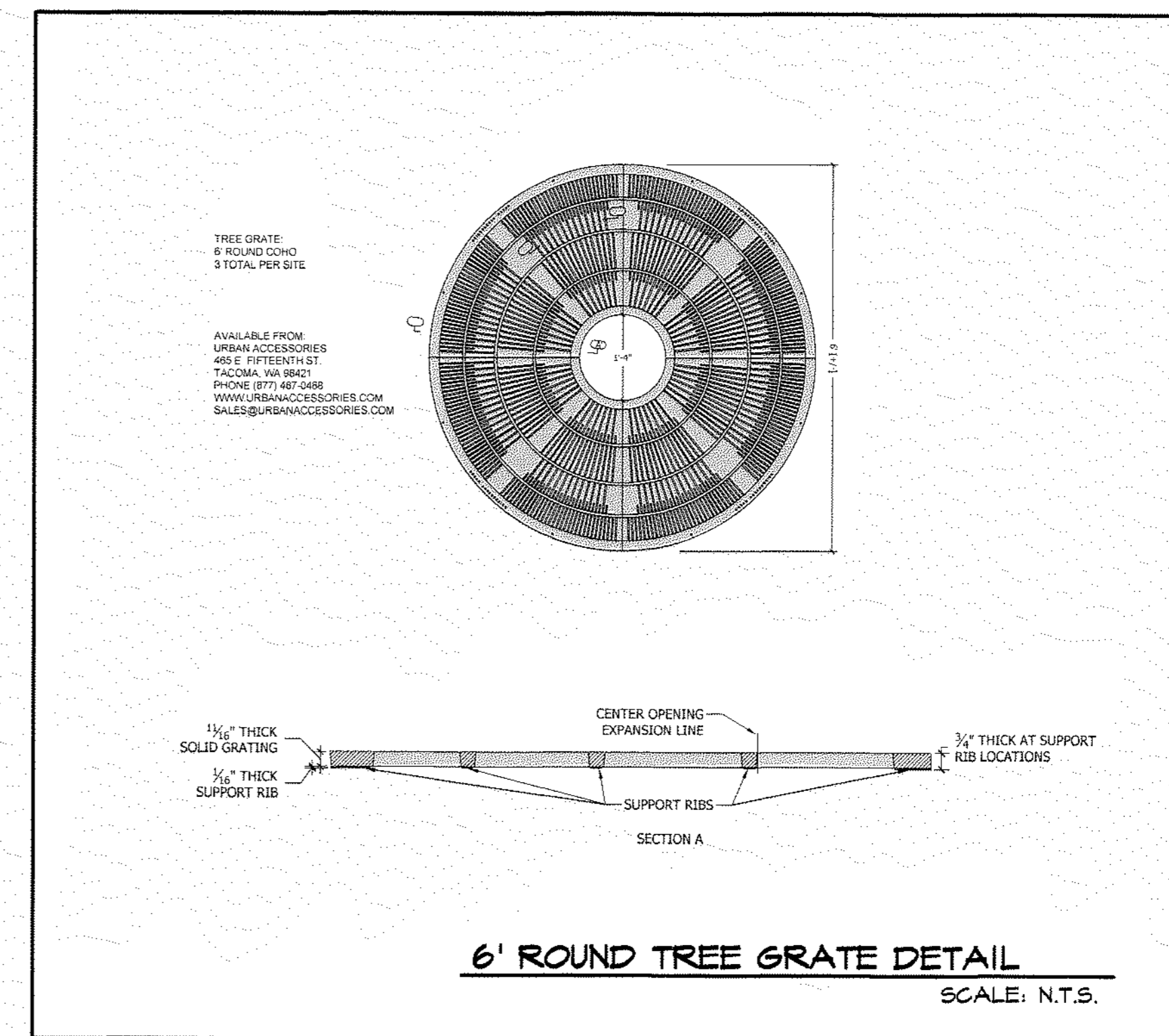
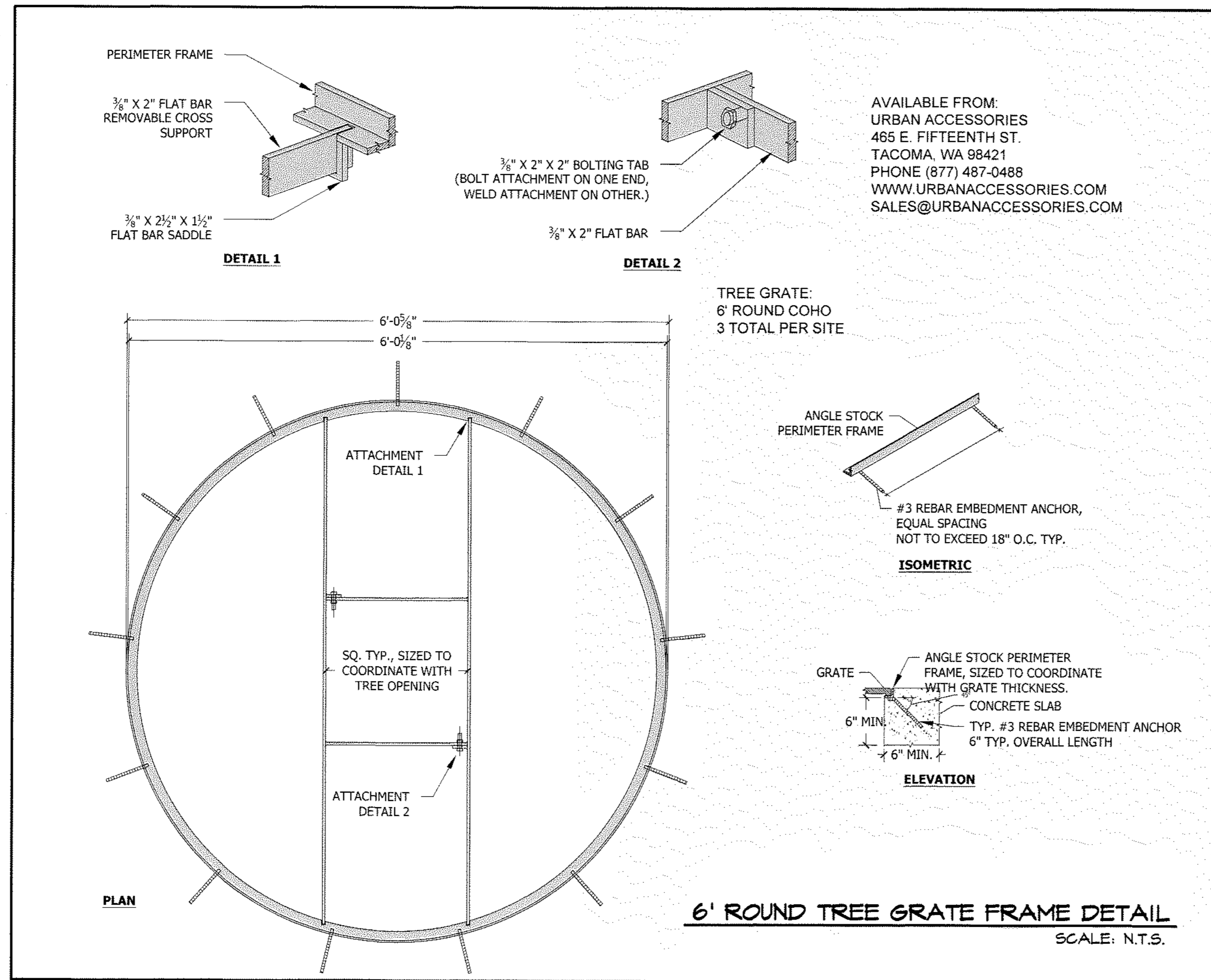


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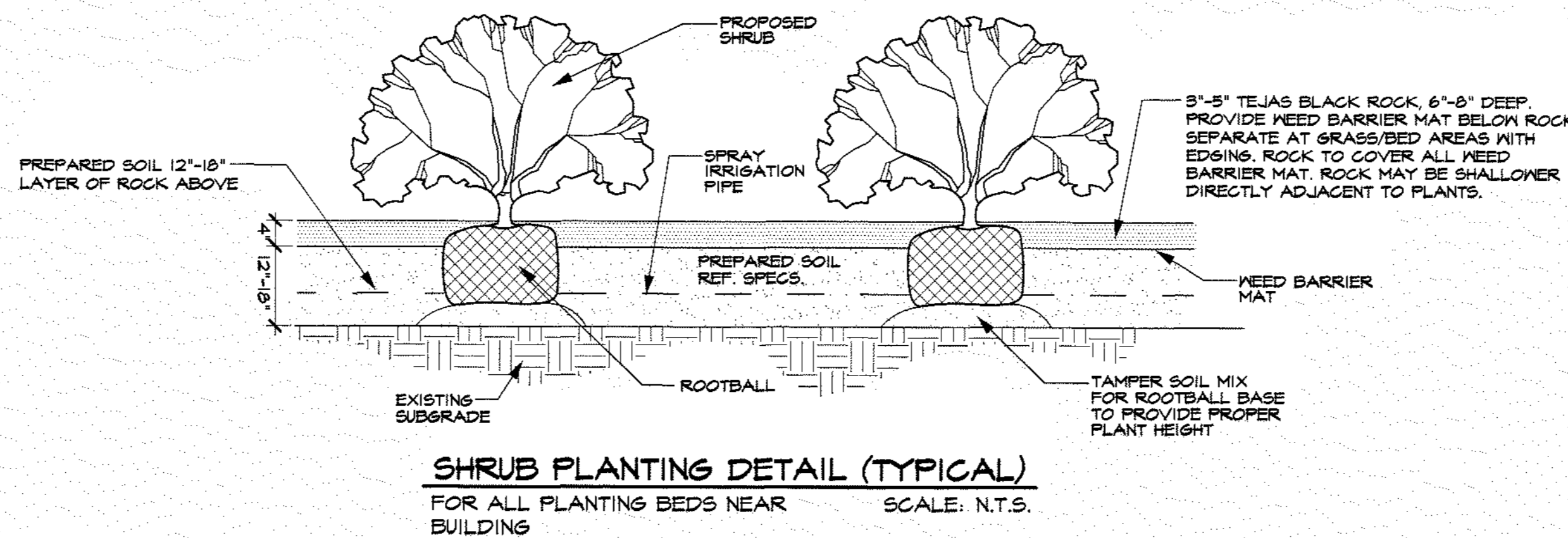
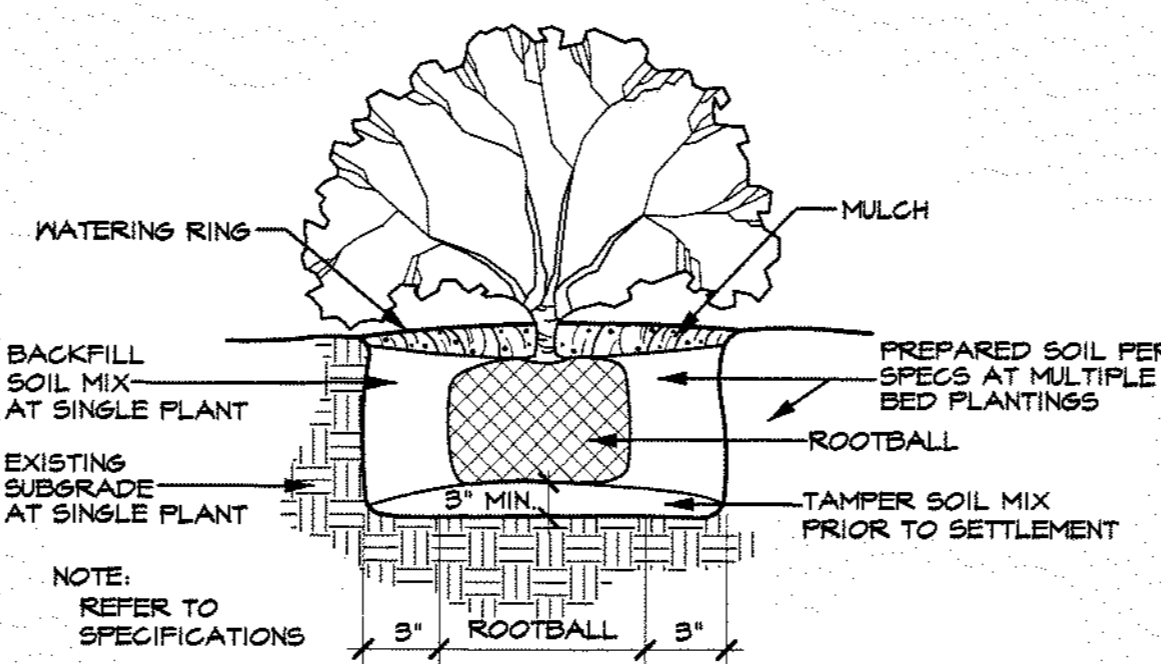
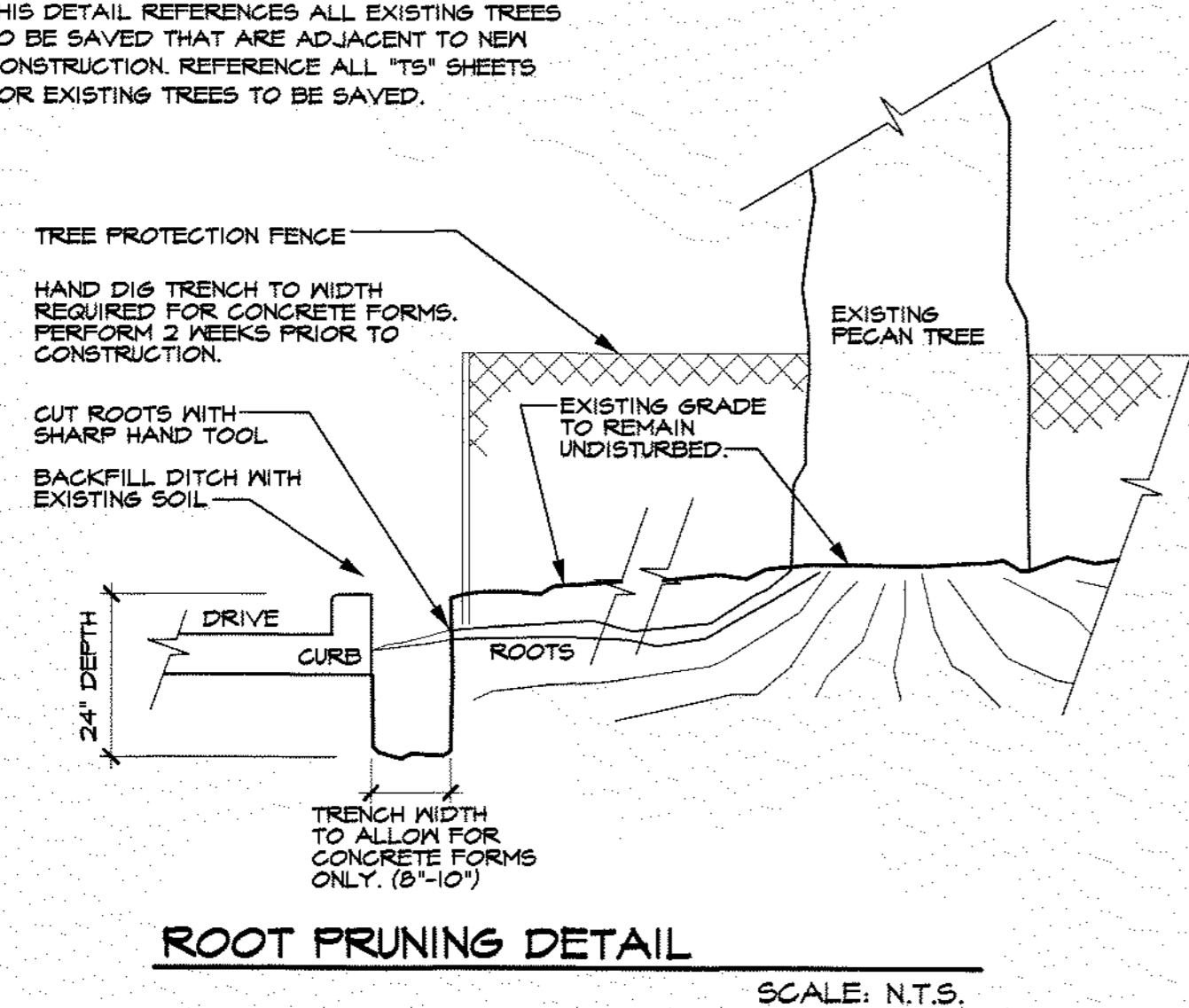
**NINTH GRADE CENTERS**  
North Site  
for  
Rockwall Independent School district  
2852 FM 1141 Rockwall, TX 75087

**LANDSCAPE DETAILS**

JOB 21572.0000  
DATE 08/26/22  
SHEET L 14



THIS DETAIL REFERENCES ALL EXISTING TREES TO BE SAVED THAT ARE ADJACENT TO NEW CONSTRUCTION. REFERENCE ALL "TS" SHEETS FOR EXISTING TREES TO BE SAVED.



**LANDSCAPE NOTES**

LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD OR HYDRO PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
 WITNESS OUR HANDS, this 29th day of September, 2022.

*[Signature]*  
 Planning & Zoning Commission, Chairman

*[Signature]*  
 Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
 LOT 1, BLOCK A  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
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 801 E. WASHINGTON ST.  
 ROCKWALL, TEXAS 75087  
 (972) 771-0605  
 CONTACT: JAMES WATSON

SURVEYOR:  
 BOWMAN  
 1200 W. MAGNOLIA BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 484-8586  
 CONTACT: ROBERT HANSEN

ENGINEER:  
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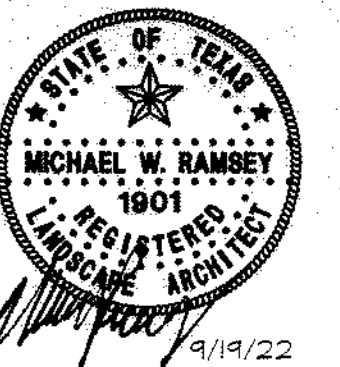
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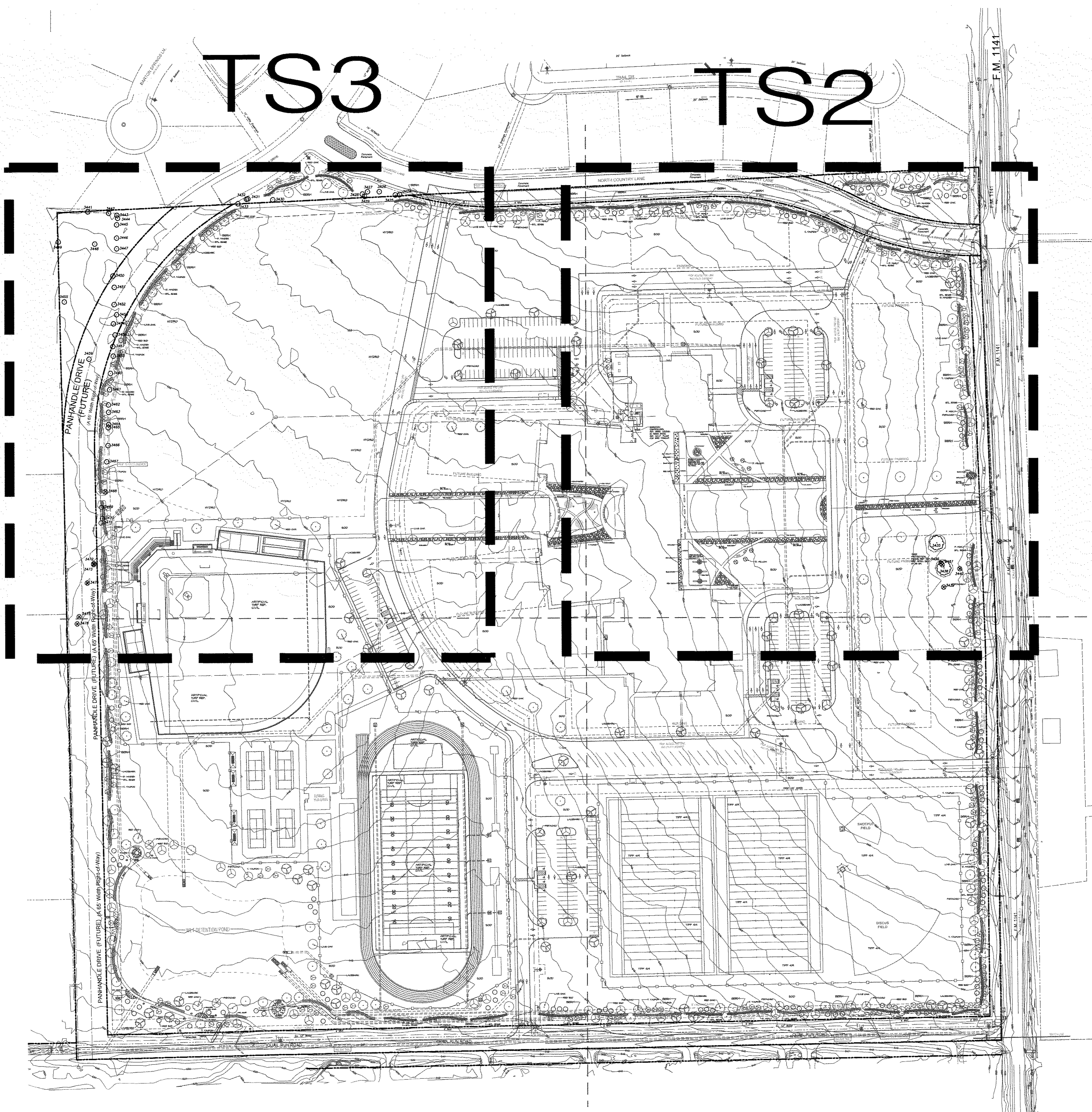
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**NINTH GRADE CENERS**  
 North Site  
 for  
 Rockwall Independent School district  
 2852 FM 1141 Rockwall, TX 75087

LANDSCAPE  
 DETAILS

JOB 21572.0000  
 DATE 08/26/22  
 SHEET

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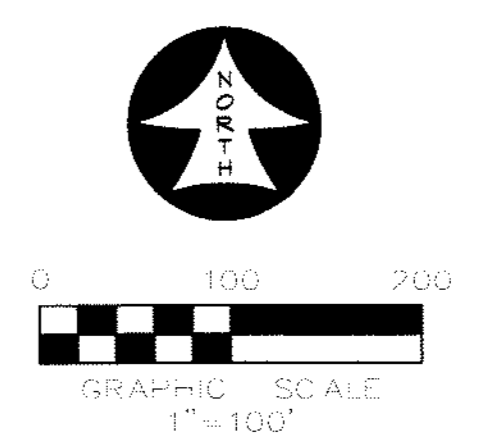


TREE #	TREE TYPE/COND.	DEMO/SAVE	MITIGATE	CREDIT
3424	TREE 16" HACKBERRY	OFF-SITE	0	
3425	TREE 14" HACKBERRY	OFF-SITE	0	
3426	TREE 13" HACKBERRY	OFF-SITE	0	
3427	TREE 16" HACKBERRY	OFF-SITE	0	
3428	TREE 13" HACKBERRY	OFF-SITE	0	
3429	TREE 13" HACKBERRY	OFF-SITE	0	
3430	TREE 15" HACKBERRY MT	OFF-SITE	0	
3431	TREE 12" HACKBERRY MT	OFF-SITE	0	
3432	TREE 16" HACKBERRY MT	OFF-SITE	0	
3433	TREE 14" HACKBERRY MT	OFF-SITE	0	
3434	TREE 30" PECAN	OFF-SITE/ROAD	0	
3435	TREE 31" PECAN	SAVE	0	31
3436	TREE 18" ELM	DEMO	18	
3437	TREE 15" ELM	DEMO	15	
3438	TREE 38" ELM	SAVE	0	38
3439	TREE 18" HACKBERRY	DEMO	9	
3440	TREE 18" PEAR	DEMO-1/2 DEAD	EXEMPT	SICK
3441	TREE 19" HACKBERRY MT	SAVE	0	
3442	TREE 11" HACKBERRY	SAVE	0	
3443	TREE 12" HACKBERRY	SAVE	0	
3444	TREE 13" HACKBERRY MT	SAVE	0	
3445	TREE 14" HACKBERRY SPLIT	SAVE	0	
3446	TREE 18" HACKBERRY	SAVE	0	
3447	TREE 12" HACKBERRY	SAVE	0	
3448	TREE 12" HACKBERRY MT	SAVE	0	
3449	TREE 12" HACKBERRY MT	SAVE	0	
3450	TREE 14" HACKBERRY	SAVE	0	
3451	TREE 16" HACKBERRY MT	SAVE	0	
3452	TREE 13" HACKBERRY	SAVE	0	
3453	TREE 14" HACKBERRY	SAVE	0	
3454	TREE 12" HACKBERRY	SAVE	0	
3455	TREE 23" HACKBERRY MT	SAVE	0	
3456	TREE 13" HACKBERRY MT	SAVE	0	
3457	TREE 11" HACKBERRY MT	SAVE	0	
3458	TREE 12" HACKBERRY MT	SAVE	0	
3459	TREE 13" HACKBERRY MT	SAVE	0	
3460	TREE 19" HACKBERRY MT	SAVE	0	
3461	TREE 15" HACKBERRY	SAVE	0	
3462	TREE 12" HACKBERRY	SAVE	0	
3463	TREE 14" HACKBERRY	SAVE	0	
3464	TREE 11" HACKBERRY	SAVE	0	
3465	TREE 13" HACKBERRY MT	SAVE	0	
3466	TREE 12" HACKBERRY	SAVE	0	
3467	TREE 14" HACKBERRY	SAVE	0	
3468	TREE 16" HACKBERRY	DEMO	8	
3469	TREE 12" HACKBERRY	DEMO	6	
3470	TREE 12" HACKBERRY	DEMO	6	
3471	TREE 12" HACKBERRY	DEMO	6	
3472	TREE 12" HACKBERRY MT	DEMO	6	
3473	TREE 12" HACKBERRY MT	DEMO	6	
3474	TREE 18" HACKBERRY	DEMO	9	
3475	TREE 12" HACKBERRY	DEMO	6	
3476	TREE 13" HACKBERRY	DEMO	6.5	
TOTAL			101.5	69

MITIGATION 101.5 - 69 = 32.5 X \$100.00 = \$3,250.00

EXISTING TREE LEGEND	
	3467 EXISTING TREE TO BE SAVED
	3468 EXISTING TREE TO BE REMOVED

SITE DATA SUMMARY	
EXISTING ZONING	AG
PROPOSED ZONING	PD FOR NS USES (2022-015)
USE	PUBLIC SCHOOL
LOT AREA	3,044.079 S.F. OR 69.88 AC.
BUILDING AREA (FLOOR AREA)	
PROPOSED FIRST FLOOR	150,170 S.F.
PROPOSED SECOND FLOOR	41,019 S.F.
TOTAL BUILDING AREA	191,189 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	150,170 S.F.
LOT COVERAGE	150,170 S.F. / 3,044.079 S.F. = 4.93%
FLOOR AREA RATIO	0.051
TOTAL IMPERVIOUS AREA	731,645 SQ. FT. OR 24.04 AC.
BUILDING HEIGHT	137'-0" (2 STORY)
TOTAL REQUIRED PARKING (1 PER 5 STUDENTS)	203 SPACES
PARKING PROVIDED	
PARKING SURFACE	
9.0x18.0	202 SPACES
9.0x20.0	159 SPACES
15.0x30.0	20 SPACES
TOTAL PARKING PROVIDED	381 SPACES



APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12<sup>th</sup> day of July, 2022.  
 WITNESS OUR HANDS, this 20<sup>th</sup> day of September, 2022.

*[Signature]* Planning & Zoning Commission, Chairman  
*[Signature]* Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
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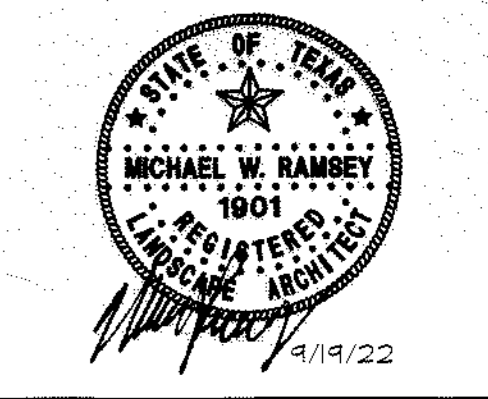
OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 CONTACT: JAMES WATSON	SURVEYOR: BOWMAN 1200 W. MAGNOLIA BLVD. SUITE 300 FORT WORTH, TEXAS 76104 (972) 771-0605 CONTACT: ROBERT HANSEN	ENGINEER: GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUJO
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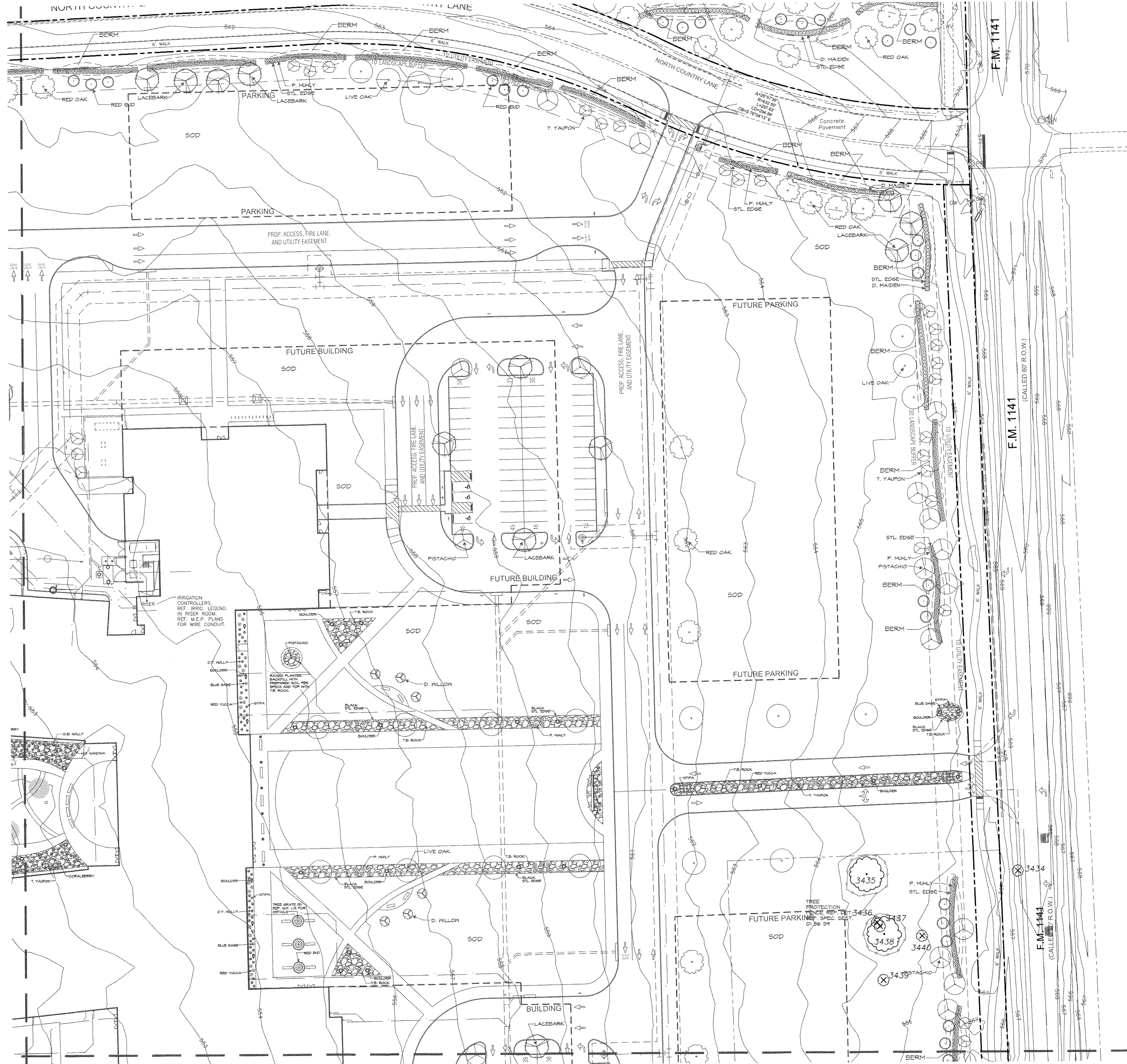


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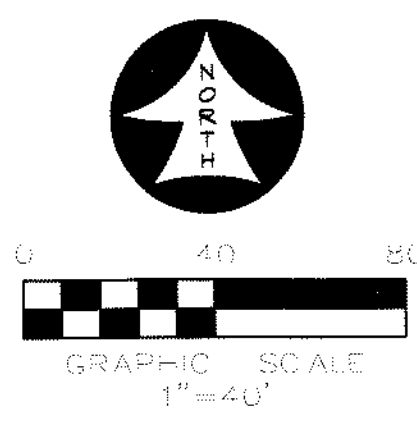
OVERALL  
 TREESCAPE  
 PLAN

JOB 21572.0000  
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TREE #	TREE TYPE/COND.	DEMO/SAVE	MITIGATE	CREDIT
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3427	TREE 16" HACKBERRY	OFF-SITE	0	
3428	TREE 13" HACKBERRY	OFF-SITE	0	
3429	TREE 13" HACKBERRY	OFF-SITE	0	
3430	TREE 15" HACKBERRY MT	OFF-SITE	0	
3431	TREE 12" HACKBERRY MT	OFF-SITE	0	
3432	TREE 16" HACKBERRY MT	OFF-SITE	0	
3433	TREE 14" HACKBERRY MT	OFF-SITE	0	
3434	TREE 30" PECAN	OFF-SITE/ROAD	0	
3435	TREE 31" PECAN	SAVE	0	31
3436	TREE 18" ELM	DEMO	18	
3437	TREE 15" ELM	DEMO	15	
3438	TREE 38" ELM	SAVE	0	38
3439	TREE 18" HACKBERRY	DEMO	9	
3440	TREE 18" PEAR	DEMO-1/2 DEAD	EXEMPT	SICK
3441	TREE 19" HACKBERRY MT	SAVE	0	
3442	TREE 11" HACKBERRY	SAVE	0	
3443	TREE 12" HACKBERRY	SAVE	0	
3444	TREE 13" HACKBERRY MT	SAVE	0	
3445	TREE 14" HACKBERRY SPLIT	SAVE	0	
3446	TREE 18" HACKBERRY	SAVE	0	
3447	TREE 12" HACKBERRY	SAVE	0	
3448	TREE 12" HACKBERRY MT	SAVE	0	
3449	TREE 12" HACKBERRY MT	SAVE	0	
3450	TREE 14" HACKBERRY	SAVE	0	
3451	TREE 18" HACKBERRY MT	SAVE	0	
3452	TREE 13" HACKBERRY	SAVE	0	
3453	TREE 14" HACKBERRY	SAVE	0	
3454	TREE 12" HACKBERRY	SAVE	0	
3455	TREE 23" HACKBERRY MT	SAVE	0	
3456	TREE 13" HACKBERRY MT	SAVE	0	
3457	TREE 11" HACKBERRY MT	SAVE	0	
3458	TREE 12" HACKBERRY MT	SAVE	0	
3459	TREE 13" HACKBERRY MT	SAVE	0	
3460	TREE 19" HACKBERRY MT	SAVE	0	
3461	TREE 15" HACKBERRY	SAVE	0	
3462	TREE 12" HACKBERRY	SAVE	0	
3463	TREE 14" HACKBERRY	SAVE	0	
3464	TREE 11" HACKBERRY	SAVE	0	
3465	TREE 13" HACKBERRY MT	SAVE	0	
3466	TREE 12" HACKBERRY	SAVE	0	
3467	TREE 14" HACKBERRY	SAVE	0	
3468	TREE 10" HACKBERRY	DEMO	8	
3469	TREE 12" HACKBERRY	DEMO	6	
3470	TREE 12" HACKBERRY	DEMO	6	
3471	TREE 12" HACKBERRY	DEMO	6	
3472	TREE 12" HACKBERRY MT	DEMO	6	
3473	TREE 12" HACKBERRY MT	DEMO	6	
3474	TREE 18" HACKBERRY	DEMO	9	
3475	TREE 12" HACKBERRY	DEMO	6	
3476	TREE 13" HACKBERRY	DEMO	6.5	
TOTAL			101.5	69

EXISTING TREE LEGEND	
	3467 EXISTING TREE TO BE SAVED
	3468 EXISTING TREE TO BE REMOVED



APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 10th day of July, 2022. WITNESS OUR HANDS, this 10th day of July, 2022.

*[Signature]* Planning & Zoning Commission, Chairman  
*[Signature]* Director of Planning and Zoning

**ROCKWALL - NINTH GRADE CENTER**  
 LOT 1, BLOCK A  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
 801 E. WASHINGTON ST.  
 ROCKWALL, TEXAS 75087  
 (972) 771-0605  
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN  
 1200 W. MAGNOLIA BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 484-8566  
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
 4500 FULLER DR.  
 IRVING, TEXAS 75038  
 (972) 771-8151  
 CONTACT: CHERALYN M. ARMALIO

CITY OF ROCKWALL CASE NO. SP2022-017

**CORGAN**  
 401 N. Houston St  
 Dallas, TX 75202  
 T. 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
2	
3	
4	
5	
6	

REVISIONS	

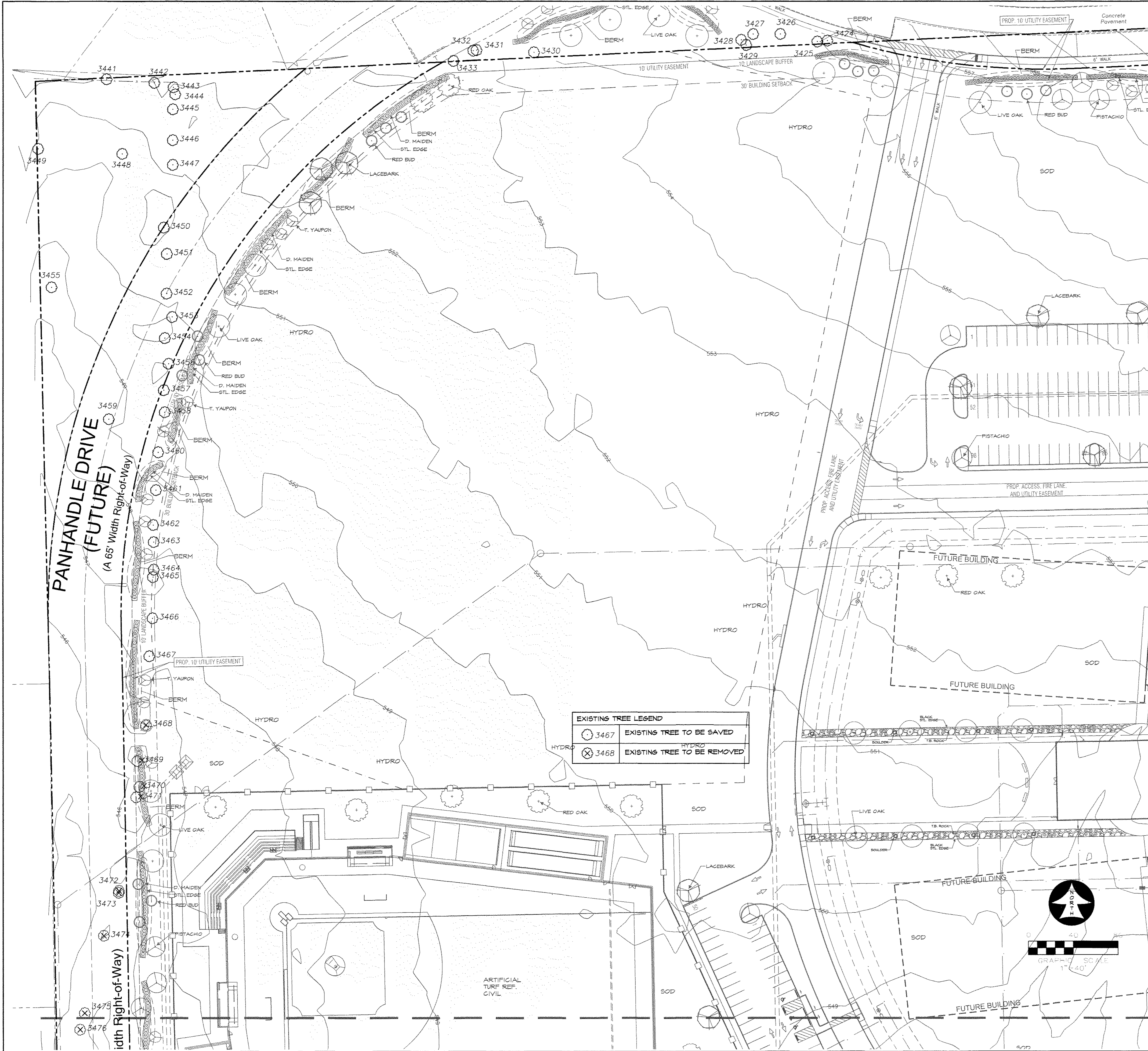


**RAMSEY LANDSCAPE ARCHITECTS, LLC**  
 11914 WISHING WELL CT  
 FRISCO, TEXAS 75035  
 PHONE (972) 335-0889  
 FAX (469) 362-5433  
 EMAIL: MIKE.RLA@ATT.NET

**NINTH GRADE CENERS**  
 North Site  
 for  
 Rockwall Independent School district  
 2852 FM 1141 Rockwall, TX 75087

**TREESCAPE**  
**PLAN EAST**

**JOB** 21572.0000  
**DATE** 08/26/22  
**SHEET** TS 2



ROCKWALL JH NORTH			
TREE #	TREE TYPE/COND.	DEMO/SAVE	MITIGATE CREDIT
3424	TREE 15" HACKBERRY	OFF-SITE	0
3425	TREE 14" HACKBERRY	OFF-SITE	0
3426	TREE 13" HACKBERRY	OFF-SITE	0
3427	TREE 16" HACKBERRY	OFF-SITE	0
3428	TREE 13" HACKBERRY	OFF-SITE	0
3429	TREE 13" HACKBERRY	OFF-SITE	0
3430	TREE 15" HACKBERRY MT	OFF-SITE	0
3431	TREE 12" HACKBERRY MT	OFF-SITE	0
3432	TREE 16" HACKBERRY MT	OFF-SITE	0
3433	TREE 14" HACKBERRY MT	OFF-SITE	0
3434	TREE 30" PECAN	OFF-SITE/ROAD	0
3435	TREE 31" PECAN	SAVE	31
3436	TREE 18" ELM	DEMO	18
3437	TREE 15" ELM	DEMO	15
3438	TREE 38" ELM	SAVE	38
3439	TREE 18" HACKBERRY	DEMO	9
3440	TREE 18" PEAR	DEMO 1/2 DEAD	EXEMPT SICK
3441	TREE 19" HACKBERRY MT	SAVE	0
3442	TREE 11" HACKBERRY	SAVE	0
3443	TREE 12" HACKBERRY	SAVE	0
3444	TREE 13" HACKBERRY MT	SAVE	0
3445	TREE 14" HACKBERRY SPLIT	SAVE	0
3446	TREE 18" HACKBERRY	SAVE	0
3447	TREE 12" HACKBERRY	SAVE	0
3448	TREE 12" HACKBERRY MT	SAVE	0
3449	TREE 12" HACKBERRY MT	SAVE	0
3450	TREE 14" HACKBERRY	SAVE	0
3451	TREE 16" HACKBERRY MT	SAVE	0
3452	TREE 13" HACKBERRY	SAVE	0
3453	TREE 14" HACKBERRY	SAVE	0
3454	TREE 12" HACKBERRY	SAVE	0
3455	TREE 23" HACKBERRY MT	SAVE	0
3456	TREE 13" HACKBERRY MT	SAVE	0
3457	TREE 11" HACKBERRY MT	SAVE	0
3458	TREE 12" HACKBERRY MT	SAVE	0
3459	TREE 13" HACKBERRY MT	SAVE	0
3460	TREE 19" HACKBERRY MT	SAVE	0
3461	TREE 15" HACKBERRY	SAVE	0
3462	TREE 12" HACKBERRY	SAVE	0
3463	TREE 14" HACKBERRY	SAVE	0
3464	TREE 11" HACKBERRY	SAVE	0
3465	TREE 13" HACKBERRY MT	SAVE	0
3466	TREE 12" HACKBERRY	SAVE	0
3467	TREE 14" HACKBERRY	SAVE	0
3468	TREE 16" HACKBERRY	DEMO	8
3469	TREE 12" HACKBERRY	DEMO	6
3470	TREE 12" HACKBERRY	DEMO	6
3471	TREE 12" HACKBERRY	DEMO	6
3472	TREE 12" HACKBERRY MT	DEMO	6
3473	TREE 12" HACKBERRY MT	DEMO	6
3474	TREE 18" HACKBERRY	DEMO	9
3475	TREE 12" HACKBERRY	DEMO	6
3476	TREE 13" HACKBERRY	DEMO	6.5
TOTAL		101.5	69

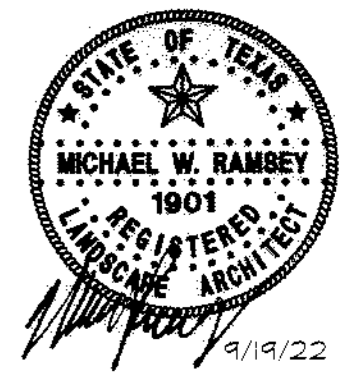
**CORGAN**

401 N. Houston St.  
Dallas, TX 75202  
T: 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
2	
3	
4	
5	
6	

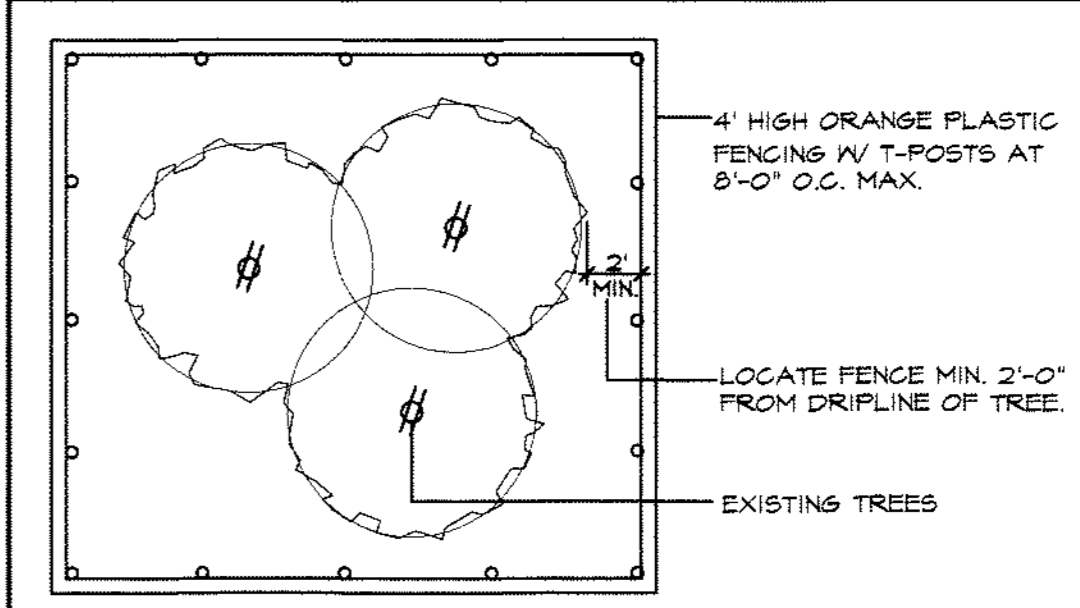
  

REVISIONS	



**RAMSEY LANDSCAPE ARCHITECTS, LLC**

11914 WISHING WELL CT.  
FRISCO, TEXAS 75035  
PHONE (972) 335-0889  
FAX (469) 362-5433  
EMAIL: MIKE.RLA@ATT.NET



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
  - PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
  - IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
  - CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
  - ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.
- TREE PROTECTION FENCE AND NOTES**  
SCALE: N.T.S.

EXISTING TREE LEGEND	
(Circle symbol)	3467 EXISTING TREE TO BE SAVED
(Circle with X symbol)	3468 EXISTING TREE TO BE REMOVED

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 10th day of July, 2022.  
WITNESS OUR HANDS, this 20th day of September, 2022.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

**ROCKWALL - NINTH GRADE CENTER**  
LOT 1, BLOCK A  
OUT OF THE  
JOHN M. GASS SURVEY, ABSTRACT NO. 88  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD, 801 E. WASHINGTON ST., ROCKWALL, TEXAS 75087 (972) 771-0605, CONTACT: JAMES WATSON

SURVEYOR: BOWMAN, 1200 W. MAGNOLIA BLVD., SUITE 300, FORT WORTH, TEXAS 76104 (214) 484-8586, CONTACT: ROBERT HANSEN

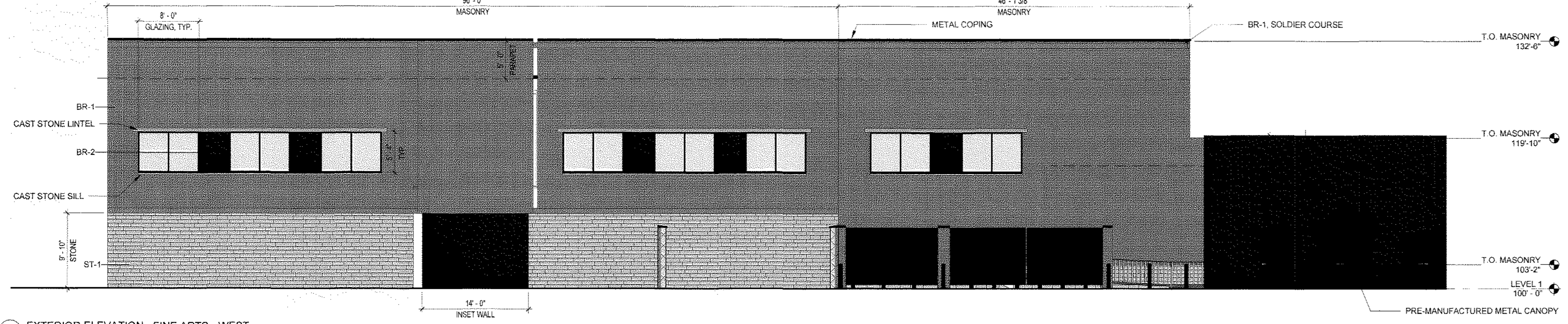
ENGINEER: GLENN ENGINEERING CORP., 4500 FULLER DR., IRVING, TEXAS 75038 (972) 717-5151, CONTACT: CHERALYN M. ARMILIO

CITY OF ROCKWALL CASE NO. SP2022-017

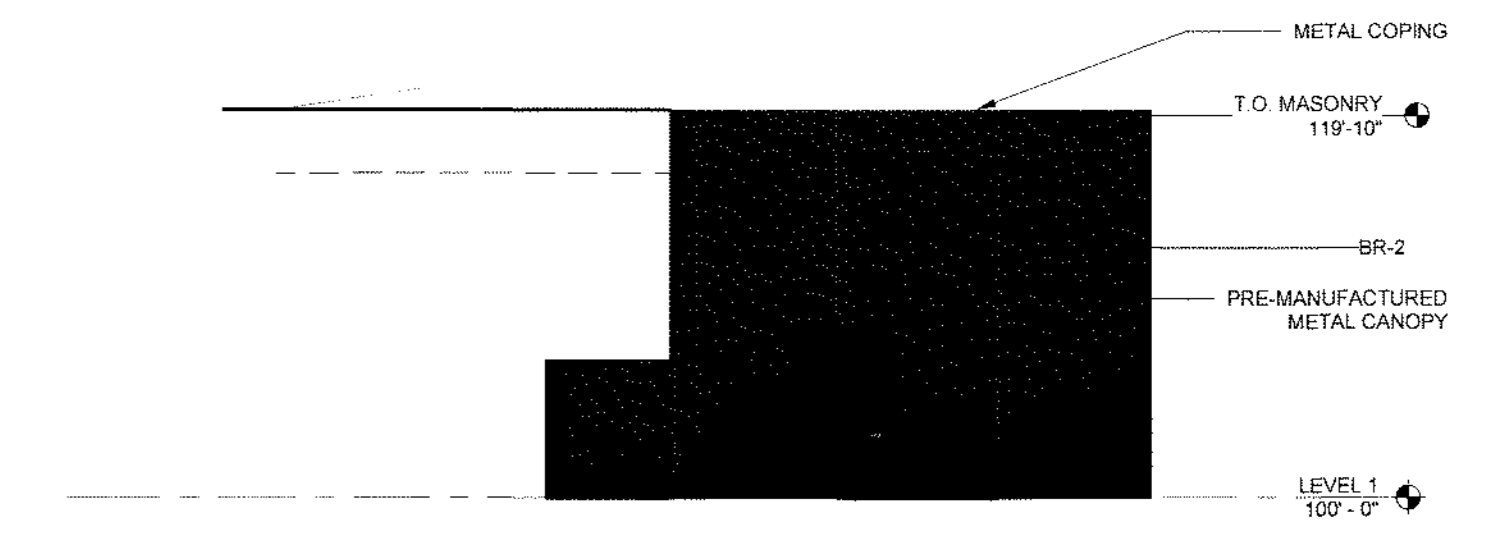
**NINTH GRADE CENTERS**  
North Site  
for  
Rockwall Independent School district  
2852 FM 1141 Rockwall, TX 75087

**TREESCAPE PLAN WEST**

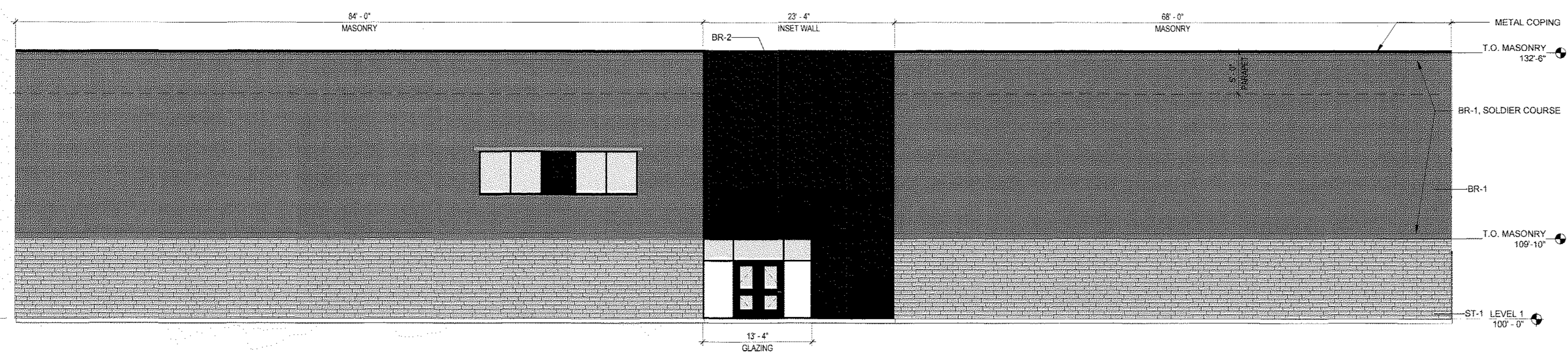
JOB 21572.0000  
DATE 08/26/22  
SHEET TS 3



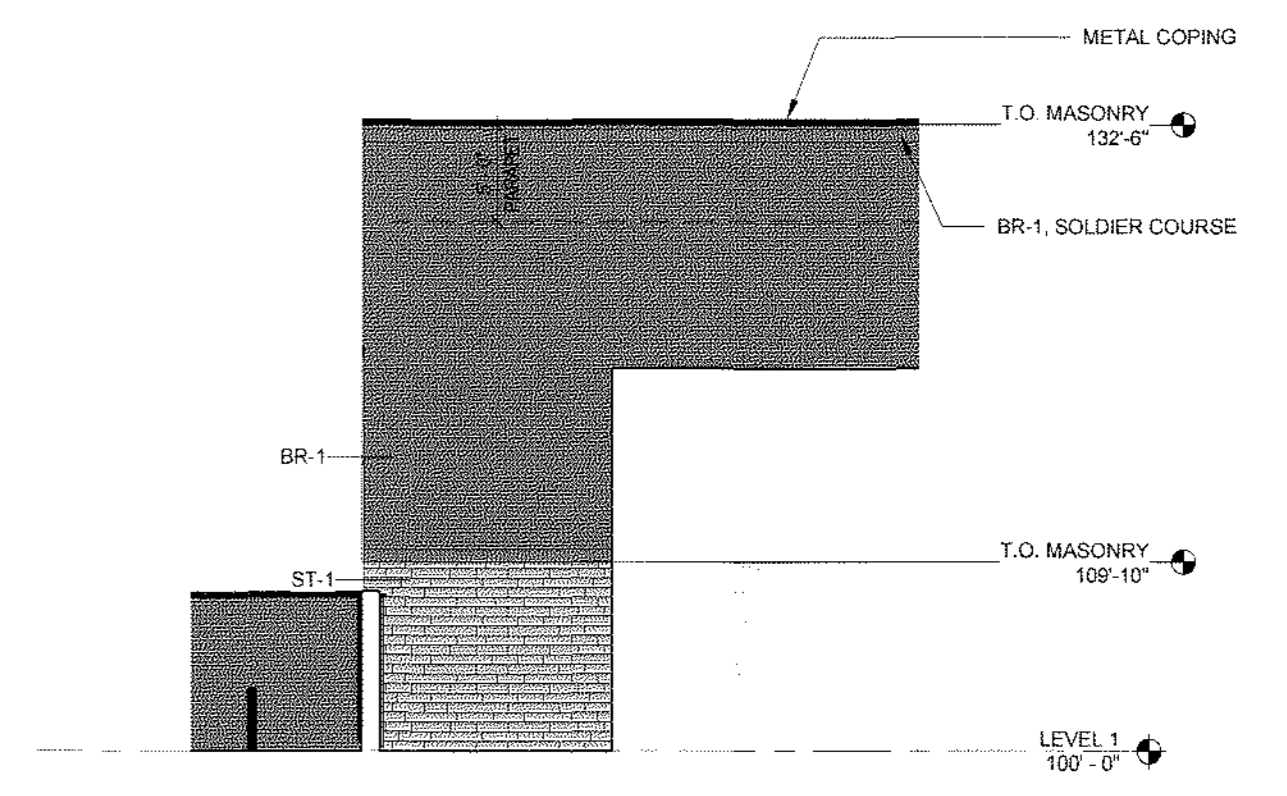
07 EXTERIOR ELEVATION - FINE ARTS - WEST  
1/8" = 1'-0"



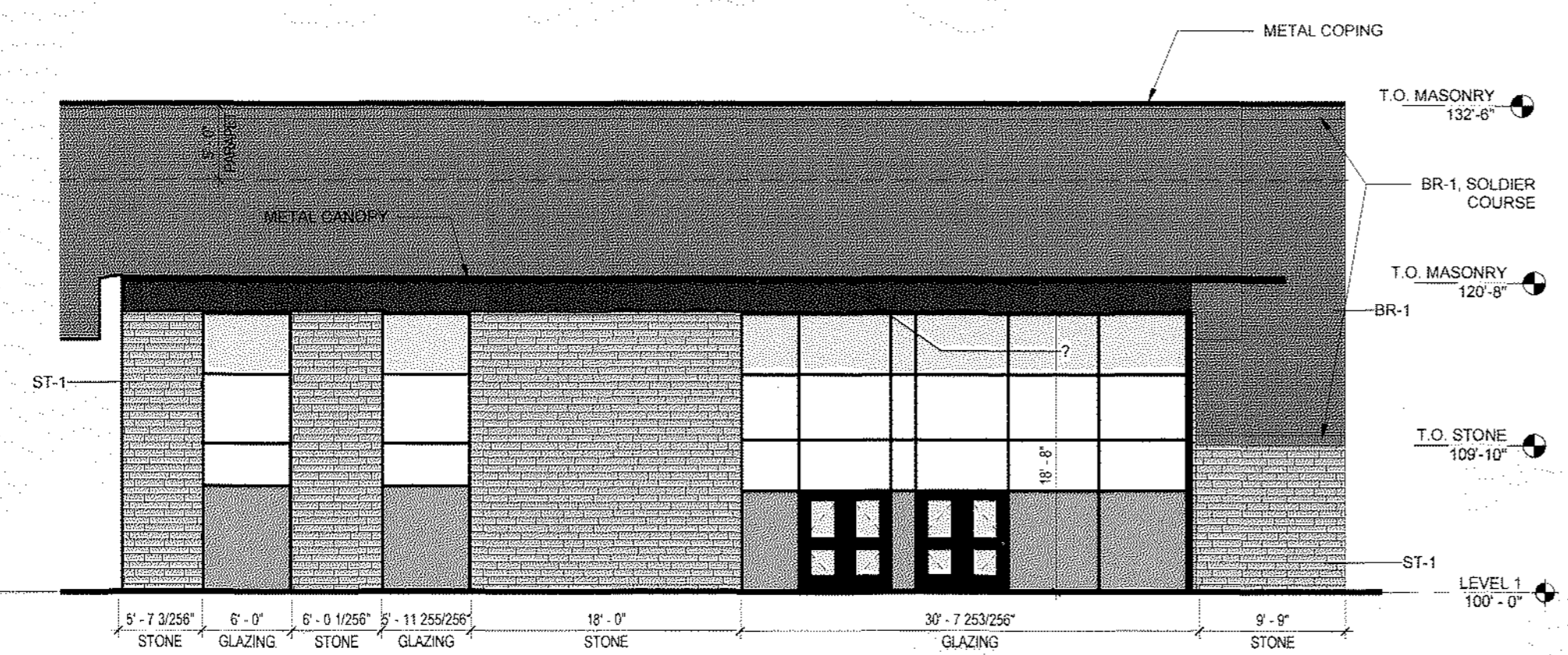
06 EXTERIOR ELEVATION - SERVERY - NORTH - B  
1/8" = 1'-0"



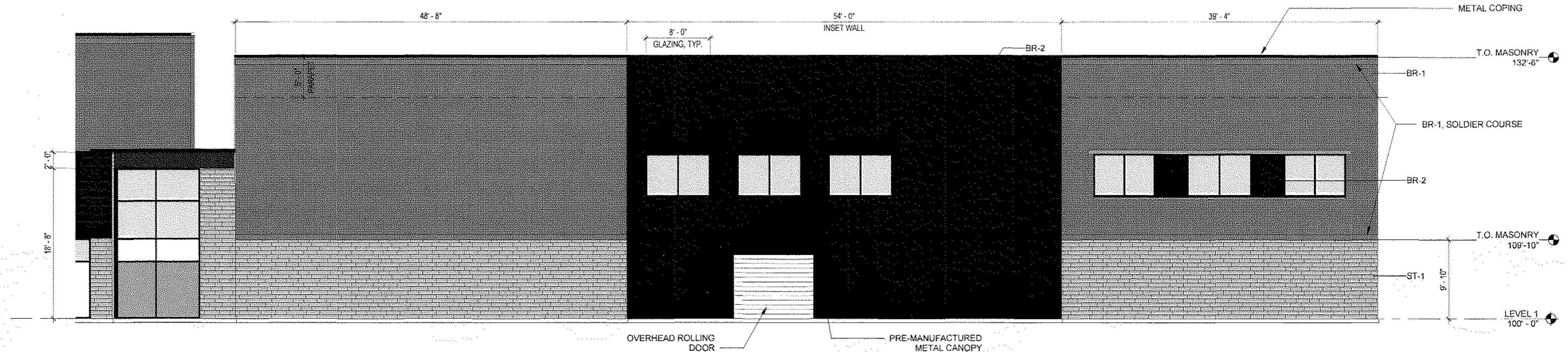
05 EXTERIOR ELEVATION - FINE ARTS - NORTH  
1/8" = 1'-0"



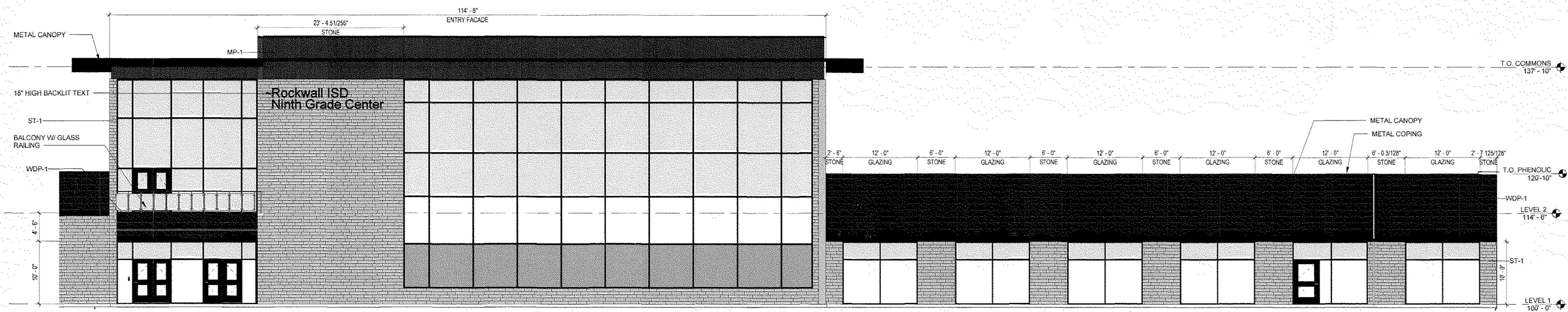
04 EXTERIOR ELEVATIONS - FINE ARTS - SOUTH  
1/8" = 1'-0"



03 EXTERIOR ELEVATION - FINE ARTS - SOUTH  
1/8" = 1'-0"

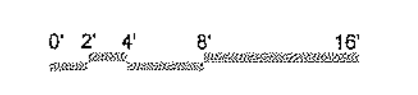


02 EXTERIOR ELEVATION - FINE ARTS - EAST (FACES ROW FM 1141)  
1/8" = 1'-0"



01 EXTERIOR ELEVATION - MAIN ENTRY (FACES ROW FM 1141)  
1/8" = 1'-0"

EXT. MATERIALS LEGEND		



# EXTERIOR ELEVATIONS

As indicated

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 29th day of September, 2022.

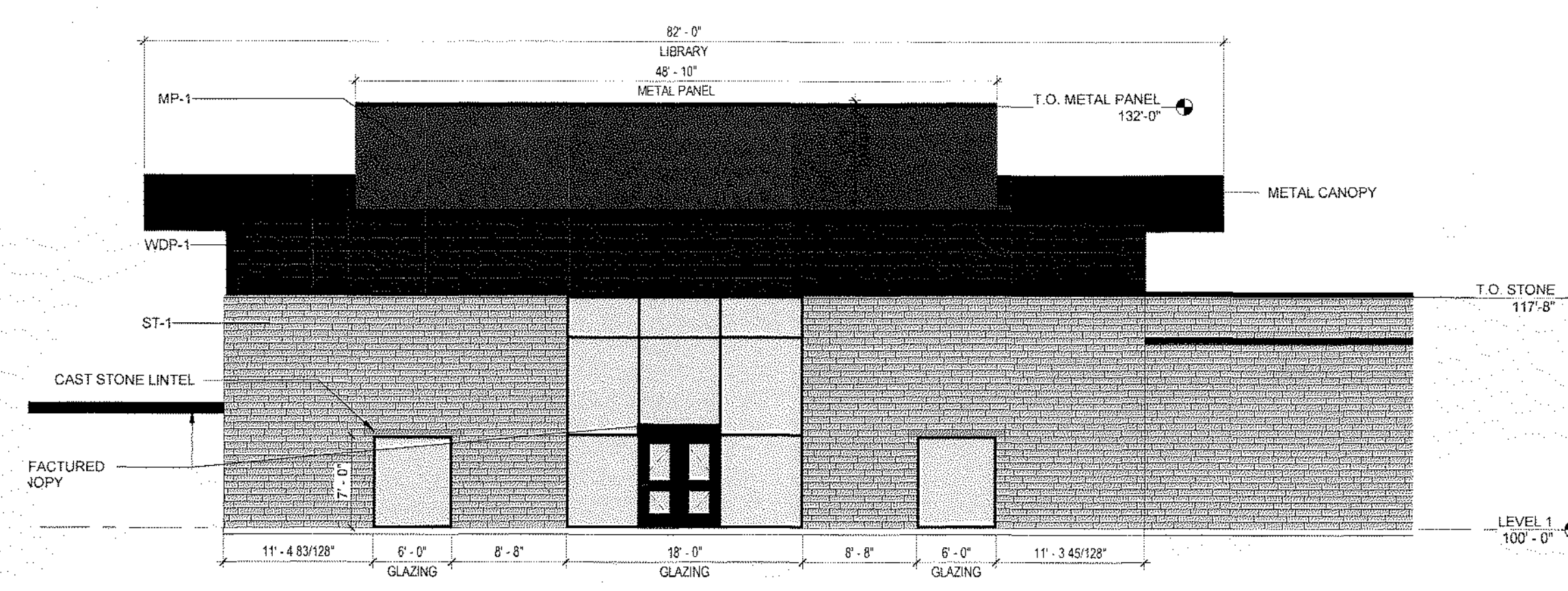
*Signature*  
Planning & Zoning Commission, Chairman

*Signature*  
Director of Planning and Zoning

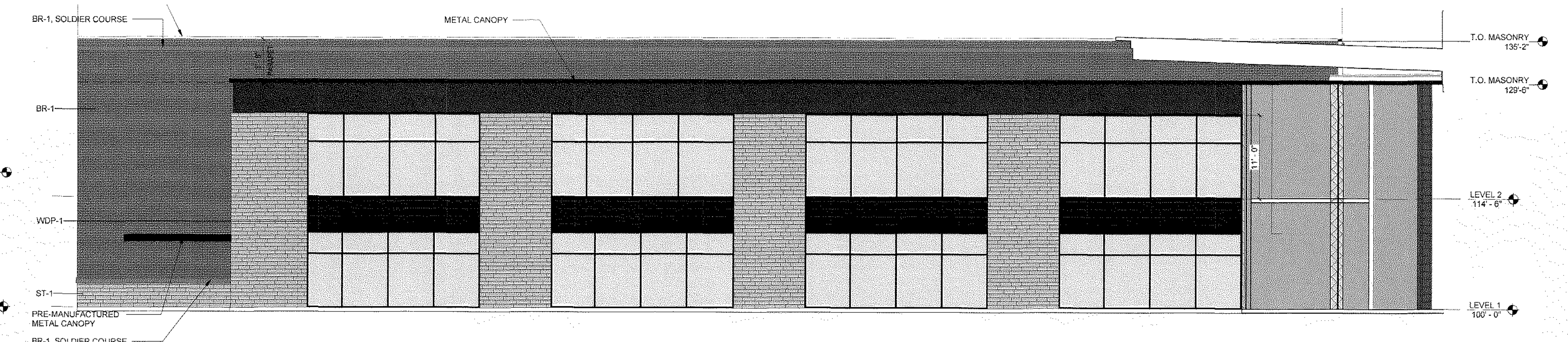


This document is property of and may not be used for regulatory approval, permit or construction.

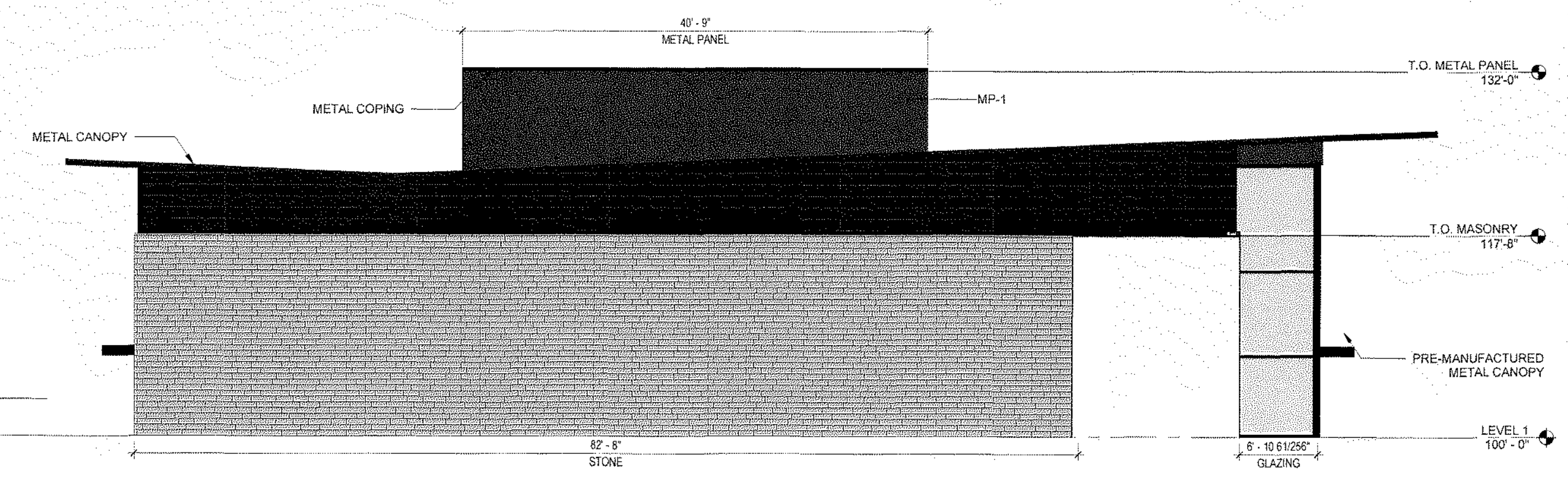




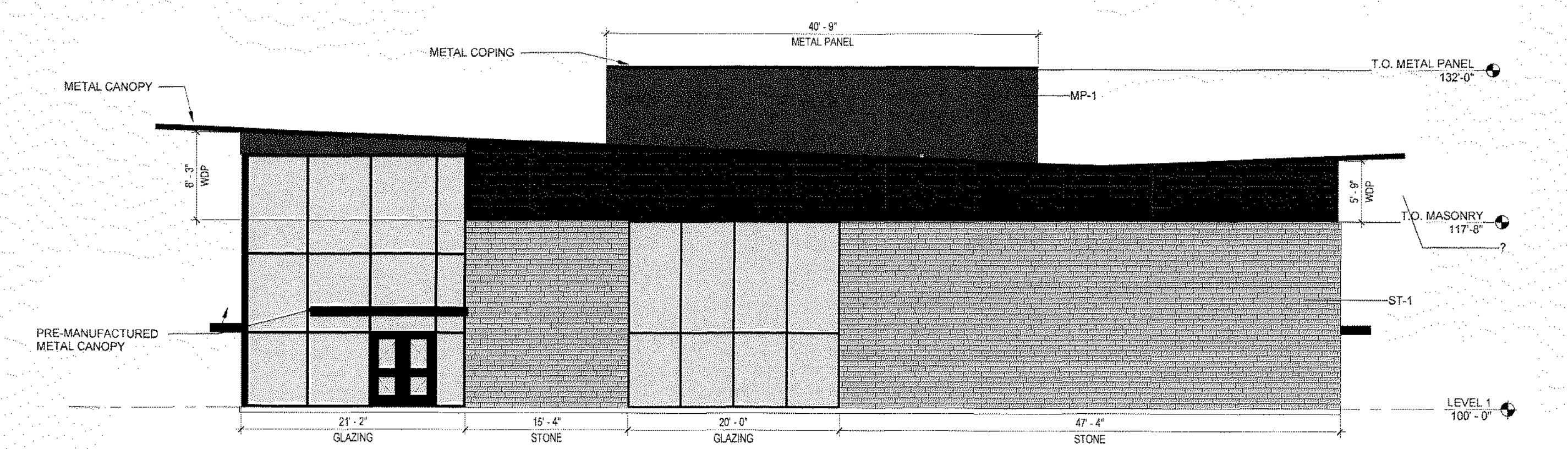
07 EXTERIOR ELEVATION - LIBRARY - WEST  
1/8" = 1'-0"



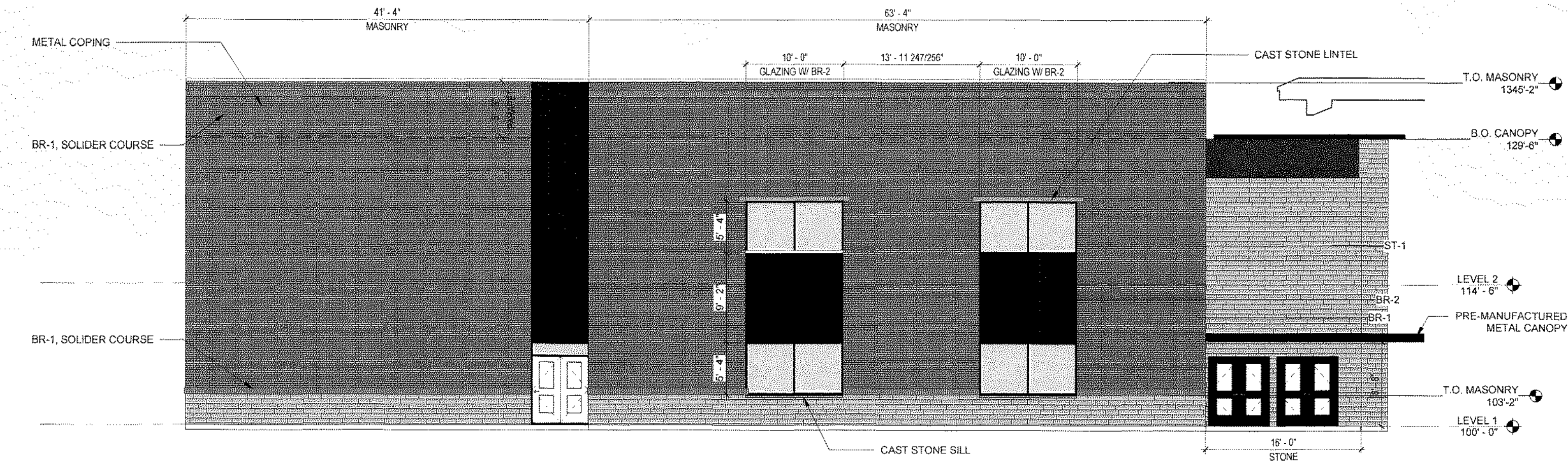
06 EXTERIOR ELEVATION - NORTH CLASSROOM WING - NORTH  
1/8" = 1'-0"



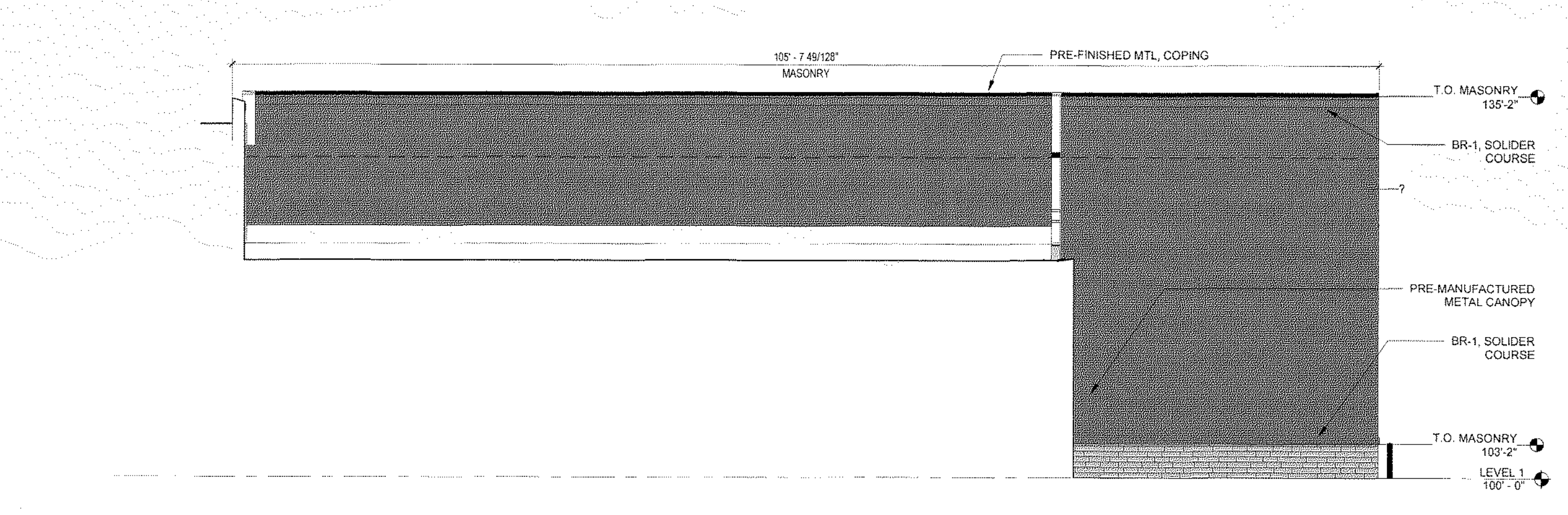
05 SOUTH  
1/8" = 1'-0"



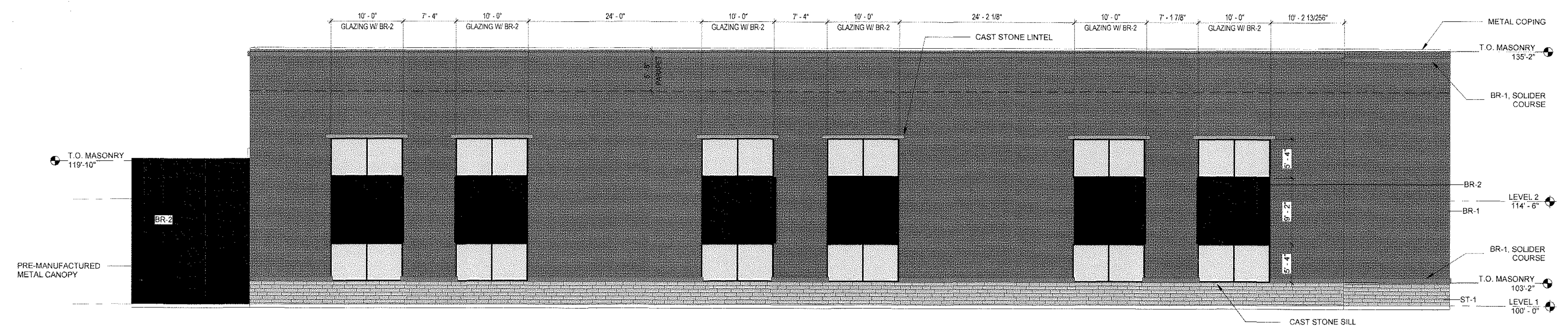
04 EXTERIOR ELEVATION - LIBRARY - NORTH  
1/8" = 1'-0"



03 EXTERIOR ELEVATION - NORTH CLASSROOM WING - WEST  
1/8" = 1'-0"

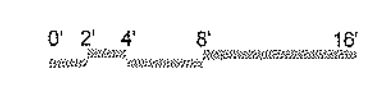


02 EXTERIOR ELEVATION - NORTH CLASSROOM WING - EAST  
1/8" = 1'-0"



01 EXTERIOR ELEVATION - NORTH CLASSROOM WING - NORTH  
1/8" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1	
	ST-1	
	MP-1	



# EXTERIOR ELEVATIONS

As indicated

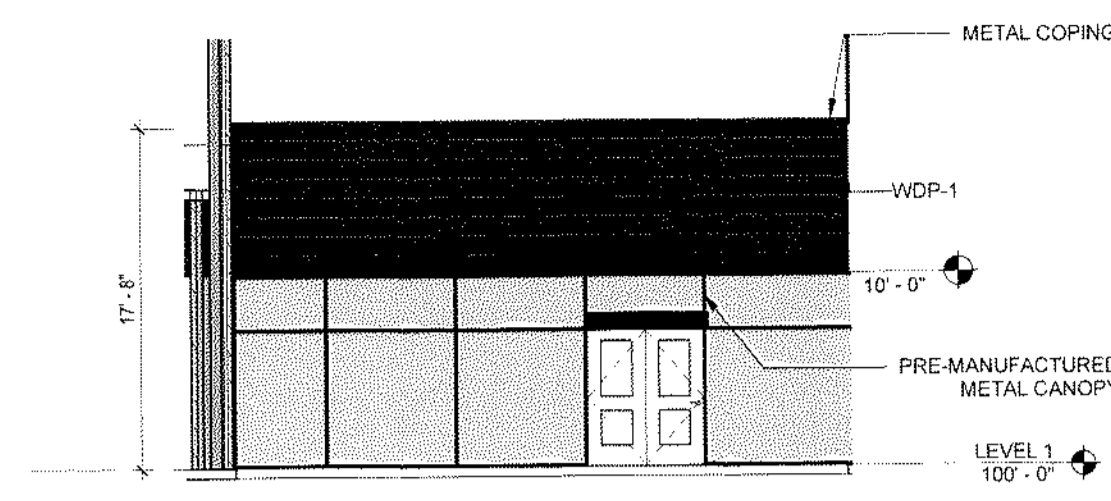
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of July, 2022.  
WITNESS OUR HANDS, this 29th day of September, 2022.

*[Signature]*  
Planning & Zoning Commission, Chairman

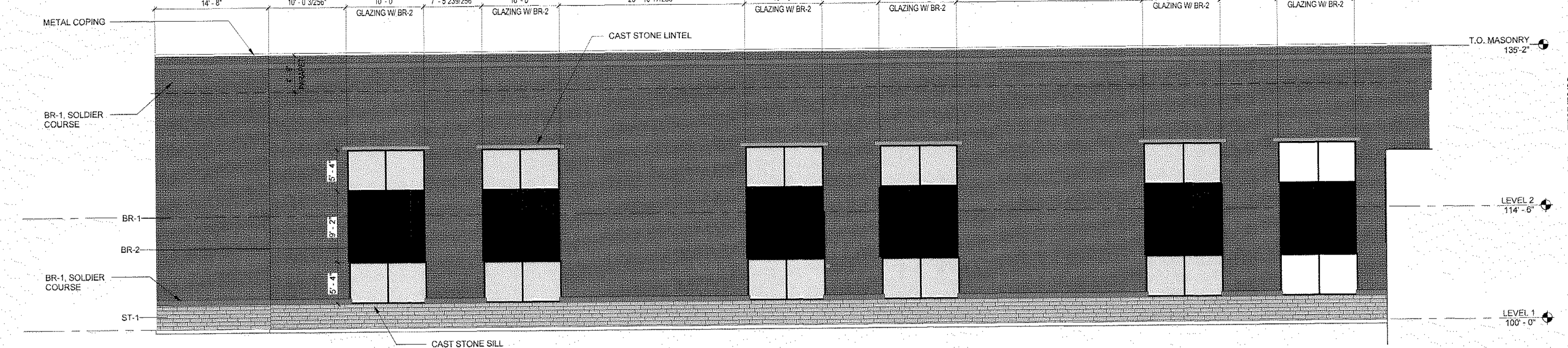
*[Signature]*  
Director of Planning and Zoning



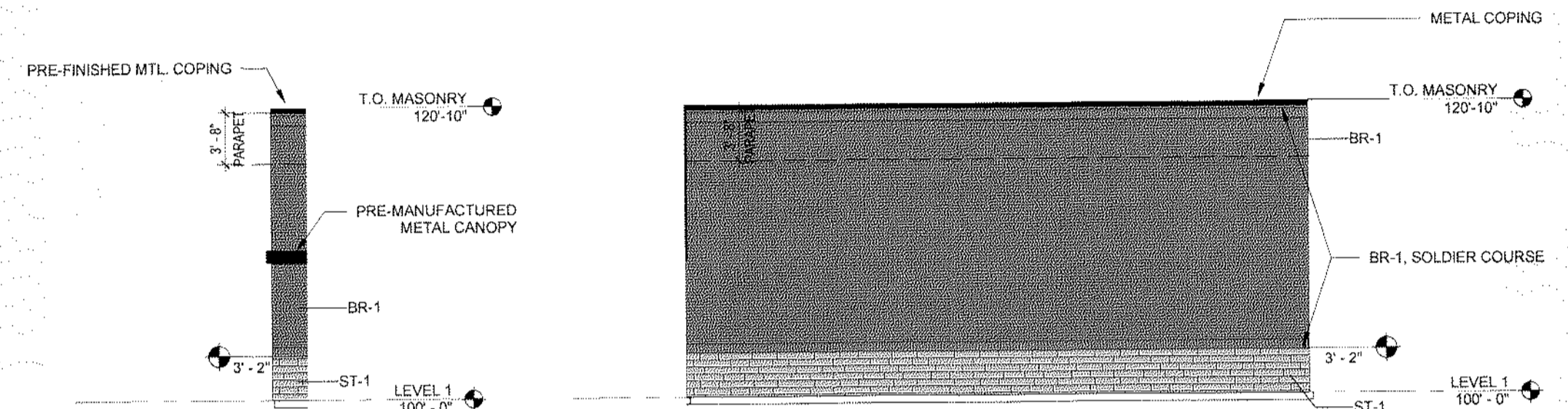
This document is incomplete and may not be used for regulatory approval, permit or construction.



09 EXTERIOR ELEVATION - LIBRARY - EAST - B  
1/8" = 1'-0"

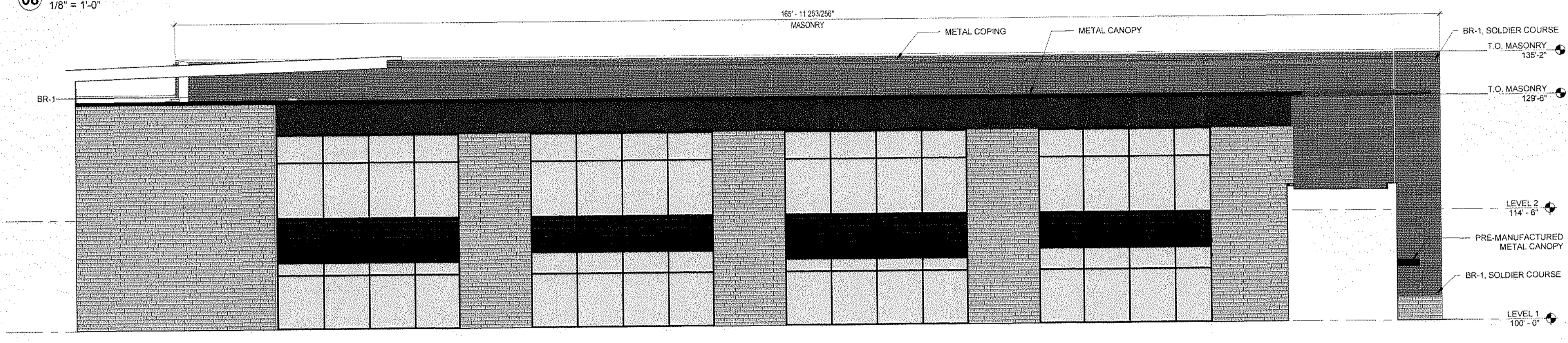


08 EXTERIOR ELEVATION - S. CLASSROOM WING - SOUTH  
1/8" = 1'-0"

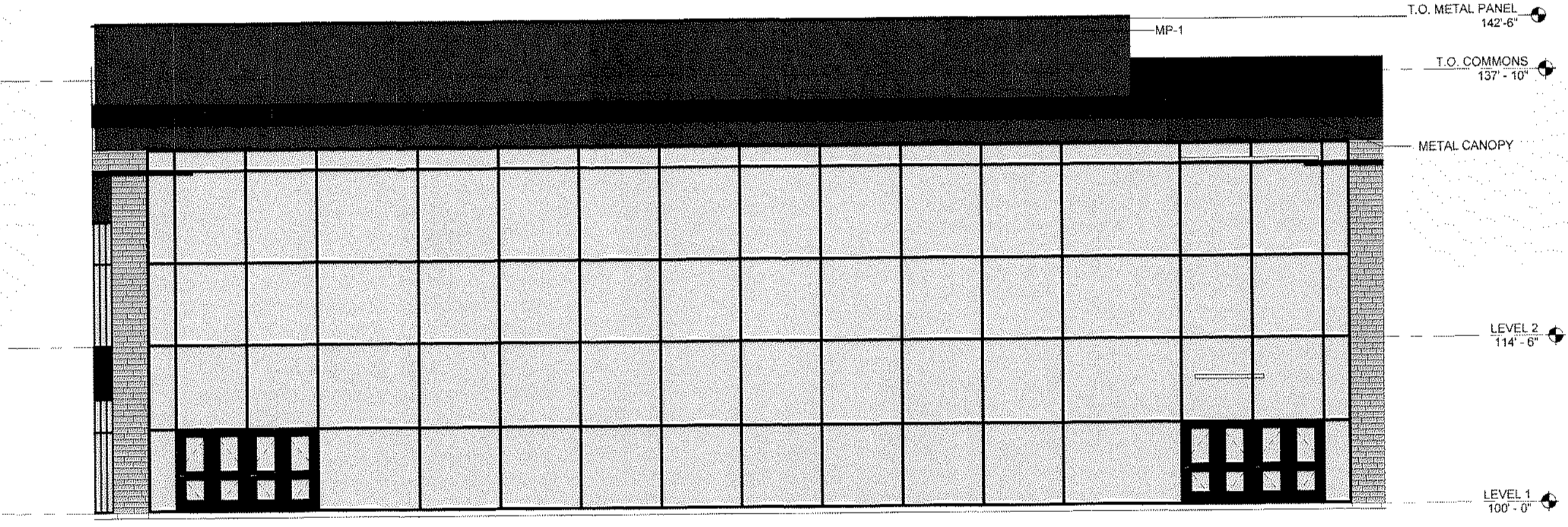


07 EXTERIOR ELEVATION - ATHLETICS  
1/8" = 1'-0"

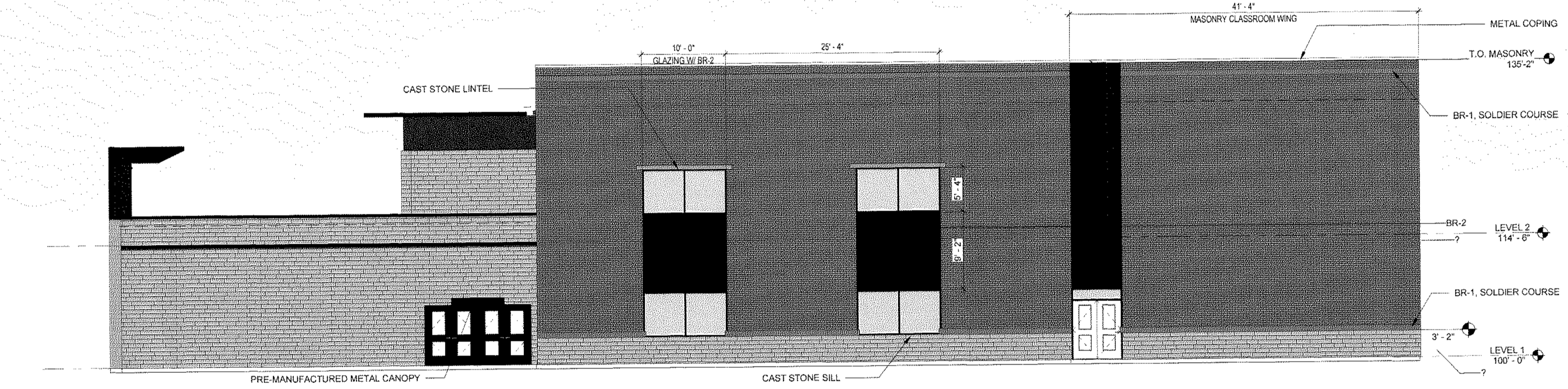
06 EXTERIOR ELEVATION - ATHLETICS - NORTH  
1/8" = 1'-0"



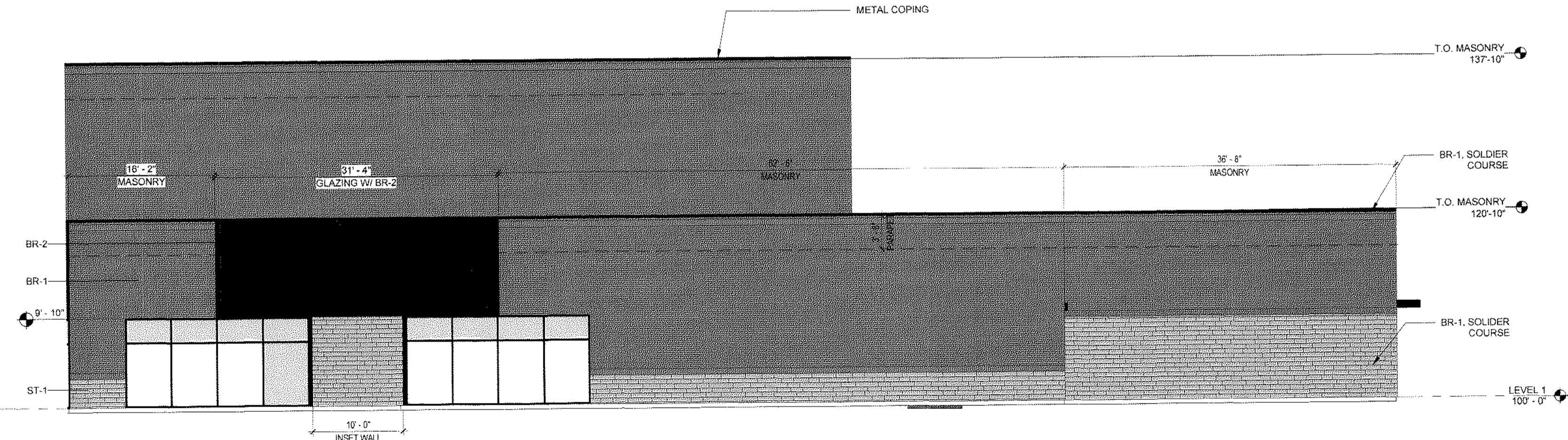
05 EXTERIOR ELEVATION - S. CLASSROOM WING - NORTH  
1/8" = 1'-0"



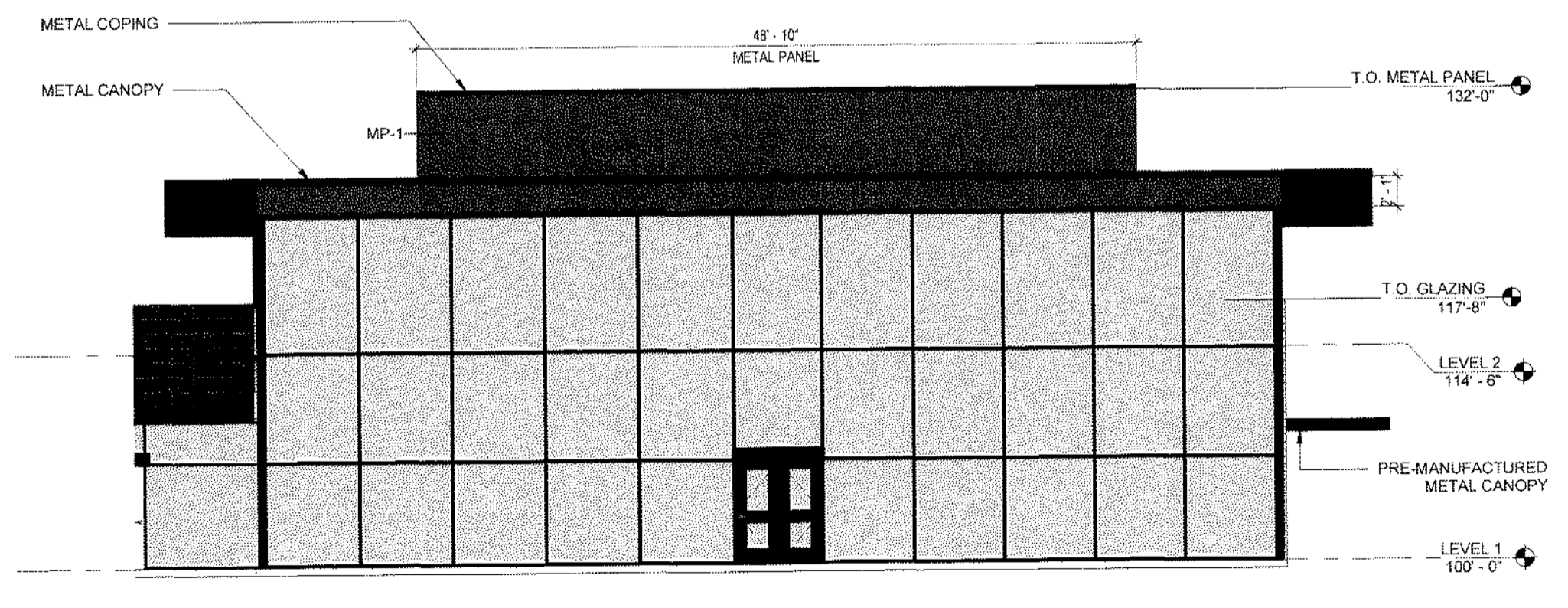
04 EXTERIOR ELEVATION - COMMONS - WEST  
1/8" = 1'-0"



03 EXTERIOR ELEVATION - NORTH CLASSROOM WING - WEST  
1/8" = 1'-0"

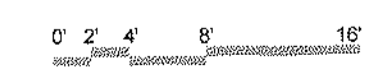


02 EXTERIOR ELEVATION - ATHLETICS - WEST  
1/8" = 1'-0"



01 EXTERIOR ELEVATION - LIBRARY - EAST  
1/8" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1	
	ST-1	
	GL-1	



# EXTERIOR ELEVATIONS

As indicated

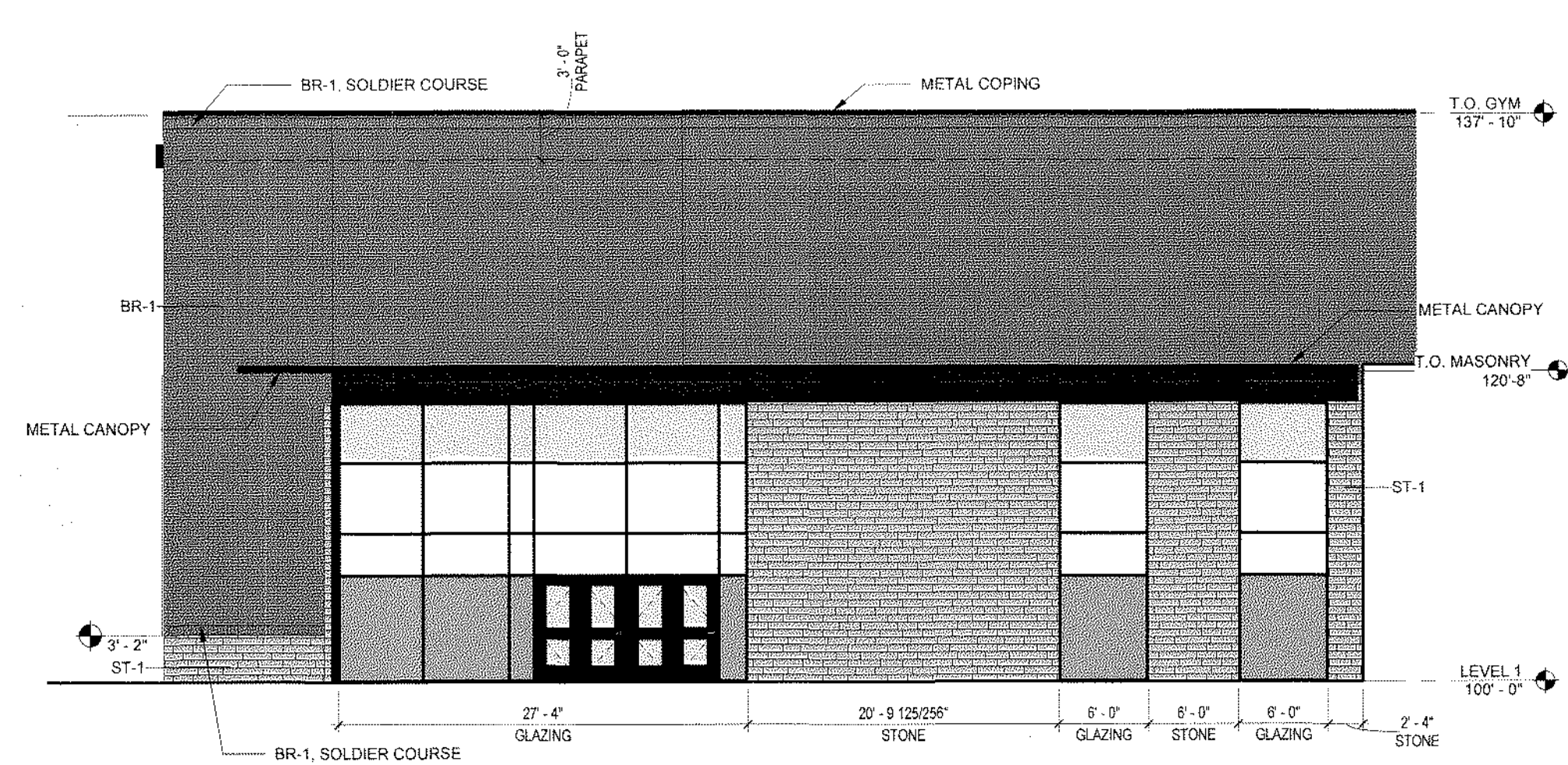
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 29th day of September, 2022.

*S. R.*  
Planning & Zoning Commission, Chairman

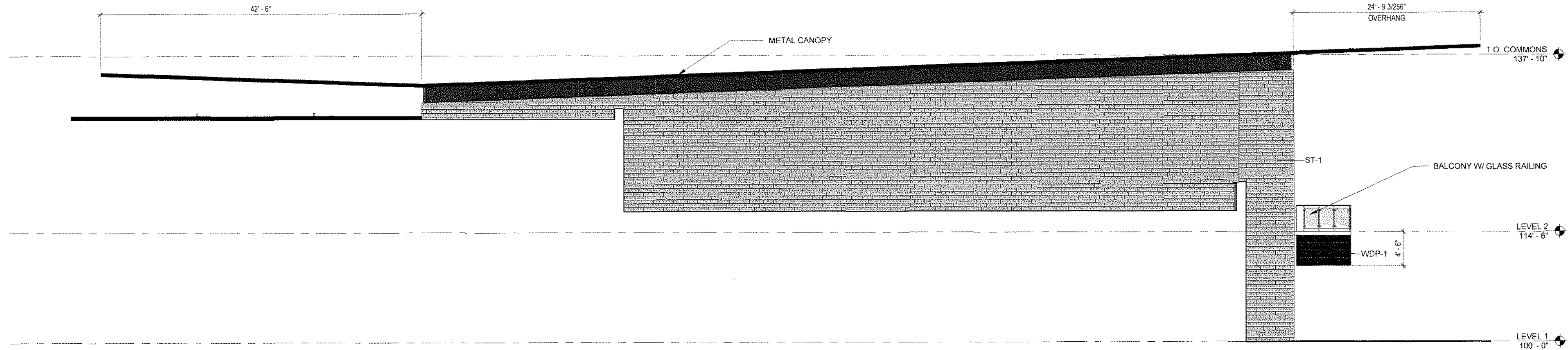
*B. J.*  
Director of Planning and Zoning



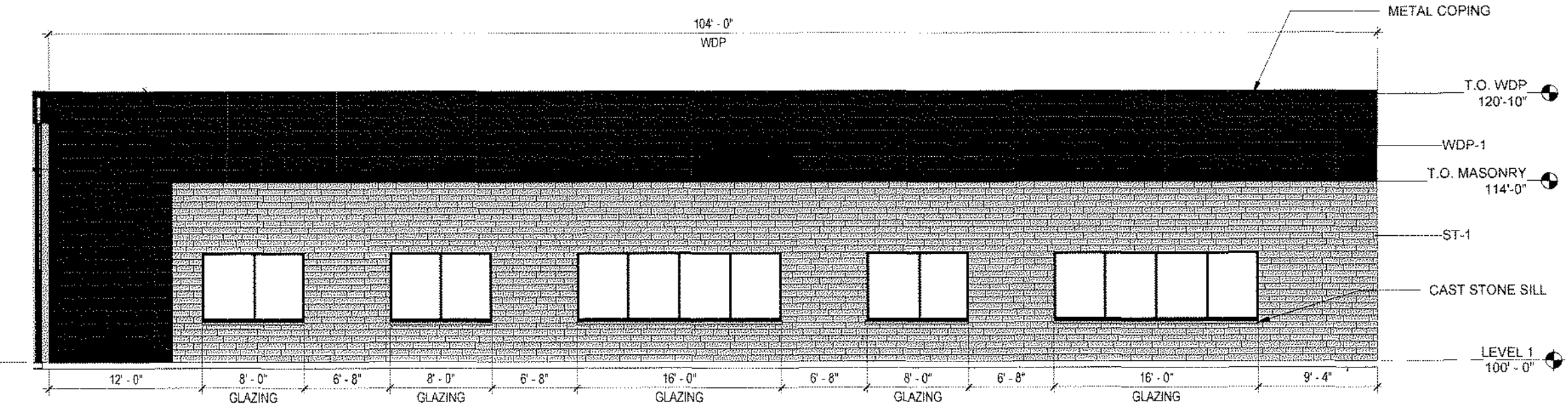
This document is incomplete and may not be used for regulatory approval, permit or construction.



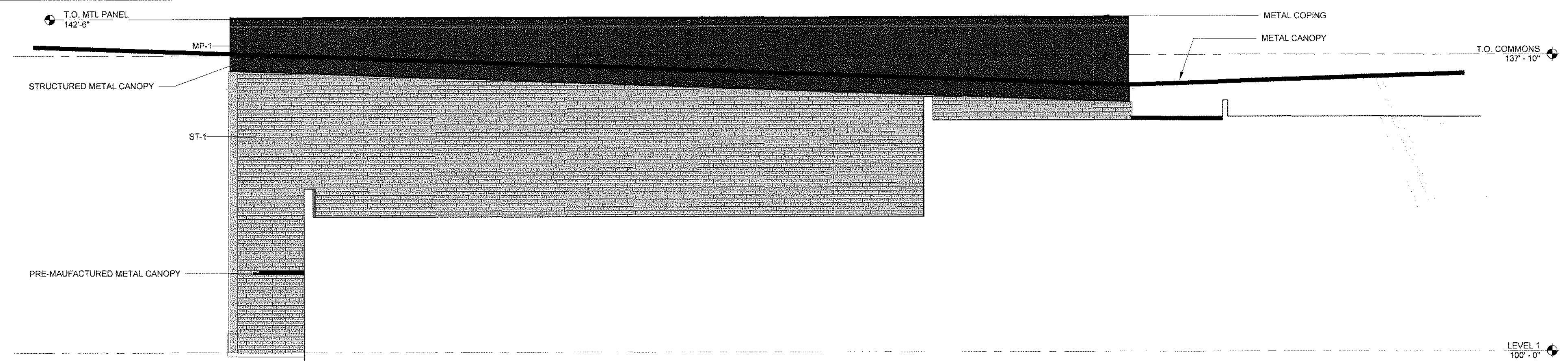
07 EXTERIOR ELEVATION - ATHLETICS - NORTH  
1/8" = 1'-0"



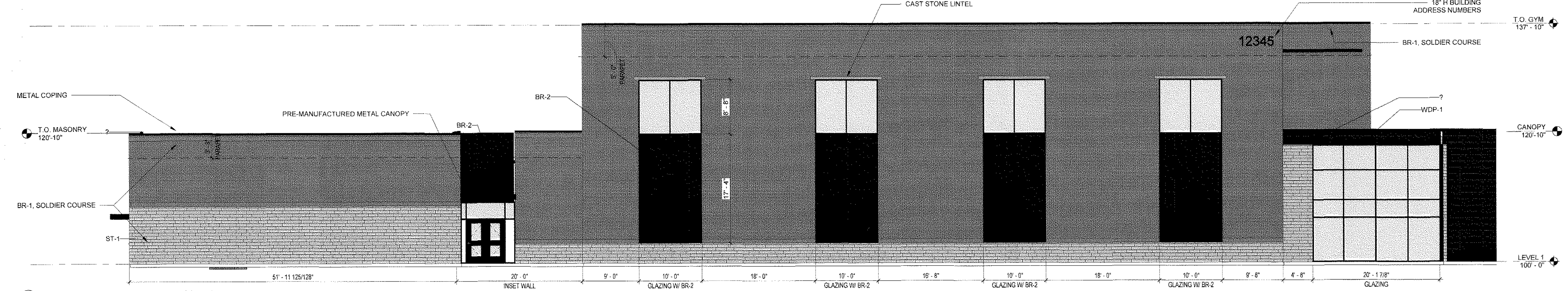
06 EXTERIOR ELEVATION - COMMONS - SOUTH  
1/8" = 1'-0"



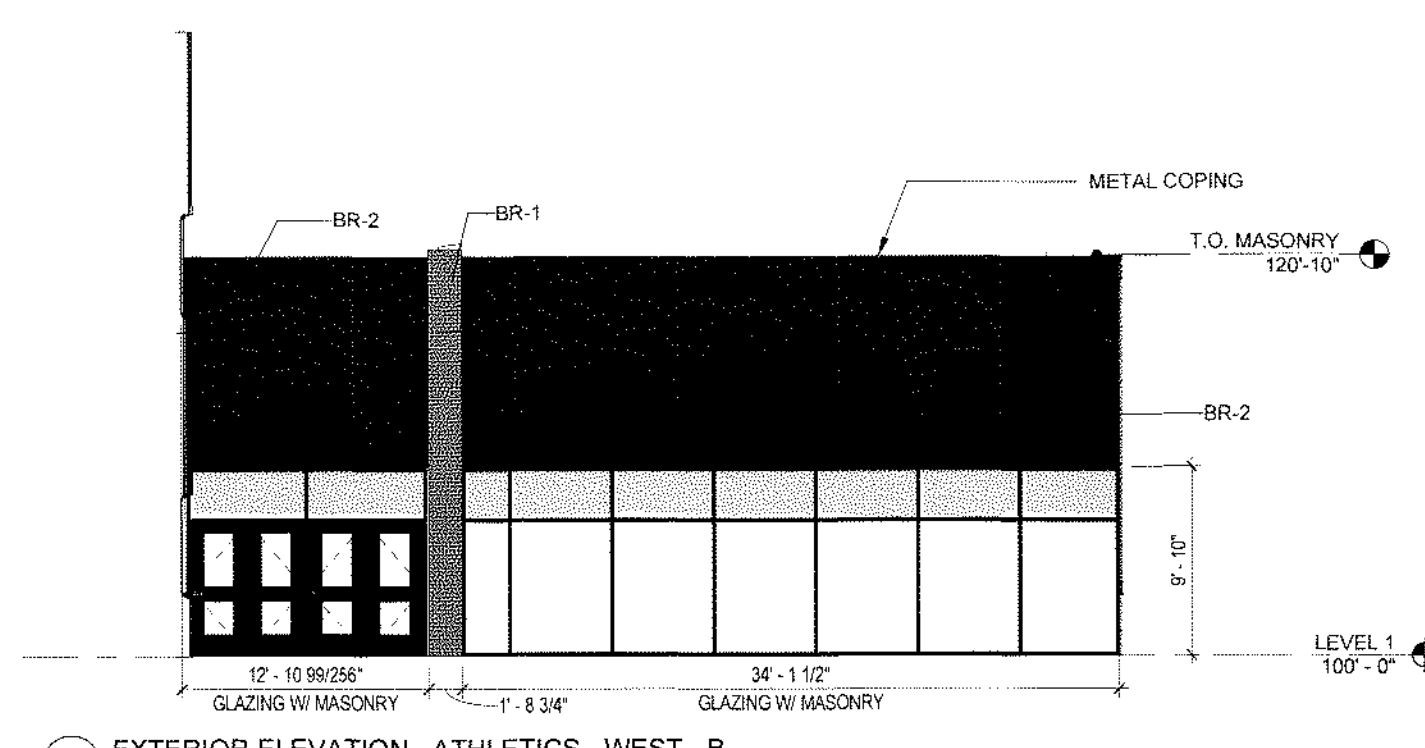
05 EXTERIOR ELEVATION - ADMIN - EAST  
1/8" = 1'-0"



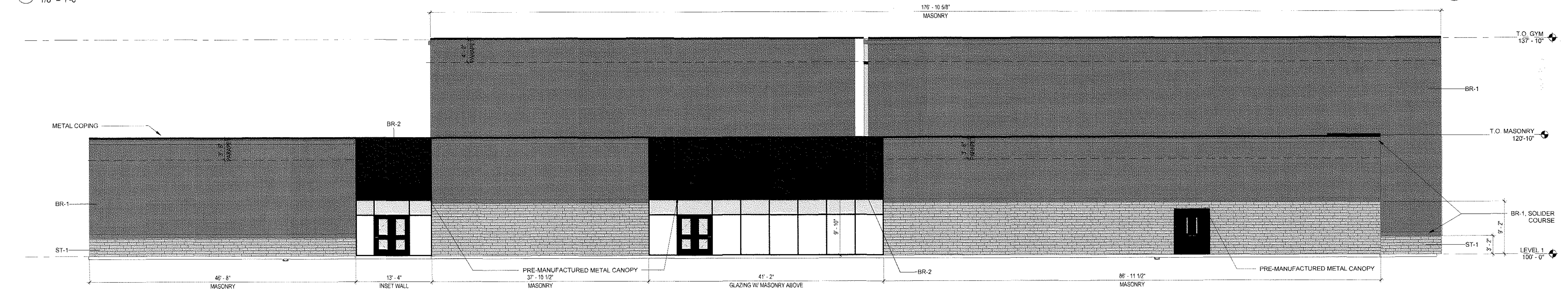
04 EXTERIOR ELEVATION - COMMONS - NORTH  
1/8" = 1'-0"



03 EXTERIOR ELEVATION - ATHLETICS - WEST  
1/8" = 1'-0"

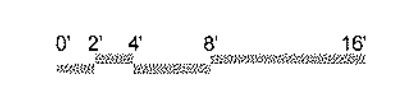


02 EXTERIOR ELEVATION - ATHLETICS - WEST - B  
1/8" = 1'-0"



01 EXTERIOR ELEVATION - ATHLETICS - SOUTH  
1/8" = 1'-0"

EXT. MATERIALS LEGEND		



# EXTERIOR ELEVATIONS

As indicated

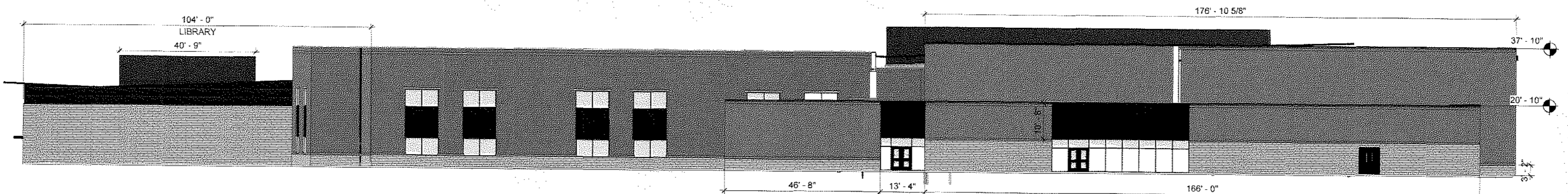
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 21th day of September, 2022.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

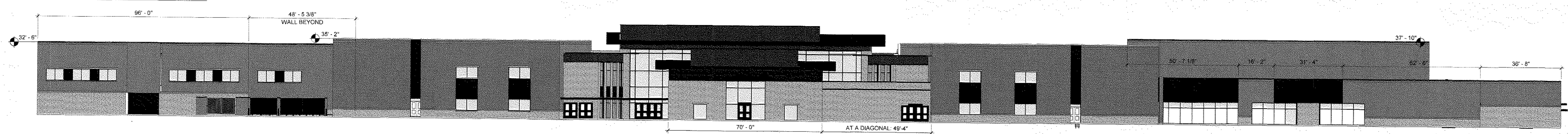


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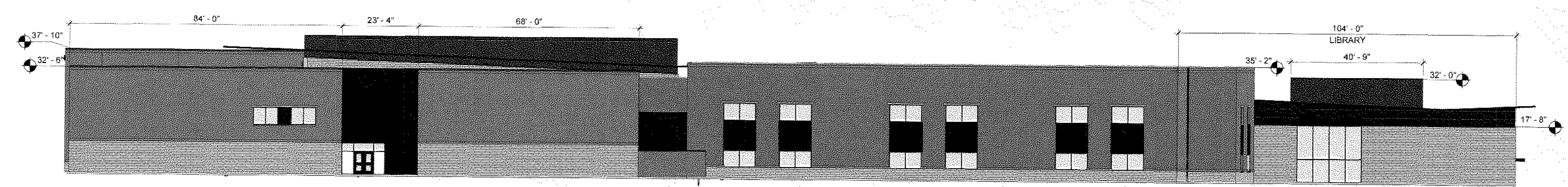
**04 OVERALL EXTERIOR ELEVATION - SOUTH**  
1" = 20'-0"

TOTAL FACADE SQUARE FOOTAGE:	16,308 SF
TOTAL FACADE SF (MINUS GLAZING: 1,001 SF):	15,307 SF
BRICK:	10,658 SF (69.62%)
STONE:	3,225 SF (21.13%)
METAL PANEL:	908 SF (5.93%)
PHENOLIC PANEL:	506 SF (3.31%)
MASONRY PERCENTAGE:	(91%)



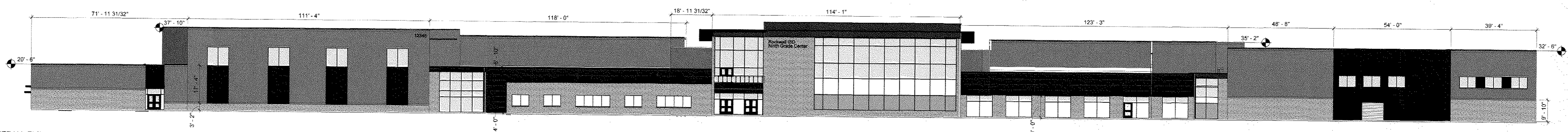
**03 OVERALL EXTERIOR ELEVATION - WEST**  
1" = 20'-0"

TOTAL FACADE SQUARE FOOTAGE:	24,073 SF
TOTAL FACADE SF (MINUS GLAZING: 2,239 SF):	21,834 SF
BRICK:	15,239 SF (69.80%)
STONE:	5,149 SF (23.68%)
METAL PANEL:	1,042 SF (4.77%)
PHENOLIC PANEL:	404 SF (1.85%)
MASONRY PERCENTAGE:	(93%)



**02 OVERALL EXTERIOR ELEVATION - NORTH**  
1" = 20'-0"

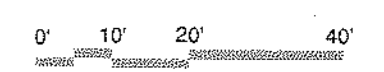
TOTAL FACADE SQUARE FOOTAGE:	16,275 SF
TOTAL FACADE SF (MINUS GLAZING: 1,073 SF):	15,202 SF
BRICK:	10,015 SF (65.85%)
STONE:	3,608 SF (23.73%)
METAL PANEL:	1,109 SF (7.30%)
PHENOLIC PANEL:	470 SF (3.09%)
MASONRY PERCENTAGE:	(90%)



**01 OVERALL EXTERIOR ELEVATION - EAST (FACES ROW FM 1141)**  
1" = 20'-0"

TOTAL FACADE SQUARE FOOTAGE:	24,147 SF
TOTAL FACADE SF (MINUS GLAZING: 5,607 SF):	18,540 SF
BRICK:	11,688 SF (63.04%)
STONE:	4,233 SF (22.83%)
METAL PANEL:	453 SF (2.45%)
PHENOLIC PANEL:	2,138 SF (11.52%)
MASONRY PERCENTAGE:	(86%)

EXT. MATERIALS LEGEND		
	BR-1	
	ST-1	
	MP-1	



# EXTERIOR ELEVATIONS - OVERALL

As indicated

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18<sup>th</sup> day of July, 2022.  
WITNESS OUR HANDS, this 29<sup>th</sup> day of September, 2022.

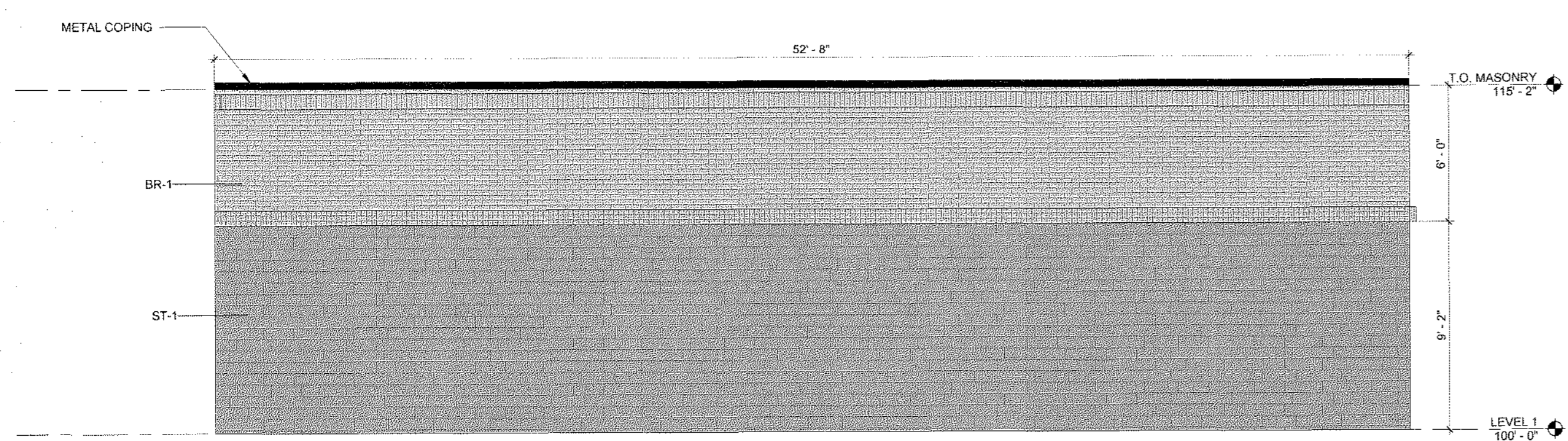
*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning



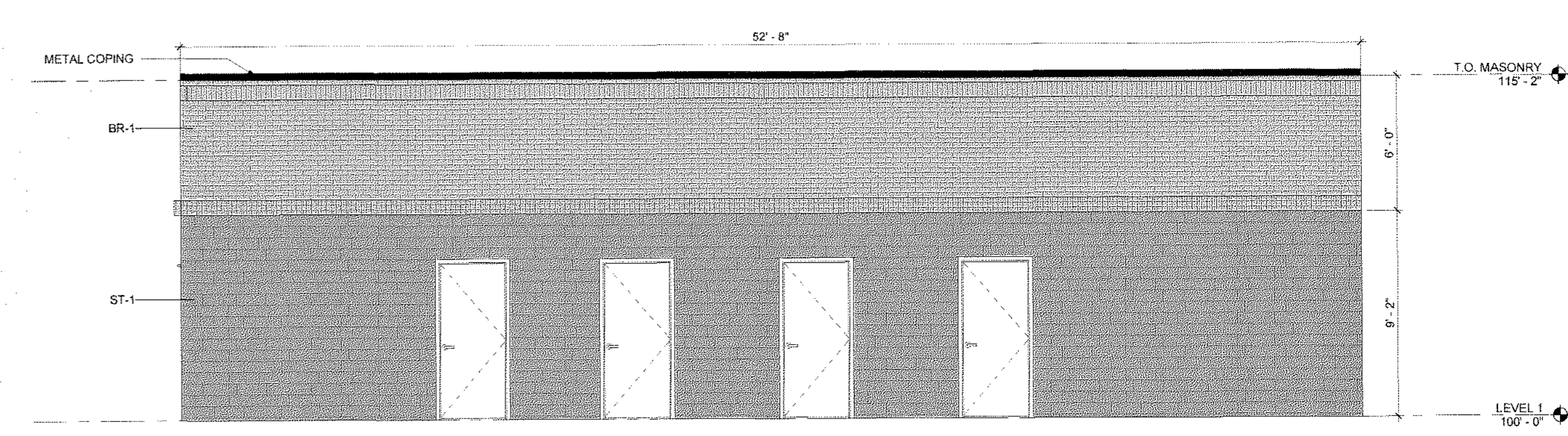
This Document was produced by or under the authority of INSERT NAME HERE

This document is incomplete and may not be used for regulatory approval, permit or construction.



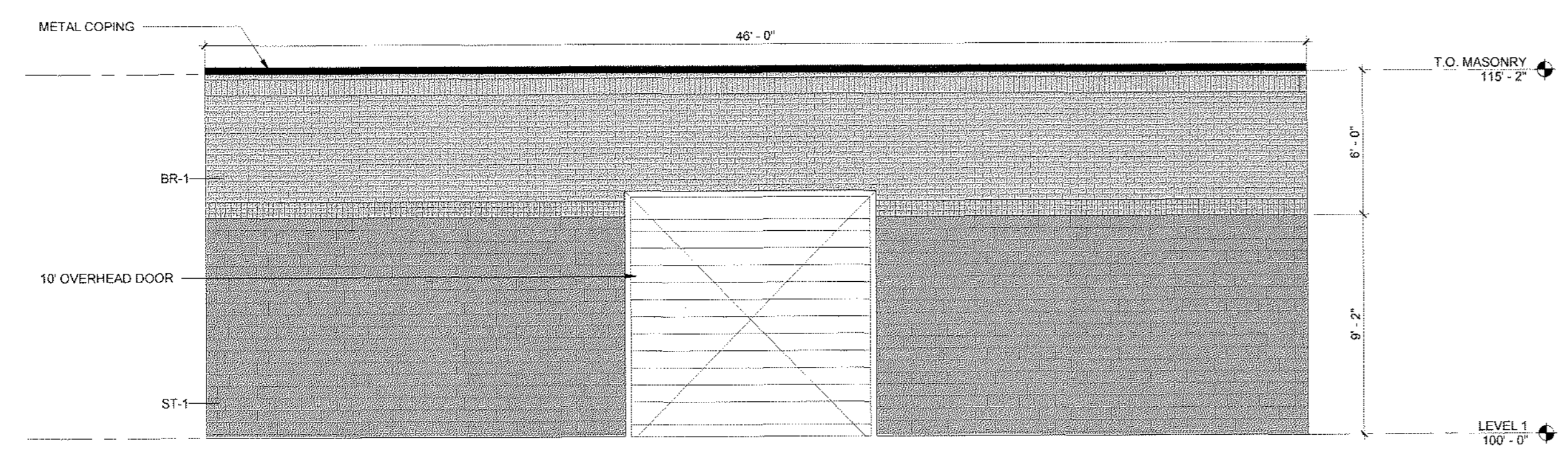
04 EXTERIOR ELEVATION - TENNIS BUILDING - NORTH  
1/4" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 798 SQ FT  
BRICK: 316 SQ FT  
STONE: 482 SQ FT (60%)



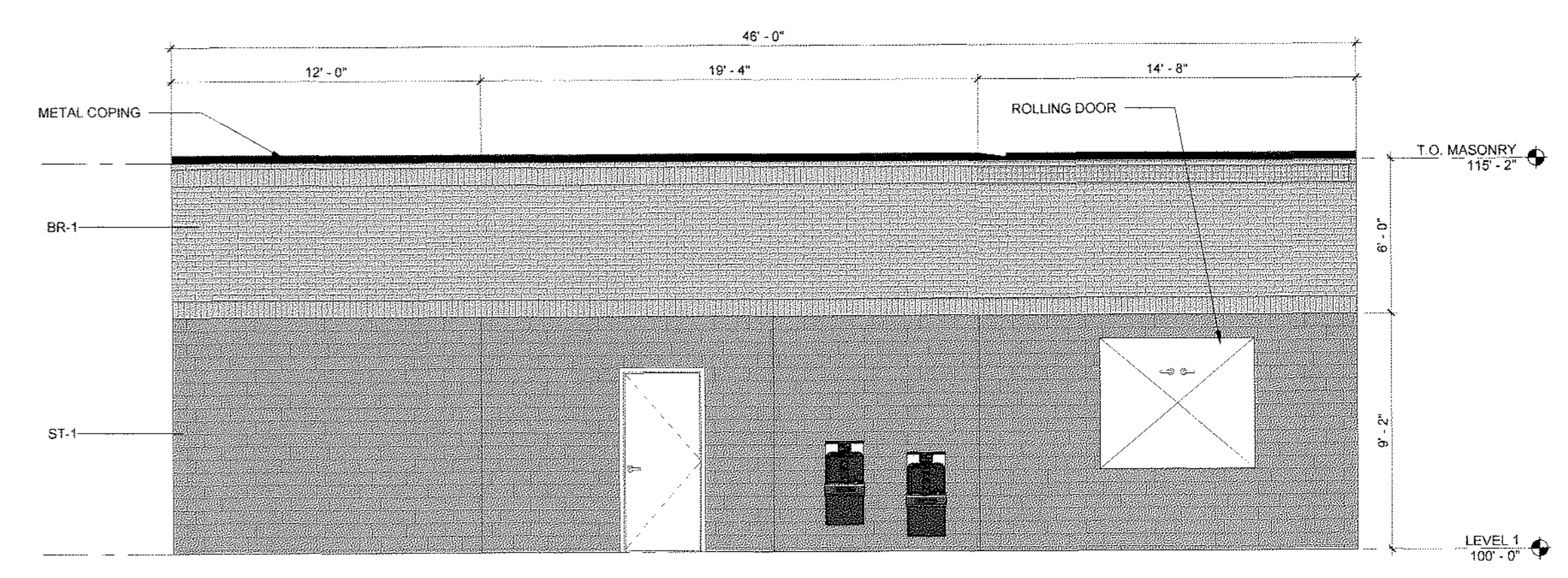
03 EXTERIOR ELEVATION - TENNIS BUILDING - SOUTH  
1/4" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 703 SQ FT  
BRICK: 318 SQ FT  
STONE: 387 SQ FT (55%)



02 EXTERIOR ELEVATION - TENNIS BUILDING - EAST  
1/4" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 590 SQ FT  
BRICK: 264 SQ FT  
STONE: 325 SQ FT (55%)



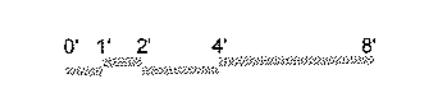
01 EXTERIOR ELEVATION - TENNIS BUILDING - WEST  
1/4" = 1'-0"

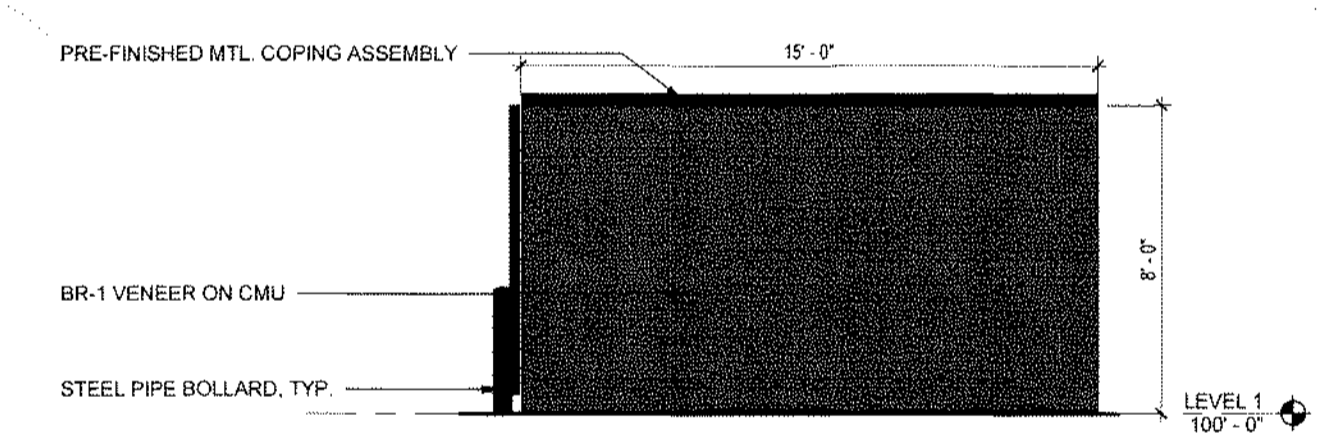
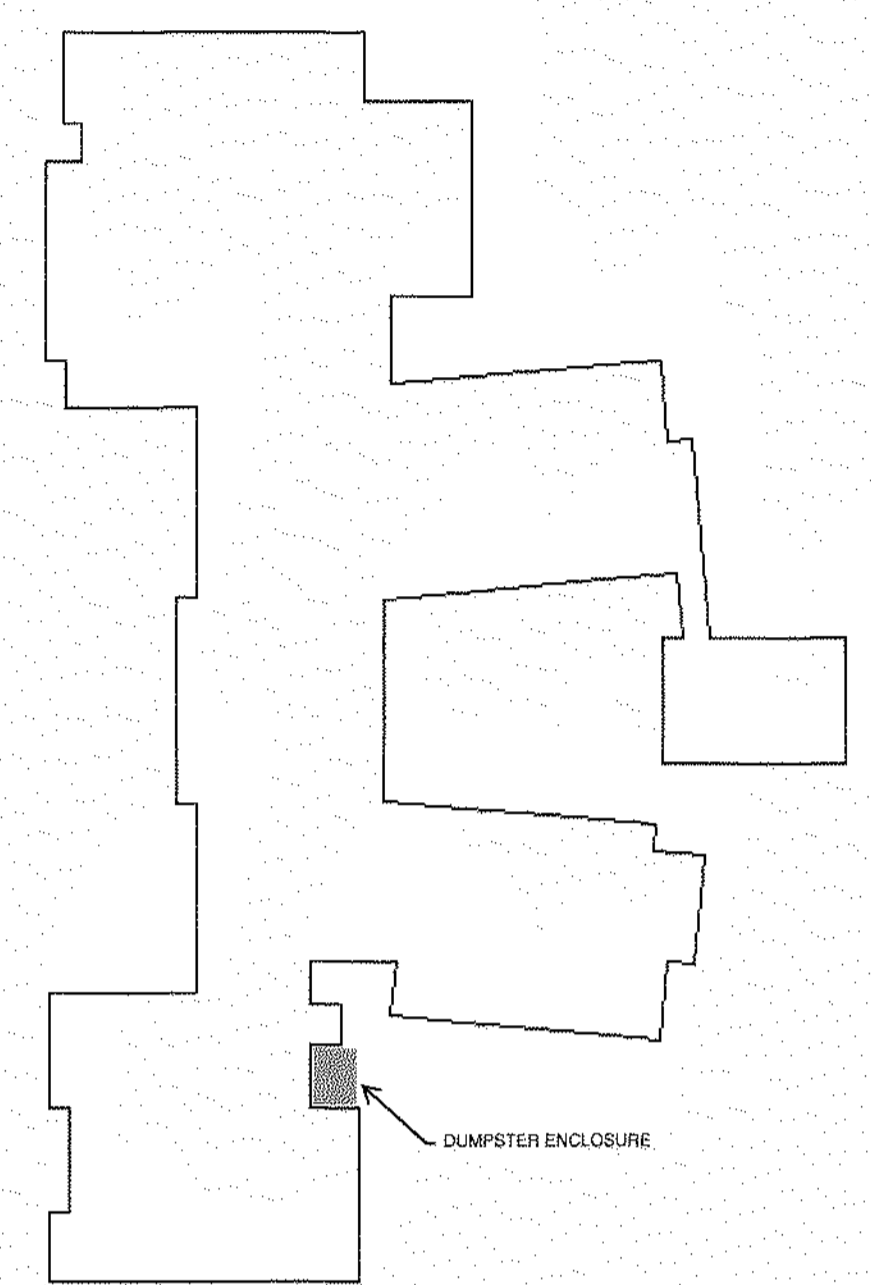
TOTAL FACADE SQUARE FOOTAGE: 643 SQ FT  
BRICK: 279 SQ FT  
STONE: 367 SQ FT (57%)

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 29th day of September, 2022.

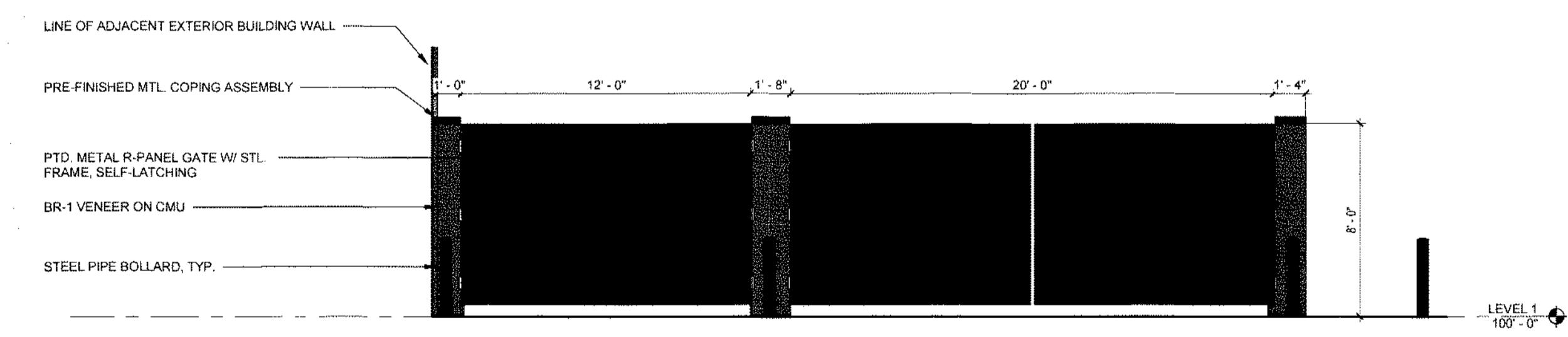
*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

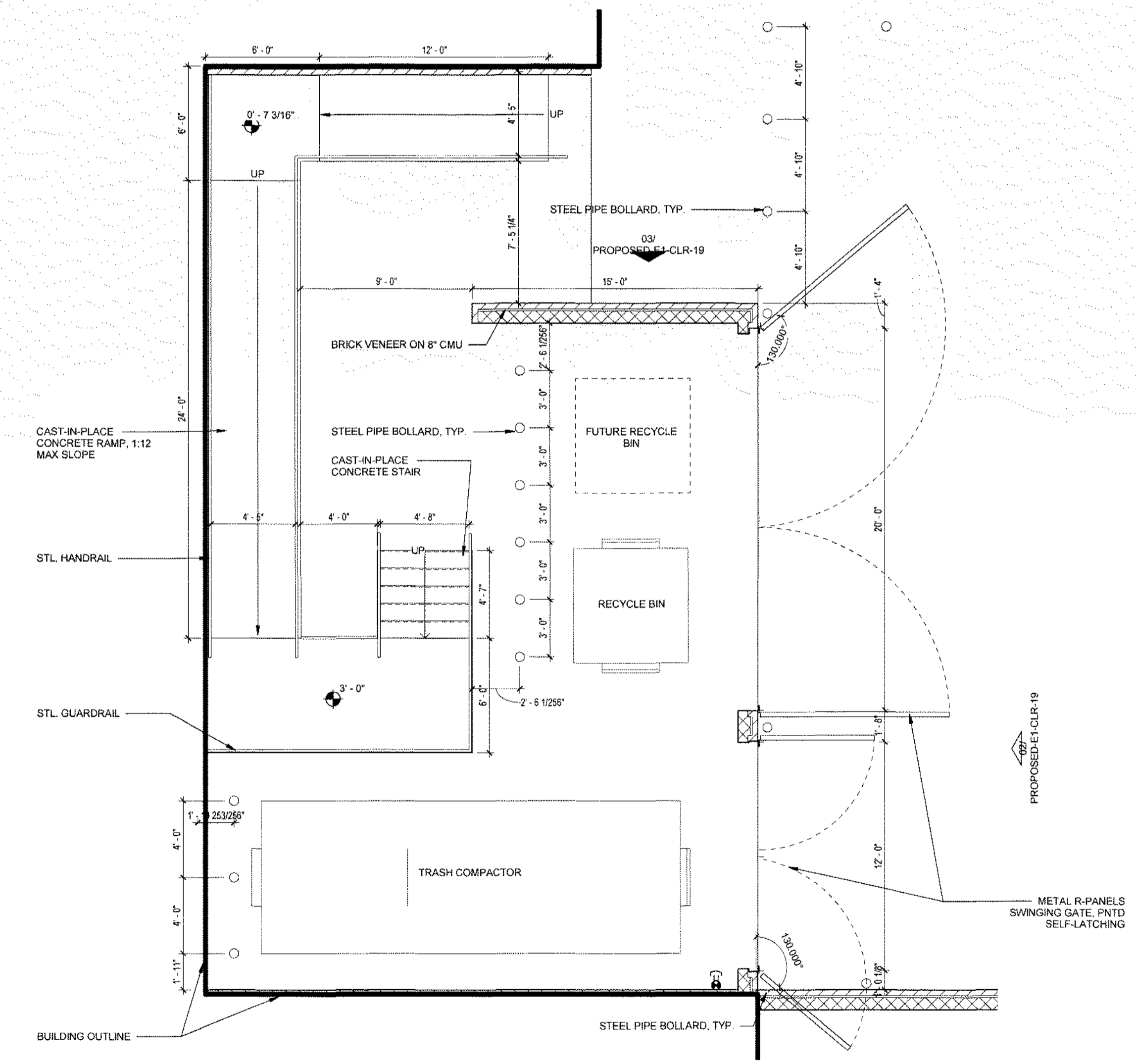




03 EXTERIOR ELEVATION - DUMPSTER SIDE WALL  
1/4" = 1'-0"



02 EXTERIOR ELEVATION - DUMPSTER GATE  
1/4" = 1'-0"



01 DUMPSTER ENCLOSURE - PLAN  
1/4" = 1'-0"



# DUMPSTER ENCLOSURE EXHIBIT

1/4" = 1'-0"

APPROVED:  
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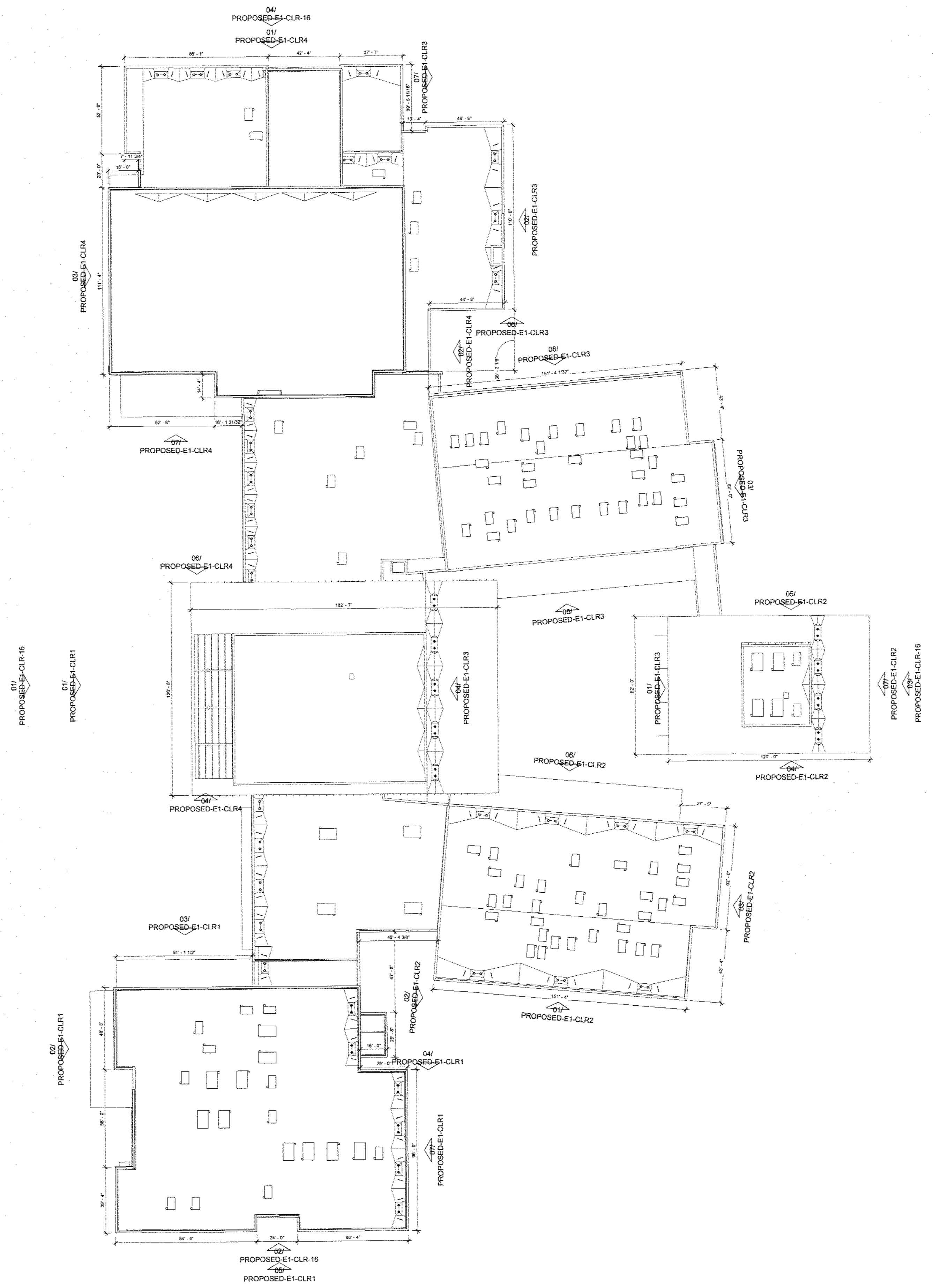
*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning



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This document was produced by or under the authority of INSERT NAME HERE.



# DIMENSION PLAN - OVERALL

1/32" = 1'-0"

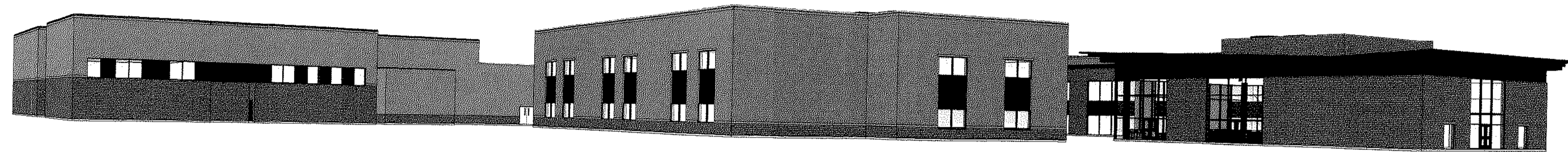
APPROVED:  
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WITNESS OUR HANDS, this 29<sup>th</sup> day of September, 2022.

*[Signature]*  
Planning & Zoning Commission, Chairman

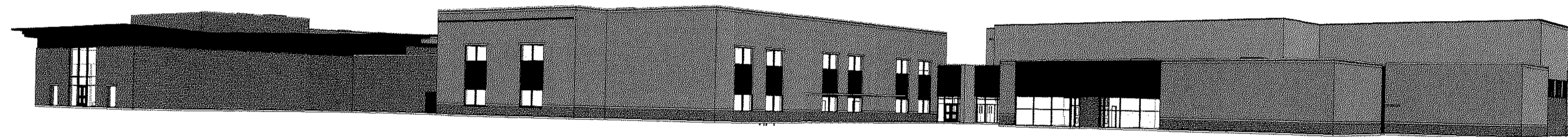
*[Signature]*  
Director of Planning and Zoning



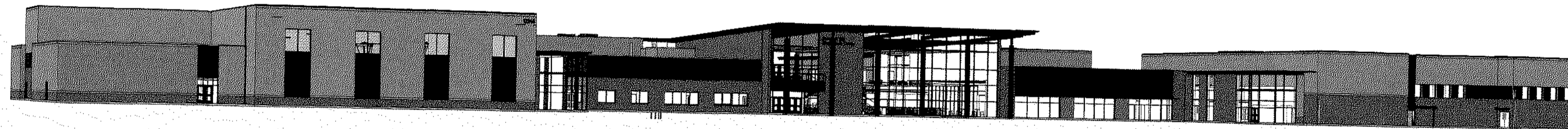
This document is incomplete and may not be used for regulatory approval, permit or construction.



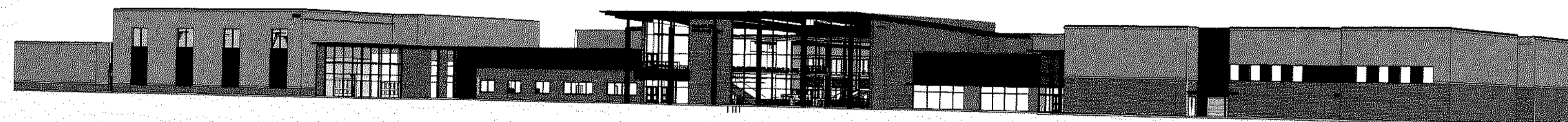
4 3D BUILDING VIEW - SOUTHEAST CORNER  
N.T.S.



3 3D BUILDING VIEW - NORTHEAST CORNER  
N.T.S.



2 3D BUILDING VIEW - NORTHWEST CORNER  
N.T.S.



1 3D BUILDING VIEW - SOUTHWEST CORNER  
N.T.S.



# 3D RTU SCREENING VIEWS

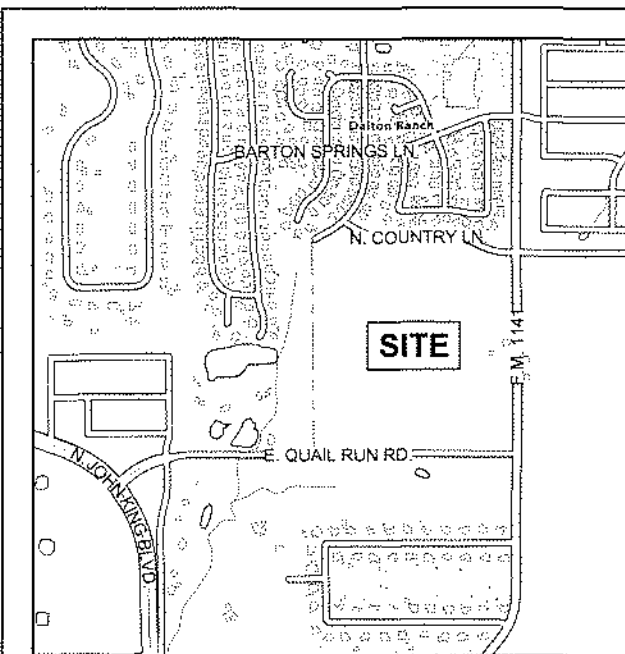
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of July, 2022.  
WITNESS OUR HANDS, this 29th day of August, 2022.

*[Signature]*  
Planning & Zoning Commission, Chairman

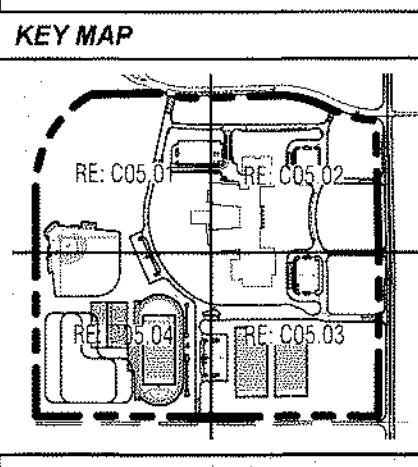
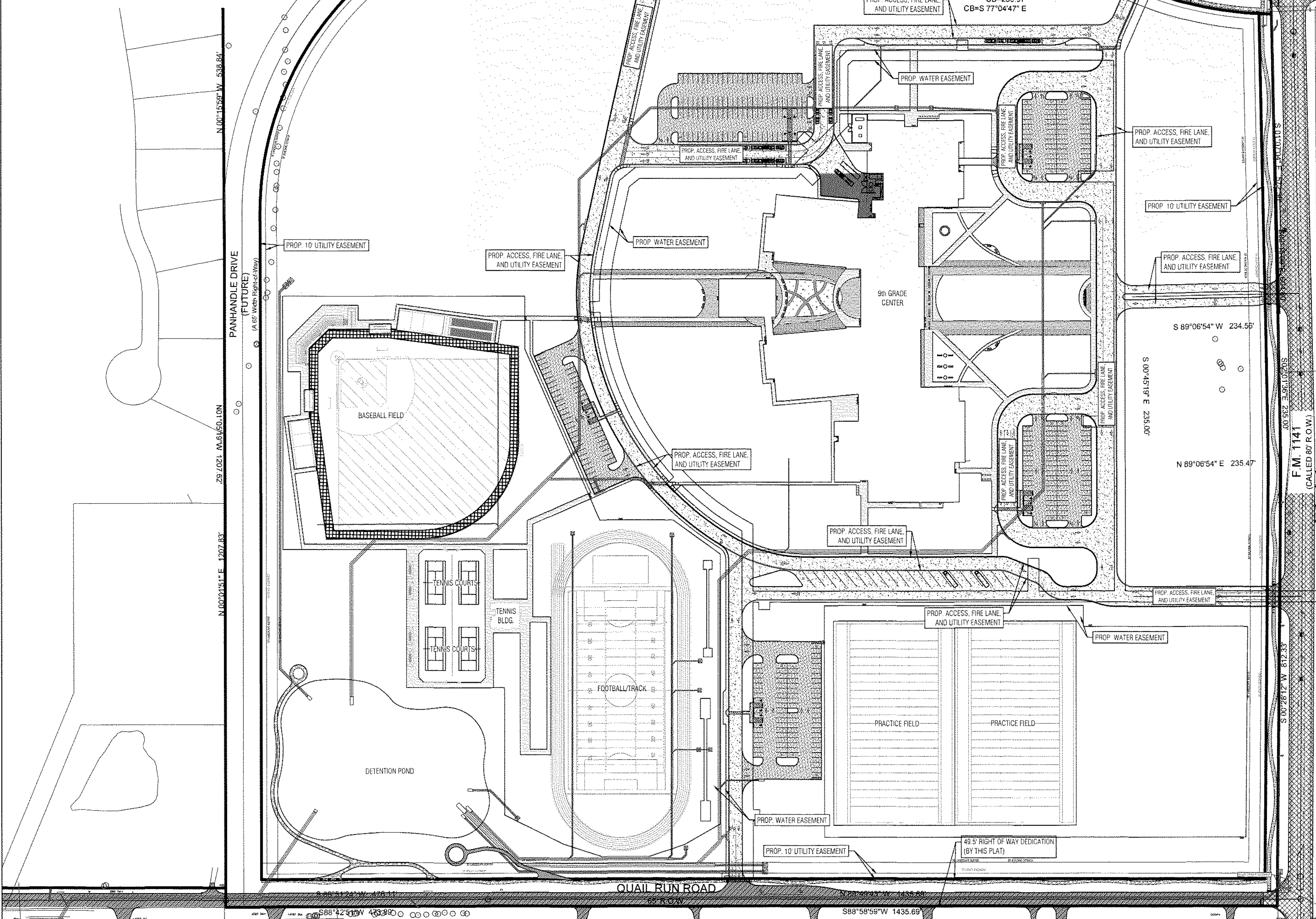
*[Signature]*  
Director of Planning and Zoning







LOCATION MAP (NOT TO SCALE)



KEY MAP

- GENERAL SITE NOTES**
1. STRINGS & DIMENSIONS ARE FROM FACE OF CURB.
  2. ALL FIRE LINES, PARKING STRIPES, WALKWAY MARKING STRIPES & SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS, TYP.
  3. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS, THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
  4. CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.
  5. ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS. IF UNDESCRIBED PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN AMBIGUOUS QUALITY IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
  6. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO INDEMNIFY COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
  7. THROUGH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW.
  8. MAIN FIRE LANE TO THE CITY OF ROCKWALL SPECIFICATION: 10' PARKING FIRE LANE EVERY 25' WHITE 4" LETTERS ON A 4' RED STRIPED BACKGROUND.
  9. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
  10. BARRIERS FREE STAMPS (BY PUBLIC WORK) SHALL BE PER CITY SPECIFICATIONS.
  11. ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE NOT-CANGLA DATES.

**PAVING LEGEND (PROPOSED)**

[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	ORNAMENTAL FENCE
[Symbol]	PROPERTY LINE
[Symbol]	(P)RIVATE 5" REINFORCED CONCRETE PAVEMENT 3.000 P.S.I. CONCRETE, 5/8" SACK MIX #16 1/2 REBAR ON 18" CENTERS SACK MIX #4 REBAR ON 18" CENTERS SACK MIX PER GEOTECHNICAL REPORT
[Symbol]	(P)RIVATE 4" REINFORCED CONCRETE PAVEMENT 3.000 P.S.I. CONCRETE, 5/8" SACK MIX #16 1/2 REBAR ON 18" CENTERS SACK MIX #4 REBAR ON 18" CENTERS SACK MIX PER GEOTECHNICAL REPORT
[Symbol]	(P)RIVATE 3" REINFORCED CONCRETE PAVEMENT 3.000 P.S.I. CONCRETE, 5/8" SACK MIX #16 1/2 REBAR ON 18" CENTERS SACK MIX #4 REBAR ON 18" CENTERS SACK MIX PER GEOTECHNICAL REPORT
[Symbol]	(P)UBLIC 2" REINFORCED CONCRETE PAVEMENT 3.000 P.S.I. CONCRETE, 5/8" SACK MIX #16 1/2 REBAR ON 18" CENTERS SACK MIX #4 REBAR ON 18" CENTERS SACK MIX PER GEOTECHNICAL REPORT
[Symbol]	(P)UBLIC 1" REINFORCED CONCRETE PAVEMENT 3.000 P.S.I. CONCRETE, 5/8" SACK MIX #16 1/2 REBAR ON 18" CENTERS SACK MIX #4 REBAR ON 18" CENTERS SACK MIX PER GEOTECHNICAL REPORT
[Symbol]	(P)UBLIC 0" REINFORCED CONCRETE PAVEMENT 3.000 P.S.I. CONCRETE, 5/8" SACK MIX #16 1/2 REBAR ON 18" CENTERS SACK MIX #4 REBAR ON 18" CENTERS SACK MIX PER GEOTECHNICAL REPORT
[Symbol]	(D)UCT 2" OF HOT TAP TREATMENT NOT TYPED AND TYPE CHANG
[Symbol]	(D)UCT 2" OF HOT TAP TREATMENT NOT TYPED AND TYPE CHANG OVER 8" OF HOT TAP BASE ROOT FORM NO. 340 TYPE B HMA OVER 8" LIME TREATED SUBGRADE COMPACTED TO 90% DENSITY
[Symbol]	(D)TY 4" REINFORCED CONCRETE PAVEMENT 3.000 P.S.I. CONCRETE, 5/8" SACK MIX #16 1/2 REBAR ON 24" CENTERS SACK MIX #4 REBAR ON 18" CENTERS SACK MIX PER GEOTECHNICAL REPORT
[Symbol]	(D)TY 4" REINFORCED CONCRETE PAVEMENT 3.000 P.S.I. CONCRETE, 5/8" SACK MIX #16 1/2 REBAR ON 18" CENTERS SACK MIX #4 REBAR ON 18" CENTERS SACK MIX PER GEOTECHNICAL REPORT
[Symbol]	TURF, COLOR A
[Symbol]	TURF, COLOR B
[Symbol]	PLANTING AREA RE LANDSCAPE

**PAVING LEGEND (EXISTING)**

[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	FENCE
[Symbol]	PROPERTY LINE

**SITE DATA SUMMARY TABLE**

EXISTING ZONING	AS
PROPOSED ZONING	PUBLIC SCHOOLS (2022-015)
USE	PUBLIC SCHOOLS
LOT AREA	3,564,079 S.F. OR 80.66 AC.
BUILDING AREA (FLOOR AREA)	153,187 S.F.
PROPOSED FIRST FLOOR	153,187 S.F.
PROPOSED SECOND FLOOR	41,019 S.F.
TOTAL BUILDING AREA	194,206 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	153,187 S.F.
LOT COVERAGE	153,187 S.F./3,564,079 S.F. = 4.29%
FLOOR AREA RATIO	0.043
TOTAL IMPERVIOUS AREA	74,682.08 S.F. OR 16.87 AC.
BUILDING HEIGHT	17'-0" (IF STORY)
TOTAL REQUIRED PARKING (1 PER 5 STUDENTS)	203 SPACES
PARKING PROVIDED	
PARKING SURFACE	
9.0 X 18.0	203 SPACES
PROVIDED	168 SPACES
15.0 X 30.0	25 SPACES
TOTAL PARKING PROVIDED	193 SPACES

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 10th day of September, 2022.

WITNESS OUR HANDS, this 10th day of September, 2022.

[Signature] City of Planning and Zoning

**ROCKWALL - NINTH GRADE CENTER**  
**LOT 1, BLOCK A**  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
 ROCKWALL CO  
 801 E WASHINGTON ST  
 ROCKWALL, TEXAS 75087  
 (972) 771-6605  
 CONTACT: JAMES WATSON

SURVEYOR:  
 BOWMAN  
 1200 W MANSFIELD BLVD  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (214) 484-8588  
 CONTACT: ROBERT HANSEN

ENGINEER:  
 GLENN ENGINEERING CORP.  
 4200 FELLERS DR  
 IRVING, TEXAS 75038  
 (972) 717-5151  
 CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-017



CORGAN  
 Dallas, TX 75202  
 T. 214.748.2200

**ISSUES**

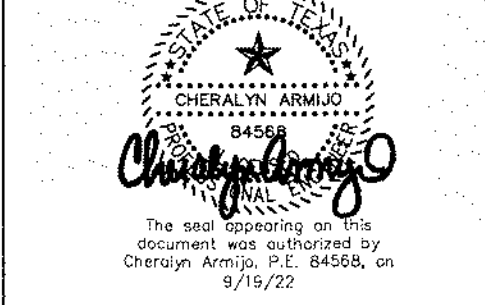
1	08/20/22	ISSUE FOR CONSTRUCTION
---	----------	------------------------

**REVISIONS**

9/8/2022	ADDENDUM 1
9/19/2022	ADDENDUM 2



GLENN ENGINEERING  
 4500 PULLER DRIVE, SUITE 200  
 IRVING, TEXAS 75038



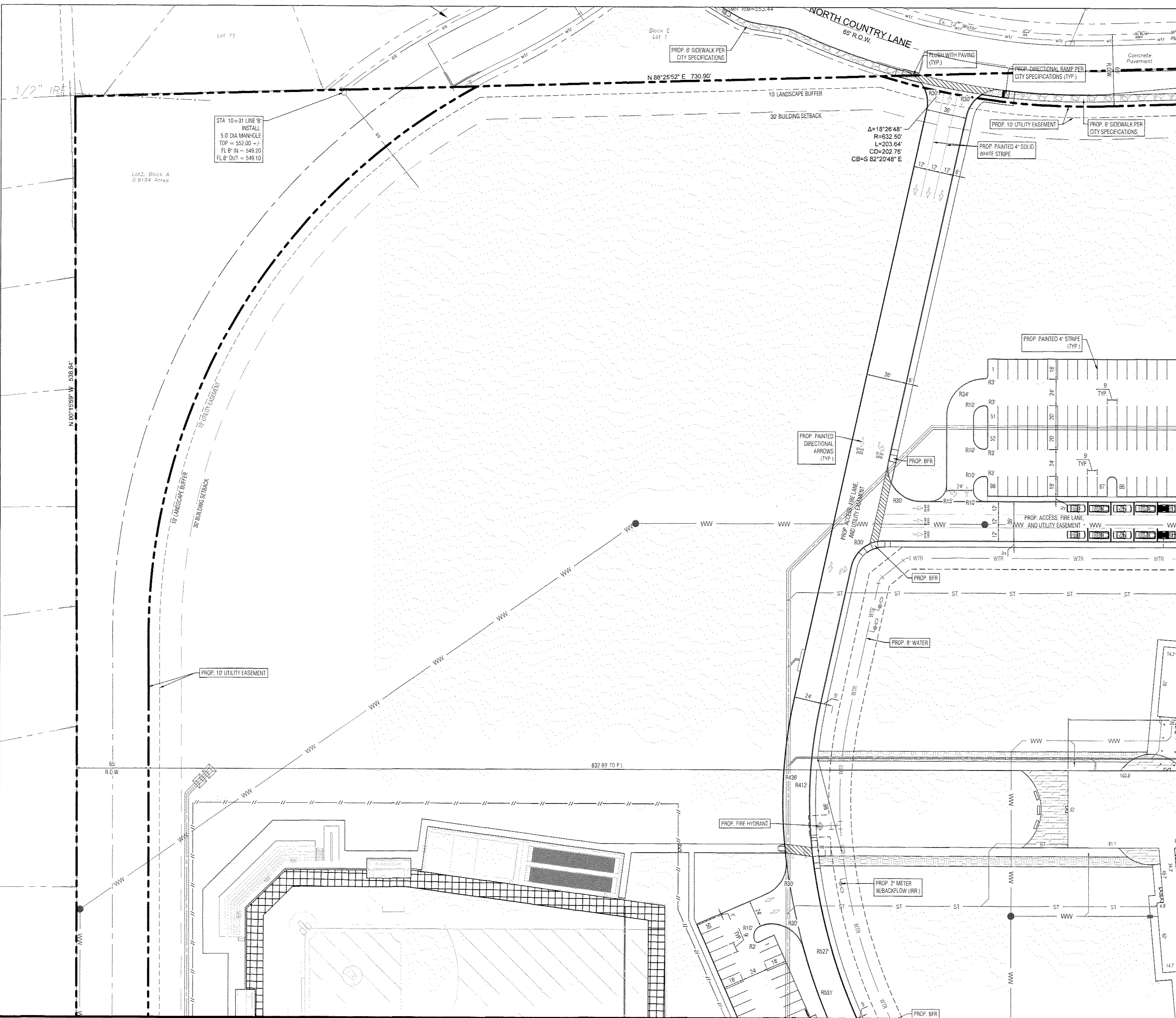
**NINTH GRADE CENTERS**  
**NORTH SITE**  
 for  
 Rockwall Independent School District  
 2852 FM 1141 Rockwall, TX 75087

**OVERALL SITE PLAN**

JOB 21572.0000  
 DATE 9/19/22  
 SHEET  
**C05.00**

Sep 16, 2022 - 2:43pm  
 User: Cherilyn  
 C:\Users\Cherilyn\AppData\Local\Temp\Asp\p\l\p\l...18320\ROCKWALL\_HS\_NINTH\_GRADE\_CENTER-ENG.dwg

Sep 16, 2022 - 2:43pm User: Cheryl  
 C:\Users\Cheryl\AppData\Local\Temp\AcPublish... 18320\ROCKWALL HS NINTH GRADE CENTER - ENG.dwg



MATCH LINE RE: C05.04 - DETAILED SOUTHWEST SITE PLAN

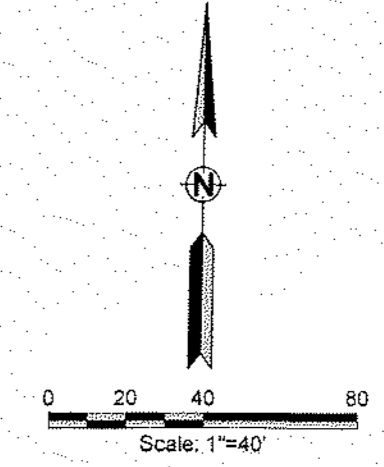
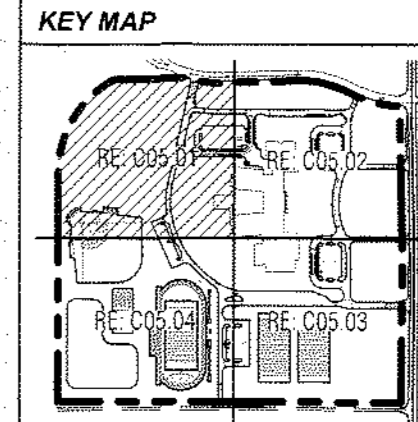
MATCH LINE RE: C05.02 - DETAILED NORTHEAST SITE PLAN

**SITE LEGEND (PROPOSED)**

CONCRETE CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
ORNAMENTAL FENCE
FINISH LINE
PAINTED TRAFFIC DIRECTIONAL ARROWS
PLANTING AREAS
RE LANDSCAPE
PROPERTY LINE
WASTEWATER
10\"/>

**SITE LEGEND (EXISTING)**

CONCRETE CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
FENCE
PROPERTY LINE
WASTEWATER
STORM SEWER
WATER



ALL RETAINING WALL FACES TO BE CLAD IN STONE.

**CORGAN**

CORGAN  
 Dallas, TX 75202  
 T: 214.748.2000

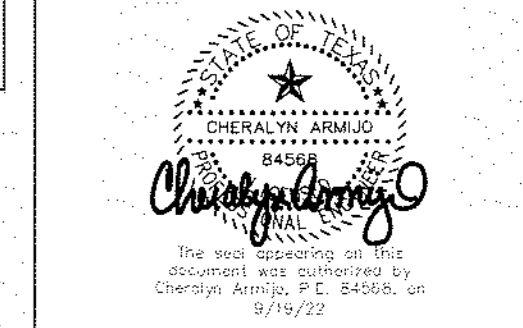
**ISSUES**

1	08/26/22	ISSUE FOR CONSTRUCTION
---	----------	------------------------

**REVISIONS**

△	9/8/2022	ADDENDUM 1
△	9/19/2022	ADDENDUM 2

**GLENN ENGINEERING**  
 TEXAS REGISTRATION # P-303  
 PHONE: 972.717.5151 FAX: 972.717.5175  
 4800 FULLER DRIVE, SUITE 200 IRVING, TEXAS 75038



**NINTH GRADE CENTERS NORTH SITE**  
 for  
 Rockwall Independent School District  
 2852 FM 1141 Rockwall, TX 75087

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12<sup>th</sup> day of July, 2022.  
 WITNESS OUR HANDS: the Mayor of the City of Rockwall, Texas, this 12<sup>th</sup> day of July, 2022.

*[Signature]*  
 Mayor of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER  
 LOT 1, BLOCK A  
 OUT OF THE  
 JOHN M. GASS SURVEY, ABSTRACT NO. 88  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD  
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 ROCKWALL, TEXAS 75087  
 (972) 771-0555  
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN  
 1200 W. MCKENZIE BLVD.  
 SUITE 300  
 FORT WORTH, TEXAS 76104  
 (714) 484-6586  
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.  
 4800 FULLER DR.  
 IRVING, TEXAS 75038  
 (972) 717-5151  
 CONTACT: CHERALYN M. ARNUJO

CITY OF ROCKWALL CASE NO. SP2022-017  
 CITY OF ROCKWALL CASE NO.

**DETAILED NORTHWEST SITE PLAN**

**JOB** 21572.0000  
**DATE** 9/19/22  
**SHEET** C05.01

Calculation Summary				
Label	CalcType	Avg	Max	Min
AREA LIGHTING	Illuminance	0.19	3.0	0.0
DRIVEWAY	Illuminance	0.62	13.7	0.0
PARKING LOT	Illuminance	1.33	3.0	0.0
PROPERTY LINE	Illuminance	0.05	0.1	0.0

**SITE PLAN PHOTOMETRIC CALCULATIONS  
GENERAL NOTES**

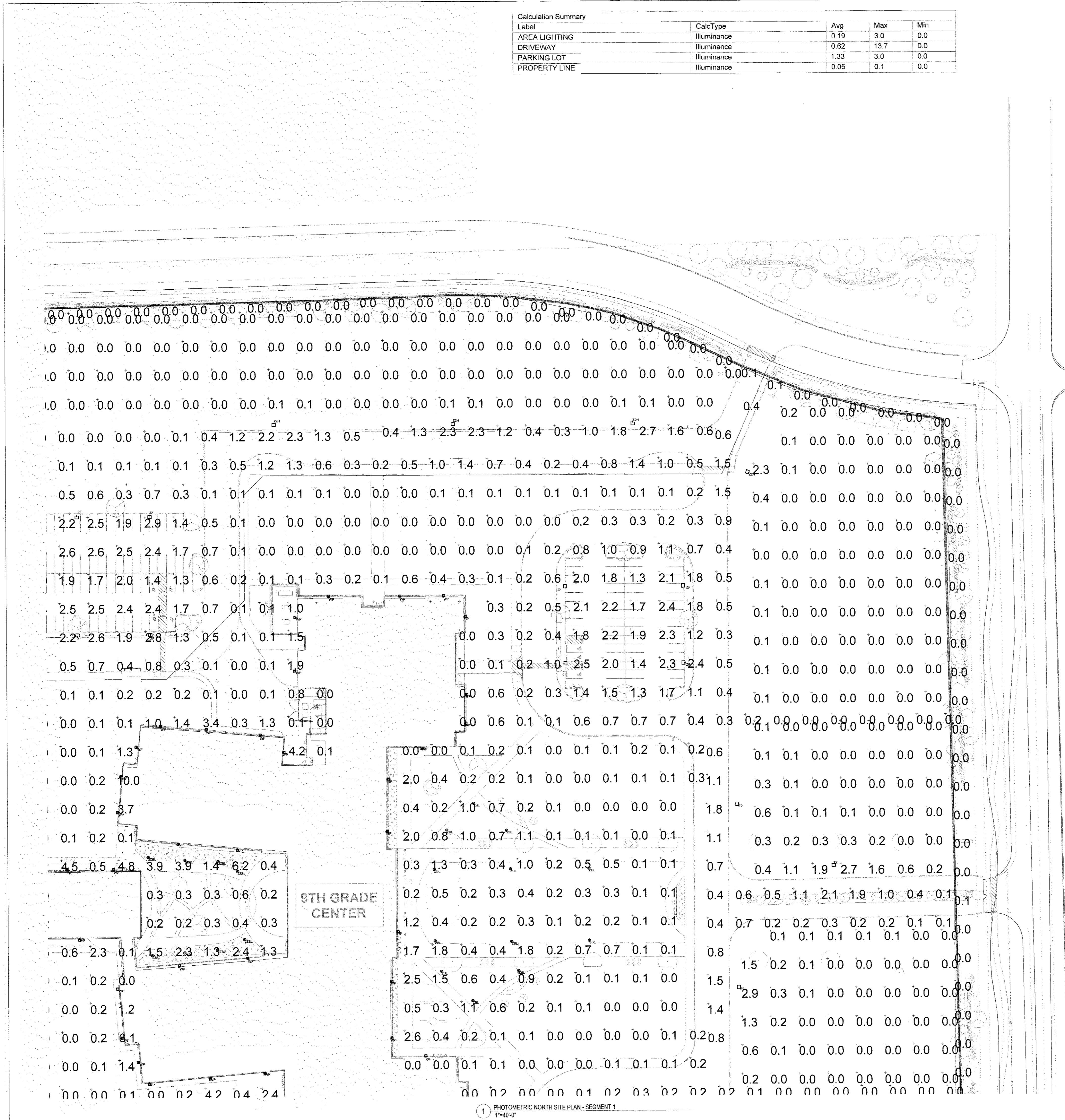
- THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL, TX OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
- ALL CALCULATION POINTS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
- LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

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ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	
1	08/08/2022 ADDENDUM 01



**NINTH GRADE CENTERS  
NORTH SITE**  
for  
Rockwall Independent School District  
2727 S. John King Blvd., Rockwall, TX 75032

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 29th day of September, 2022.

*[Signature]* Planning & Zoning Commission, Chairman  
*[Signature]* Director of Planning and Zoning

**EMA** Engineering and Consulting  
Tyler | Austin | Houston | El Paso  
DFW | San Antonio | Shreveport  
TBPE Firm Registration No. F-893  
Website: www.EMAengineer.com  
Phone: 1-800-933-0538

DESIGN SOLVE ENHANCE

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

PHOTOMETRIC  
NORTH SITE PLAN  
- SEGMENT 1

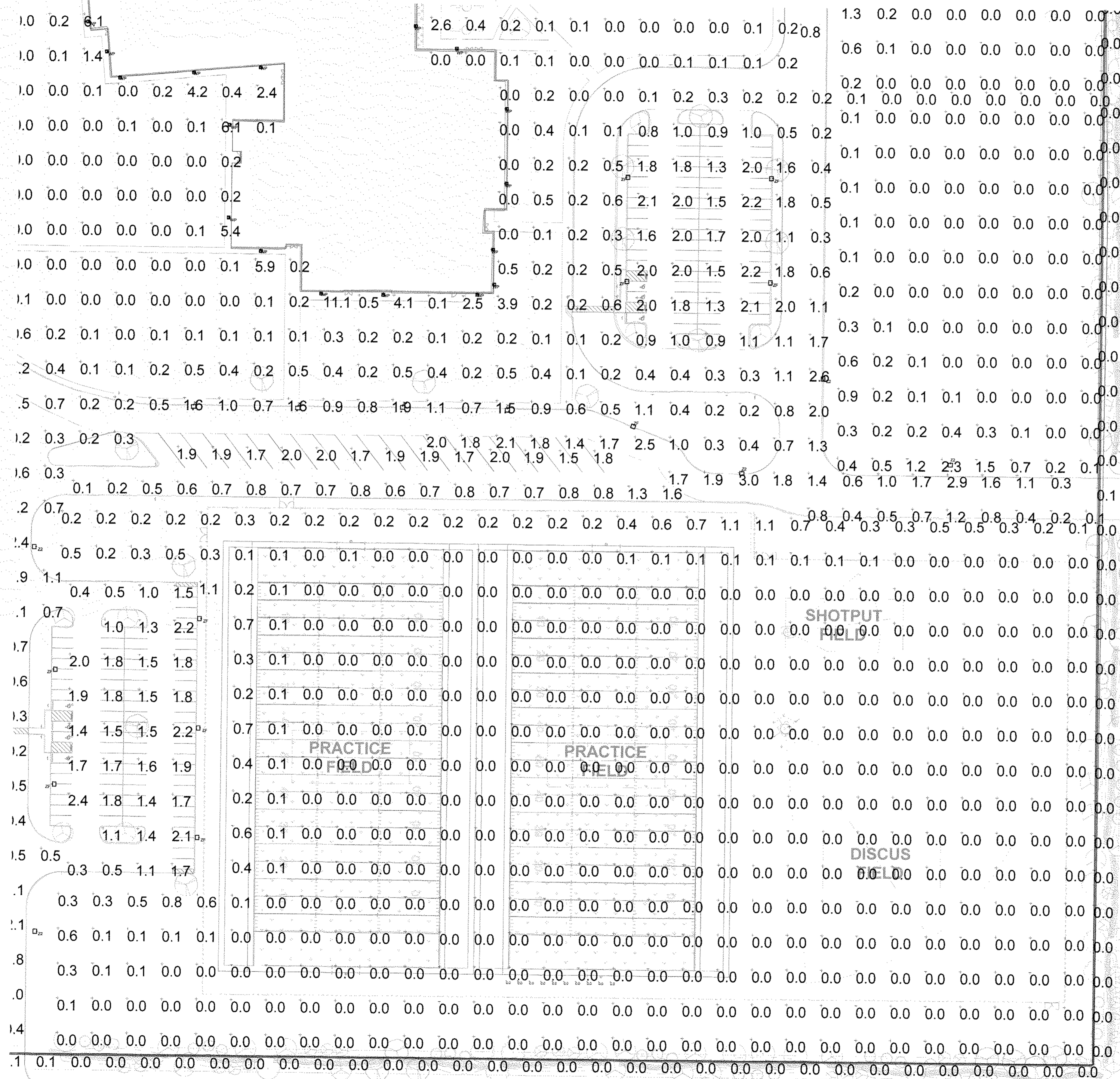
JOB 21572.0000  
DATE 08/26/2022  
SHEET  
**E01-01.5**

1 PHOTOMETRIC NORTH SITE PLAN - SEGMENT 1  
1"=40'-0"

Label	CalcType	Avg	Max	Min
AREA LIGHTING	Illuminance	0.19	3.0	0.0
DRIVEWAY	Illuminance	0.62	13.7	0.0
PARKING LOT	Illuminance	1.33	3.0	0.0
PROPERTY LINE	Illuminance	0.05	0.1	0.0

SITE PLAN PHOTOMETRIC CALCULATIONS  
GENERAL NOTES

1. THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL, TX OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
2. ALL CALCULATION POINTS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
3. LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.



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ISSUES

NO	DATE	DESCRIPTION
1	08/26/22	ISSUE FOR CONSTRUCTION
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REVISIONS

NO	DATE	DESCRIPTION
1	09/08/2022	ADDENDUM 01



NINTH GRADE CENTERS

NORTH SITE

for

Rockwall Independent School District

2727 S. John King Blvd, Rockwall, TX 75032

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 29th day of September, 2022.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

PHOTOMETRIC  
NORTH SITE PLAN  
- SEGMENT 2

**EMA** Engineering and Consulting  
Tyler | Austin | Houston | El Paso  
DFW | San Antonio | Shreveport  
TBPE Firm Registration No. F-893  
Website: www.EMAengineer.com  
Phone: 1.800.933.0538

JOB 21572.0000  
DATE 08/26/2022

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

SHEET  
**E01-01.6**

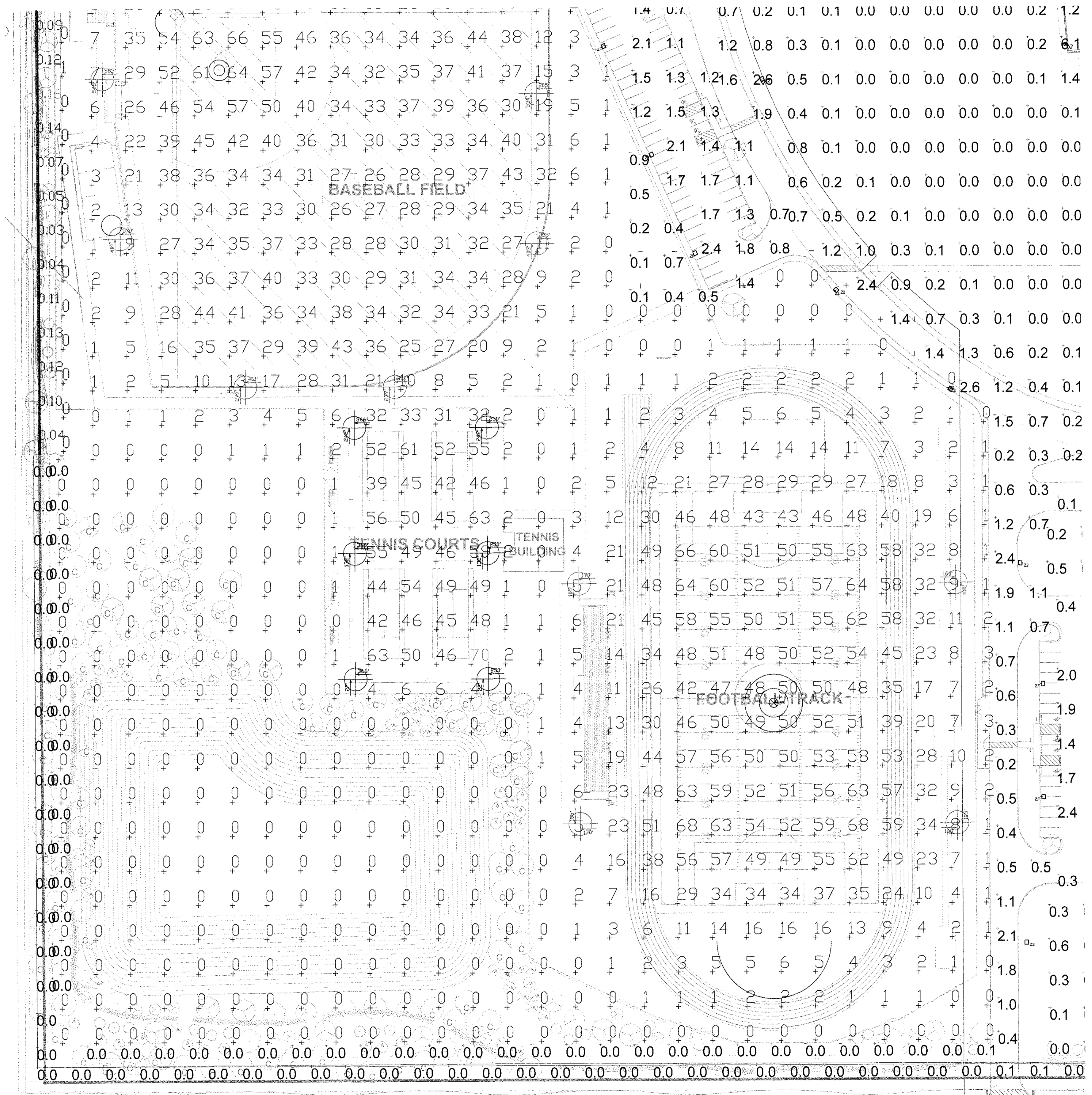
Calculation Summary				
Label	CalcType	Avg	Max	Min
AREA LIGHTING	Illuminance	0.19	3.0	0.0
DRIVEWAY	Illuminance	0.62	13.7	0.0
PARKING LOT	Illuminance	1.33	3.0	0.0
PROPERTY LINE	Illuminance	0.05	0.1	0.0

**SITE PLAN PHOTOMETRIC CALCULATIONS**  
GENERAL NOTES

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- LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

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REVISIONS	
1	09/08/2022 ADDENDUM 01



**NINTH GRADE CENTERS  
NORTH SITE**  
for  
Rockwall Independent School District  
2727 S. John King Blvd., Rockwall, TX 75032

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.  
WITNESS OUR HANDS, this 6th day of April, 2022.

*[Signature]* Planning & Zoning Commission, Chairman  
*[Signature]* Director of Planning and Zoning

**EMA** Engineering and Consulting  
Tyler | Austin | Houston | El Paso  
DFW | San Antonio | Shreveport  
TBPE Firm Registration No. F-893  
Website: www.EMAengineer.com  
Phone: 1.800.933.0538

PHOTOMETRIC  
NORTH SITE PLAN  
- SEGMENT 3

JOB 21572.0000  
DATE 08/26/2022  
SHEET

**E01-01.7**

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.  
1 082 0079 002

Calculation Summary				
Label	CalcType	Avg	Max	Min
AREA LIGHTING	Illuminance	0.19	3.0	0.0
DRIVEWAY	Illuminance	0.62	13.7	0.0
PARKING LOT	Illuminance	1.33	3.0	0.0
PROPERTY LINE	Illuminance	0.05	0.1	0.0

**SITE PLAN PHOTOMETRIC CALCULATIONS  
GENERAL NOTES**

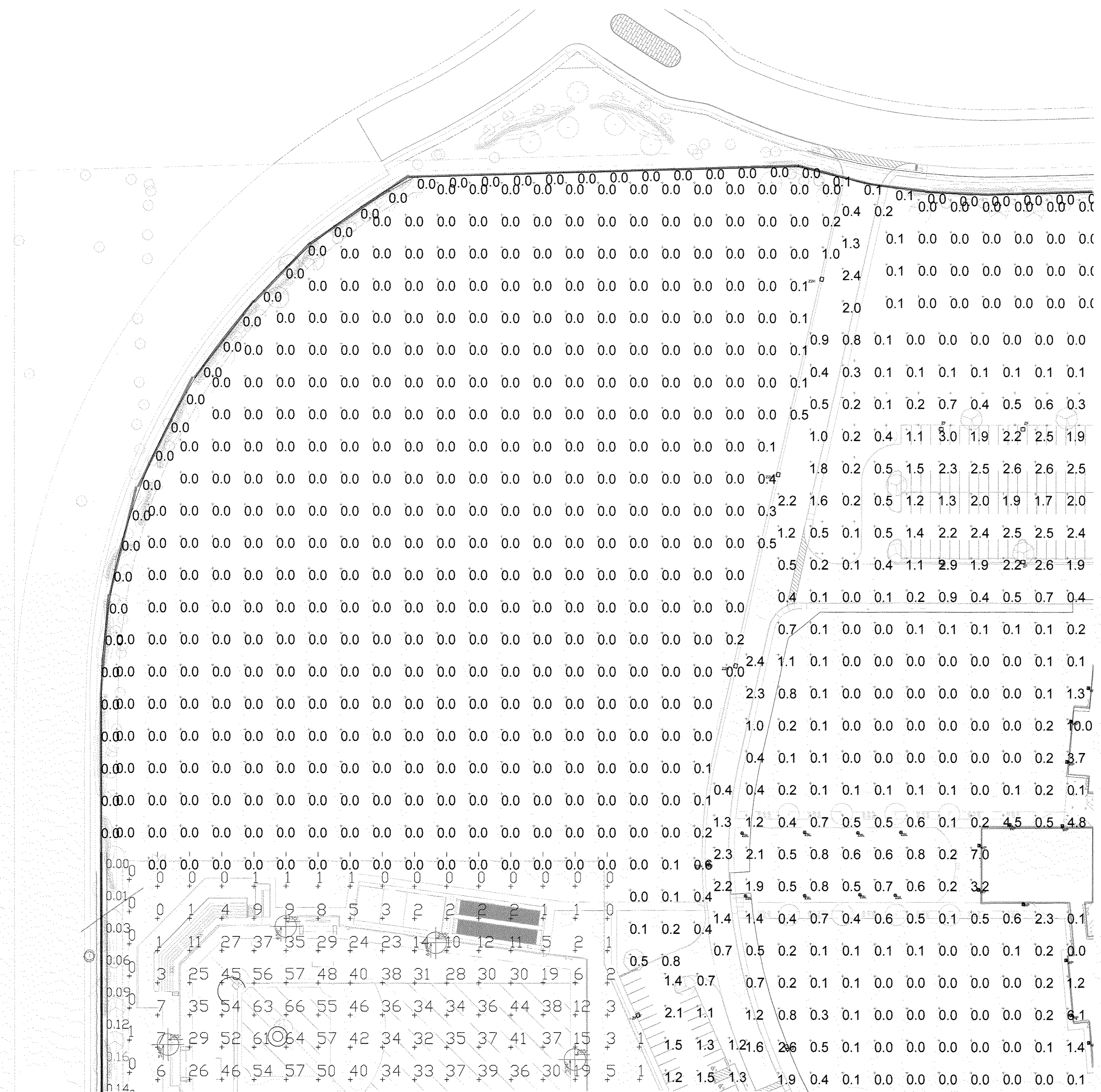
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- LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AG32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

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ISSUES	
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REVISIONS	
1	09/08/2022 ADDENDUM 01



APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 10th day of July, 2022.  
WITNESS OUR HANDS, this 29th day of September, 2022.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

**NINTH GRADE CENTERS  
NORTH SITE**  
for  
Rockwall Independent School District  
2727 S. John King Blvd., Rockwall, TX 75032

PHOTOMETRIC  
NORTH SITE PLAN  
- SEGMENT 4

**EMA** EMA Engineering and Consulting  
Tyler | Austin | Houston | El Paso  
DFW | San Antonio | Shreveport  
TBP Firm Registration No. F-893  
Website: www.EMAengineer.com  
Phone: 1.800.933.0538

DESIGN SOLVE ENHANCE

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

JOB 21572.0000  
DATE 08/26/2022  
SHEET  
**E01-01.8**

1 PHOTOMETRIC NORTH SITE PLAN - SEGMENT 4  
1"=40'-0"