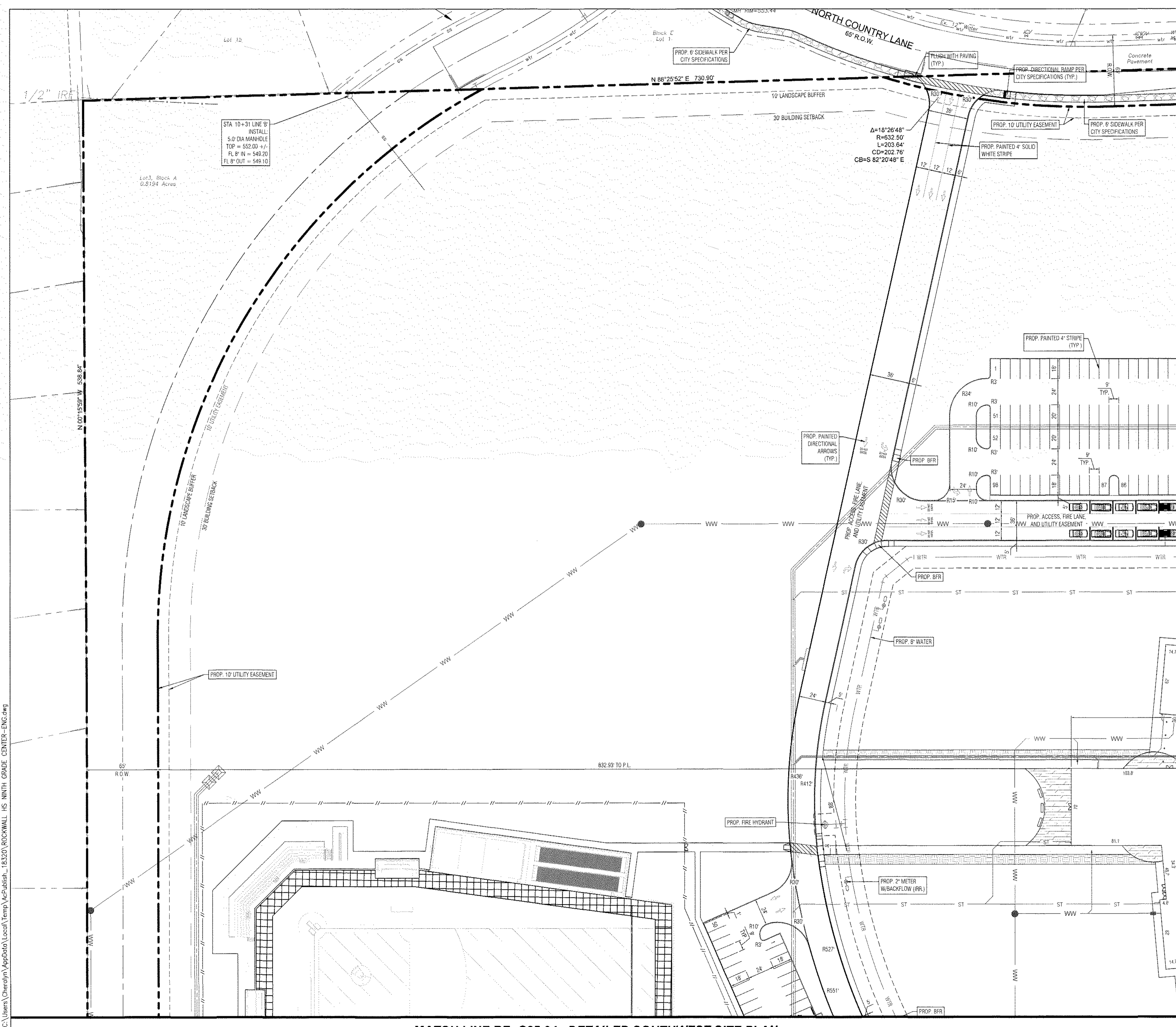


Sep 15, 2022 - 2:43pm User: Cheryl
 C:\Users\Cheryl\AppData\Local\Temp\AcP\dbs\18320 ROCKWALL HS NINTH GRADE CENTER-ENG.dwg



MATCH LINE RE: C05.04 - DETAILED SOUTHWEST SITE PLAN

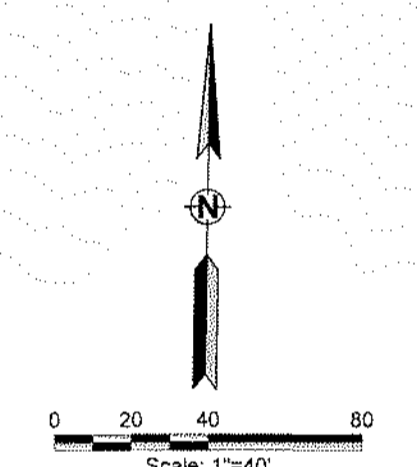
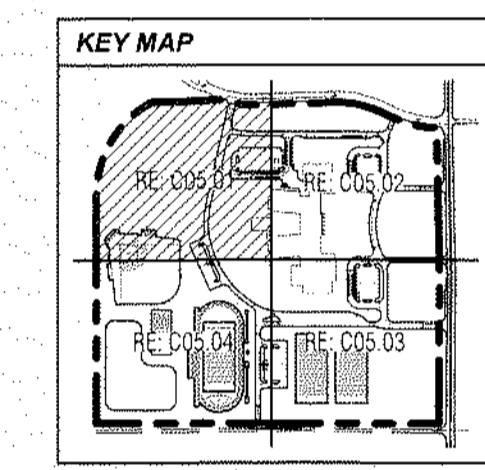
MATCH LINE RE: C05.02 - DETAILED NORTHEAST SITE PLAN

SITE LEGEND (PROPOSED)

[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	ORNAMENTAL FENCE
[Symbol]	FIRE LINE
[Symbol]	PAINTED TRAFFIC DIRECTIONAL ARROW
[Symbol]	PLANTING AREAS RE LANDSCAPE
[Symbol]	PROPERTY LINE
[Symbol]	RETAINING WALL
[Symbol]	10 MANDATORY SCREENING WALL
[Symbol]	SIDEWALK (PRIVATE)
[Symbol]	SIDEWALK (PUBLIC)
[Symbol]	WTR
[Symbol]	WATER

SITE LEGEND (EXISTING)

[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	FENCE
[Symbol]	PROPERTY LINE
[Symbol]	WATER
[Symbol]	WASTEWATER
[Symbol]	STORM SEWER
[Symbol]	WTR



ALL RETAINING WALL FACES TO BE CLAD IN STONE.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 21st day of September, 2022.
 WITNESSES CLERK: [Signature] CITY CLERK: [Signature]

ROCKWALL - NINTH GRADE CENTER LOT 1, BLOCK A
 OUT OF THE JOHN M. GASS SURVEY, ABSTRACT NO. 88 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
 801 E WASHINGTON ST
 ROCKWALL, TEXAS 75087
 (972) 771-6665
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
 1200 W MAGNOLIA BLVD
 SUITE 300
 FORT WORTH, TEXAS 76104
 (714) 494-5588
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP
 4000 FULLER DR
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMSTRONG

CITY OF ROCKWALL CASE NO. SP2022-017
 CITY OF ROCKWALL CASE NO. SP2022-017

CORGAN
 CORGAN
 Dallas, TX 75202
 T. 214.748.2000

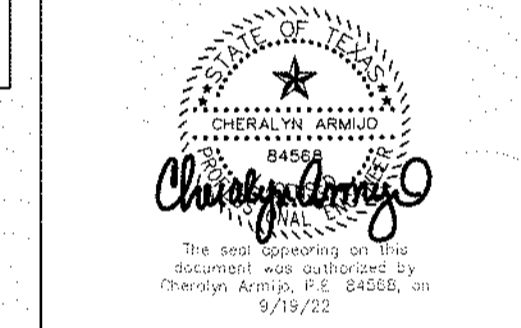
ISSUES

1	08/26/22	ISSUE FOR CONSTRUCTION
---	----------	------------------------

REVISIONS

1	9/9/2022	ADDENDUM 1
2	9/19/2022	ADDENDUM 2

GLENN ENGINEERING
 TEXAS REGISTRATION # P-300
 PHONE #972.717.5151
 4900 FULLER DRIVE, SUITE 200
 IRVING, TEXAS 75038



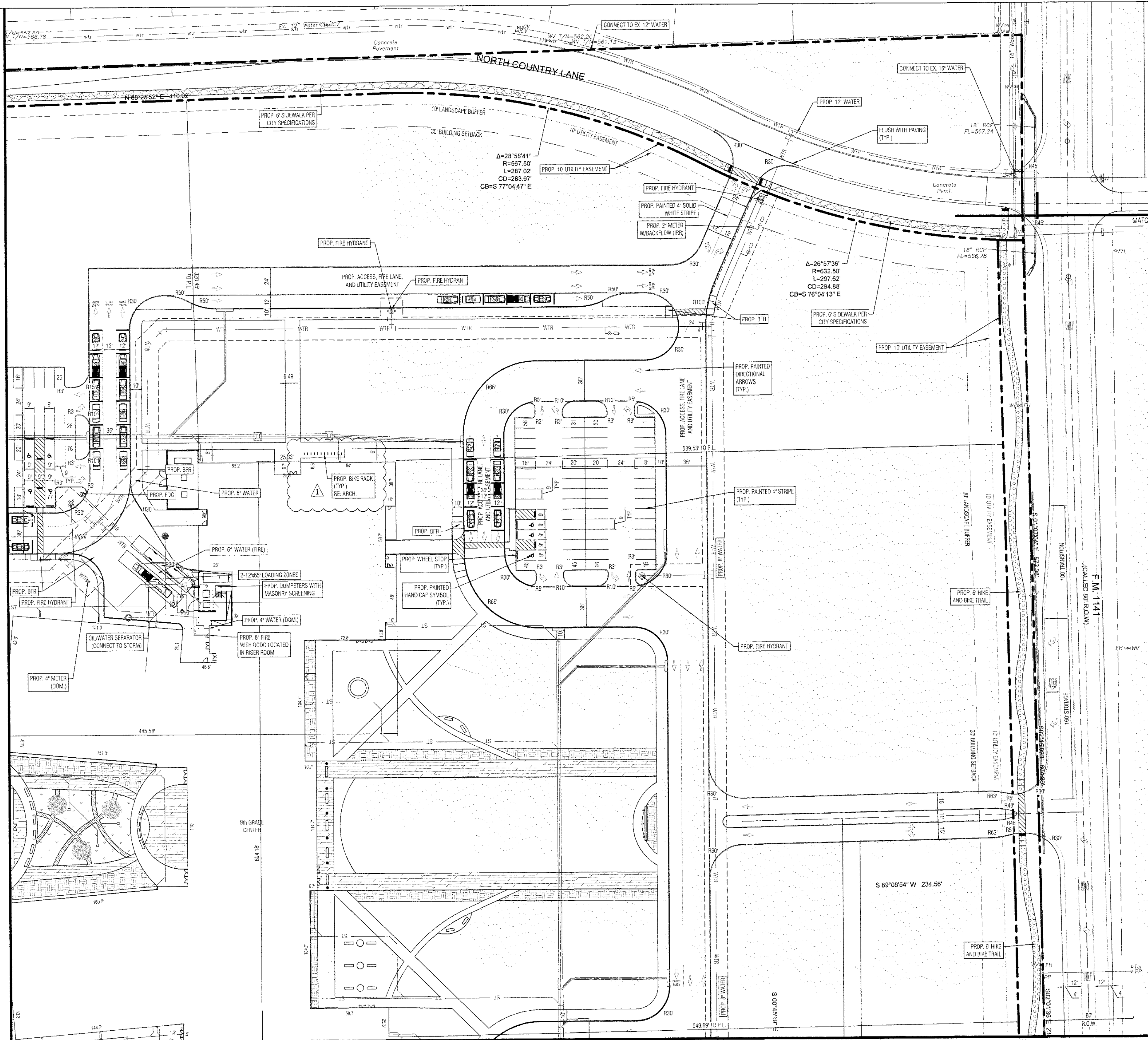
NINTH GRADE CENTERS NORTH SITE
 for
 Rockwall Independent School District
 2852 FM 1141 Rockwall, TX 75087

DETAILED NORTHWEST SITE PLAN

JOB 21572.0000
 DATE 9/19/22
 SHEET C05.01

Site: Cameron, 2022 9th Grade Center, 115 N. 9th Grade Center, Eng. 04
 User: Cameron, 2022 9th Grade Center, 115 N. 9th Grade Center, Eng. 04
 Sep 15, 2022 - 2:49pm
 ROCKWALL NEW HIGH SCHOOL #4 - CAMERON, 2022 9th Grade Center, 115 N. 9th Grade Center, Eng. 04

MATCH LINE RE: C05.01 - DETAILED NORTHWEST SITE PLAN



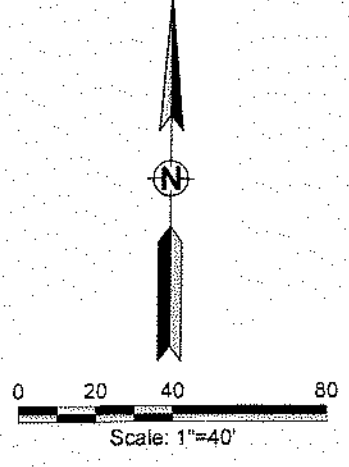
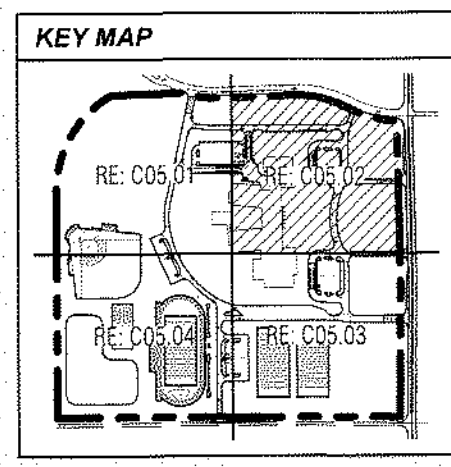
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SITE LEGEND (PROPOSED)

CONCRETE CURB	CONCRETE CURB
EDGE OF ASPHALT	EDGE OF ASPHALT
OROGRAPHICAL FENCE	OROGRAPHICAL FENCE
PLANTING AREA	PLANTING AREA
RELANDSCAPE	RELANDSCAPE
PROPERTY LINE	PROPERTY LINE
WATER	WATER
10 MASONRY SCREENING WALL	10 MASONRY SCREENING WALL
SEWER (PRIVATE)	SEWER (PRIVATE)
SEWER (PUBLIC)	SEWER (PUBLIC)
WATER	WATER

SITE LEGEND (EXISTING)

CONCRETE CURB	CONCRETE CURB
EDGE OF ASPHALT	EDGE OF ASPHALT
FENCE	FENCE
PROPERTY LINE	PROPERTY LINE
WATER	WATER
STORM SEWER	STORM SEWER
WATER	WATER



ALL RETAINING WALL FACES TO BE CLAD IN STONE.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 19th day of July, 2022.
 WITNESS OUR HANDS, this 19th day of July, 2022.

[Signature]
 Planning & Zoning Commission Chairman

ROCKWALL - NINTH GRADE CENTER
 LOT 1, BLOCK A
 OUT OF THE
 JOHN M. GASS SURVEY, ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD 801 E WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-0805 CONTACT: JAMES WATSON	SURVEYOR: BOWMAN 1200 W. MAGNOLIA BLVD. SUITE 300 FORT WORTH, TEXAS 76104 (214) 484-8566 CONTACT: ROBERT HANSEN	ENGINEER: GLENN ENGINEERING CORP. 4502 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUO
------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------

CITY OF ROCKWALL CASE NO. SP2022-017

CORGAN

CORGAN
 Dallas, TX 75202
 T. 214.748.2000

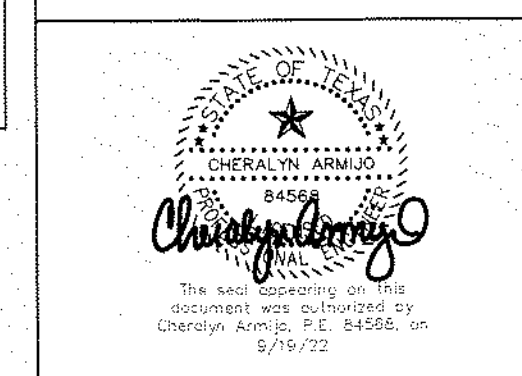
ISSUES

1	08/26/22	ISSUE FOR CONSTRUCTION
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REVISIONS

9/9/2022	ADDENDUM 1
9/19/2022	ADDENDUM 2

GLENN ENGINEERING
 TEXAS REGISTRATION # P-303
 4502 FULLER DRIVE, SUITE 300
 IRVING, TEXAS 75038



NINTH GRADE CENTERS
NORTH SITE
 for
 Rockwall Independent School District
 2852 FM 1141 Rockwall, TX 75087

DETAILED NORTHEAST SITE PLAN

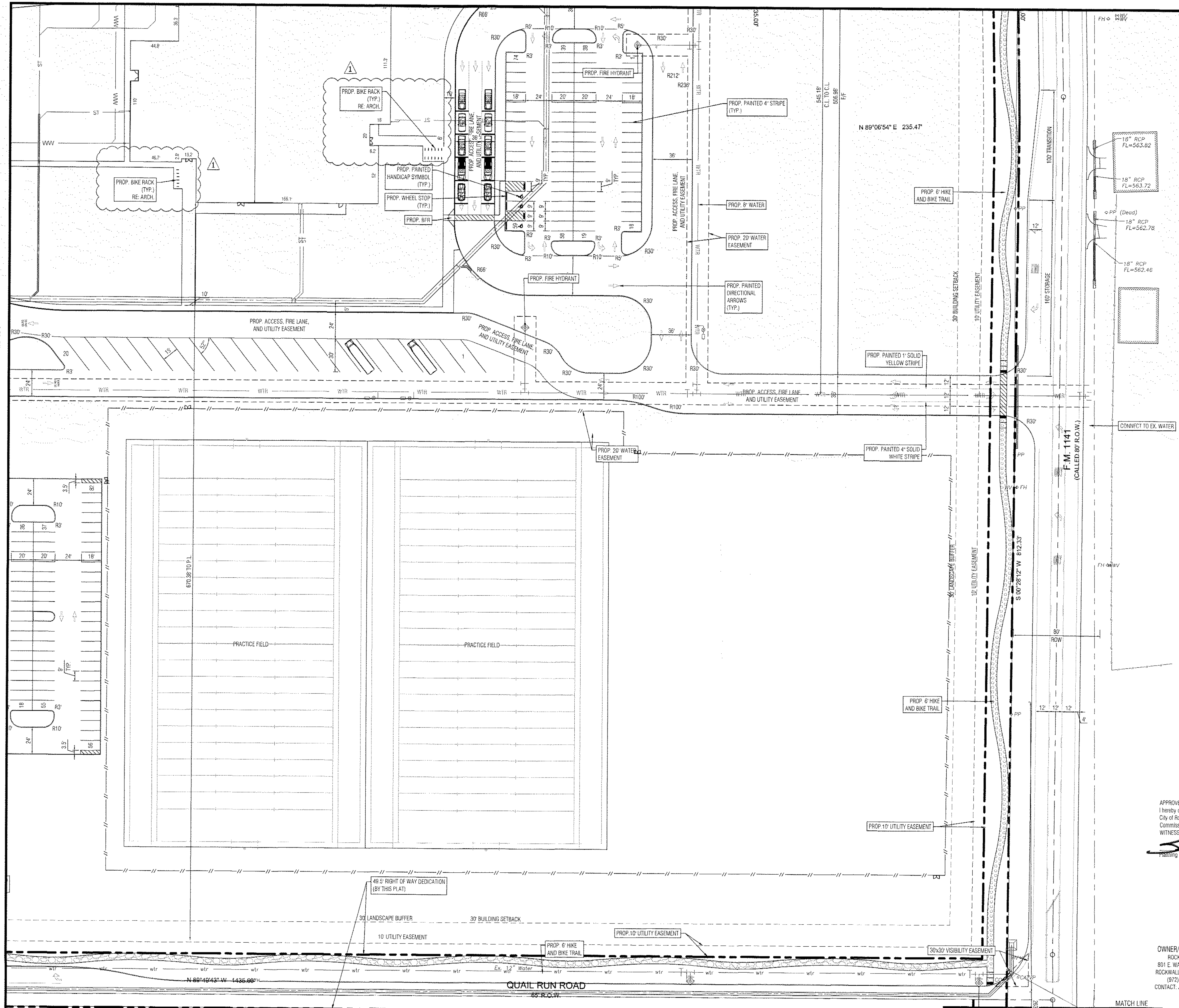
JOB 21572.0000
DATE 9/19/22
SHEET

C05.02

Sep 16, 2022 2:44pm User: Charolyn
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MATCH LINE RE: C05.04 - DETAILED SOUTHWEST SITE PLAN

MATCH LINE RE: C05.02 - DETAILED NORTHEAST SITE PLAN

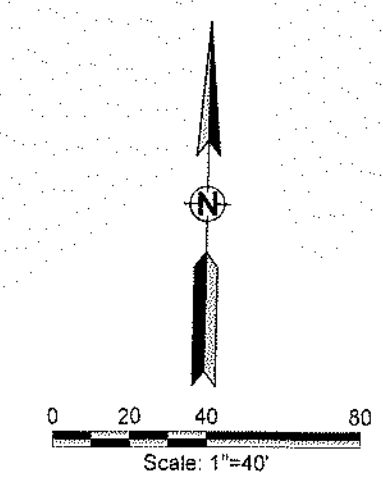
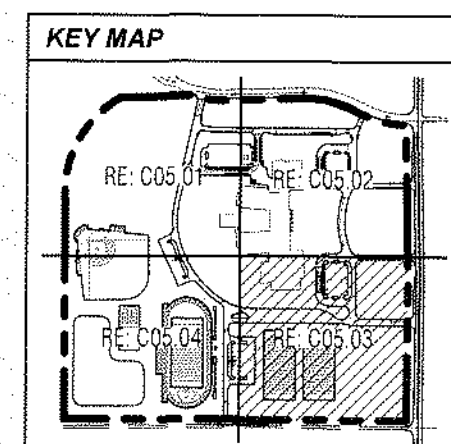


SITE LEGEND (PROPOSED)

CONCRETE CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
ORNAMENTAL FENCE
FIRE LANE
PAINTED TRAFFIC DIRECTIONAL ARROW
PLANTING AREAS
RE: LANDSCAPE
PROPERTY LINE
WASTEWATER
10 MASONRY SCREENING WALL
SEWER (PRIVATE)
SEWER (PUBLIC)
WATER

SITE LEGEND (EXISTING)

CONCRETE CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
FENCE
PROPERTY LINE
WASTEWATER
STORM SEWER
WATER



ALL RETAINING WALL FACES TO BE CLAD IN STONE.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 21st day of September, 2022.
 WITNESSED OUR HANDS, the 21st day of September, 2022.
 [Signature] Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
 LOT 1, BLOCK A
 OUT OF THE
 JOHN M. GASS SURVEY, ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL, LLC
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 (972) 771-0925
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
 1200 W. MANOLLA BLVD.
 SUITE 300
 FORT WORTH, TEXAS 76104
 (214) 491-8588
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERYL N.M. ARMAUO

CITY OF ROCKWALL CASE NO. SP2022-017

CORGAN

CORGAN
 Dallas, TX 75202
 T. 214.748.2000

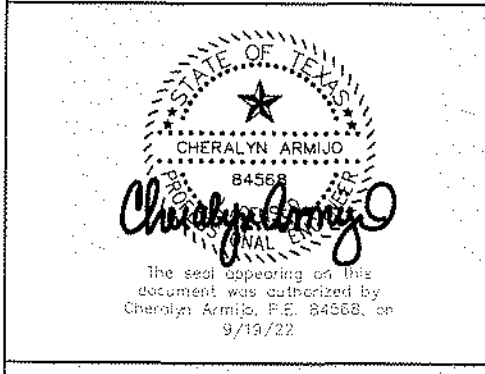
ISSUES

1	08/25/22	ISSUE FOR CONSTRUCTION

REVISIONS

1	9/8/2022	ADDENDUM 1
2	9/19/2022	ADDENDUM 2

GLENN ENGINEERING
 TEXAS REGISTRATION # P-307
 PHONE #972.771.8587 FAX #972.771.5176
 4500 FULLER DRIVE, SUITE 200 IRVING, TEXAS 75038

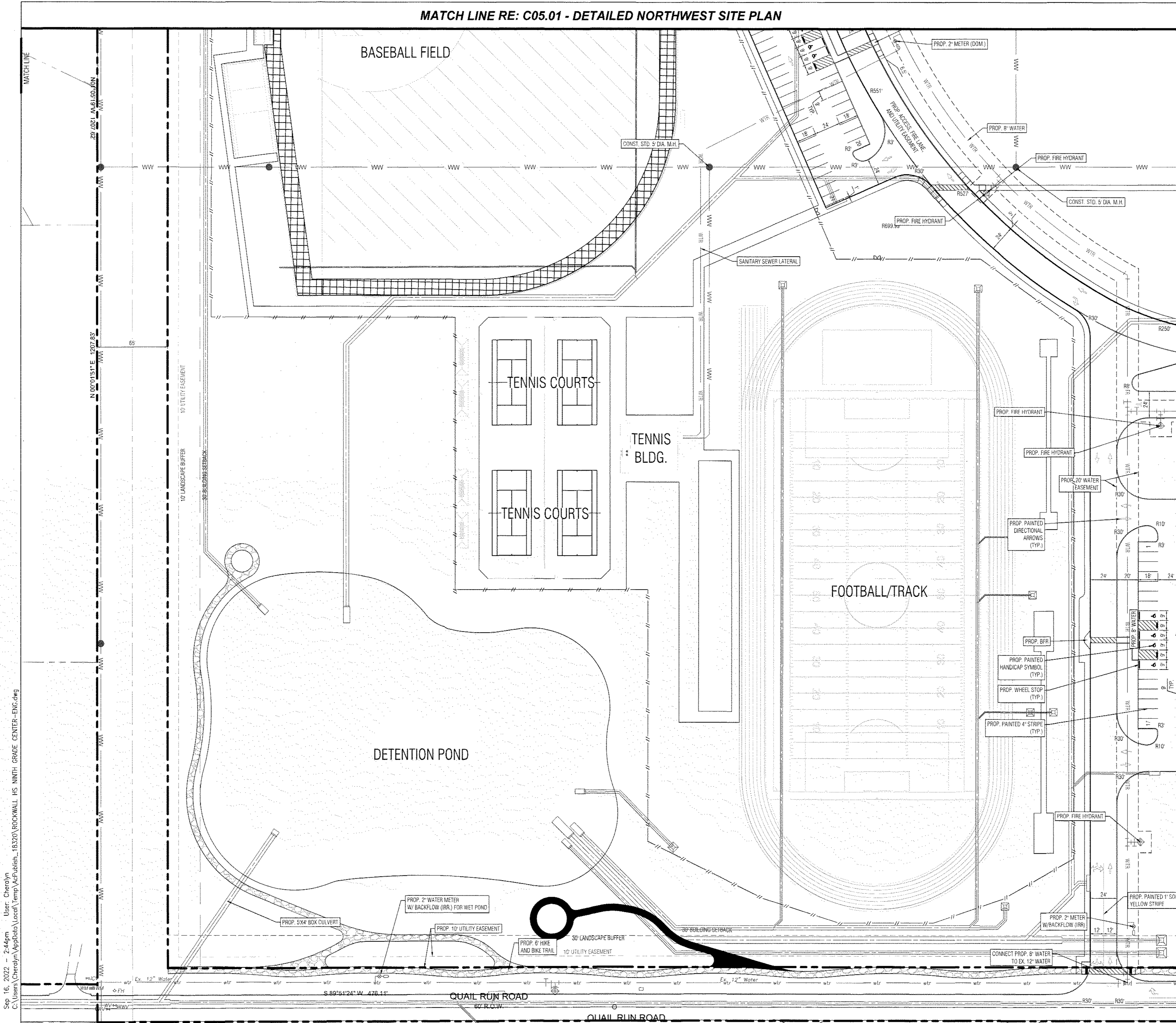


NINTH GRADE CENTERS
 NORTH SITE
 for
 Rockwall Independent School District
 2852 FM 1141 Rockwall, TX 75087

DETAILED
 SOUTHWEST SITE
 PLAN

JOB 21572.0000
 DATE 9/19/22
 SHEET

C05.03



MATCH LINE RE: C05.01 - DETAILED NORTHWEST SITE PLAN

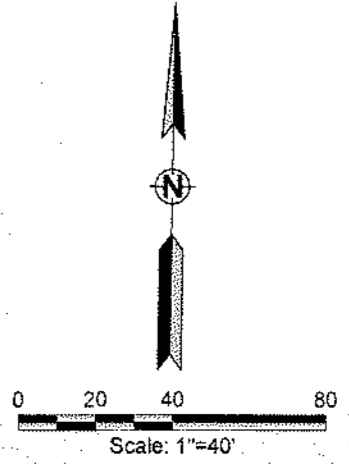
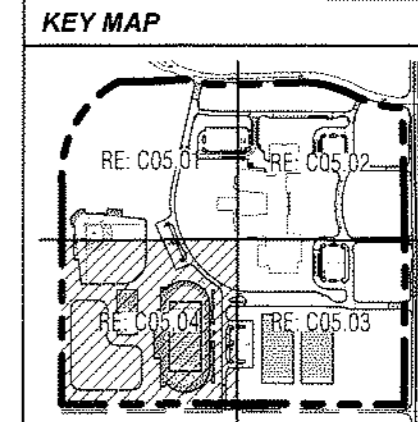
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SITE LEGEND (PROPOSED)

---	CONCRETE CURB
---	EDGE OF ASPHALT
---	EDGE OF CONCRETE
---	ORNAMENTAL FENCE
---	FIRE LINE
---	PAINTED TRAFFIC DIRECTIONAL ARROW
---	PLANTING AREAS
---	RE LANDSCAPE
---	PROPERTY LINE
---	BACKFLOWER
---	10 MAINTENANCE SCREENING WALL
---	SEWER (PRIVATE)
---	SEWER (PUBLIC)
---	WTR
---	WATER

SITE LEGEND (EXISTING)

---	CONCRETE CURB
---	EDGE OF ASPHALT
---	EDGE OF CONCRETE
---	FENCE
---	PROPERTY LINE
---	WASTEWATER
---	STORM SEWER
---	WTR
---	WATER



ALL RETAINING WALL FACES TO BE CLAD IN STONE.

CORGAN

CORGAN
Dallas, TX 75202
T: 214.746.2000

ISSUES

1	08/26/22	ISSUE FOR CONSTRUCTION
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REVISIONS

▲	9/8/2022	ADDENDUM 1
▲	9/19/2022	ADDENDUM 2

GLENN ENGINEERING
TEXAS REGISTRATION # F-302
PHONE (972) 717-5151
4000 FULLER DRIVE, SUITE 200 IRVING, TEXAS 75038



NINTH GRADE CENTERS NORTH SITE
for
Rockwall Independent School District
2852 FM 1141 Rockwall, TX 75087

DETAILED SOUTHWEST SITE PLAN

JOB 21572.0000
DATE 9/19/22
SHEET

C05.04

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
WITNESS OUR HANDS, this 21st day of September, 2022.

John M. Gass City of Planning and Zoning
Cheralyn M. Arnuo City of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER LOT 1, BLOCK A
OUT OF THE
JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

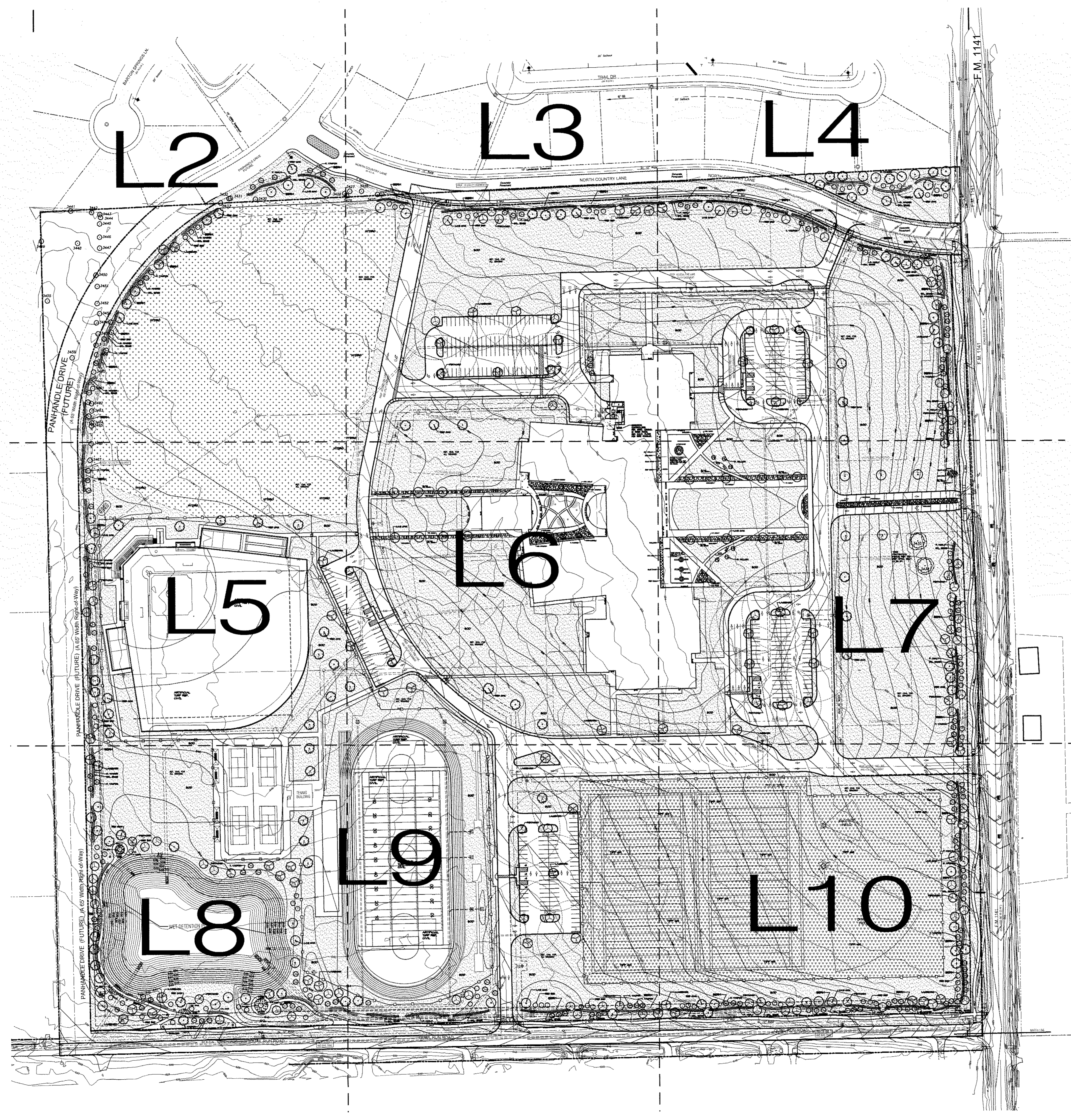
OWNER/DEVELOPER: ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: JAMES WATSON

SURVEYOR: BONNANI
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
4000 FULLER DR.
IRVING, TEXAS 75038
CONTACT: CHERALYN M. ARNUO

CITY OF ROCKWALL CASE NO. SP2022-017

Sep 16, 2022 - 2:44pm User: Cheralyn
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CORGAN
 401 N. Houston St.
 Dallas, TX 75202
 T. 214-748-2000

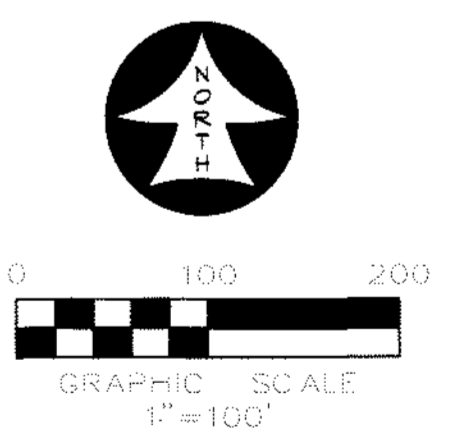
ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
2	
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REVISIONS	
2	09/19/22 ADDENDUM C2



RAMSEY LANDSCAPE ARCHITECTS, LLC
 11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 362-5433
 EMAIL: MIKE.RLA@ATT.NET

SITE DATA SUMMARY	
EXISTING ZONING	AG
PROPOSED ZONING	PD FOR HS USES (22022-015)
USE	PUBLIC SCHOOL
LOT AREA	3,044.079 S.F. OR 69.88 AC.
BUILDING AREA (FLOOR AREA)	150,170 S.F.
PROPOSED FIRST FLOOR	41,019 S.F.
TOTAL BUILDING AREA	150,170 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	150,170 S.F.
LOT COVERAGE	150,170 S.F./3,044.079 S.F. = 4.93%
FLOOR AREA RATIO	0.05:1
TOTAL IMPERVIOUS AREA	731,645.38 S.F. OR 24.04 AC
BUILDING HEIGHT	137'-10" (2 STORIES)
TOTAL REQUIRED PARKING (1 PER 5 STUDENTS)	203 SPACES
PARKING PROVIDED	
PARKING SURFACE	
9,048.0	202 SPACES
9,020.0	159 SPACES
15,068.0	20 SPACES
TOTAL PARKING PROVIDED	381 SPACES



APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 13th day of July, 2022.
 WITNESS OUR HANDS, this 24th day of September, 2022.

[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
 OUT OF THE
 JOHN M. GASS SURVEY, ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

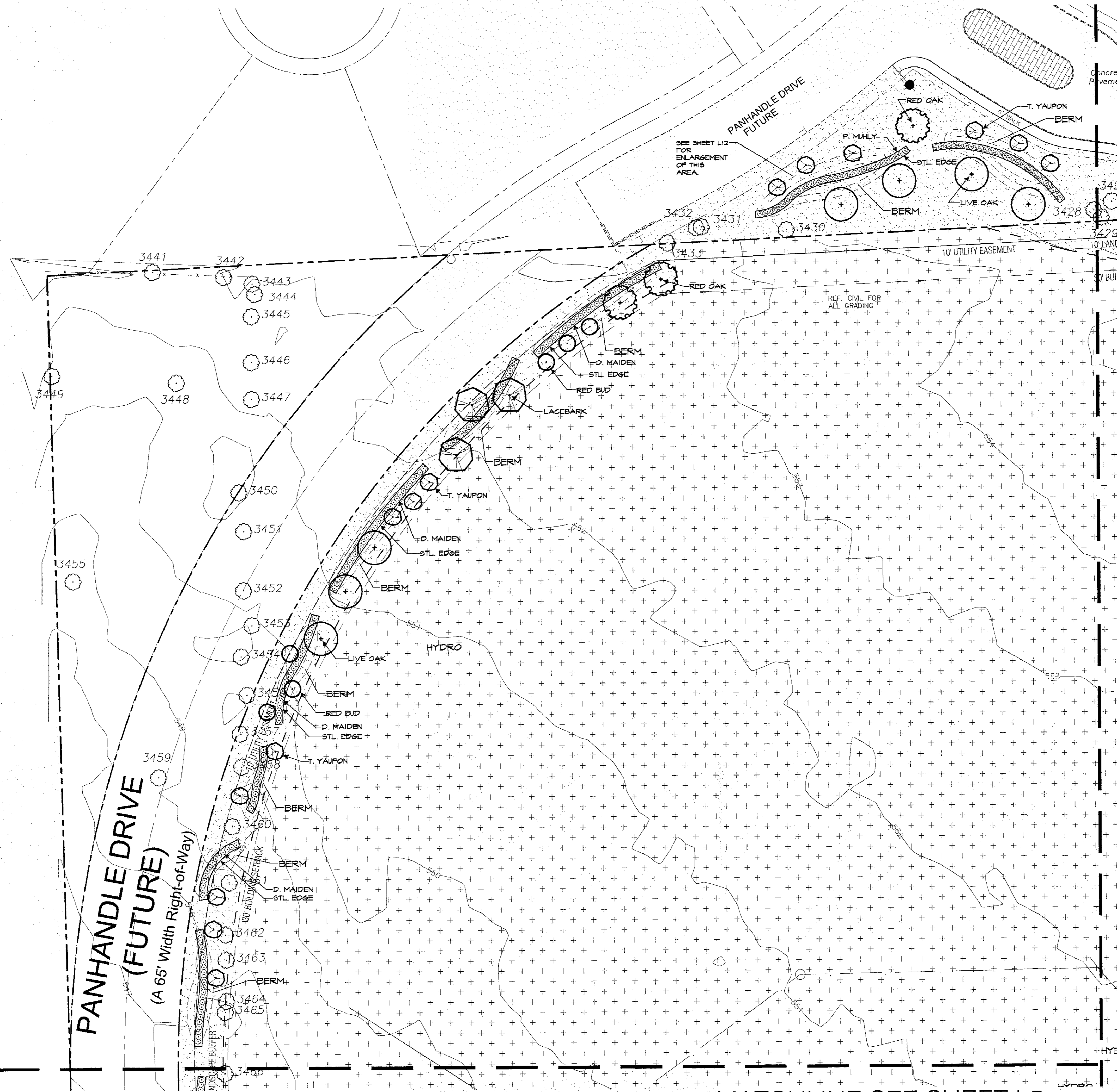
OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-0605 CONTACT: JAMES WATSON	SURVEYOR: BOWMAN 1200 W. MAGNOLIA BLVD. SUITE 300 FORT WORTH, TEXAS 76104 (214) 484-8586 CONTACT: ROBERT HANSEN	ENGINEER: GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUJO
--------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------

CITY OF ROCKWALL CASE NO. SP2022-017

NINTH GRADE CENERS
 North Site
 for
 Rockwall Independent School district
 2852 FM 1141 Rockwall, TX 75087

OVERALL
 LANDSCAPE PLAN

JOB 21572.0000
DATE 08/26/22
SHEET L 1



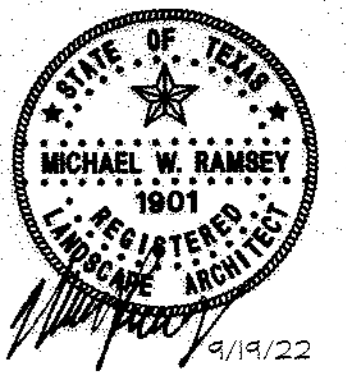
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MATCHLINE SEE SHEET L5

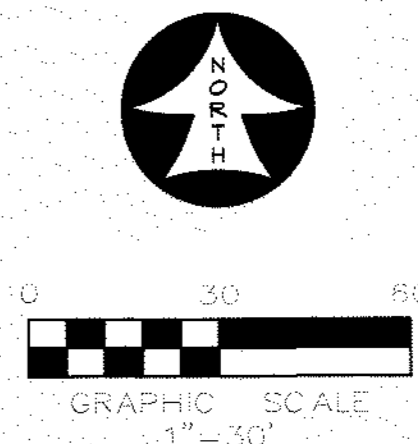
CORGAN
 401 N. Houston St
 Dallas, TX 75202
 T: 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
2	
3	
4	
5	
6	

REVISIONS	



RAMSEY LANDSCAPE ARCHITECTS, LLC
 11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 362-5433
 EMAIL: MIKE.RLA@ATT.NET



APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of July, 2022. WITNESS OUR HANDS, this 20th day of September, 2022.

Sally
 Planning & Zoning Commission, Chairman
Bill
 Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
 OUT OF THE
 JOHN M. GASS SURVEY, ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 (972) 771-0605
 CONTACT: JAMES WATSON

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMUJO

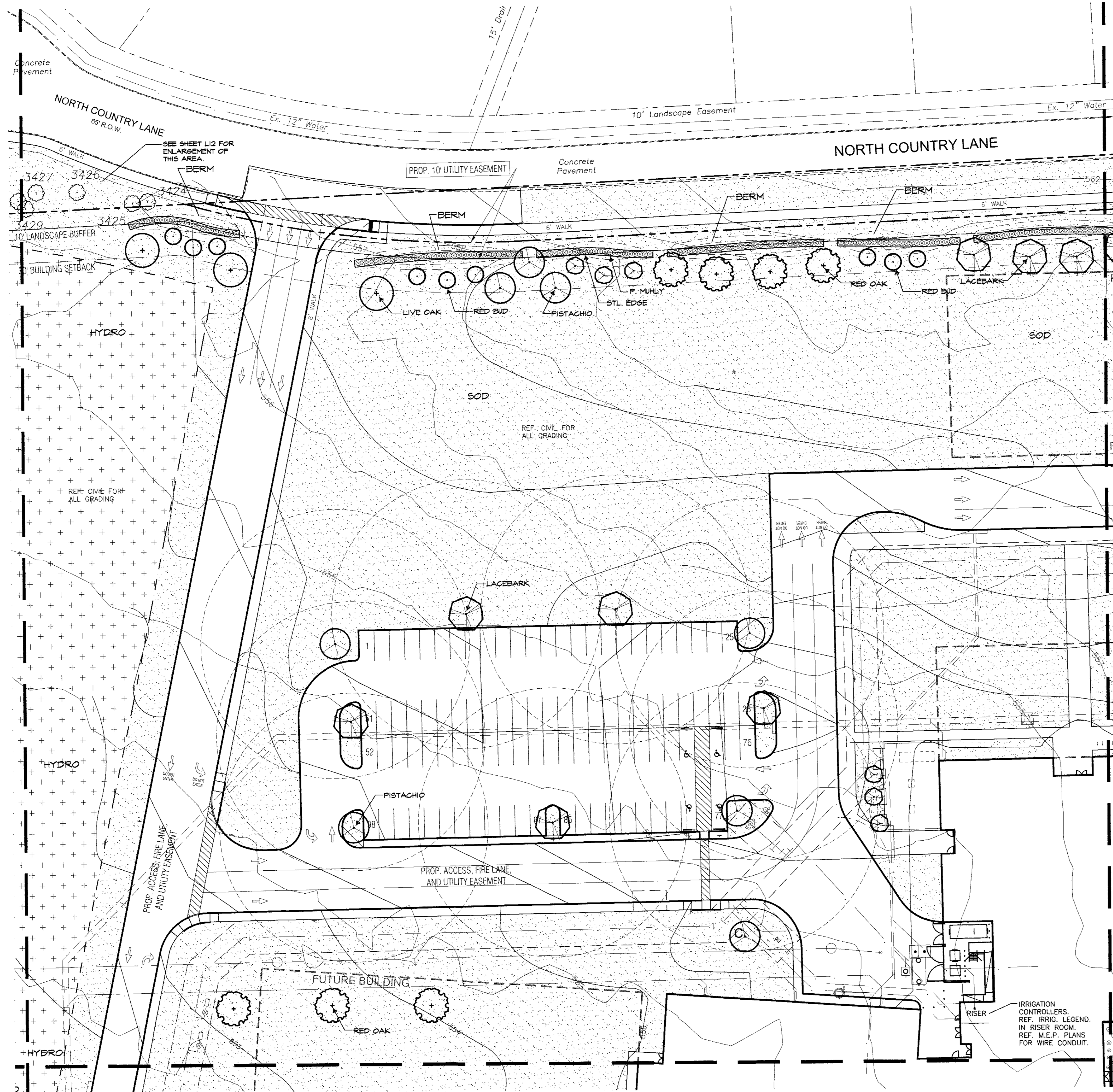
SURVEYOR: BOWMAN
 1200 W. MAGNOLIA BLVD.
 SUITE 300
 FORT WORTH, TEXAS 76104
 (214) 484-8586
 CONTACT: ROBERT HANSEN

NINTH GRADE CENERS
 North Site
 for
 Rockwall Independent School district
 2852 FM 1141 Rockwall, TX 75087

LANDSCAPE PLAN
 AREA A

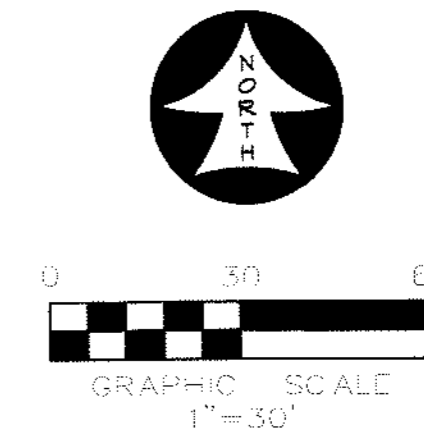
JOB 21572.0000
DATE 08/26/22
SHEET L 2

MATCHLINE SEE SHEET L2



MATCHLINE SEE SHEET L6

MATCHLINE SEE SHEET L4



APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
 WITNESS OUR HANDS, this 29th day of September, 2022.

[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
 LOT 1, BLOCK A
 OUT OF THE
 JOHN M. GASS SURVEY, ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 (972) 771-0605
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
 1200 W. MAGNOLIA BLVD.
 SUITE 300
 FORT WORTH, TEXAS 76104
 (214) 484-8586
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMUO

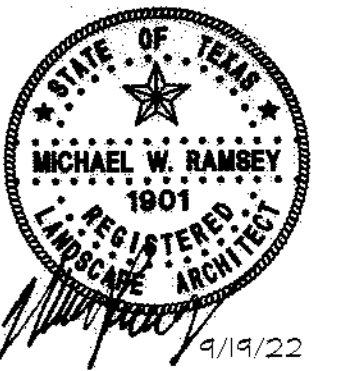
CITY OF ROCKWALL CASE NO. SP2022-017

CORGAN

401 N. Houston St.
 Dallas, TX 75202
 T. 214-748-2000

ISSUES	
1	08/29/22 ISSUE FOR CONSTRUCTION
2	
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REVISIONS	
2	08/18/22 ADDENDUM 02



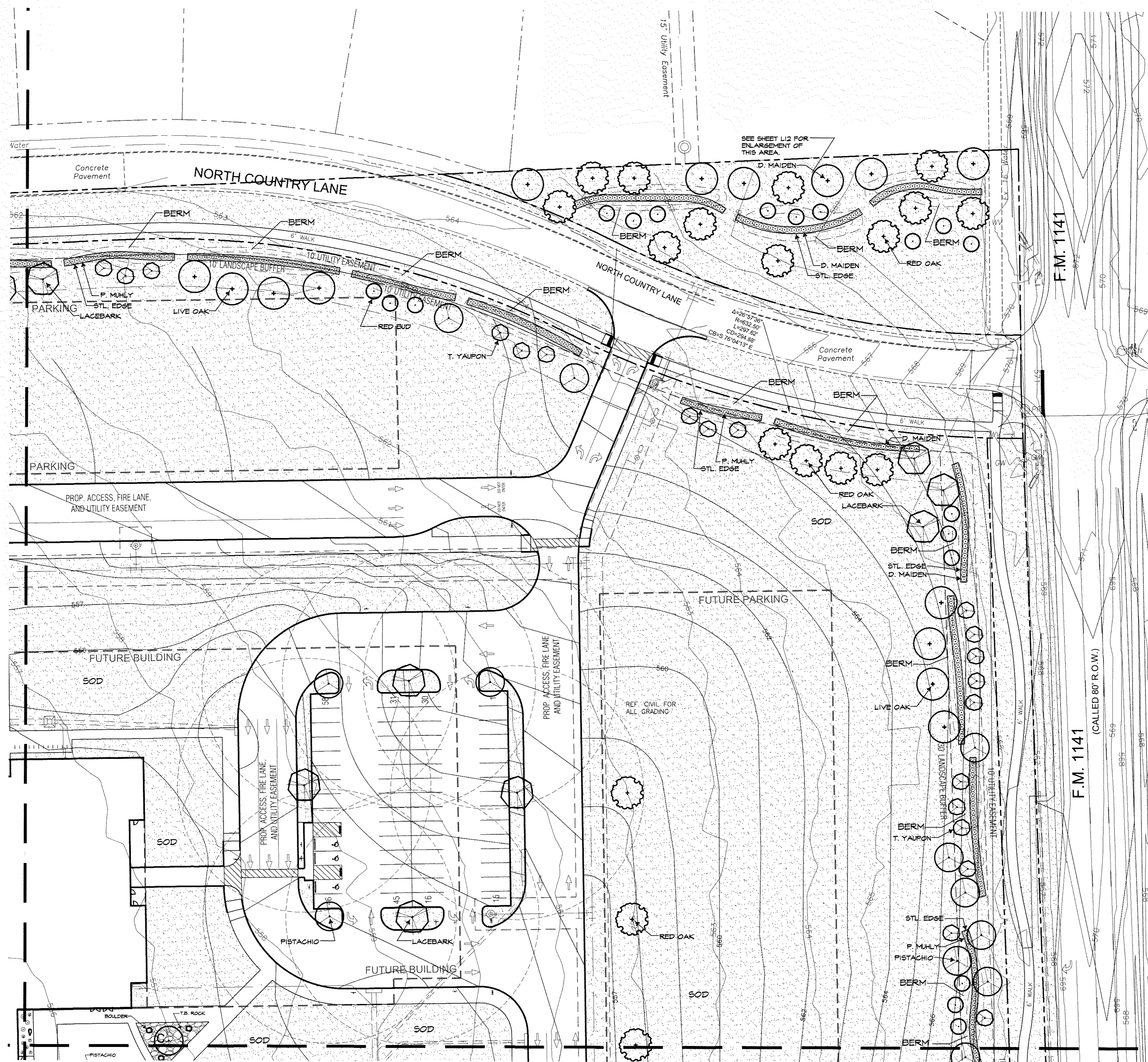
RAMSEY LANDSCAPE ARCHITECTS, LLC
 11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 362-5433
 EMAIL: MIKE.RLA@ATT.NET

NINTH GRADE CENERS
 North Site
 for
 Rockwall Independent School district
 2852 FM 1141 Rockwall, TX 75087

LANDSCAPE PLAN
 AREA B

JOB 21572.0000
 DATE 08/26/22
 SHEET L 3

MATCHLINE SEE SHEET L3



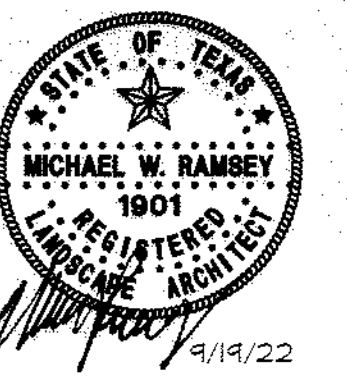
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CORGAN

401 N. Houston St.
Dallas, TX 75202
T. 214-748-2000

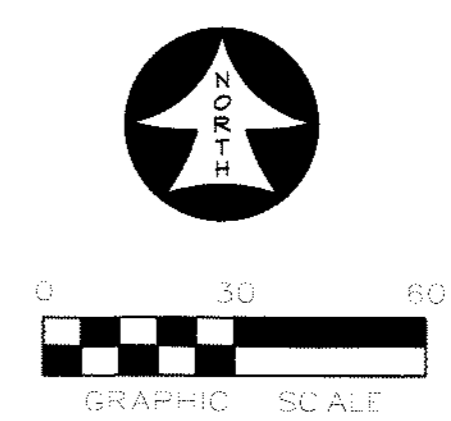
ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
2	
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4	
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6	

REVISIONS	
2	09/19/22 APPENDUM 02



RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

NINTH GRADE CENERS
North Site
for
Rockwall Independent School district
2852 FM 1141 Rockwall, TX 75087



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of July, 2022. WITNESS OUR HANDS, this 27th day of October, 2022.

[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
OUT OF THE
JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: JAMES WATSON

SURVEYOR:
BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8586
CONTACT: ROBERT HANSEN

ENGINEER:
GLEN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUD

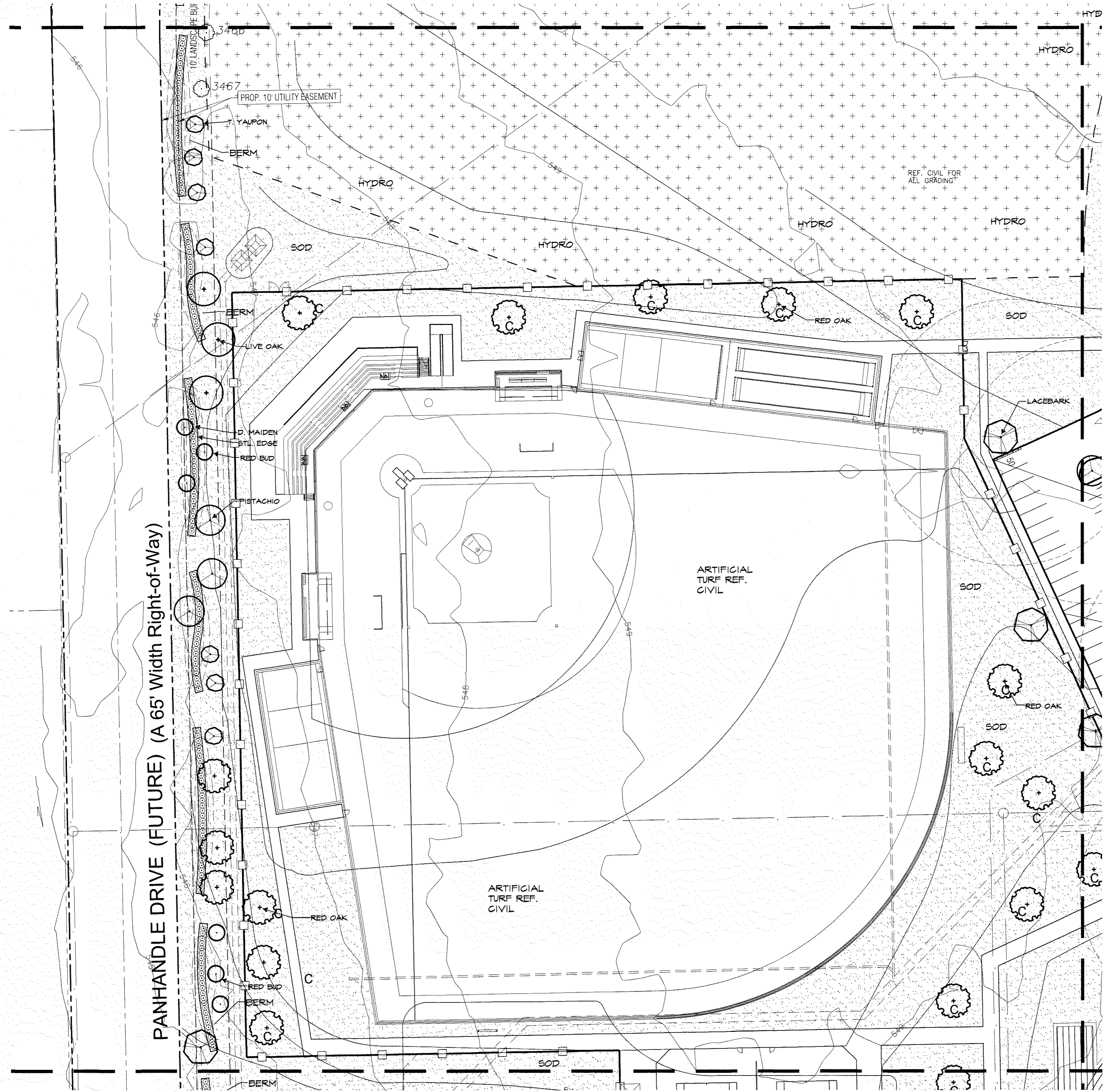
CITY OF ROCKWALL CASE NO. SP2022-017

LANDSCAPE PLAN
AREA C

JOB 21572.0000
DATE 08/26/22
SHEET L 4

MATCHLINE SEE SHEET L2

MATCHLINE SEE SHEET L6



CORGAN

401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	
1	09/19/22 ADDENDUM 02

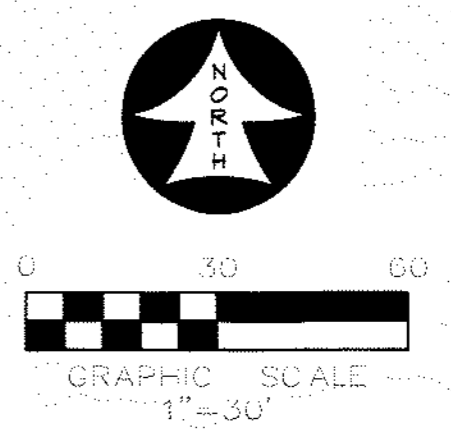


RAMSEY LANDSCAPE ARCHITECTS, LLC
 11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 362-5433
 EMAIL: MIKE.RLA@ATT.NET

NINTH GRADE CENERS
North Site
 for
 Rockwall Independent School district
 2852 FM 1141 Rockwall, TX 75087

LANDSCAPE PLAN
AREA D

JOB 21572.0000
DATE 08/26/22
SHEET L 5



APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
 WITNESS OUR HANDS, this 29th day of September, 2022.

[Signature]
 Planning & Zoning Commission, Chairman
[Signature]
 Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
 OUT OF THE
 JOHN M. GASS SURVEY, ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
 ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 (972) 771-0605
 CONTACT: JAMES WATSON

ENGINEER:
 GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMUO

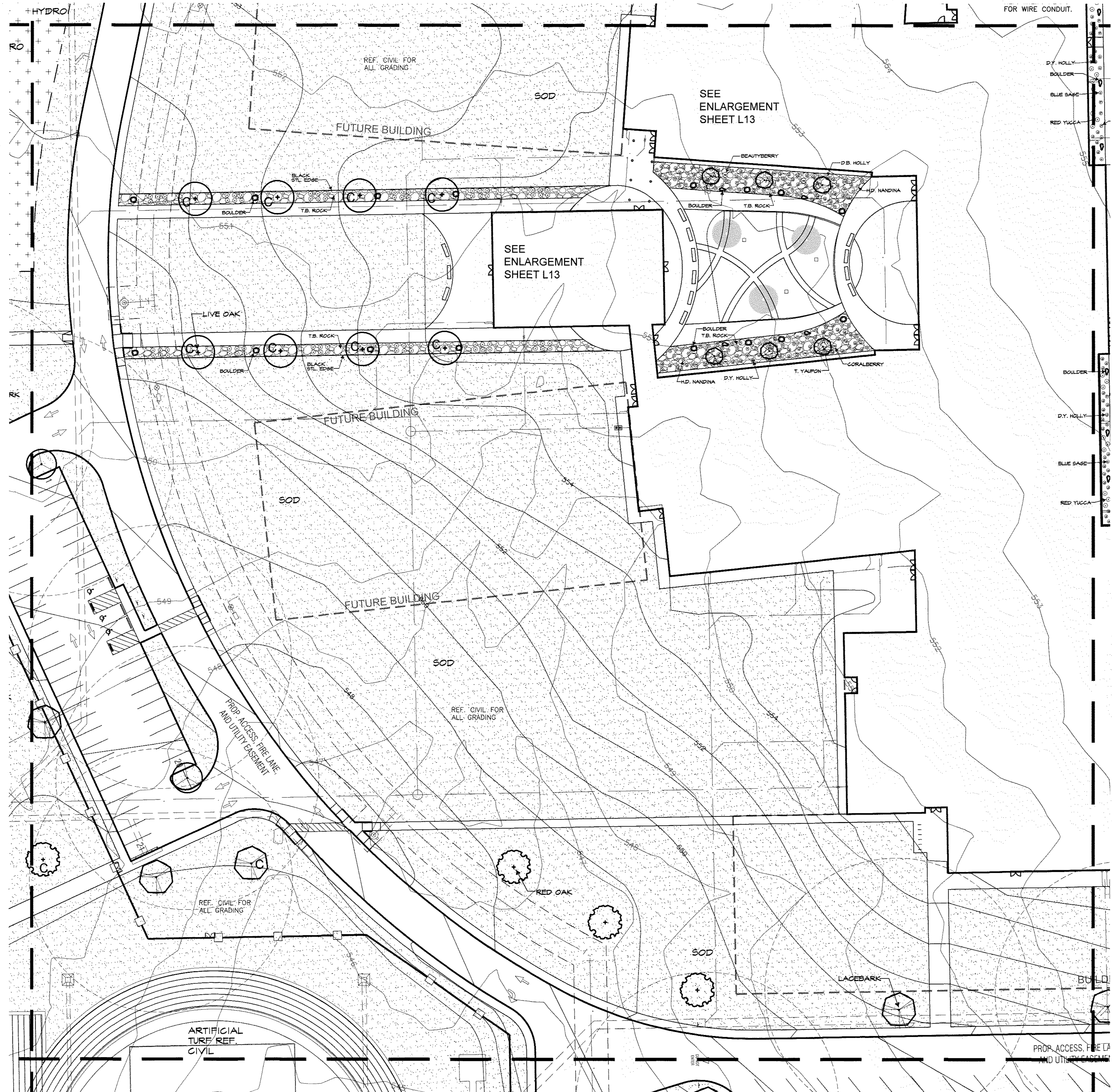
SURVEYOR:
 BOWMAN
 1200 W. MAGNOLIA BLVD.
 SUITE 300
 FORT WORTH, TEXAS 76104
 (214) 484-8586
 CONTACT: ROBERT HANSEN

CITY OF ROCKWALL CASE NO. SP2022-017

MATCHLINE SEE SHEET L8

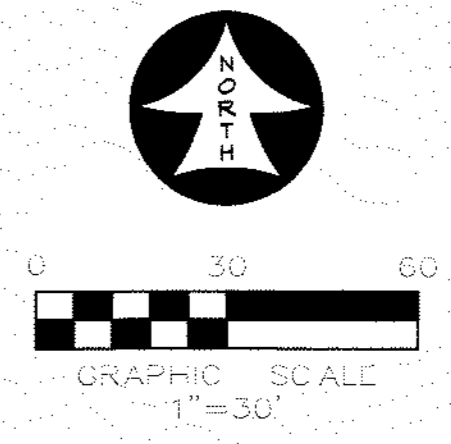
MATCHLINE SEE SHEET L5

MATCHLINE SEE SHEET L3



MATCHLINE SEE SHEET L7

MATCHLINE SEE SHEET L9



APPROVED:
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[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
 LOT 1, BLOCK A
 OUT OF THE
 JOHN M. GASS SURVEY, ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 (972) 771-0905
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
 1200 W. MAGNOLIA BLVD.
 SUITE 300
 FORT WORTH, TEXAS 76104
 (214) 484-8586
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2022-017

CORGAN

401 N. Houston St
 Dallas, TX 75202
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ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	
2	09/19/22 ADDENDUM 02



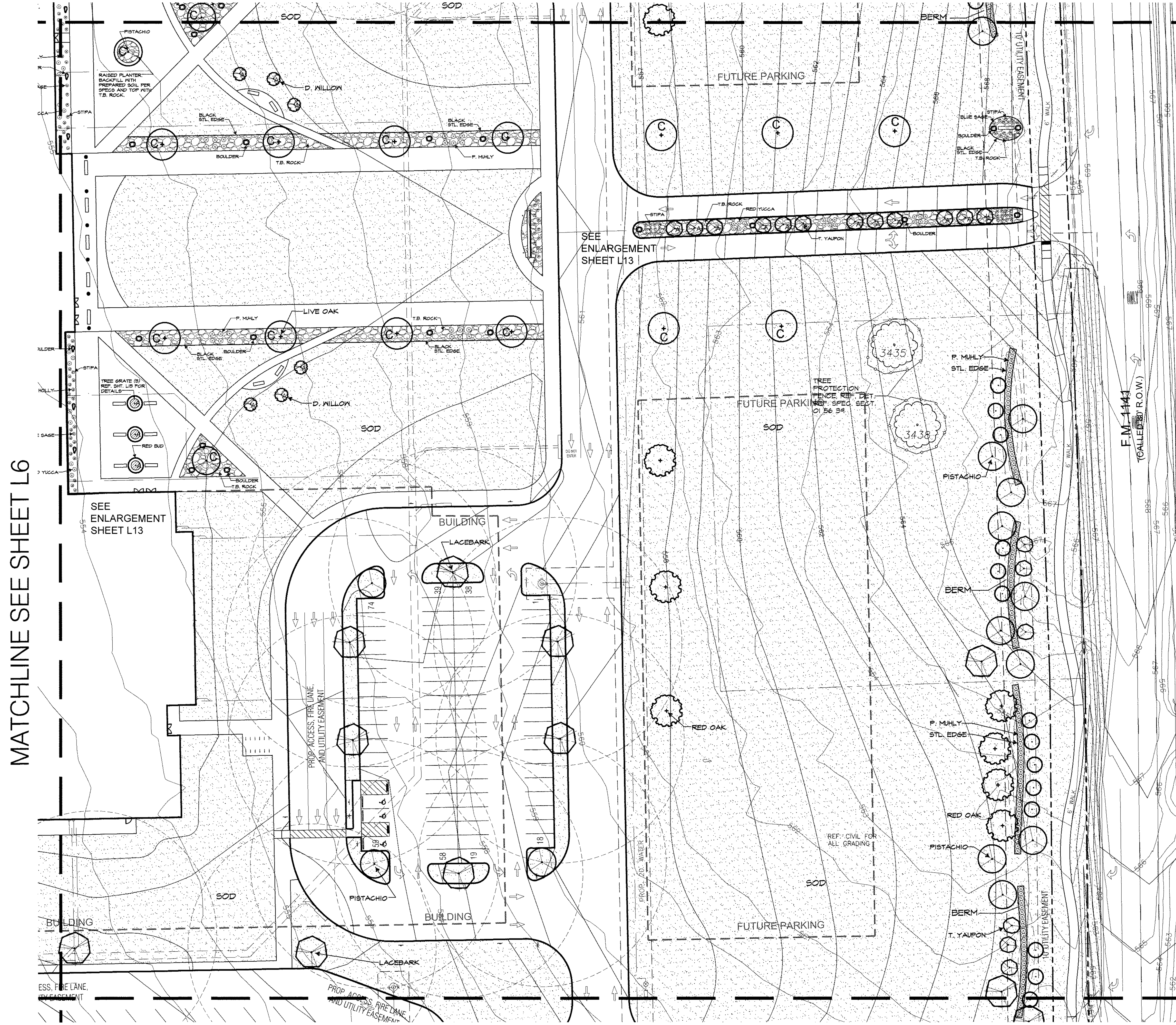
RAMSEY LANDSCAPE ARCHITECTS, LLC
 11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 362-5433
 EMAIL: MIKE.RLA@ATT.NET

NINTH GRADE CENERS
 North Site
 for
 Rockwall Independent School district
 2852 FM 1141 Rockwall, TX 75087

LANDSCAPE PLAN
 AREA E

JOB 21572.0000
 DATE 08/26/22
 SHEET L 6

MATCHLINE SEE SHEET L4



MATCHLINE SEE SHEET L6

SEE ENLARGEMENT SHEET L13

SEE ENLARGEMENT SHEET L13

ESS. FIRE LANE, EASEMENT

PROP. ACCESS FIRE LANE AND UTILITY EASEMENT

MATCHLINE SEE SHEET L10

CORGAN

401 N. Houston St.
Dallas, TX 75202
T. 214-748-2000

ISSUES	
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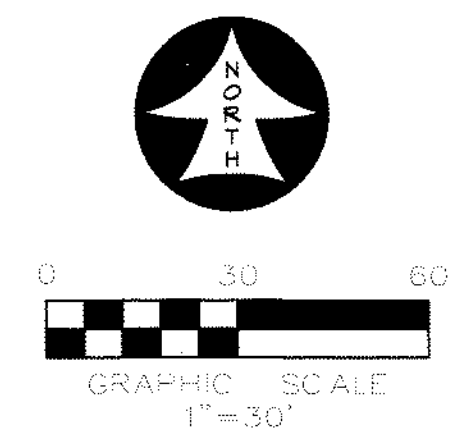
REVISIONS	
1	08/19/22 ADDENDUM 02



RAMSEY LANDSCAPE ARCHITECTS, LLC

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PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

NINTH GRADE CENERS
North Site
for
Rockwall Independent School district
2852 FM 1141 Rockwall, TX 75087



APPROVED:
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WITNESS OUR HANDS, this 29th day of September, 2022.

Sally Planning & Zoning Commission, Chairman
John Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
OUT OF THE
JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8886
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: GERALYNI M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-017

LANDSCAPE PLAN AREA F

JOB 21572.0000
DATE 08/26/22
SHEET L 7

MATCHLINE SEE SHEET L5



MATCHLINE SEE SHEET L9

CORGAN

401 N. Houston St.
Dallas, TX 75202
T. 214-748-2000

ISSUES	
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REVISIONS	



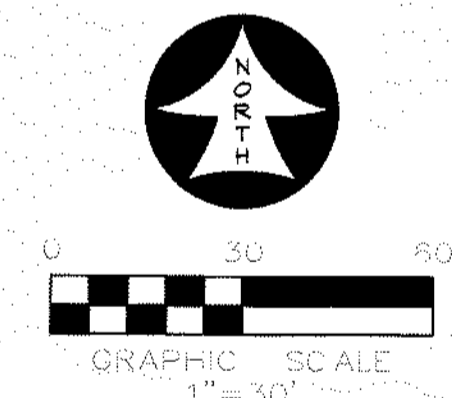
RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

NINTH GRADE CENTERS
North Site
for
Rockwall Independent School district
2852 FM 1141 Rockwall, TX 75087

LANDSCAPE PLAN
AREA G

JOB 21572.0000
DATE 08/26/22
SHEET

L 8



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of July, 2022. WITNESS OUR HANDS, this 29th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman
[Signature]
Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
OUT OF THE

JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: JAMES WATSON

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUO

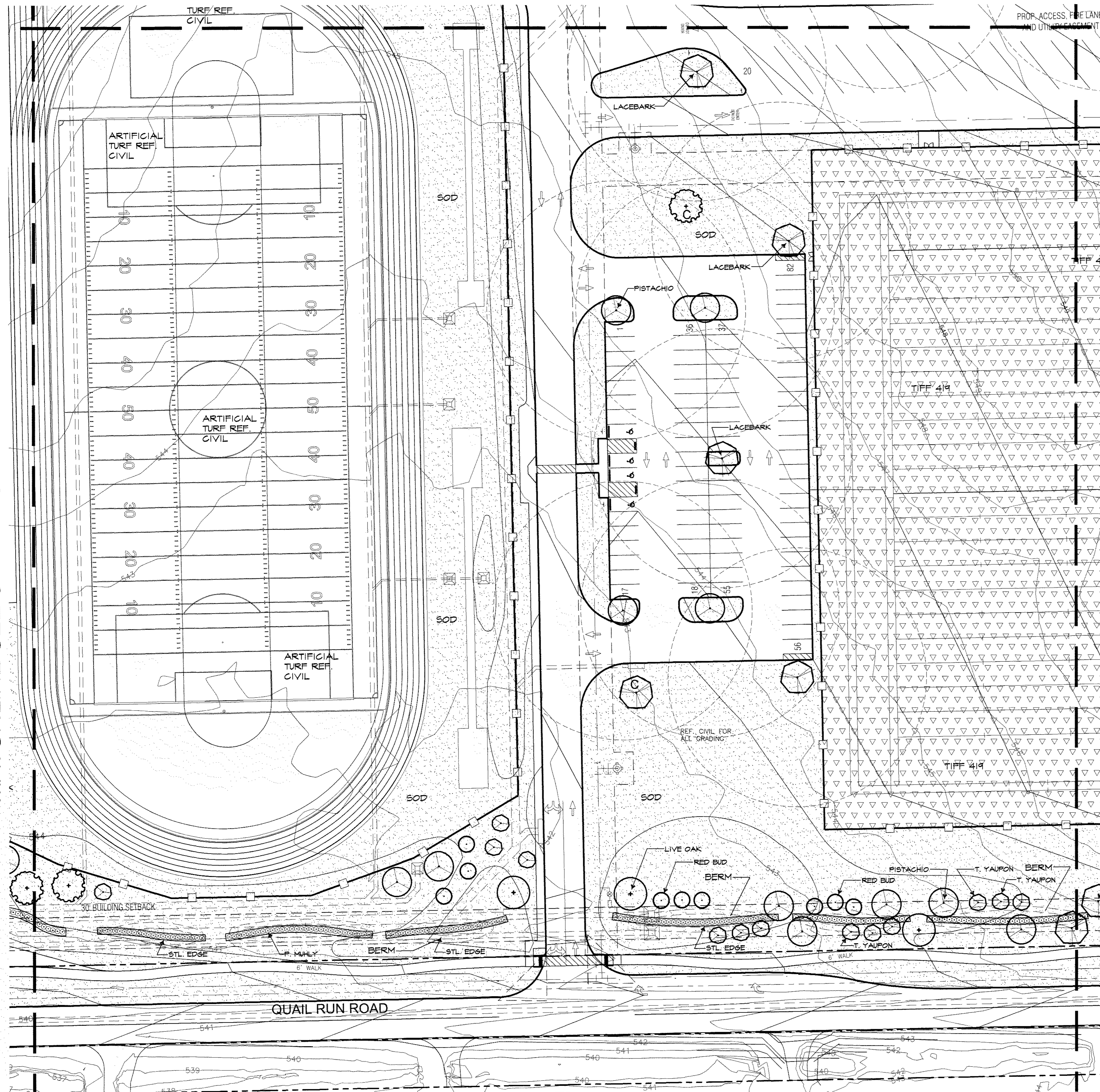
SURVEYOR:
BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8586
CONTACT: ROBERT HANSEN

CITY OF ROCKWALL CASE NO. SP2022-017

MATCHLINE SEE SHEET L6

MATCHLINE SEE SHEET L8

MATCHLINE SEE SHEET L10



APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
 WITNESS OUR HANDS, this 2nd day of September, 2022.
[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

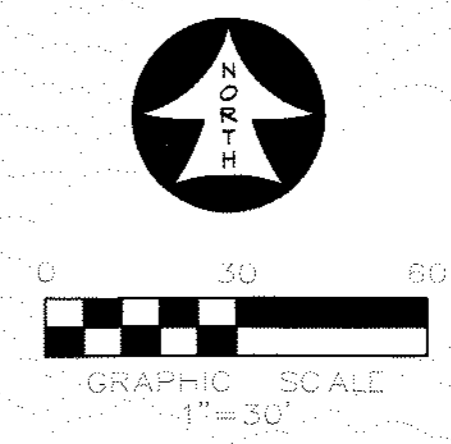
ROCKWALL - NINTH GRADE CENTER
 LOT 1, BLOCK A
 OUT OF THE
 JOHN M. GASS SURVEY, ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
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 CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-017

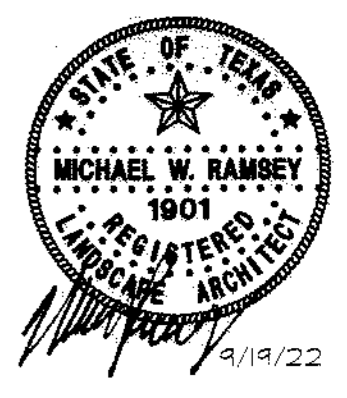


CORGAN

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 Dallas, TX 75202
 T. 214-748-2000

ISSUES	
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REVISIONS	
2	09/19/22 ADDENDUM 02



RAMSEY LANDSCAPE ARCHITECTS, LLC
 11914 WISHING WELL CT.
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 362-5433
 EMAIL: MIKE.RLA@ATT.NET

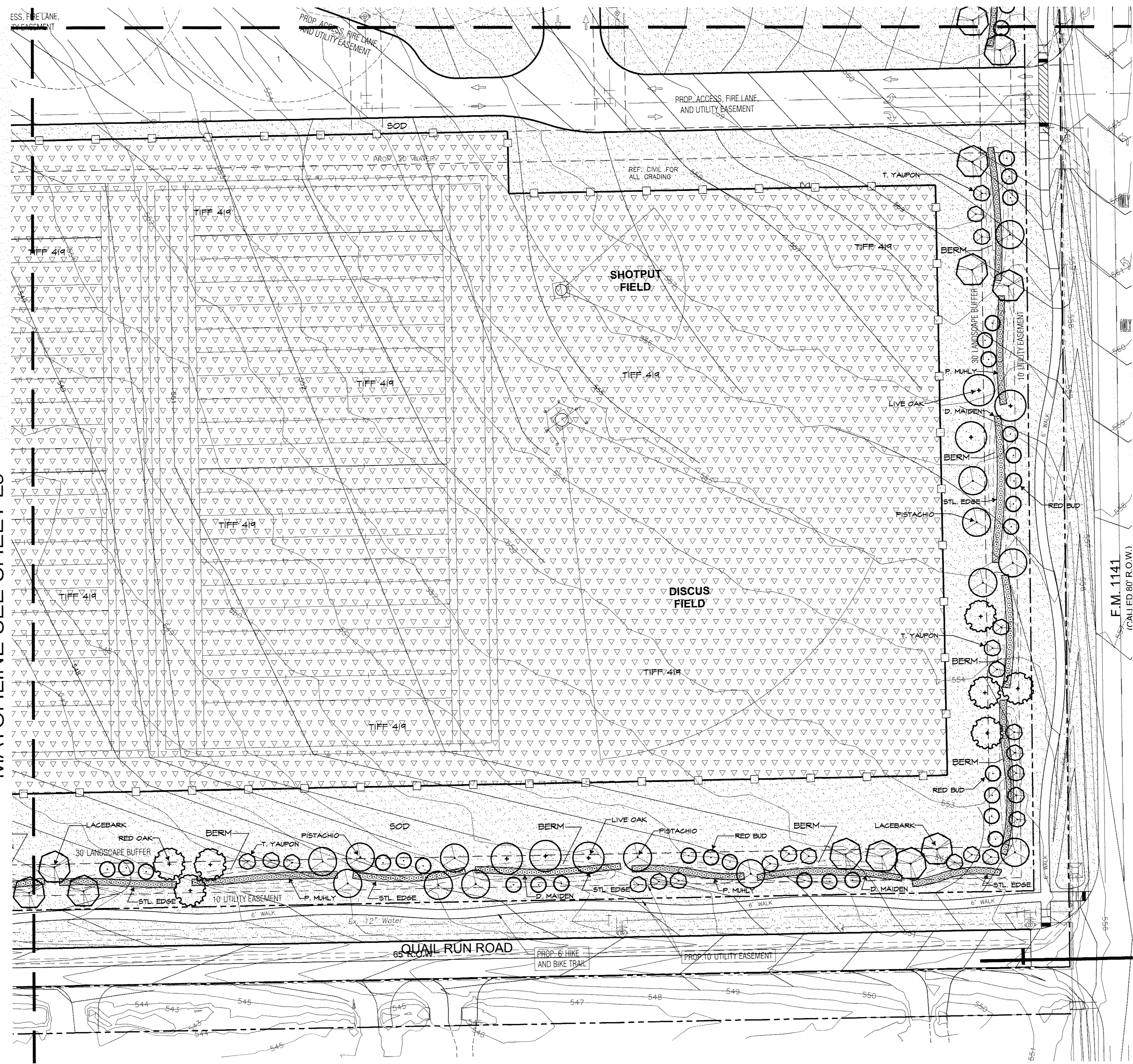
NINTH GRADE CENERS
 North Site
 for
 Rockwall Independent School district
 2852 FM 1141 Rockwall, TX 75087

LANDSCAPE PLAN
 AREA H

JOB 21572.0000
 DATE 08/26/22
 SHEET L 9

MATCHLINE SEE SHEET L7

MATCHLINE SEE SHEET L9

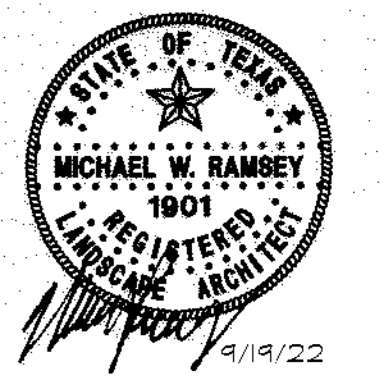


CORGAN

401 N. Houston St
Dallas, TX 75202
T. 214-748-2000

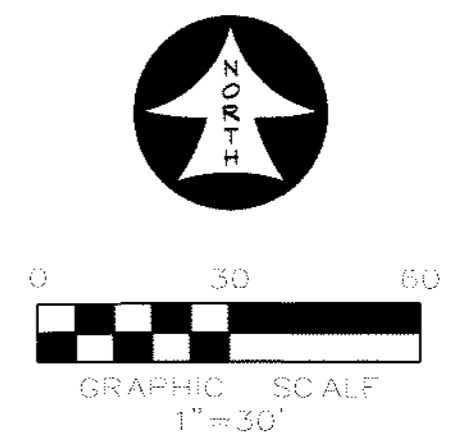
ISSUES	
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REVISIONS	



RAMSEY LANDSCAPE ARCHITECTS, LLC
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FRISCO, TEXAS 75035
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EMAIL: MIKE.RLA@ATT.NET

NINTH GRADE CENERS
North Site
for
Rockwall Independent School district
2852 FM 1141 Rockwall, TX 75087



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 19th day of July, 2022.
WITNESS OUR HANDS, this 21th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

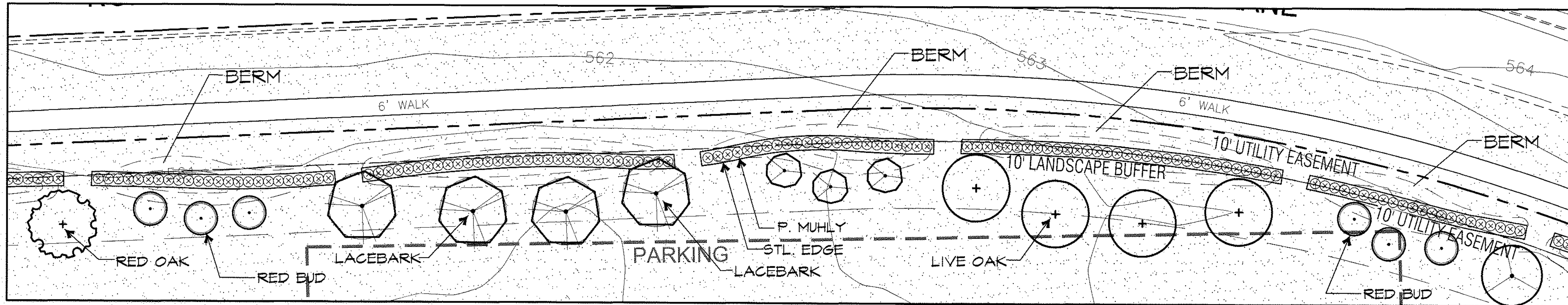
ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
OUT OF THE
JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 (972) 771-8605 CONTACT: JAMES WATSON	SURVEYOR: BOWMAN 1200 W. MAGNOLIA BLVD. SUITE 300 FORT WORTH, TEXAS 76104 (214) 484-8386 CONTACT: ROBERT HANSEN	ENGINEER: GLENV ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARMUO
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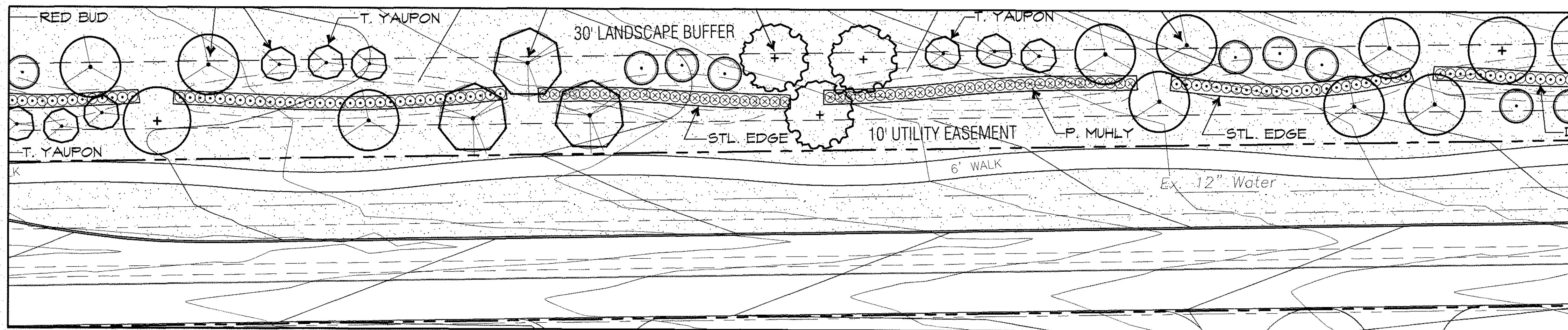
CITY OF ROCKWALL CASE NO. SP2022-017

LANDSCAPE PLAN
AREA I

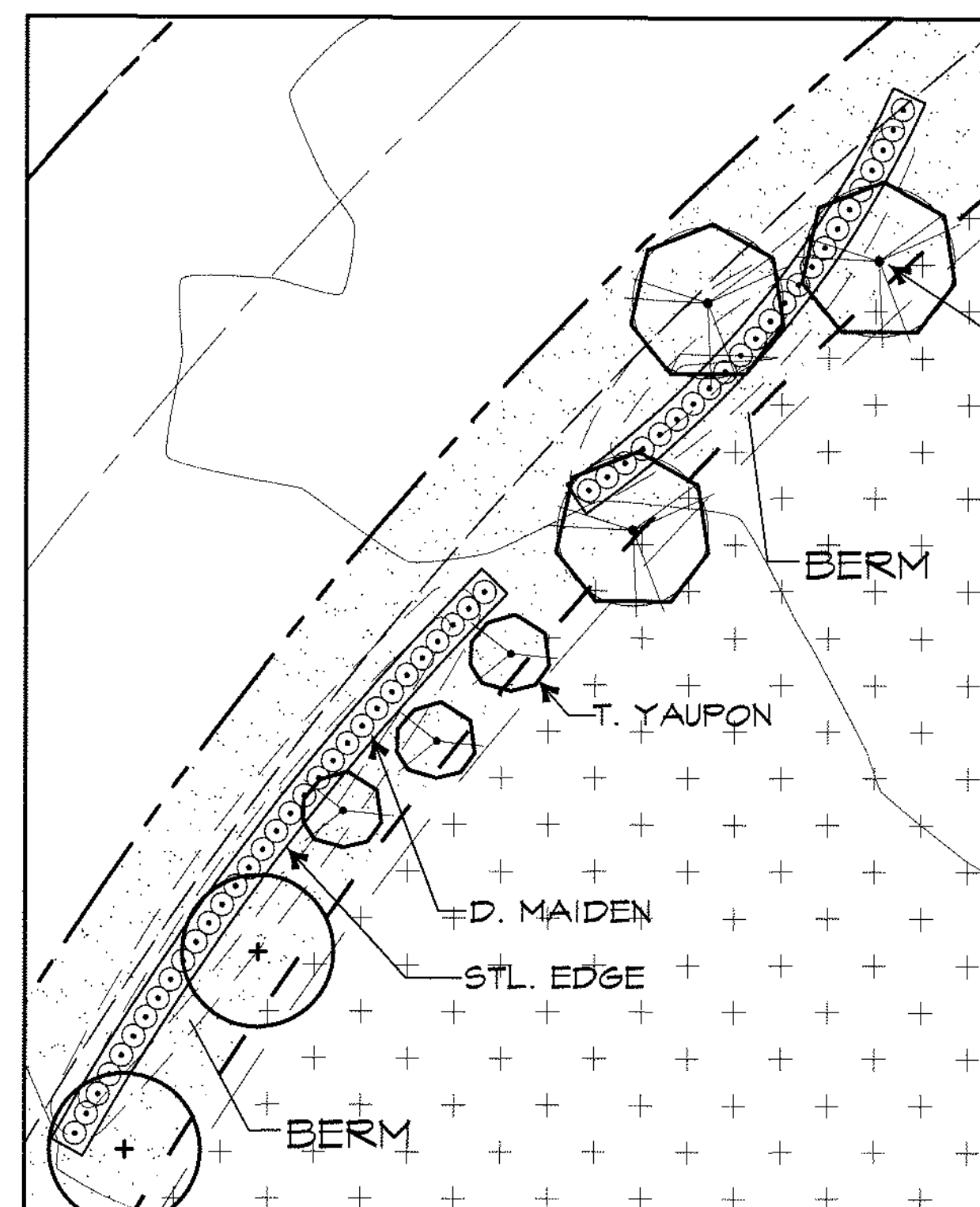
JOB 21572.0000
DATE 08/26/22
SHEET L 10



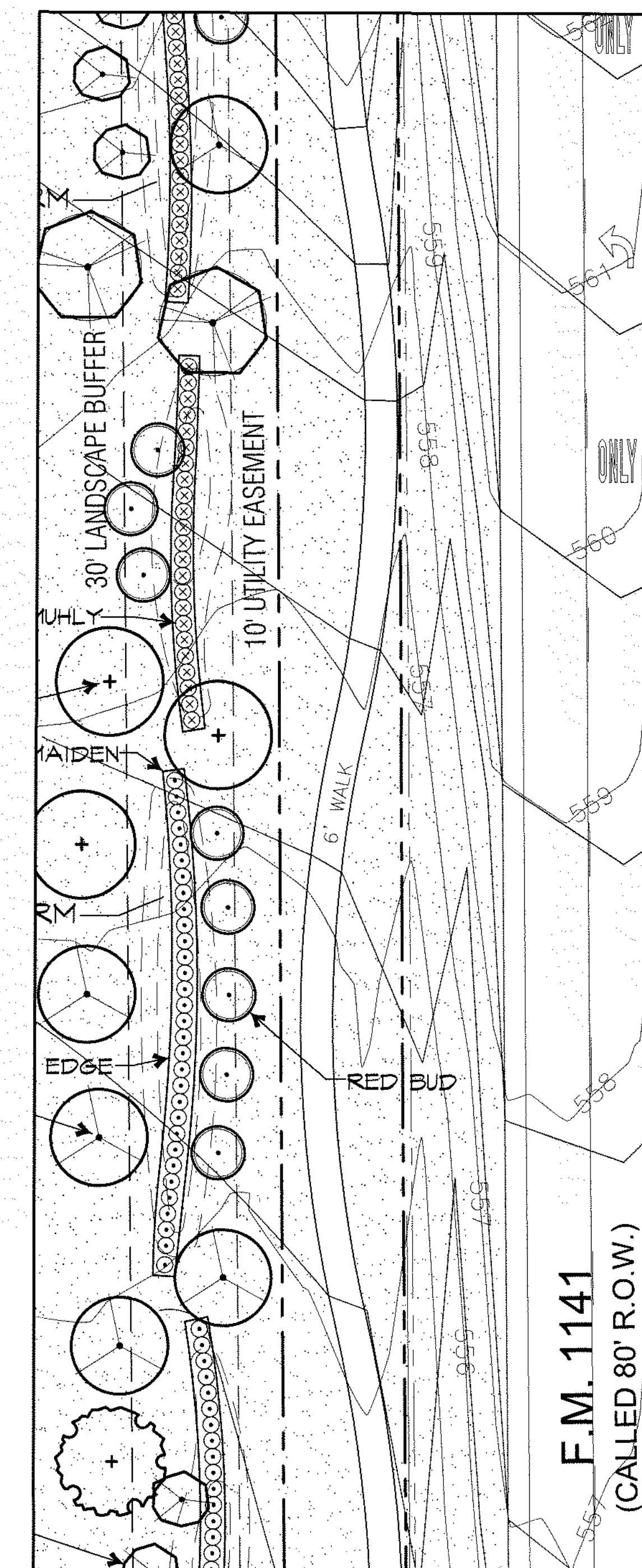
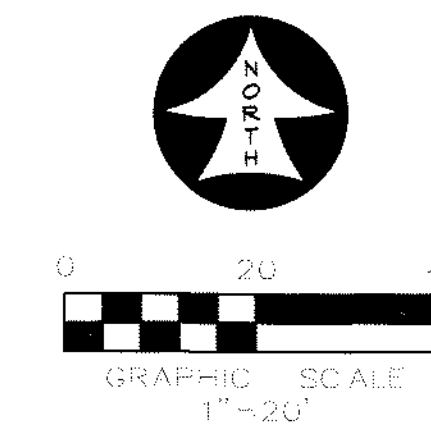
TYPICAL SEGMENT OF NORTH COUNTRY LANE
SCALE: 1" = 20'-0"



TYPICAL SEGMENT OF QUAIL RUN ROAD
SCALE: 1" = 20'-0"



TYPICAL SEGMENT OF PANHANDLE DRIVE BUFFER
SCALE: 1" = 20'-0"



TYPICAL SEGMENT OF F.M. 1141
SCALE: 1" = 20'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
WITNESS OUR HANDS, this 29th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
OUT OF THE
JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: JAMES WATSON

SURVEYOR:
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1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8586
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMISTEAD

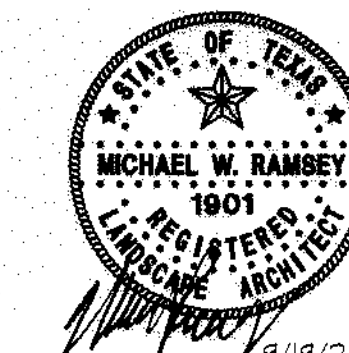
CITY OF ROCKWALL CASE NO. SP2022-017

CORGAN

401 N Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES	
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REVISIONS	



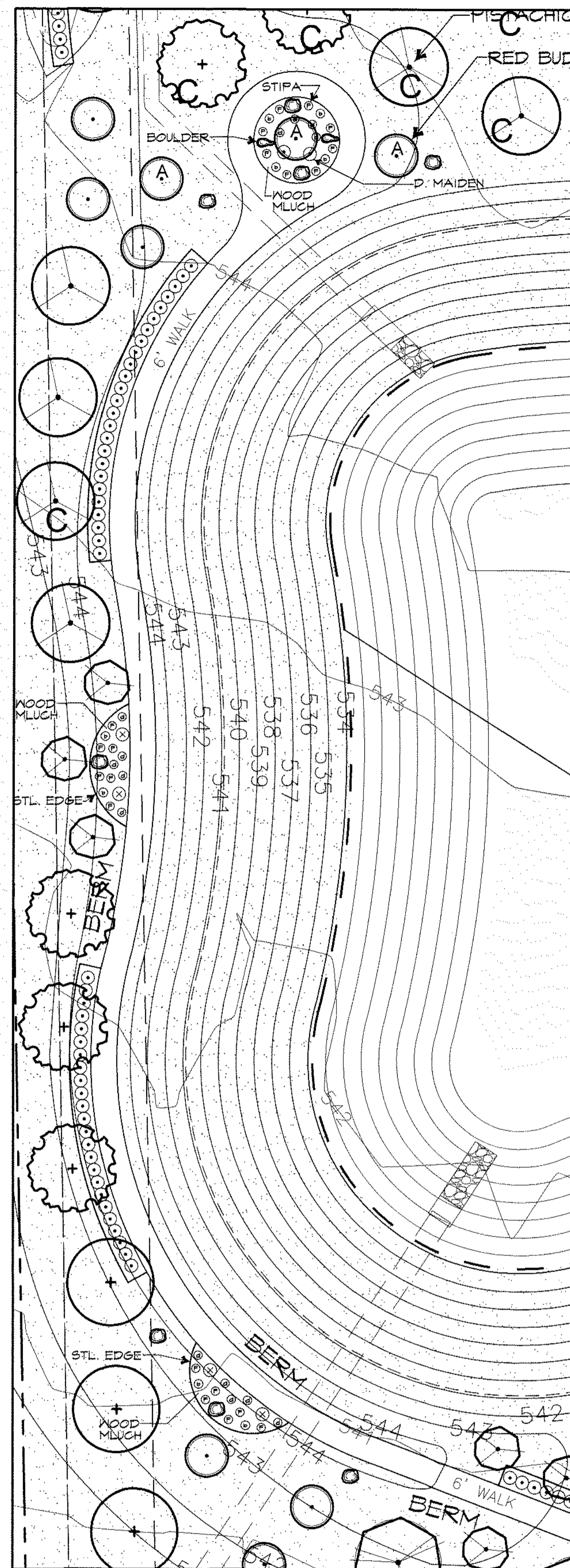
RAMSEY LANDSCAPE ARCHITECTS, LLC
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NINTH GRADE CENTERS
North Site
for
Rockwall Independent School district
2852 FM 1141 Rockwall, TX 75087

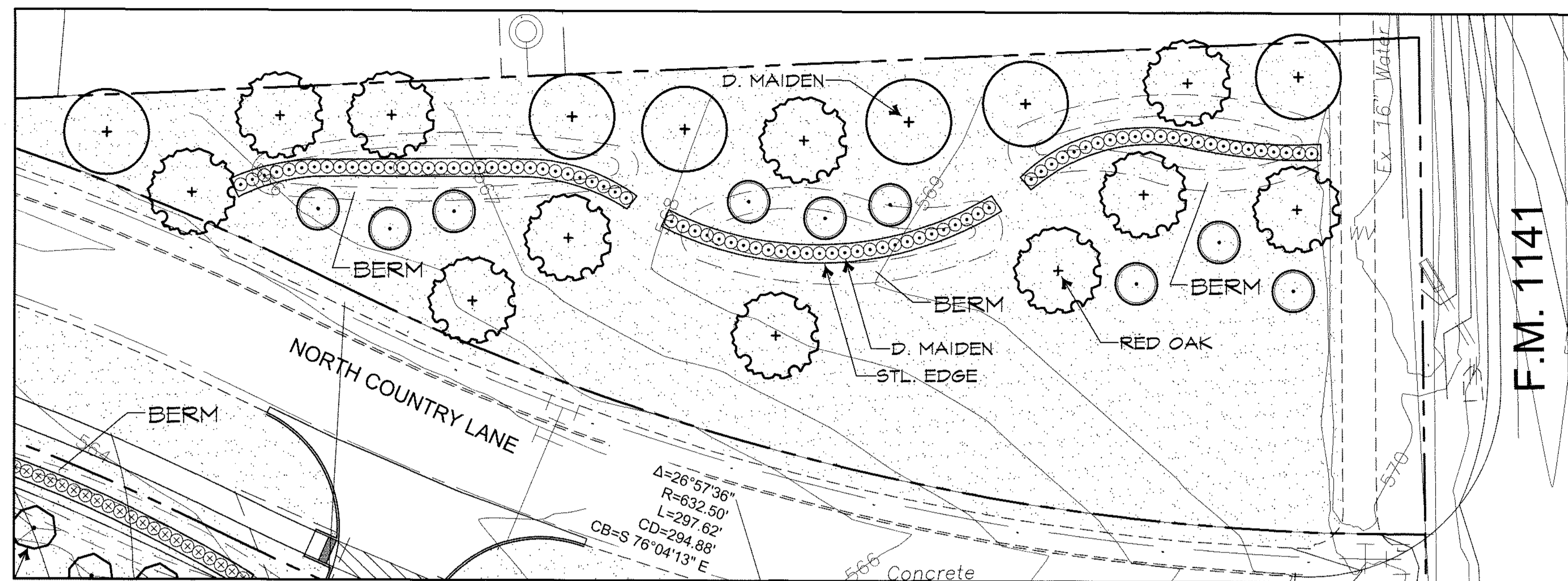
LANDSCAPE ENLARGEMENTS

JOB 21572.0000
DATE 08/26/22
SHEET

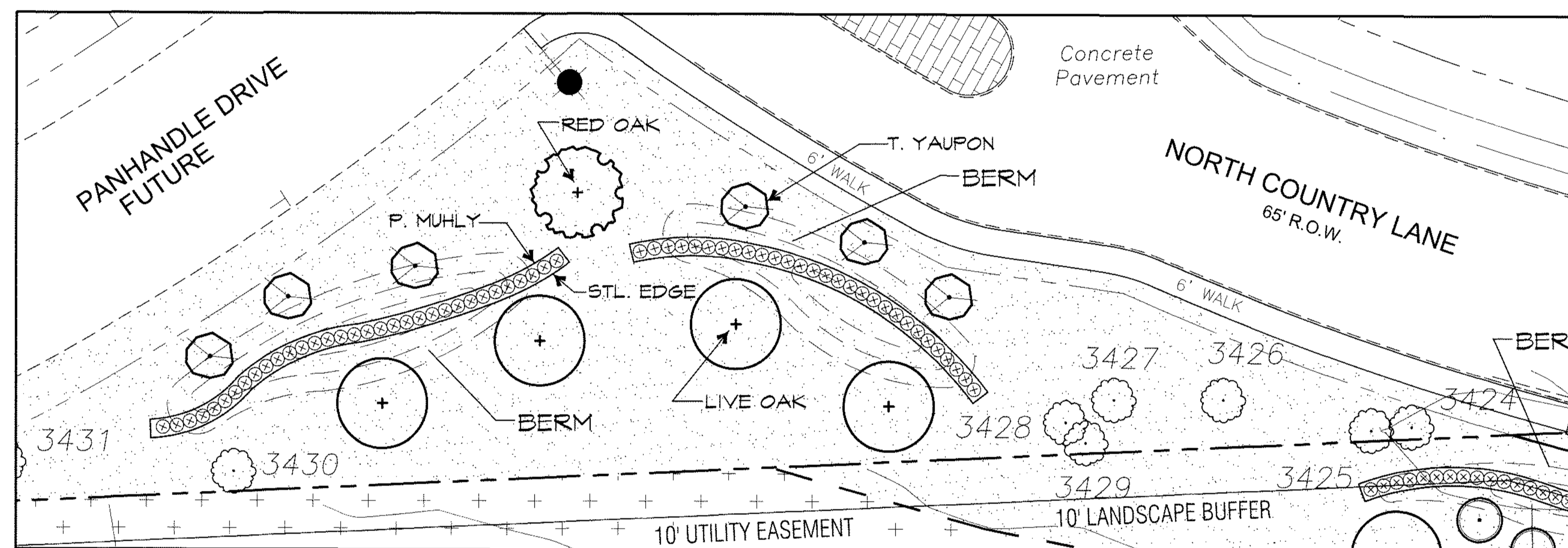
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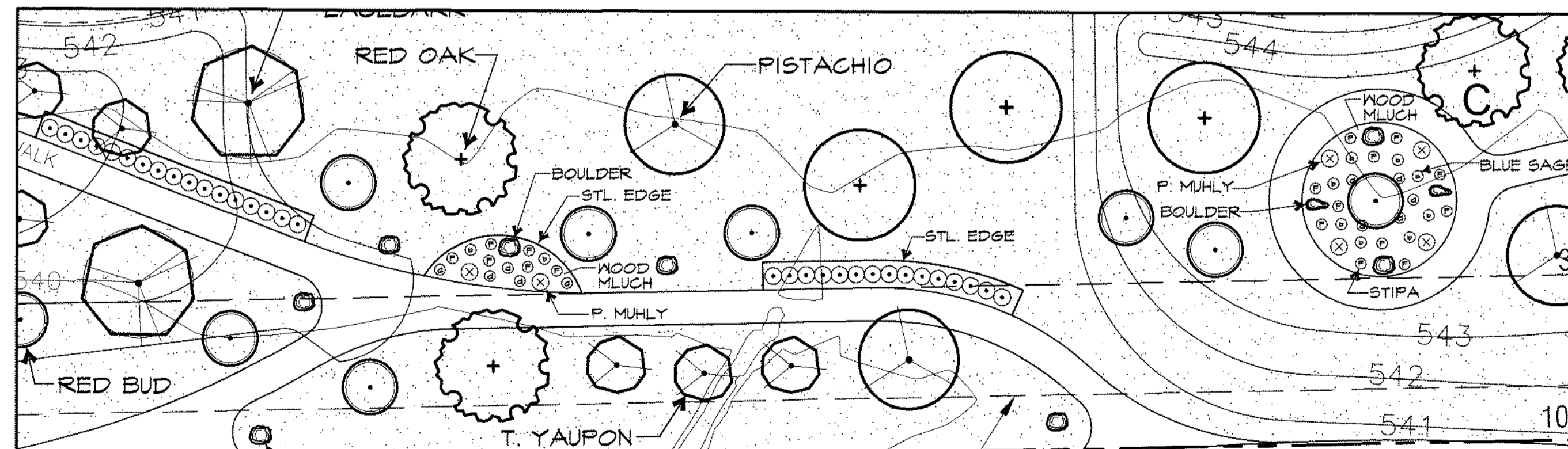
WEST SIDE DETENTION ENLARGEMENT
SCALE: 1" = 20'-0"



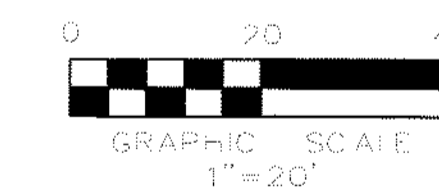
EAST REMAINDER NORTH OF NORTH COUNTRY LANE
SCALE: 1" = 20'-0"



WEST REMAINDER NORTH OF NORTH COUNTRY LANE
SCALE: 1" = 20'-0"



SOUTH SIDE DETENTION ENLARGEMENT
SCALE: 1" = 20'-0"



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[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
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JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL SD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: JAMES WATSON

SURVEYOR: BOHMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
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CONTACT: ROBERT HANSEN

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4500 FULLER DR.
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(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-017

CORGAN

401 N. Houston St.
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ISSUES	
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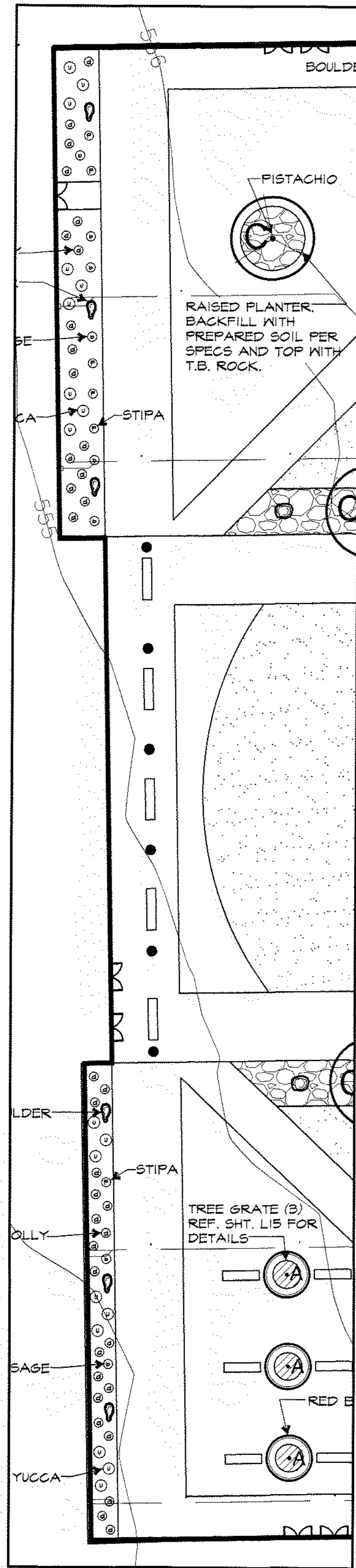
RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

NINTH GRADE CENERS
North Site
for
Rockwall Independent School district
2852 FM 1141 Rockwall, TX 75087

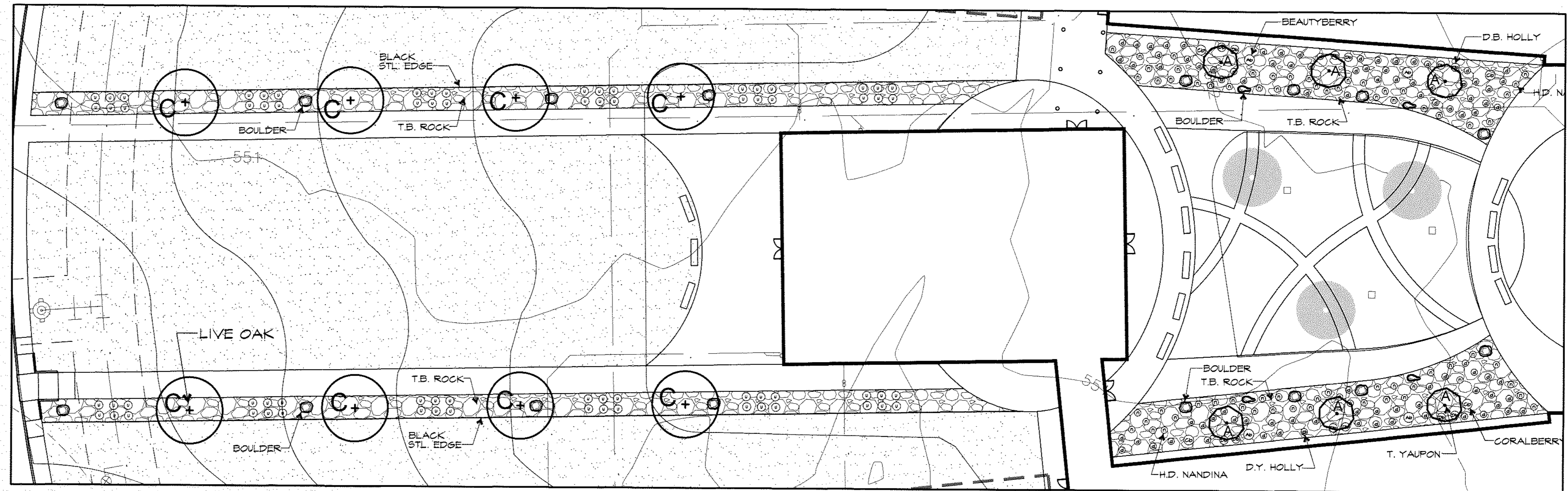
LANDSCAPE ENLARGEMENTS

JOB 21572.0000
DATE 08/26/22
SHEET

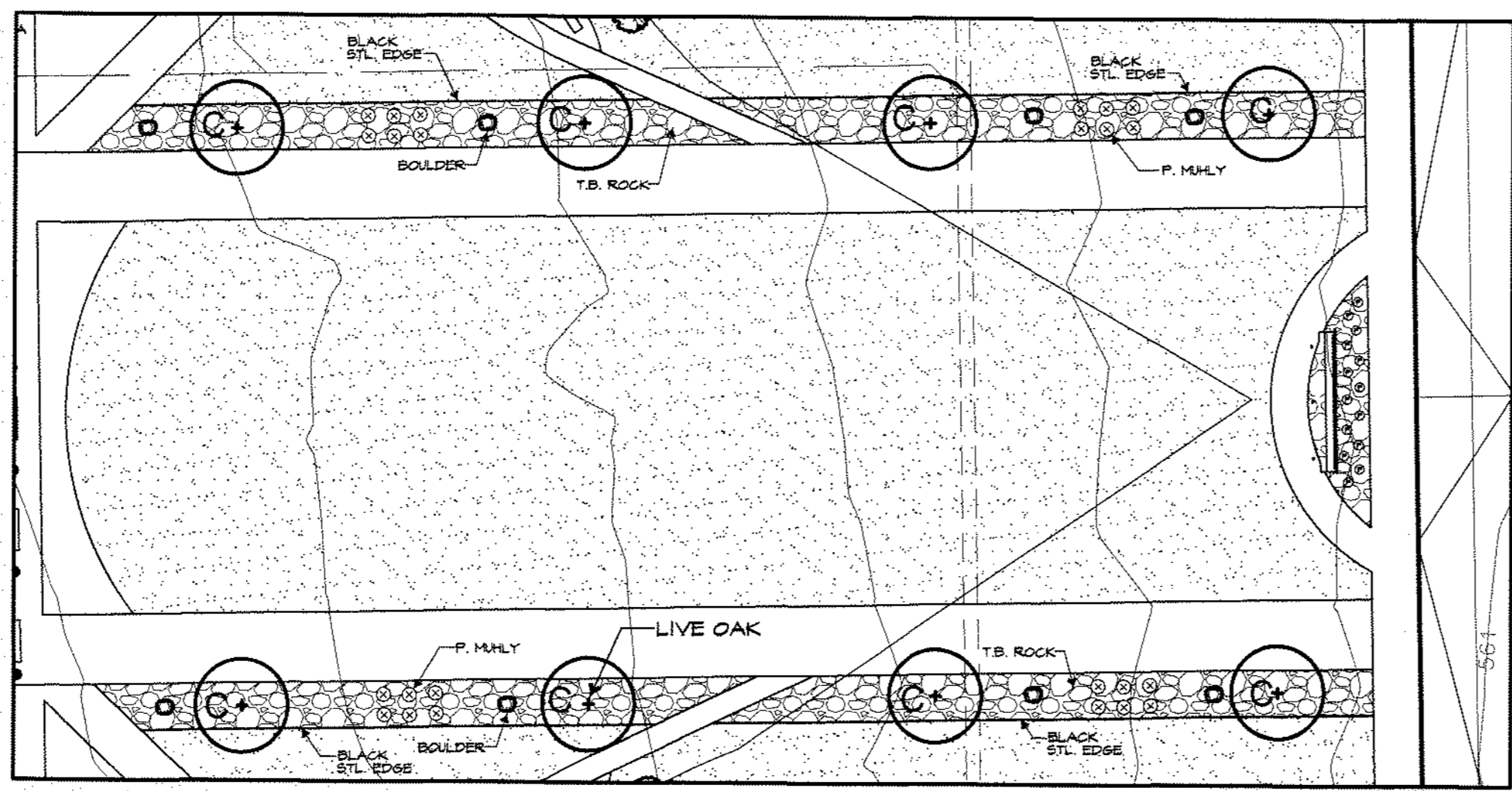
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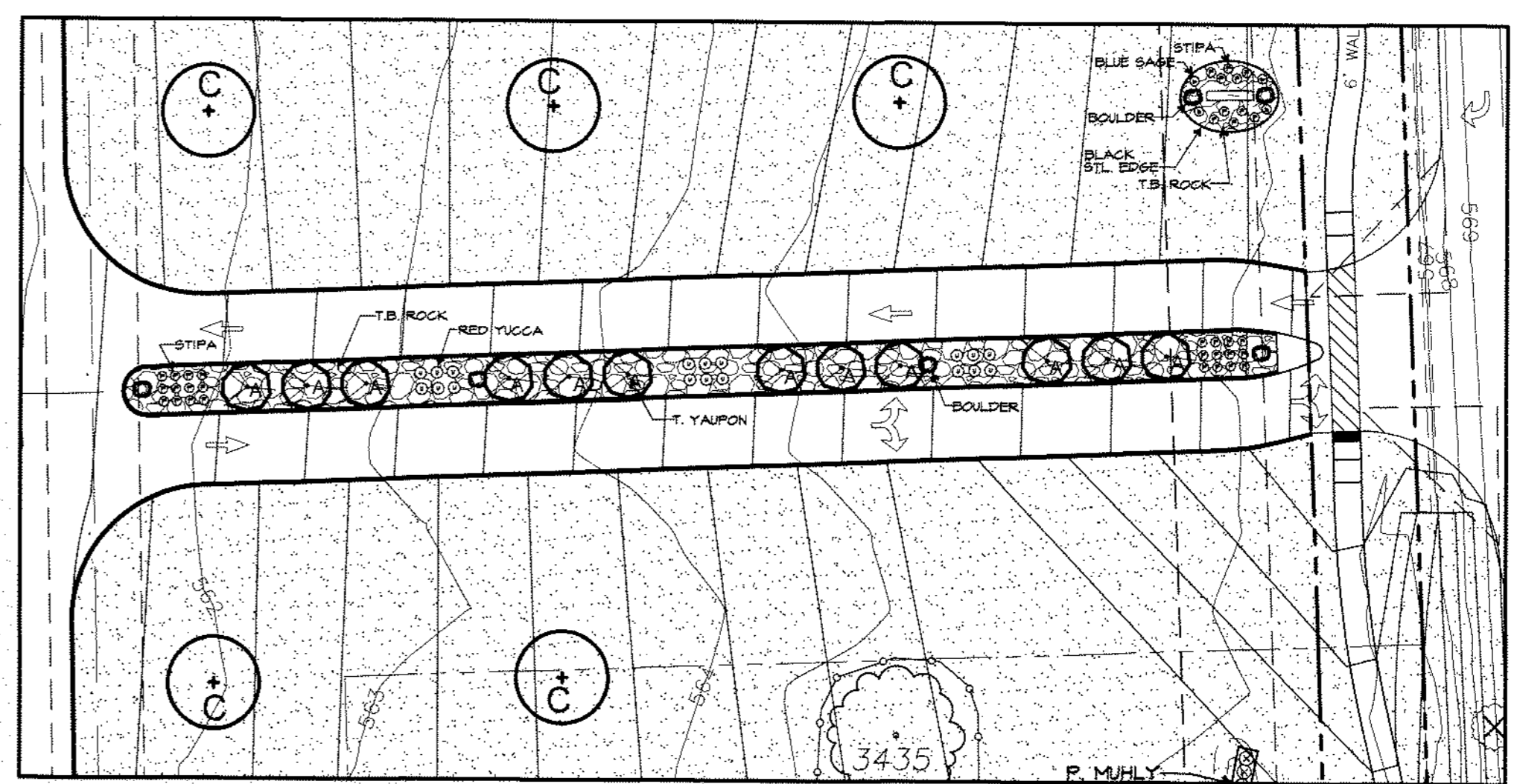
EAST FACADE ENLARGEMENT
SCALE: 1" = 20'-0"



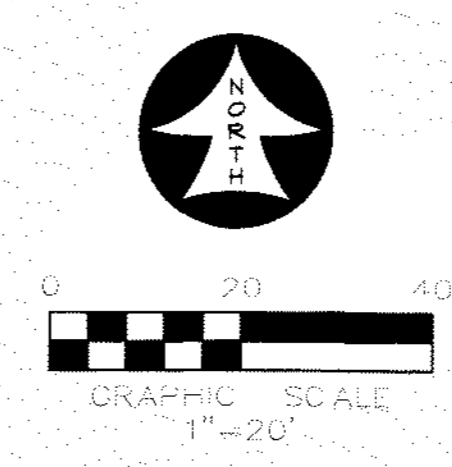
WEST COURTYARD ENLARGEMENT
SCALE: 1" = 20'-0"



EAST COURTYARD ENLARGEMENT
SCALE: 1" = 20'-0"



EAST ENTRY ENLARGEMENT
SCALE: 1" = 20'-0"



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of September, 2022.
WITNESS OUR HANDS, this 18th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
OUT OF THE
JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
ROCKWALL SD
801 E WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: JAMES WATSON

SURVEYOR:
BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8586
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2022-017

CORGAN
401 N. Houston St
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T. 214-748-2000

ISSUES	
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REVISIONS	



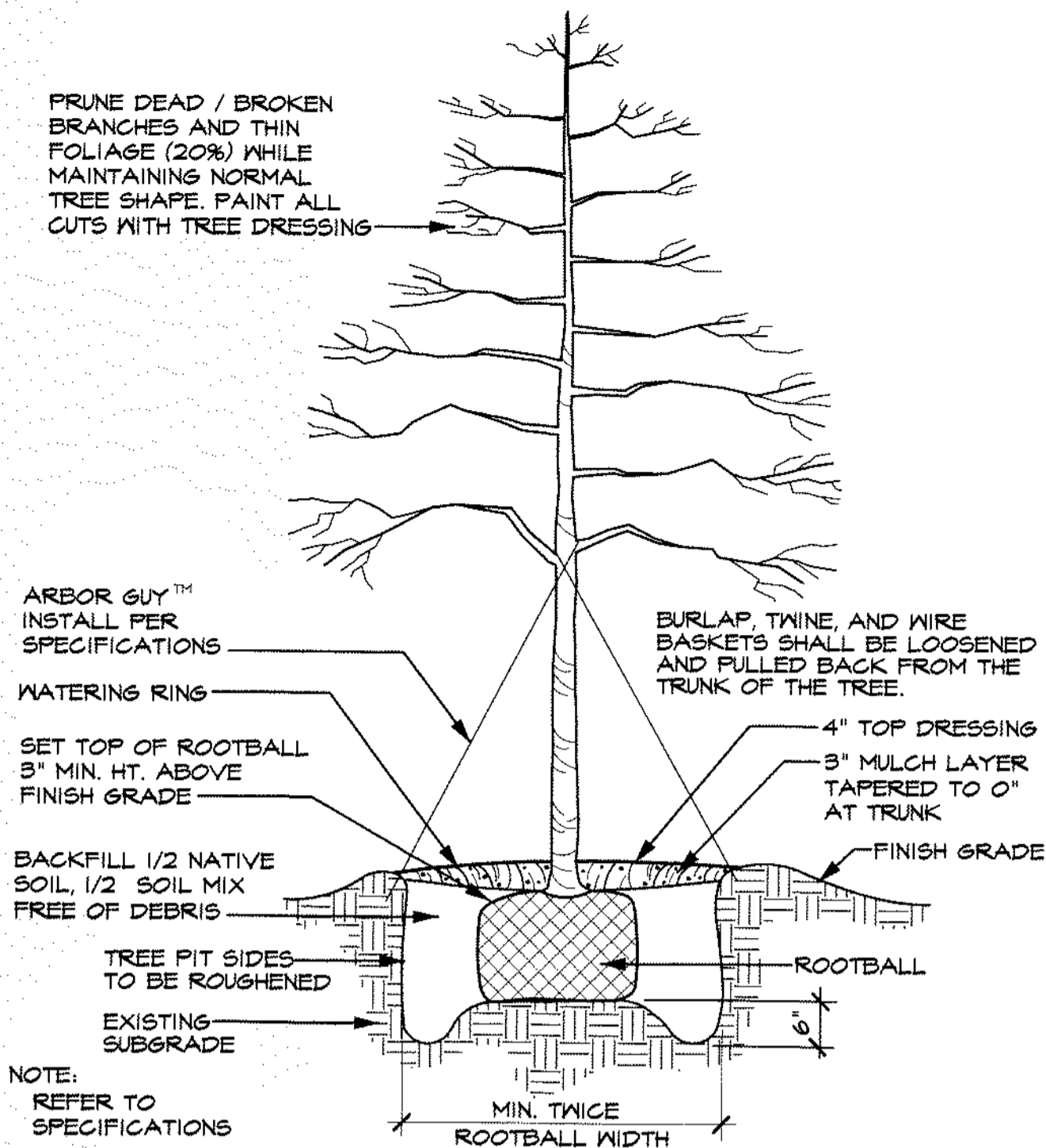
RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

NINTH GRADE CENTERS
North Site
for
Rockwall Independent School district
2852 FM 1141 Rockwall, TX 75087

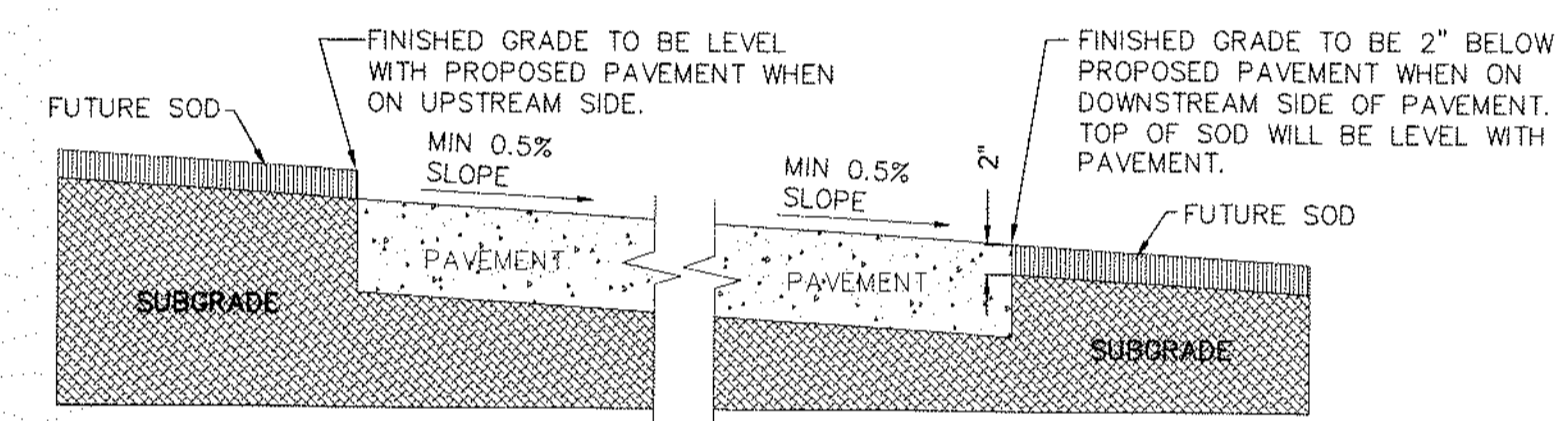
LANDSCAPE ENLARGEMENTS

JOB 21572.0000
DATE 08/26/22
SHEET

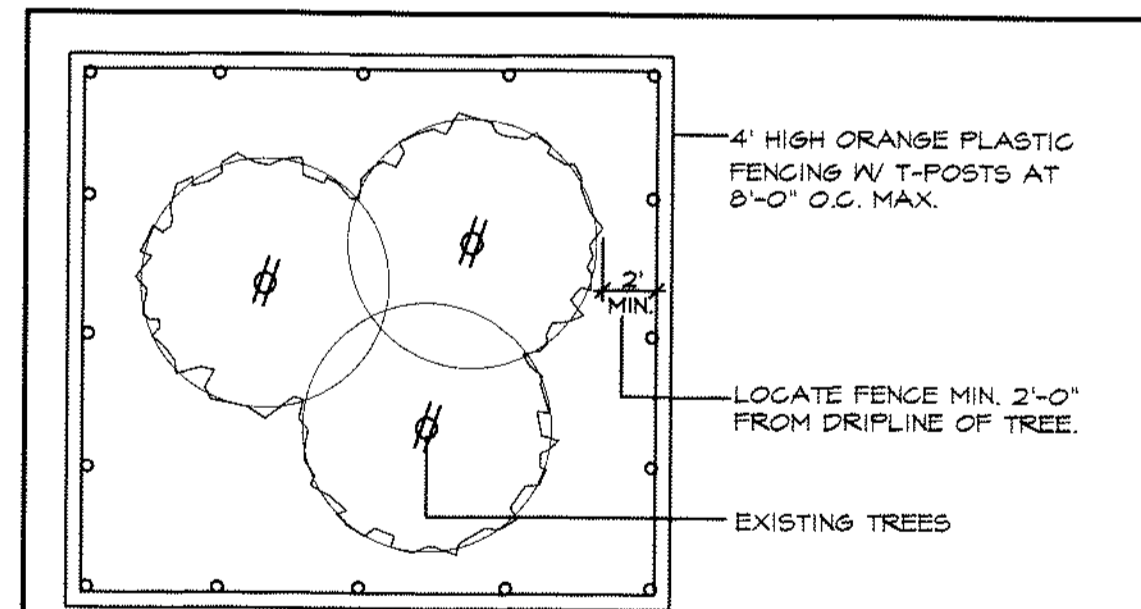
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TREE PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.

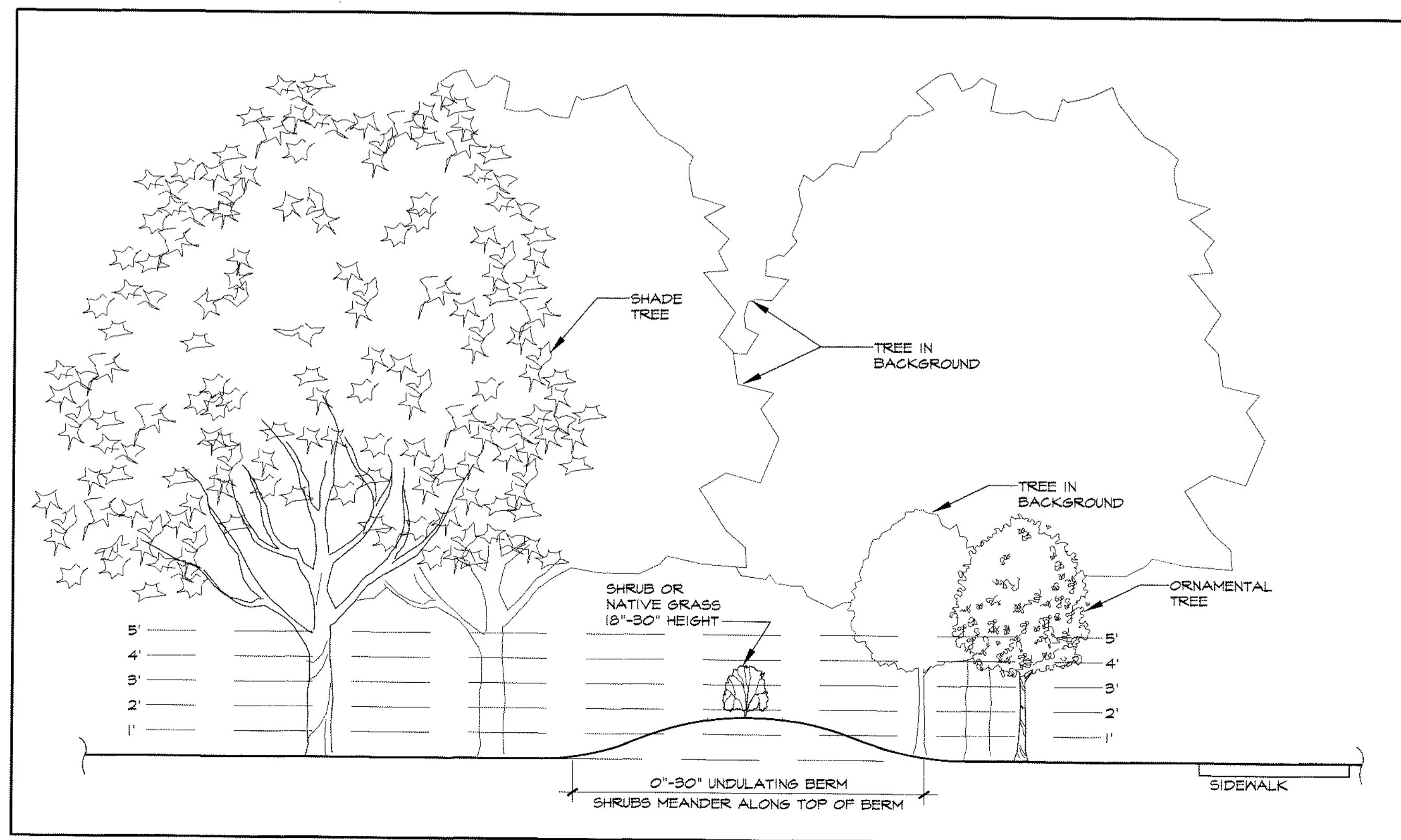


GRADING DETAIL FOR PAVEMENT WITHOUT CURB
SCALE: N.T.S.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

TREE PROTECTION FENCE AND NOTES
SCALE: N.T.S.



LANDSCAPE BUFFER SECTION

SCALE: 1/4" = 1'-0"

LANDSCAPE TABULATIONS

F.M. 1141 AND QUAIL RUN ROAD STREET BUFFER
30' BUFFER, BERM, SHRUBS, BERM AND SHRUBS 30' MIN. HEIGHT, 3 CANOPY/4 ACCENT TREES PER 100 LF.
F.M. 1141 STREET BUFFER REQUIRED 30' BUFFER
BUFFER PROVIDED 30' BUFFER
F.M. 1141 BUFFER TREES REQUIRED (1,518 LF/100 LF =) 15.8 UNITS
BUFFER TREES REQ. (CAN. 3x15.8=47, ACC. 4x15.8=63) 47 CANOPY/63 ACCENT
BUFFER TREES PROVIDED 47 CANOPY/63 ACCENT

QUAIL RUN ROAD STREET BUFFER REQUIRED 30' BUFFER
BUFFER PROVIDED 30' BUFFER
QUAIL RUN BUFFER TREES REQUIRED (1,824 LF/100 LF =) 18.2 UNITS
BUFFER TREES REQ. (CAN. 3x18.2=55, ACC. 4x18.2=73) 55 CANOPY/73 ACCENT
BUFFER TREES PROVIDED 55 CANOPY/73 ACCENT

NORTH COUNTRY LANE AND PANHANDLE DRIVE STREET BUFFER
10' BUFFER, BERM, SHRUBS, BERM AND SHRUBS 30' MIN. HEIGHT, 1 CANOPY/1 ACCENT TREE PER 50 LF.
NORTH COUNTRY LANE STREET BUFFER REQUIRED 10' BUFFER
BUFFER PROVIDED 10' BUFFER
NORTH COUNTRY LANE BUFFER TREES REQUIRED (1,176 LF/50 LF =) 24 UNITS
BUFFER TREES REQ. (CAN. 1x24=24, ACC. 1x24=24) 24 CANOPY/24 ACCENT
BUFFER TREES PROVIDED 24 CANOPY/24 ACCENT

PANHANDLE DRIVE STREET BUFFER REQUIRED 10' BUFFER
BUFFER PROVIDED 10' BUFFER
PANHANDLE DRIVE BUFFER TREES REQUIRED (1,742 LF/50 LF =) 36 UNITS
BUFFER TREES REQ. (CAN. 1x36=36, ACC. 1x36=36) 36 CANOPY/36 ACCENT
BUFFER TREES PROVIDED (29 NEW, 9 EX., 36 ORN) 36 CANOPY/36 ACCENT

WEST OF PANHANDLE AND NORTH OF N. COUNTRY LANE
HEAVY LANDSCAPING, BERM, 3 TIER SCREEN, 1-SMALL/MID SHRUBS, 2-6 SHRUBS OR ACCENT TREES, 3-CANOPY MIN. 20' CENTERS.
NORTH COUNTRY LANE REMAINDER 360 LF
REMAINDER TREES REQUIRED (360 LF / 20' =) 18 TREES
REMAINDER TREES PROVIDED 18 TREES
PANHANDLE DRIVE REMAINDER 440 LF
REMAINDER TREES REQUIRED (440 LF / 20' =) 22 TREES
REMAINDER TREES PROVIDED (FUTURE WHEN DEVELOPED) 0 TREES

PARKING LOT LANDSCAPING
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.
PARKING SPACES 382 SPACES
PARKING LANDSCAPE REQUIRED (02,390 SF X 5% =) 5117 SF
PARKING LANDSCAPE PROVIDED 8,203 SF

AMOUNT OF LANDSCAPING
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.
SITE AREA 3,044,080 SF
SITE LANDSCAPE REQUIRED (3,044,080 SF X 15% =) 456,612 SF
SITE LANDSCAPE PROVIDED 1,718,250 SF
% LANDSCAPE PROVIDED FRONT/SIDE (118%) 540,843 SF
SITE IMPERVIOUS AREA 1,244,655 SF

DETENTION POND TREES
1 CANOPY PER 750 SF AND 1 ACCENT PER 1,500 SF
DETENTION POND AREA 71,406 SF
CANOPY TREES REQ. (71,406 SF / 750 SF =) 103 CANOPY TREES
ACCENT TREES REQ. (71,406 SF / 1,500 SF =) 52 ACCENT TREES
TREE PROVIDED AT POND AND AROUND THE SITE NOTED WITH "C" FOR CANOPY TREE AND "A" FOR ACCENT TREE. TOTAL PROVIDED 67 CANOPY/ 34 ACCENT

ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.

TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
69	(+)	LIVE OAK	Live Oak	Quercus virginiana	4" caliper, 12'-14' ht./ 5'-6' spread, B&B straight trunk full rounded canopy
80	(+)	RED OAK	Shumard Red Oak	Quercus shumardii	4" caliper, 12'-14' ht./ 5'-6' spread, B&B straight trunk full rounded canopy
65	(/)	LACEBARK	Lacebark Elm	Ulmus parvifolia	4" caliper, 12'-14' ht./ 5'-6' spread, B&B straight trunk full rounded canopy
82	(/)	PISTACHIO	Chinese Pistachio	Pistacia chinensis	4" caliper, 12'-14' ht./ 5'-6' spread, B&B straight trunk full rounded canopy
129	(/)	T. YAUPON	Yaupon Holly	Ilex vomitoria	3/4" caliper per trunk, 5 trunk min., 6' ht./4' spread, container, female - heavy berried tree form, limbed to 3'
119	(.)	RED BUD	Oklahoma Red Bud	Cercis canadensis 'oklahoma'	5'-6' ht, 3'-4' spread, container
6	(/)	D. WILLOW	Desert Willow	Chilopsis linearis	6'-7' ht, 3'-4' spread, container
SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
882	(@)	P. MUHLY	Pink Muhly Grass	Muhlenbergia capillaris	5 gallon, 18" ht./18" full
844	(@)	D. MAIDEN	Dwarf Maiden Grass	Miscanthus sinensis 'Adagio'	5 gallon, 18" ht./18" full
152	(@)	D.Y. HOLLY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gallon, 16" ht./14" spread, bushy, full to ground
12	(@)	D.B. HOLLY	Dwarf Burford Holly	Ilex cornuta 'Nana'	5 gallon, 20" ht./16" spread, bushy, full to ground
108	(@)	RED YUCCA	Red Yucca	Hesperaloe parviflora	5 gallon
30	(@)	BLUE SAGE	Mealy Blue Sage	Salvia farinacea	1 gallon
4	(@)	BEAUTYBERRY	American Beautyberry	Callicarpa americana	5 gallon
4	(@)	CORALBERRY	Coralberry	Symplocarpus orbiculatus	5 gallon
91	(@)	STIPA	Mexican Feathergrass	Stipa tenuissima	1 gallon
68	(@)	H.D. NANDINA	Harbour Dwarf Nandina	Nandina domestica 'Harbour Dwarf'	3 gallon
GROUND COVER					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(S)	SOD	Common Bermuda Grass	Cynodon dactylon	Sod refer to specifications
AS SHOWN	(H)	HYDRO	Common Bermuda Grass	Cynodon dactylon	Hydro mulch refer to specifications
AS SHOWN	(T)	TIFF 419	Bermuda Hybrid	Cynodon dactylon TIFF 419	Solid Rolled Sod refer to specifications
MISCELLANEOUS					
AS SHOWN	(S)	STL. EDGE	L.F. Ryerson steel edge, 1/8" x 4" with 12" stakes, black color adjacent to beds with rock, green at shrubs on berms.		
AS SHOWN	(R)	T.B. ROCK	3'-5" Tejas Black rock, 6"-8" deep. Provide weed barrier mat below rock. Separate at grass/bed areas with edging. Rock to cover all weed barrier mat.		
67	(B)	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS		

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of July, 2022. WITNESS OUR HANDS, this 29th day of September, 2022.

Signature
Planning & Zoning Commission, Chairman

Signature
Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
OUT OF THE
JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
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ROCKWALL, TEXAS 75087
CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
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SUITE 300
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CONTACT: ROBERT HANSEN

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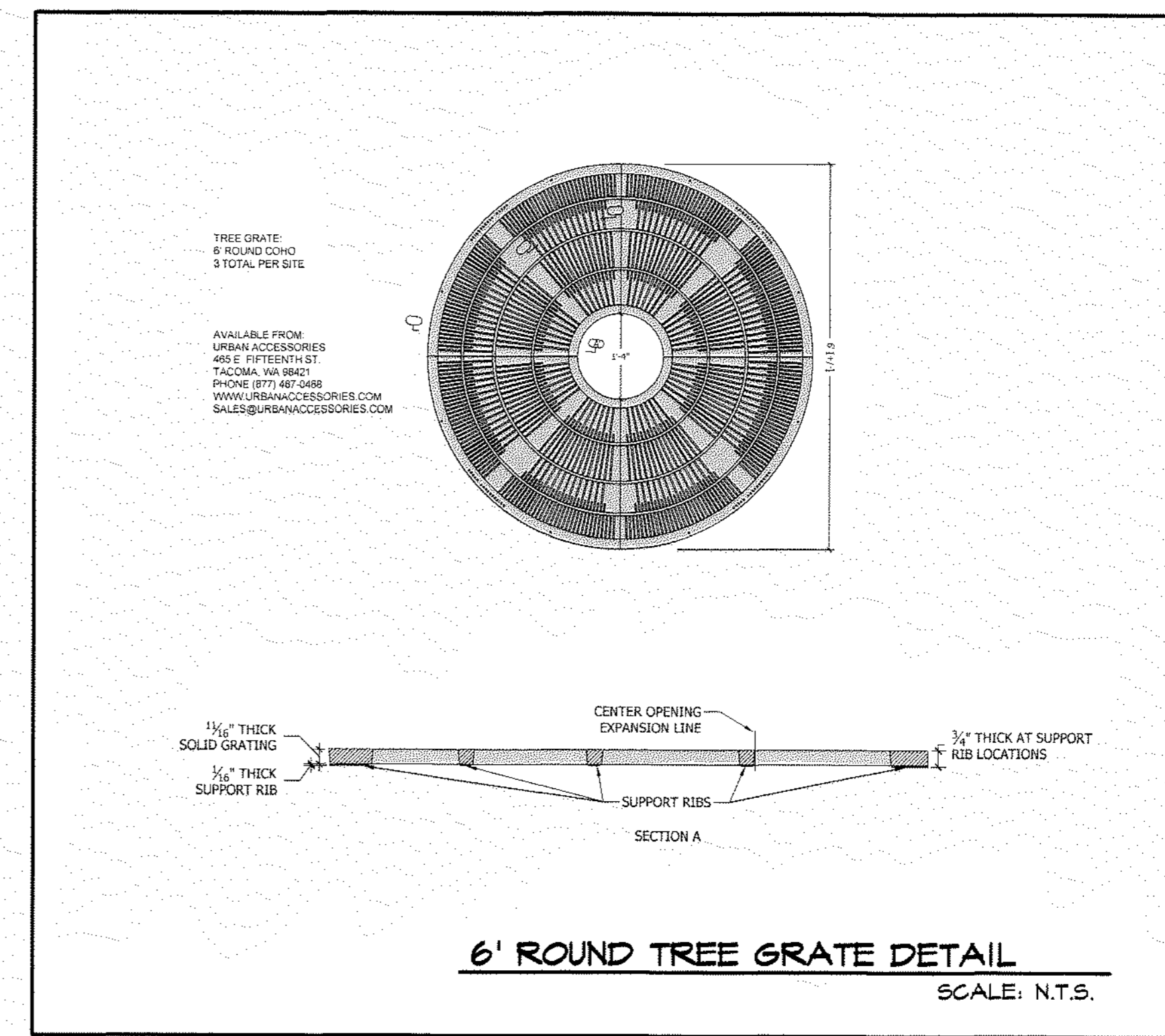
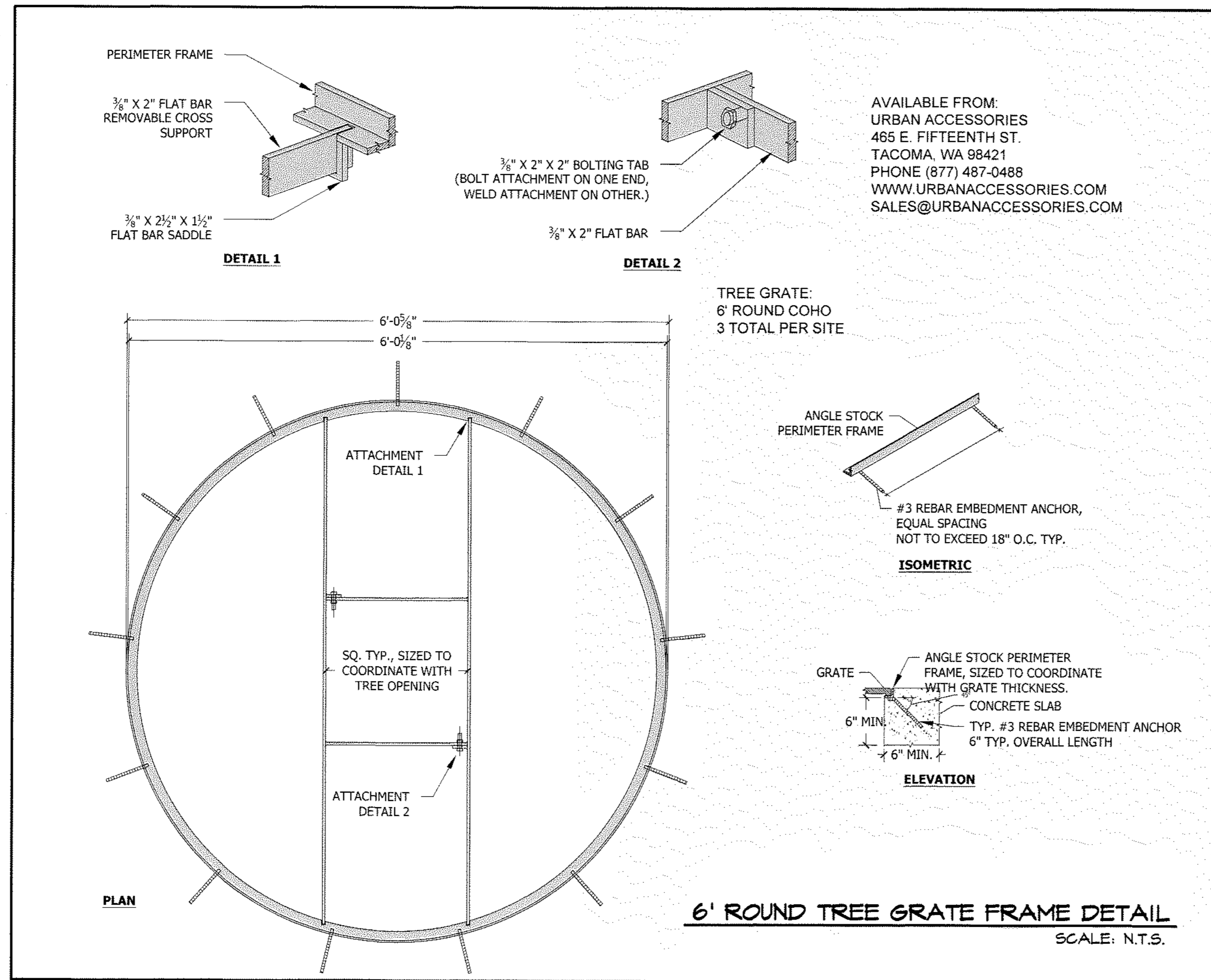
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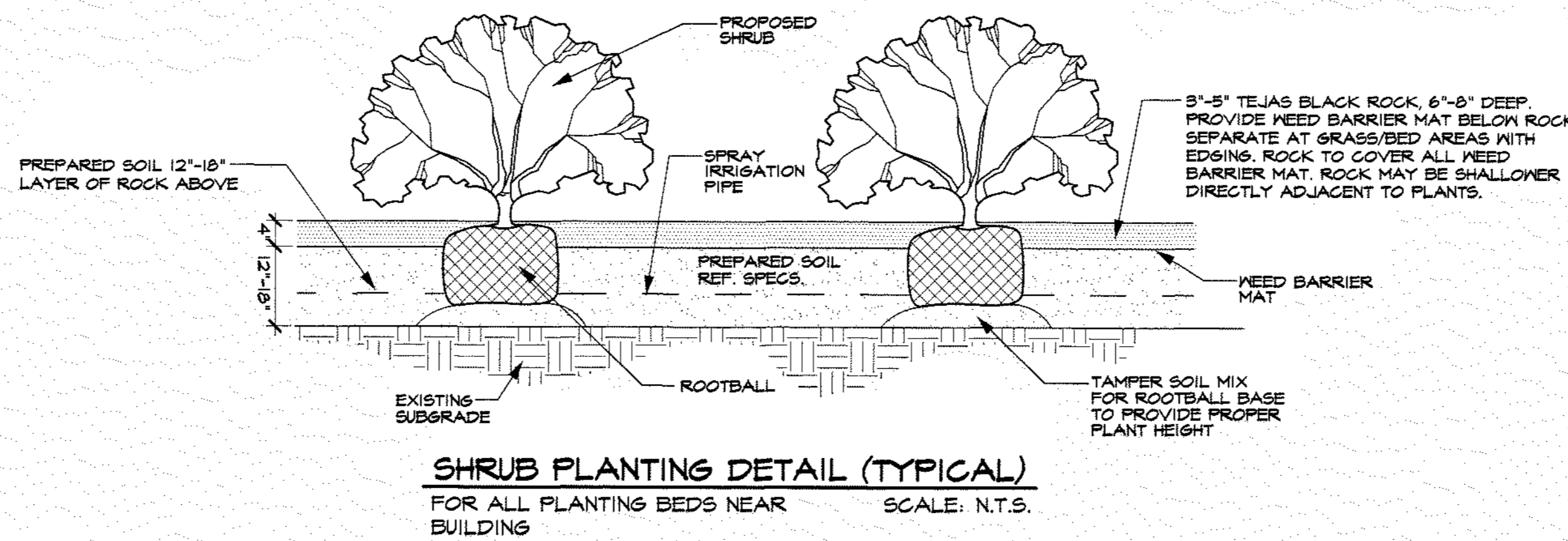
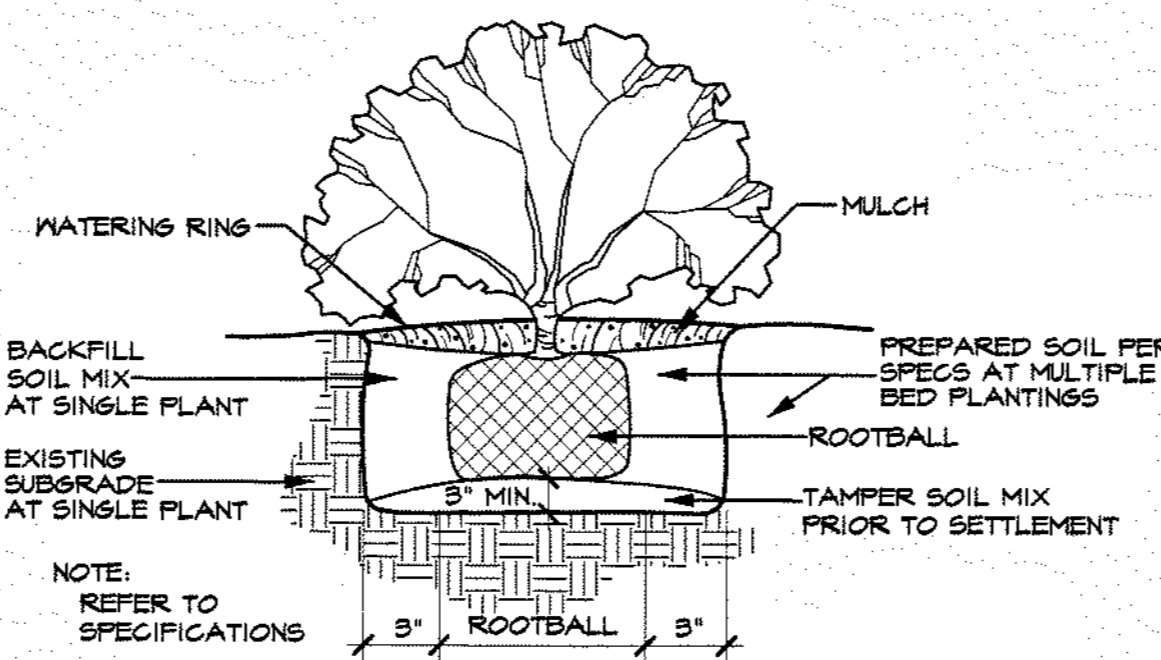
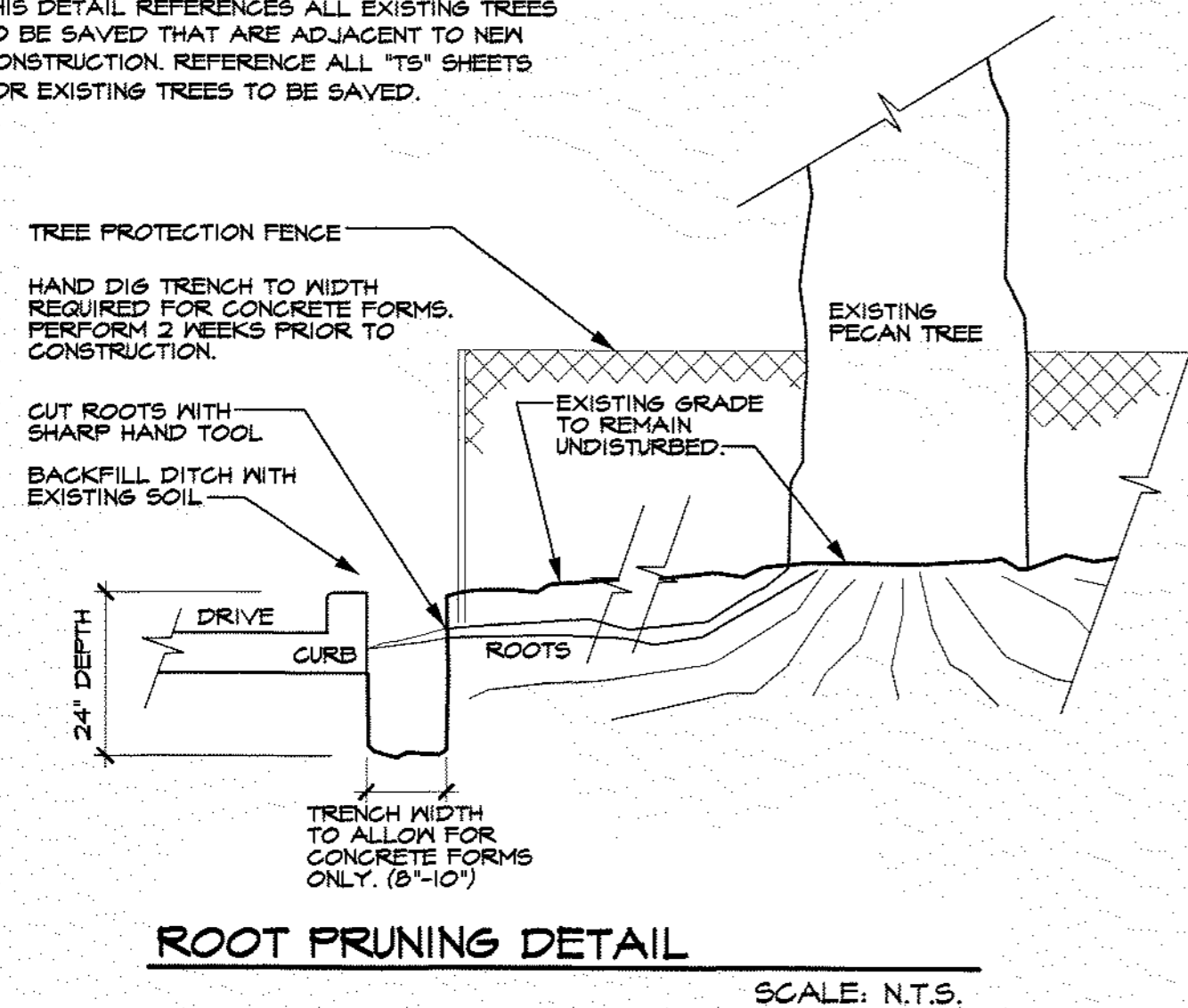
LANDSCAPE DETAILS

JOB 21572.0000
DATE 08/26/22
SHEET

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THIS DETAIL REFERENCES ALL EXISTING TREES TO BE SAVED THAT ARE ADJACENT TO NEW CONSTRUCTION. REFERENCE ALL "TS" SHEETS FOR EXISTING TREES TO BE SAVED.



LANDSCAPE NOTES

LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD OR HYDRO PER THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
 WITNESS OUR HANDS, this 12th day of September, 2022.

[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
 LOT 1, BLOCK A
 OUT OF THE
 JOHN M. GASS SURVEY, ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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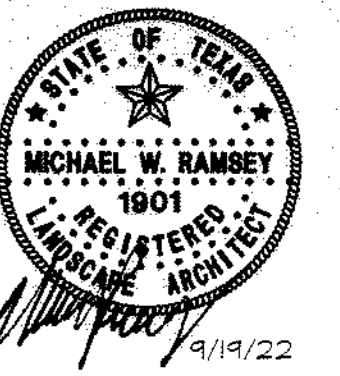
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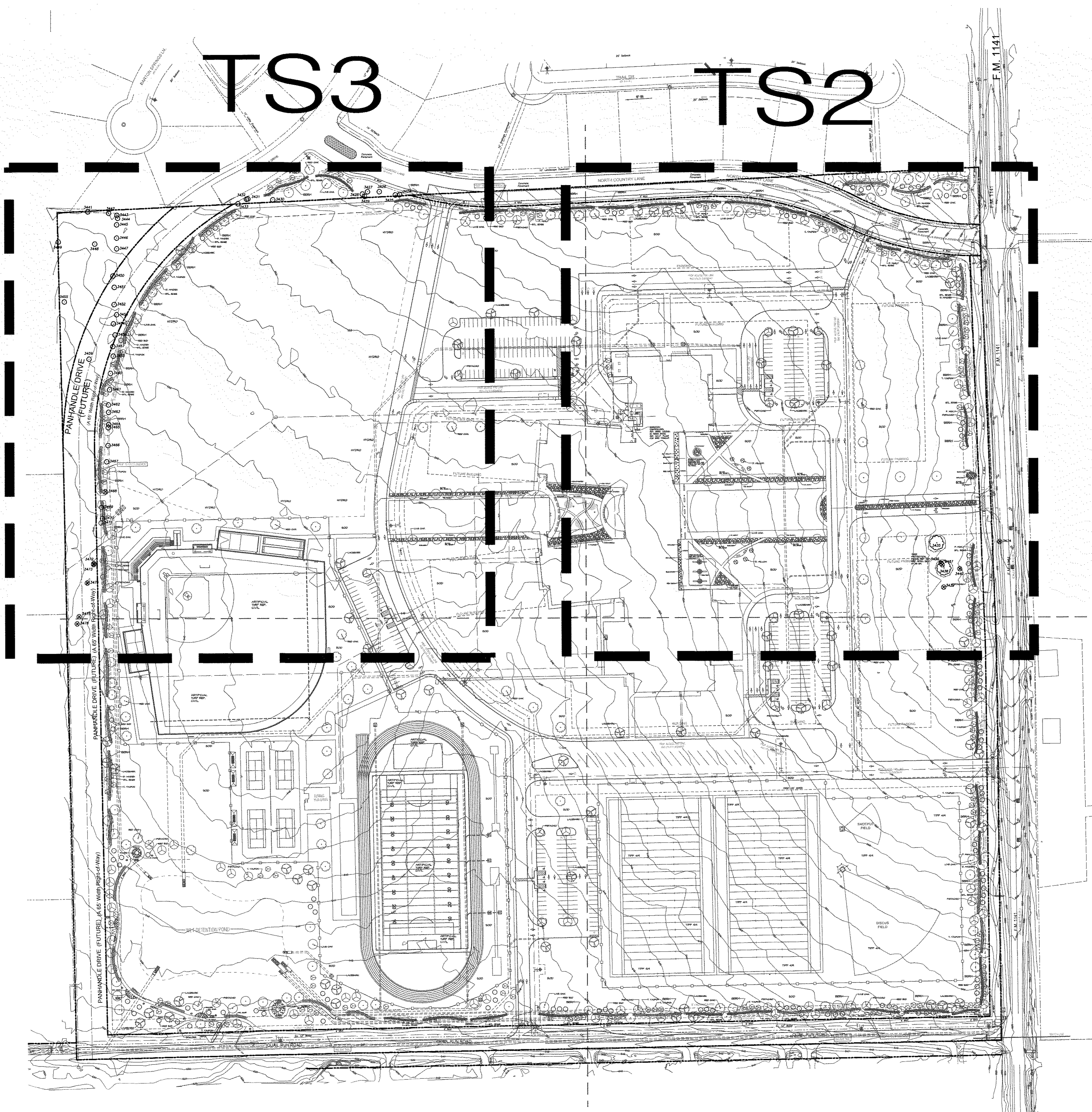
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LANDSCAPE
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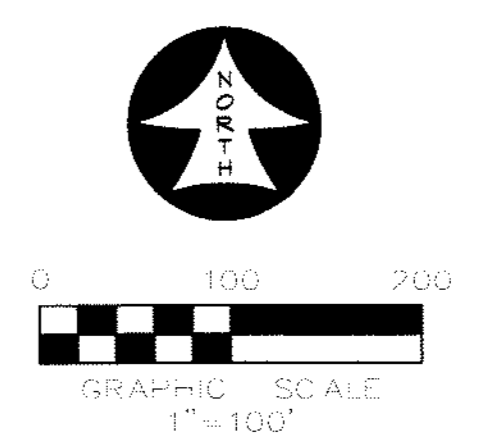


TREE #	TREE TYPE/COND.	DEMO/SAVE	MITIGATE	CREDIT
3424	TREE 16" HACKBERRY	OFF-SITE	0	
3425	TREE 14" HACKBERRY	OFF-SITE	0	
3426	TREE 13" HACKBERRY	OFF-SITE	0	
3427	TREE 16" HACKBERRY	OFF-SITE	0	
3428	TREE 13" HACKBERRY	OFF-SITE	0	
3429	TREE 13" HACKBERRY	OFF-SITE	0	
3430	TREE 15" HACKBERRY MT	OFF-SITE	0	
3431	TREE 12" HACKBERRY MT	OFF-SITE	0	
3432	TREE 16" HACKBERRY MT	OFF-SITE	0	
3433	TREE 14" HACKBERRY MT	OFF-SITE	0	
3434	TREE 30" PECAN	OFF-SITE/ROAD	0	
3435	TREE 31" PECAN	SAVE	0	31
3436	TREE 18" ELM	DEMO	18	
3437	TREE 15" ELM	DEMO	15	
3438	TREE 38" ELM	SAVE	0	38
3439	TREE 18" HACKBERRY	DEMO	9	
3440	TREE 18" PEAR	DEMO-1/2 DEAD	EXEMPT	SICK
3441	TREE 19" HACKBERRY MT	SAVE	0	
3442	TREE 11" HACKBERRY	SAVE	0	
3443	TREE 12" HACKBERRY	SAVE	0	
3444	TREE 13" HACKBERRY MT	SAVE	0	
3445	TREE 14" HACKBERRY SPLIT	SAVE	0	
3446	TREE 18" HACKBERRY	SAVE	0	
3447	TREE 12" HACKBERRY	SAVE	0	
3448	TREE 12" HACKBERRY MT	SAVE	0	
3449	TREE 12" HACKBERRY MT	SAVE	0	
3450	TREE 14" HACKBERRY	SAVE	0	
3451	TREE 16" HACKBERRY MT	SAVE	0	
3452	TREE 13" HACKBERRY	SAVE	0	
3453	TREE 14" HACKBERRY	SAVE	0	
3454	TREE 12" HACKBERRY	SAVE	0	
3455	TREE 23" HACKBERRY MT	SAVE	0	
3456	TREE 13" HACKBERRY MT	SAVE	0	
3457	TREE 11" HACKBERRY MT	SAVE	0	
3458	TREE 12" HACKBERRY MT	SAVE	0	
3459	TREE 13" HACKBERRY MT	SAVE	0	
3460	TREE 19" HACKBERRY MT	SAVE	0	
3461	TREE 15" HACKBERRY	SAVE	0	
3462	TREE 12" HACKBERRY	SAVE	0	
3463	TREE 14" HACKBERRY	SAVE	0	
3464	TREE 11" HACKBERRY	SAVE	0	
3465	TREE 13" HACKBERRY MT	SAVE	0	
3466	TREE 12" HACKBERRY	SAVE	0	
3467	TREE 14" HACKBERRY	SAVE	0	
3468	TREE 16" HACKBERRY	DEMO	8	
3469	TREE 12" HACKBERRY	DEMO	6	
3470	TREE 12" HACKBERRY	DEMO	6	
3471	TREE 12" HACKBERRY	DEMO	6	
3472	TREE 12" HACKBERRY MT	DEMO	6	
3473	TREE 12" HACKBERRY MT	DEMO	6	
3474	TREE 18" HACKBERRY	DEMO	9	
3475	TREE 12" HACKBERRY	DEMO	6	
3476	TREE 13" HACKBERRY	DEMO	6.5	
TOTAL			101.5	69

MITIGATION 101.5 - 69 = 32.5 X \$100.00 = \$3,250.00

EXISTING TREE LEGEND	
	EXISTING TREE TO BE SAVED
	EXISTING TREE TO BE REMOVED

SITE DATA SUMMARY	
EXISTING ZONING	AG
PROPOSED ZONING	PD FOR NS USES (2022-015)
USE	PUBLIC SCHOOL
LOT AREA	3,044.079 S.F. OR 69.88 AC.
BUILDING AREA (FLOOR AREA)	
PROPOSED FIRST FLOOR	150,170 S.F.
PROPOSED SECOND FLOOR	41,019 S.F.
TOTAL BUILDING AREA	191,189 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	150,170 S.F.
LOT COVERAGE	150,170 S.F. / 3,044.079 S.F. = 4.93%
FLOOR AREA RATIO	0.051
TOTAL IMPERVIOUS AREA	731,645 SQ. FT. OR 24.04 AC.
BUILDING HEIGHT	137'-0" (2 STORY)
TOTAL REQUIRED PARKING (1 PER 5 STUDENTS)	203 SPACES
PARKING PROVIDED	
PARKING SURFACE	
9.0x18.0	202 SPACES
9.0x20.0	159 SPACES
15.0x30.0	20 SPACES
TOTAL PARKING PROVIDED	381 SPACES



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022. WITNESS OUR HANDS, this 20th day of September, 2022.

[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

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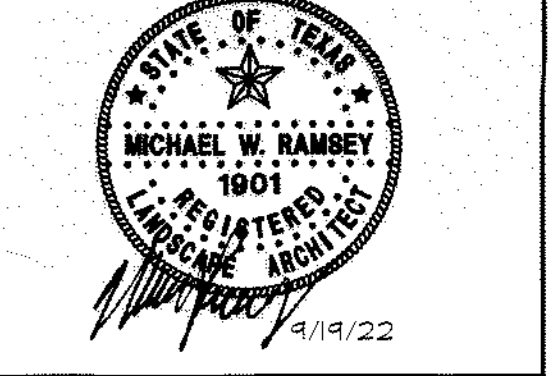
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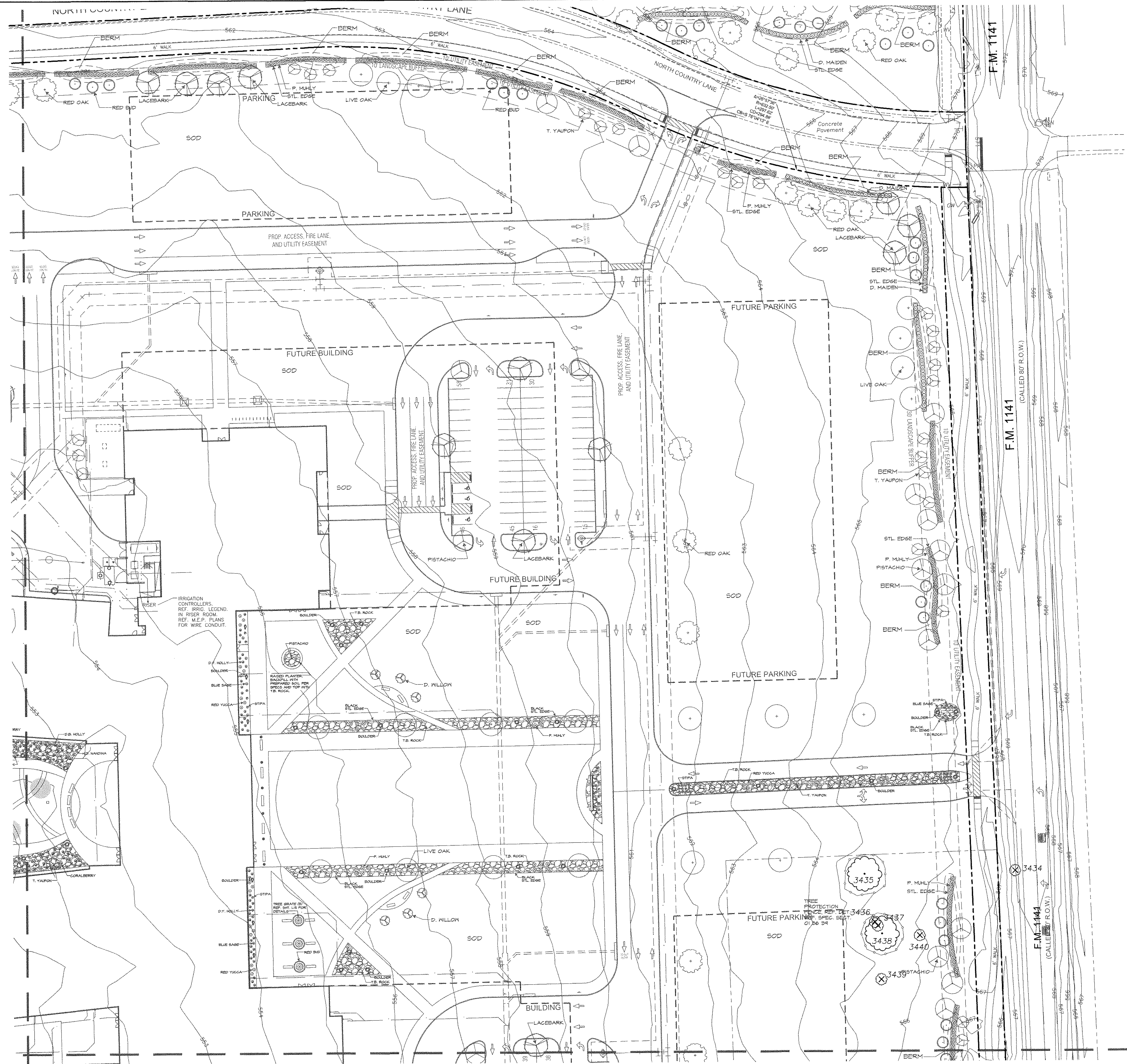


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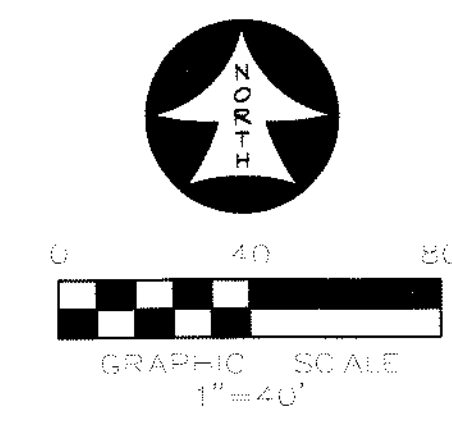
OVERALL
TREESCAPE
PLAN

JOB 21572.0000
DATE 08/26/22
SHEET TS 1



TREE #	TREE TYPE/COND.	DEMO/SAVE	MITIGATE	CREDIT
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3432	TREE 16" HACKBERRY MT	OFF-SITE	0	
3433	TREE 14" HACKBERRY MT	OFF-SITE	0	
3434	TREE 30" PECAN	OFF-SITE/ROAD	0	
3435	TREE 31" PECAN	SAVE	0	31
3436	TREE 18" ELM	DEMO	18	
3437	TREE 15" ELM	DEMO	15	
3438	TREE 38" ELM	SAVE	0	38
3439	TREE 18" HACKBERRY	DEMO	9	
3440	TREE 18" PEAR	DEMO-1/2 DEAD	EXEMPT	SICK
3441	TREE 19" HACKBERRY MT	SAVE	0	
3442	TREE 11" HACKBERRY	SAVE	0	
3443	TREE 12" HACKBERRY	SAVE	0	
3444	TREE 13" HACKBERRY MT	SAVE	0	
3445	TREE 14" HACKBERRY SPLIT	SAVE	0	
3446	TREE 18" HACKBERRY	SAVE	0	
3447	TREE 12" HACKBERRY	SAVE	0	
3448	TREE 12" HACKBERRY MT	SAVE	0	
3449	TREE 12" HACKBERRY MT	SAVE	0	
3450	TREE 14" HACKBERRY	SAVE	0	
3451	TREE 18" HACKBERRY MT	SAVE	0	
3452	TREE 13" HACKBERRY	SAVE	0	
3453	TREE 14" HACKBERRY	SAVE	0	
3454	TREE 12" HACKBERRY	SAVE	0	
3455	TREE 23" HACKBERRY MT	SAVE	0	
3456	TREE 13" HACKBERRY MT	SAVE	0	
3457	TREE 11" HACKBERRY MT	SAVE	0	
3458	TREE 12" HACKBERRY MT	SAVE	0	
3459	TREE 13" HACKBERRY MT	SAVE	0	
3460	TREE 19" HACKBERRY MT	SAVE	0	
3461	TREE 15" HACKBERRY	SAVE	0	
3462	TREE 12" HACKBERRY	SAVE	0	
3463	TREE 14" HACKBERRY	SAVE	0	
3464	TREE 11" HACKBERRY	SAVE	0	
3465	TREE 13" HACKBERRY MT	SAVE	0	
3466	TREE 12" HACKBERRY	SAVE	0	
3467	TREE 14" HACKBERRY	SAVE	0	
3468	TREE 16" HACKBERRY	DEMO	8	
3469	TREE 12" HACKBERRY	DEMO	6	
3470	TREE 12" HACKBERRY	DEMO	6	
3471	TREE 12" HACKBERRY	DEMO	6	
3472	TREE 12" HACKBERRY MT	DEMO	6	
3473	TREE 12" HACKBERRY MT	DEMO	6	
3474	TREE 18" HACKBERRY	DEMO	9	
3475	TREE 12" HACKBERRY	DEMO	6	
3476	TREE 13" HACKBERRY	DEMO	6.5	
TOTAL			101.5	69

EXISTING TREE LEGEND	
	3467 EXISTING TREE TO BE SAVED
	3468 EXISTING TREE TO BE REMOVED



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of June, 2022. WITNESS OUR HANDS, this 24th day of September, 2022.

Sally Planning & Zoning Commission, Chairman
Bill Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
 LOT 1, BLOCK A
 OUT OF THE
 JOHN M. GASS SURVEY, ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
 1200 W. MAGNOLIA BLVD.
 SUITE 300
 FORT WORTH, TEXAS 76104
 (972) 711-0605
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 711-8151
 CONTACT: CHERALYN M. ARMALIO

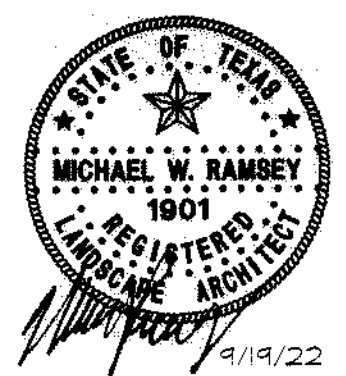
CITY OF ROCKWALL CASE NO. SP2022-017

CORGAN

401 N. Houston St
 Dallas, TX 75202
 T. 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
2	
3	
4	
5	
6	

REVISIONS	

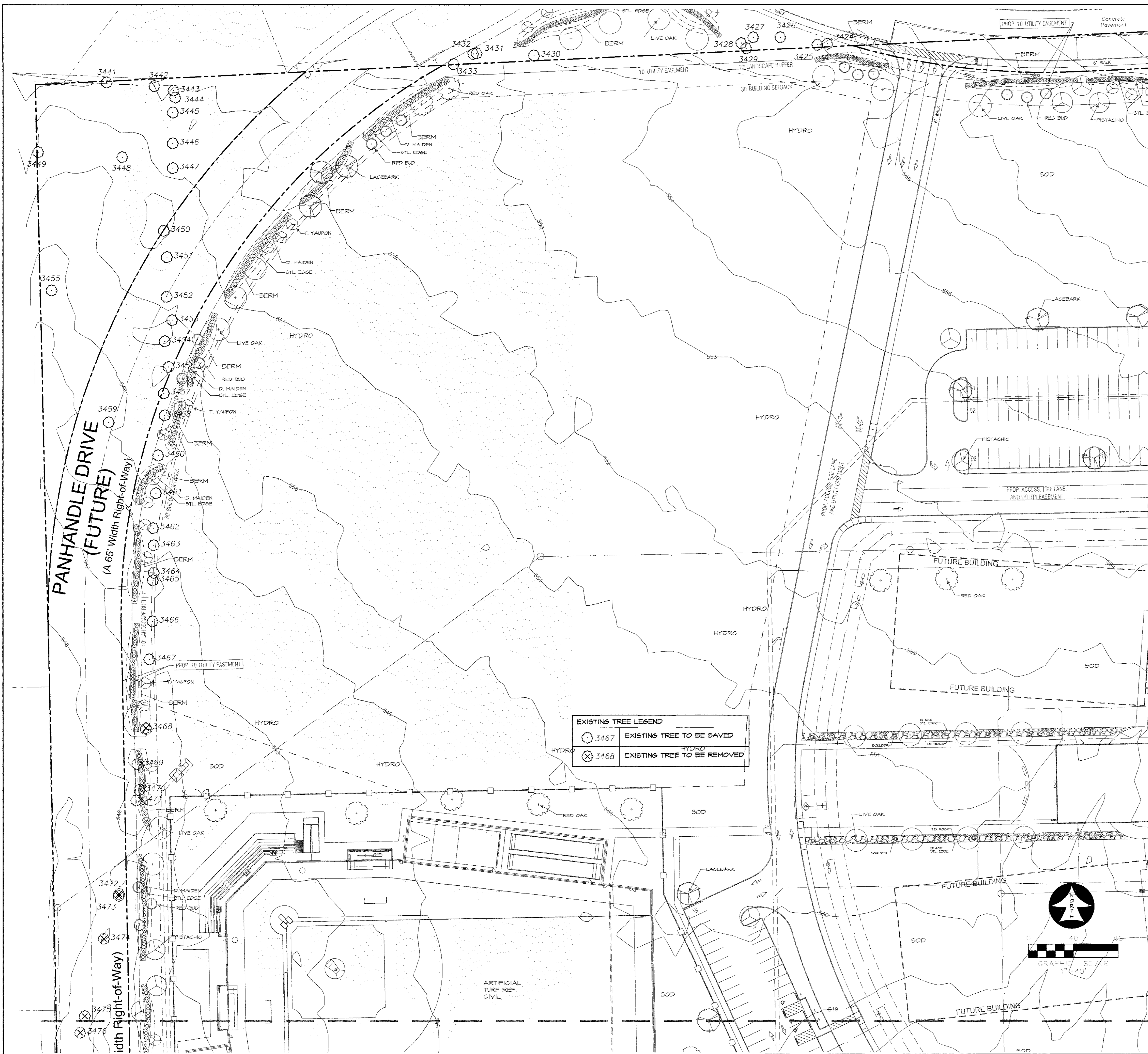


RAMSEY LANDSCAPE ARCHITECTS, LLC
 11914 WISHING WELL CT
 FRISCO, TEXAS 75035
 PHONE (972) 335-0889
 FAX (469) 362-5433
 EMAIL: MIKE.RLA@ATT.NET

NINTH GRADE CENERS
 North Site
 for
 Rockwall Independent School district
 2852 FM 1141 Rockwall, TX 75087

TREESCAPE
 PLAN EAST

JOB 21572.0000
 DATE 08/26/22
 SHEET TS 2



ROCKWALL JH NORTH			
TREE #	TREE TYPE/COND.	DEMO/SAVE	MITIGATE CREDIT
3424	TREE 15" HACKBERRY	OFF-SITE	0
3425	TREE 14" HACKBERRY	OFF-SITE	0
3426	TREE 13" HACKBERRY	OFF-SITE	0
3427	TREE 16" HACKBERRY	OFF-SITE	0
3428	TREE 13" HACKBERRY	OFF-SITE	0
3429	TREE 13" HACKBERRY	OFF-SITE	0
3430	TREE 15" HACKBERRY MT	OFF-SITE	0
3431	TREE 12" HACKBERRY MT	OFF-SITE	0
3432	TREE 16" HACKBERRY MT	OFF-SITE	0
3433	TREE 14" HACKBERRY MT	OFF-SITE	0
3434	TREE 30" PECAN	OFF-SITE/ROAD	0
3435	TREE 31" PECAN	SAVE	31
3436	TREE 18" ELM	DEMO	18
3437	TREE 15" ELM	DEMO	15
3438	TREE 38" ELM	SAVE	38
3439	TREE 18" HACKBERRY	DEMO	9
3440	TREE 18" PEAR	DEMO 1/2 DEAD	EXEMPT SICK
3441	TREE 19" HACKBERRY MT	SAVE	0
3442	TREE 11" HACKBERRY	SAVE	0
3443	TREE 12" HACKBERRY	SAVE	0
3444	TREE 13" HACKBERRY MT	SAVE	0
3445	TREE 14" HACKBERRY SPLIT	SAVE	0
3446	TREE 18" HACKBERRY	SAVE	0
3447	TREE 12" HACKBERRY	SAVE	0
3448	TREE 12" HACKBERRY MT	SAVE	0
3449	TREE 12" HACKBERRY MT	SAVE	0
3450	TREE 14" HACKBERRY	SAVE	0
3451	TREE 16" HACKBERRY MT	SAVE	0
3452	TREE 13" HACKBERRY	SAVE	0
3453	TREE 14" HACKBERRY	SAVE	0
3454	TREE 12" HACKBERRY	SAVE	0
3455	TREE 23" HACKBERRY MT	SAVE	0
3456	TREE 13" HACKBERRY MT	SAVE	0
3457	TREE 11" HACKBERRY MT	SAVE	0
3458	TREE 12" HACKBERRY MT	SAVE	0
3459	TREE 13" HACKBERRY MT	SAVE	0
3460	TREE 19" HACKBERRY MT	SAVE	0
3461	TREE 15" HACKBERRY	SAVE	0
3462	TREE 12" HACKBERRY	SAVE	0
3463	TREE 14" HACKBERRY	SAVE	0
3464	TREE 11" HACKBERRY	SAVE	0
3465	TREE 13" HACKBERRY MT	SAVE	0
3466	TREE 12" HACKBERRY	SAVE	0
3467	TREE 14" HACKBERRY	SAVE	0
3468	TREE 16" HACKBERRY	DEMO	8
3469	TREE 12" HACKBERRY	DEMO	6
3470	TREE 12" HACKBERRY	DEMO	6
3471	TREE 12" HACKBERRY	DEMO	6
3472	TREE 12" HACKBERRY MT	DEMO	6
3473	TREE 12" HACKBERRY MT	DEMO	6
3474	TREE 18" HACKBERRY	DEMO	9
3475	TREE 12" HACKBERRY	DEMO	6
3476	TREE 13" HACKBERRY	DEMO	6.5
TOTAL			101.5 69

4' HIGH ORANGE PLASTIC FENCING W/ T-POSTS AT 8'-0" O.C. MAX.
LOCATE FENCE MIN. 2'-0" FROM DRIPLINE OF TREE.
EXISTING TREES

- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

TREE PROTECTION FENCE AND NOTES
SCALE: N.T.S.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 10th day of July, 2022.
WITNESS OUR HANDS, this 20th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

ROCKWALL - NINTH GRADE CENTER
LOT 1, BLOCK A
OUT OF THE
JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
ROCKWALL ISD
801 E WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: JAMES WATSON

SURVEYOR:
BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8586
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMILIO

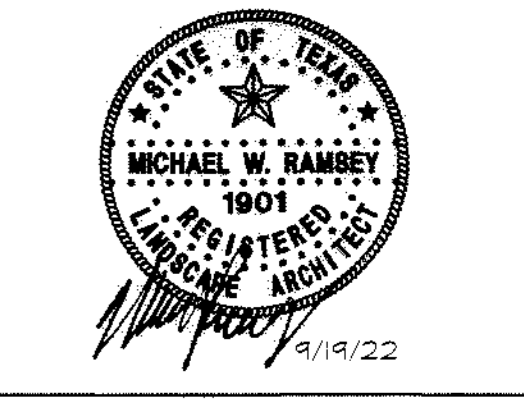
CITY OF ROCKWALL CASE NO. SP2022-017

CORGAN

401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	



RAMSEY LANDSCAPE ARCHITECTS, LLC
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PHONE (972) 335-0889
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EMAIL: MIKE.RLA@ATT.NET

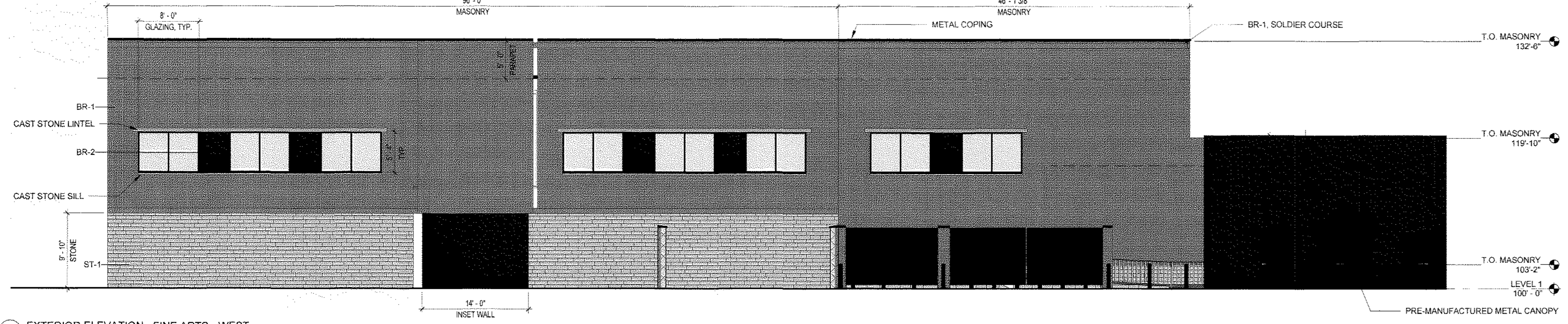
NINTH GRADE CENERS

North Site

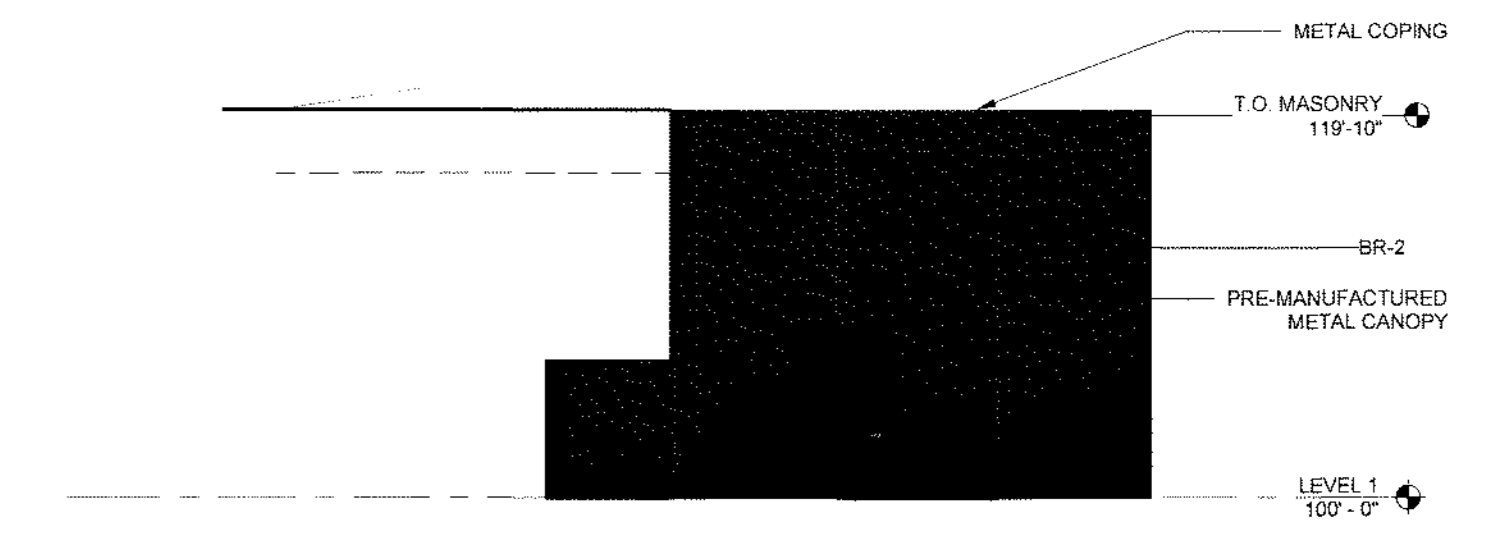
for
Rockwall Independent School district
2852 FM 1141 Rockwall, TX 75087

TREESCAPE
PLAN WEST

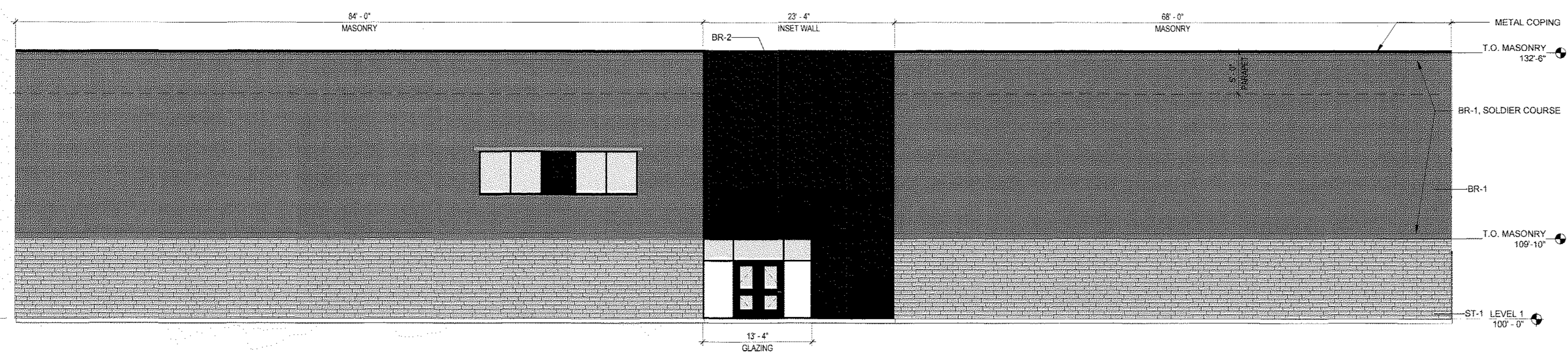
JOB 21572.0000
DATE 08/26/22
SHEET TS 3



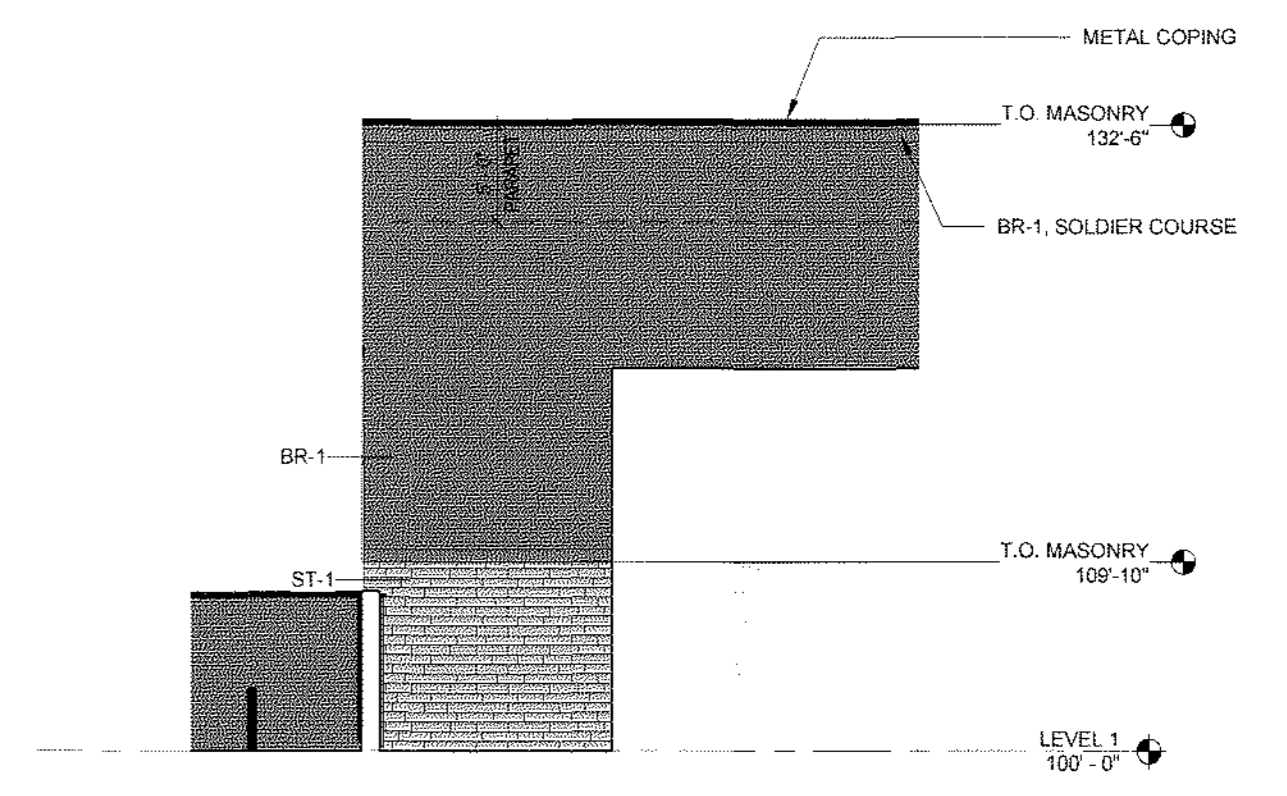
07 EXTERIOR ELEVATION - FINE ARTS - WEST
1/8" = 1'-0"



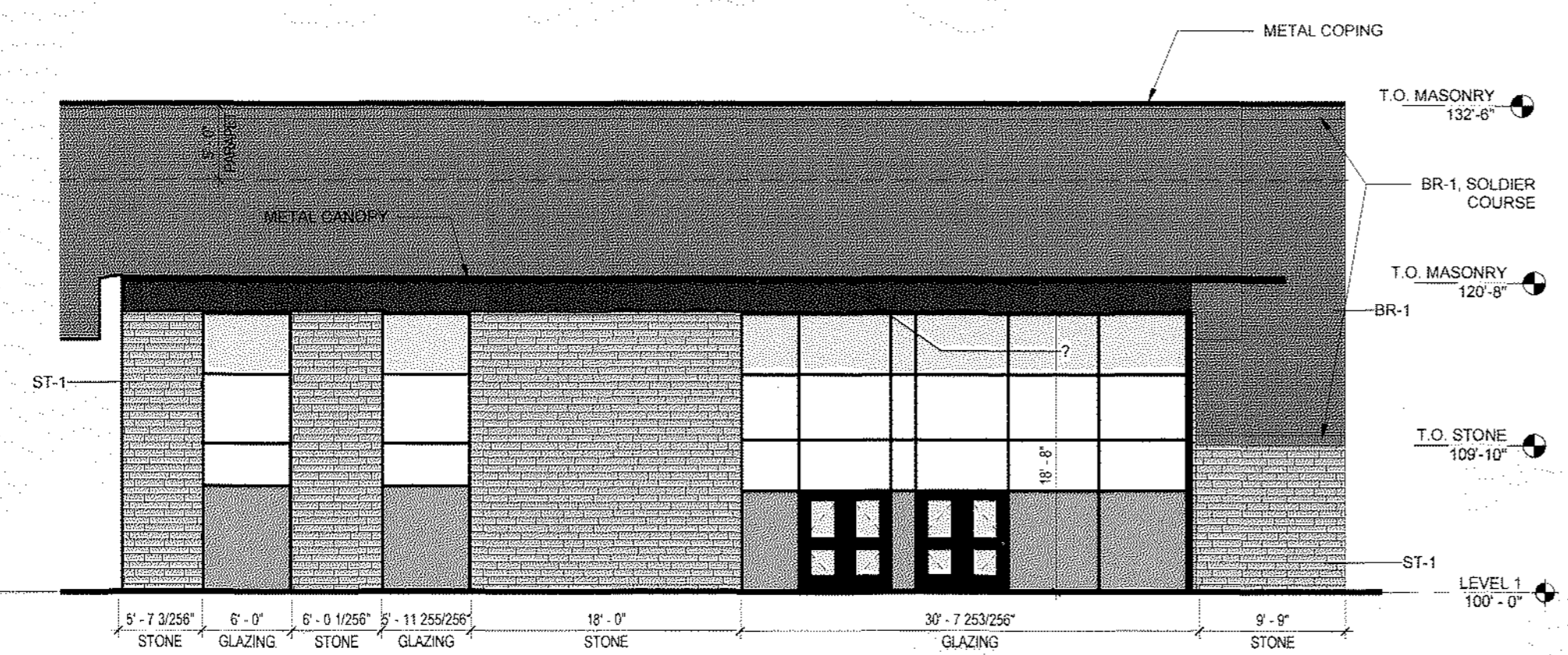
06 EXTERIOR ELEVATION - SERVERY - NORTH - B
1/8" = 1'-0"



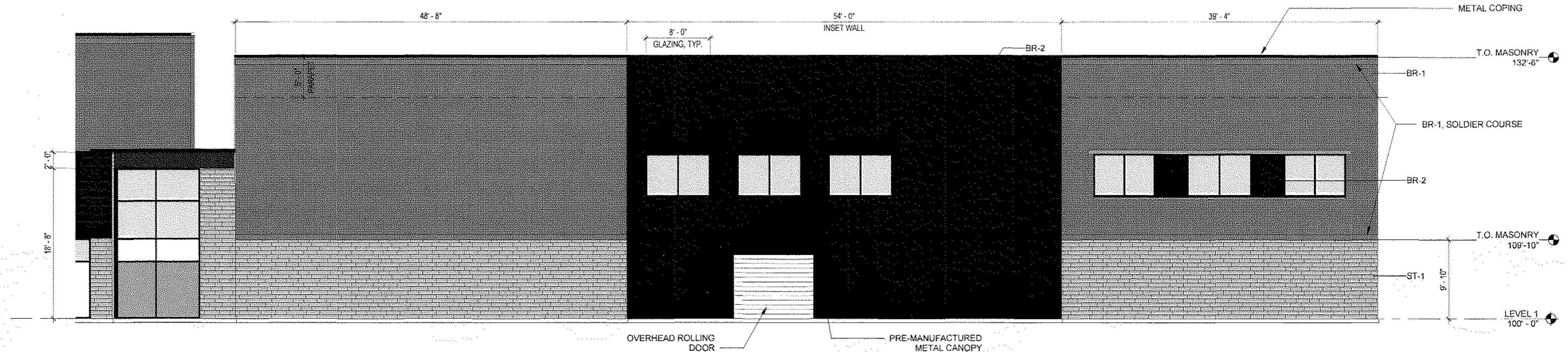
05 EXTERIOR ELEVATION - FINE ARTS - NORTH
1/8" = 1'-0"



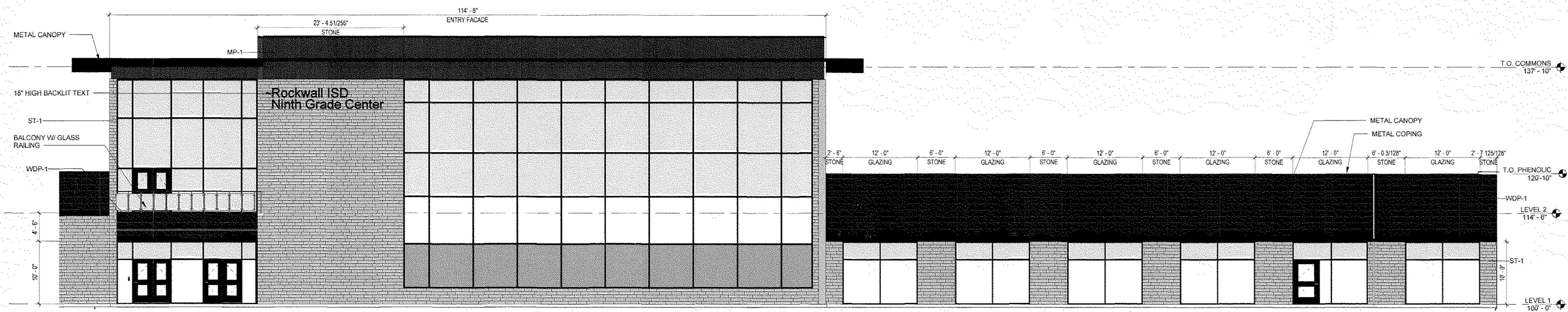
04 EXTERIOR ELEVATIONS - FINE ARTS - SOUTH
1/8" = 1'-0"



03 EXTERIOR ELEVATION - FINE ARTS - SOUTH
1/8" = 1'-0"

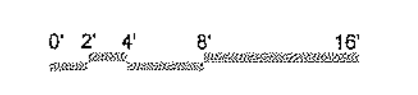


02 EXTERIOR ELEVATION - FINE ARTS - EAST (FACES ROW FM 1141)
1/8" = 1'-0"



01 EXTERIOR ELEVATION - MAIN ENTRY (FACES ROW FM 1141)
1/8" = 1'-0"

EXT. MATERIALS LEGEND		



EXTERIOR ELEVATIONS

As indicated

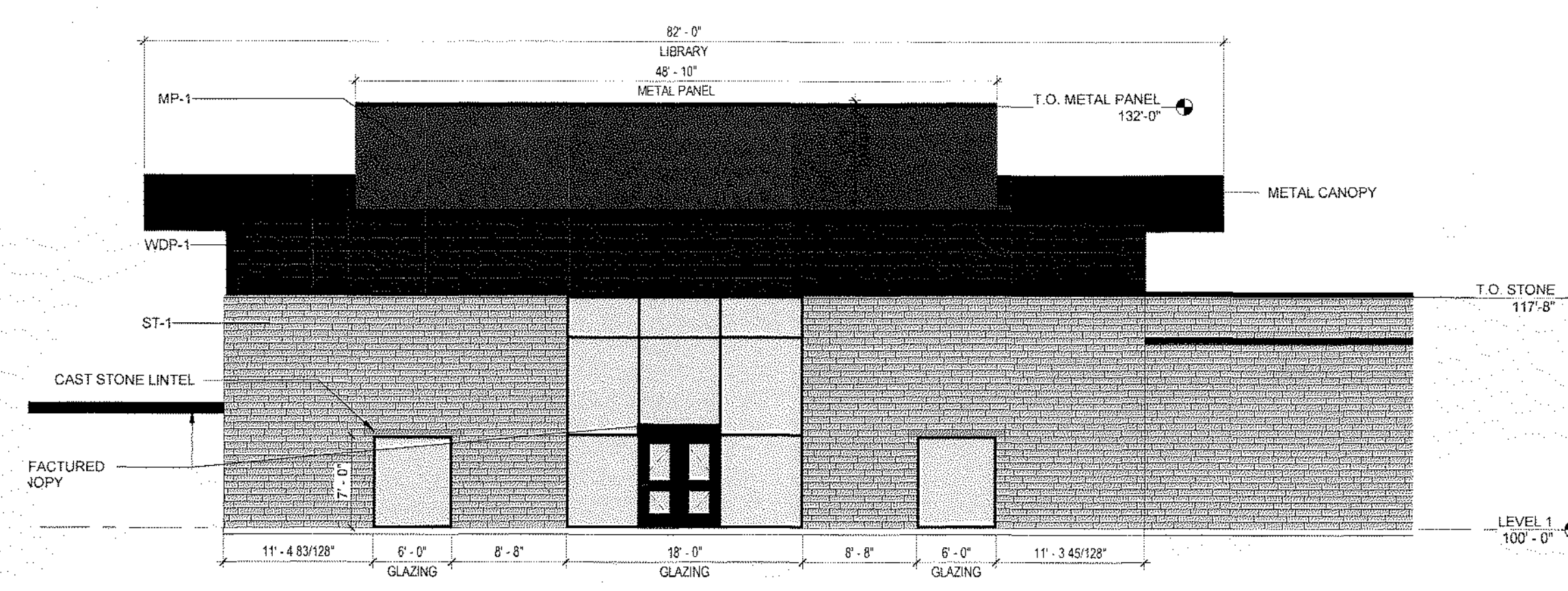
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
WITNESS OUR HANDS, this 29th day of September, 2022.

Signature
Planning & Zoning Commission, Chairman

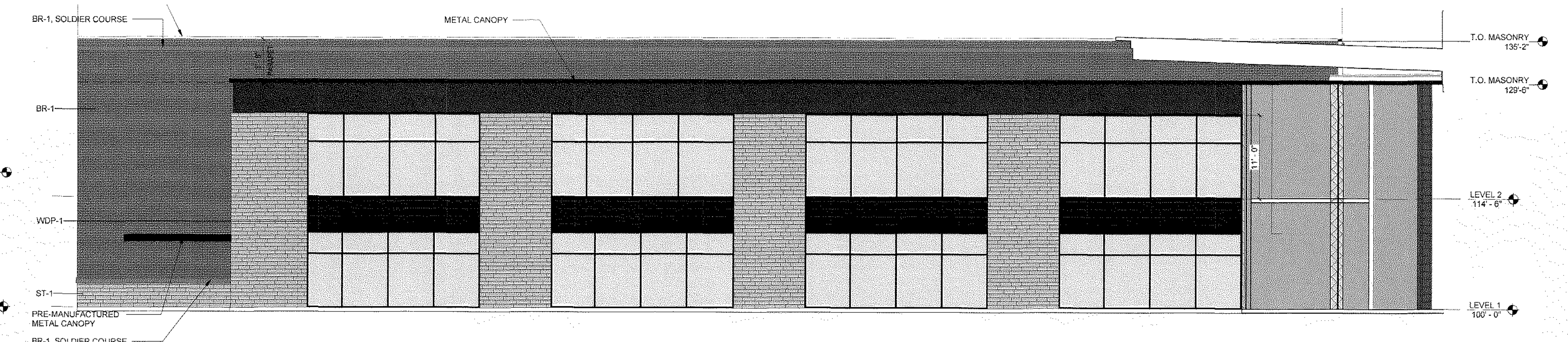
Signature
Director of Planning and Zoning



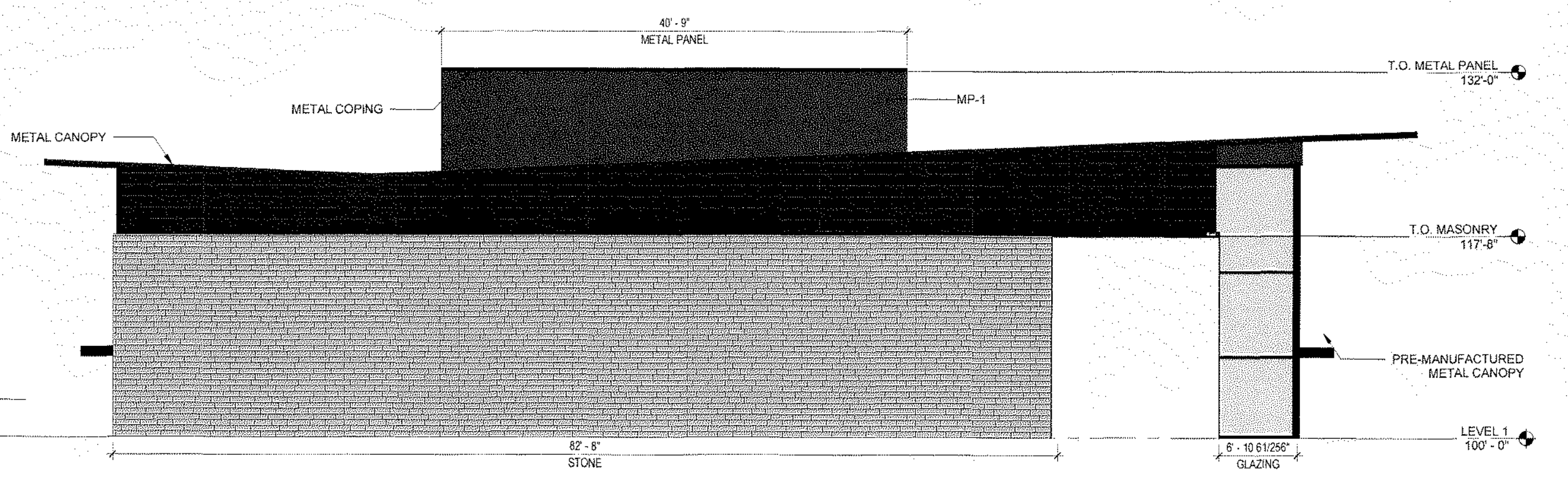
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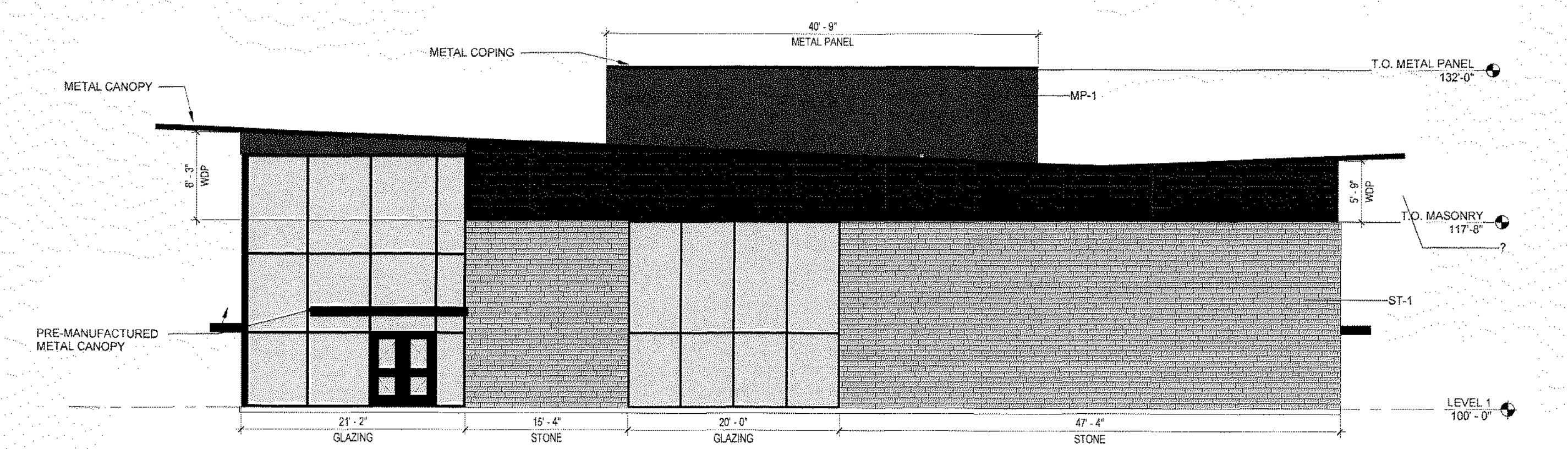
07 EXTERIOR ELEVATION - LIBRARY - WEST
1/8" = 1'-0"



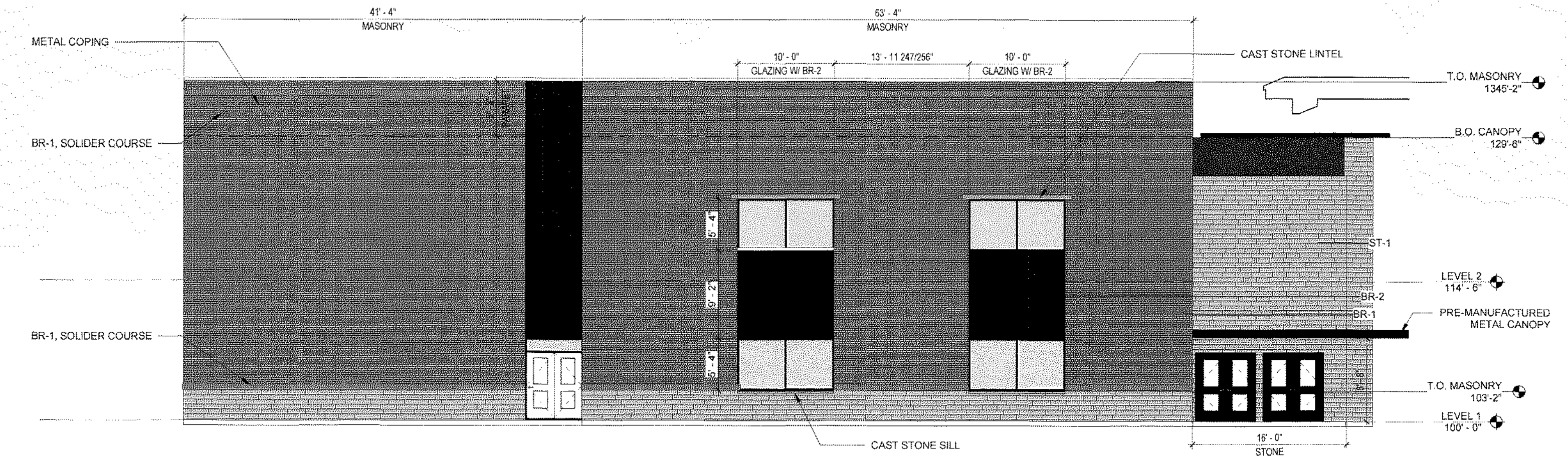
06 EXTERIOR ELEVATION - NORTH CLASSROOM WING - NORTH
1/8" = 1'-0"



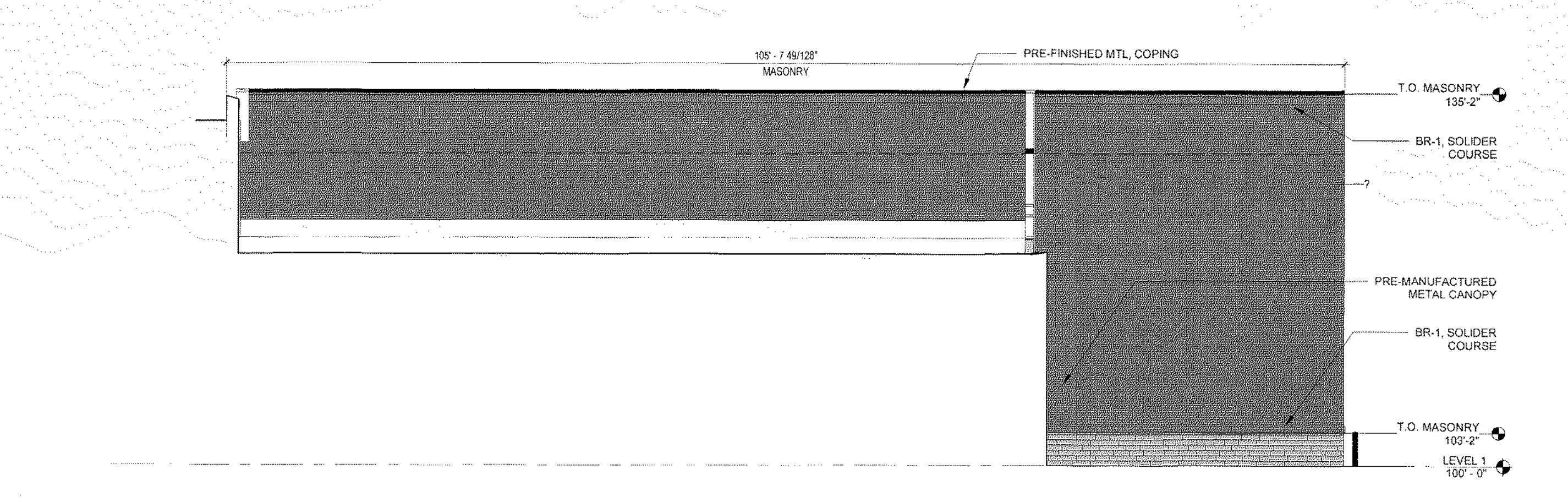
05 SOUTH
1/8" = 1'-0"



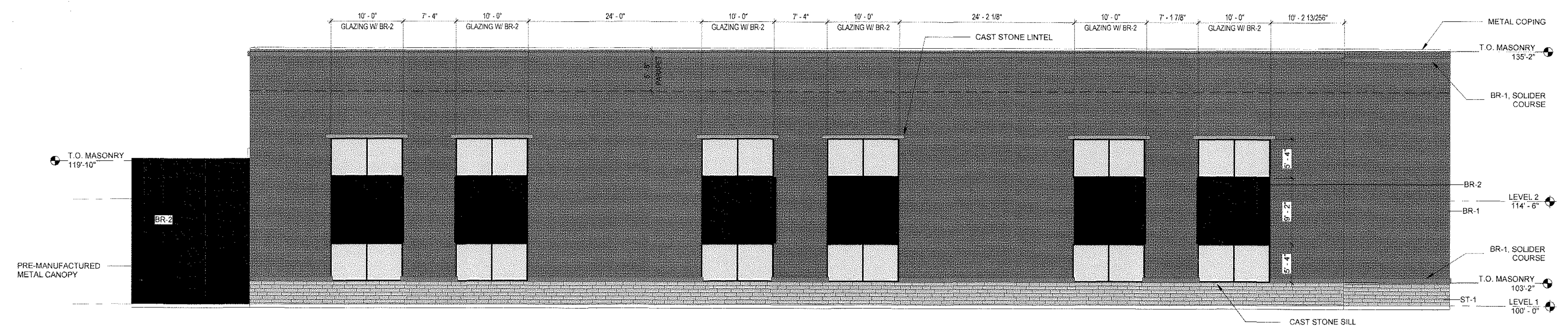
04 EXTERIOR ELEVATION - LIBRARY - NORTH
1/8" = 1'-0"



03 EXTERIOR ELEVATION - NORTH CLASSROOM WING - WEST
1/8" = 1'-0"

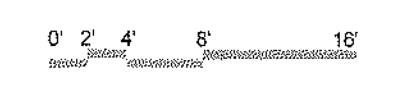


02 EXTERIOR ELEVATION - NORTH CLASSROOM WING - EAST
1/8" = 1'-0"



01 EXTERIOR ELEVATION - NORTH CLASSROOM WING - NORTH
1/8" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1	
	ST-1	
	MP-1	



EXTERIOR ELEVATIONS

As indicated

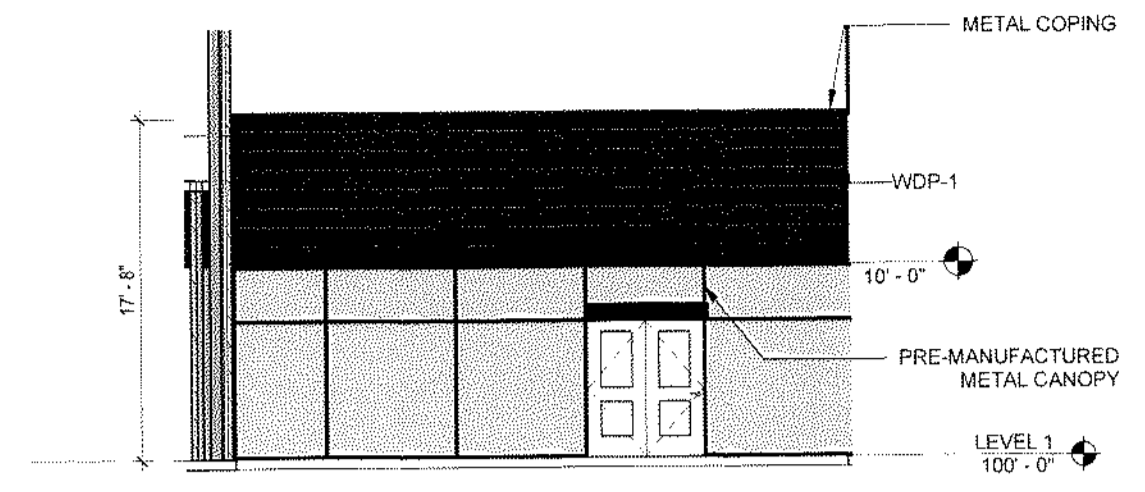
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of July, 2022.
WITNESS OUR HANDS, this 29th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

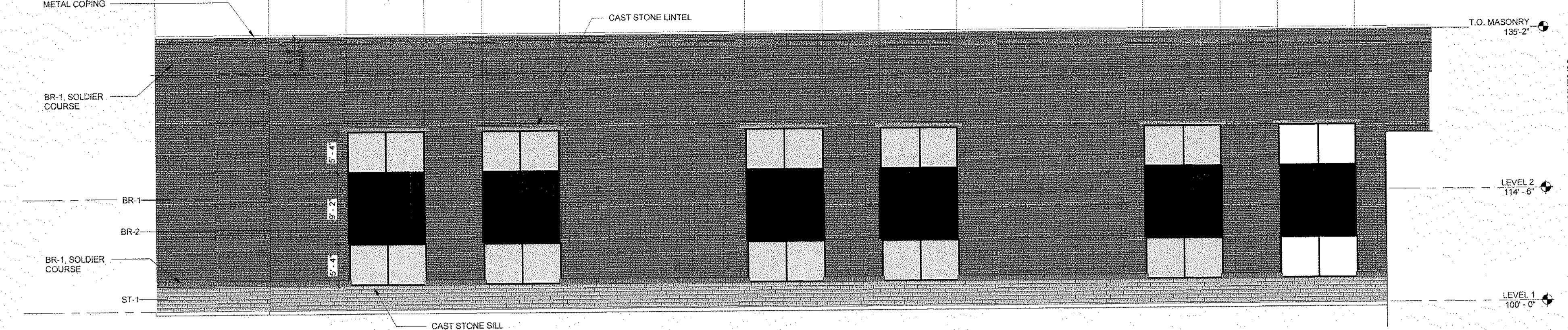
[Signature]
Director of Planning and Zoning



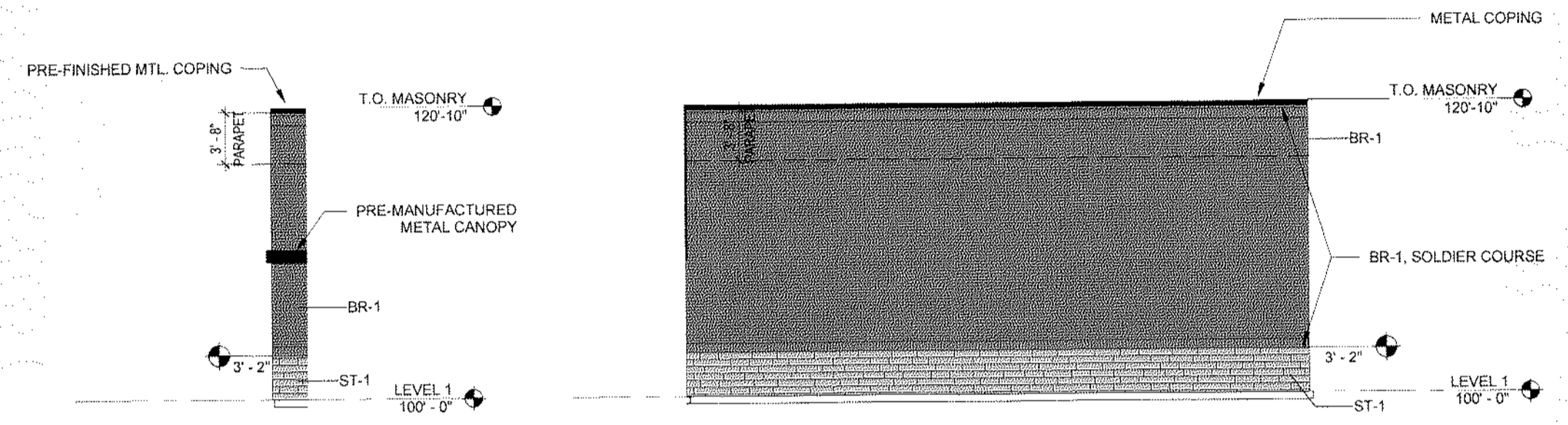
This document is incomplete and may not be used for regulatory approval, permit or construction.



09 EXTERIOR ELEVATION - LIBRARY - EAST - B
1/8" = 1'-0"

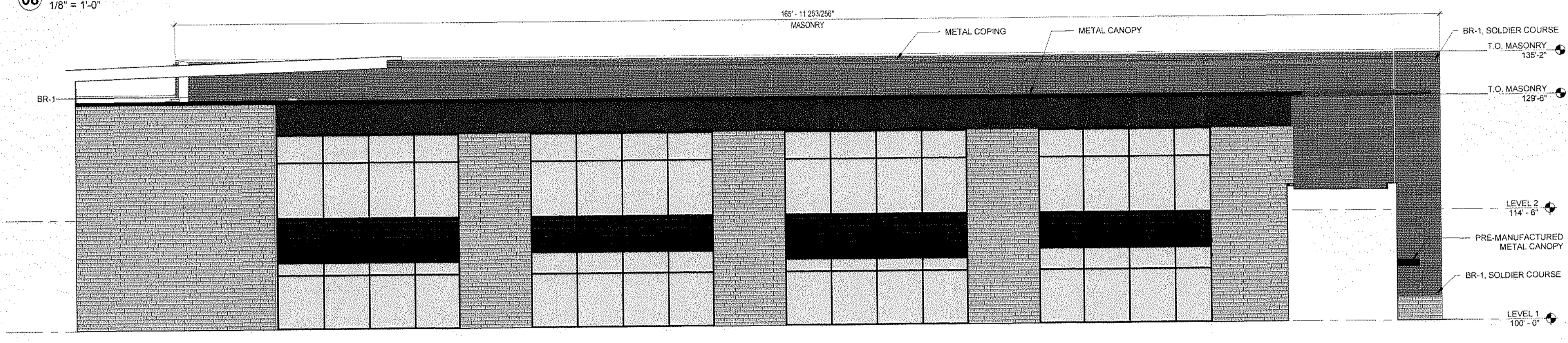


08 EXTERIOR ELEVATION - S. CLASSROOM WING - SOUTH
1/8" = 1'-0"

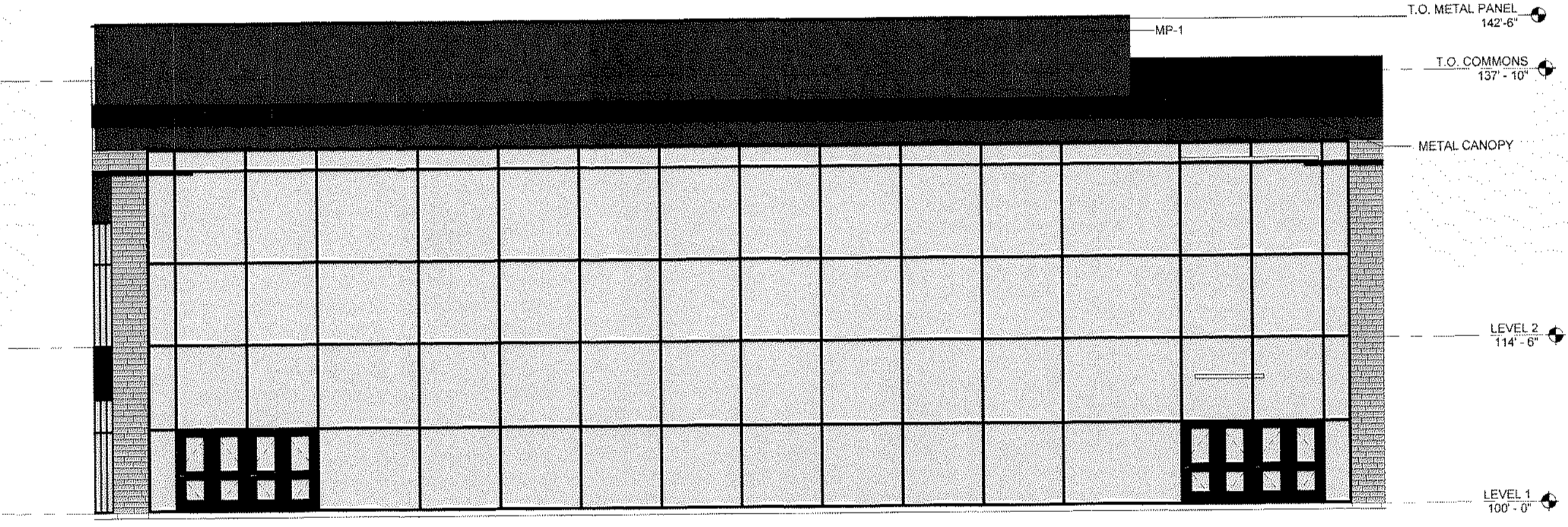


07 EXTERIOR ELEVATION - ATHLETICS
1/8" = 1'-0"

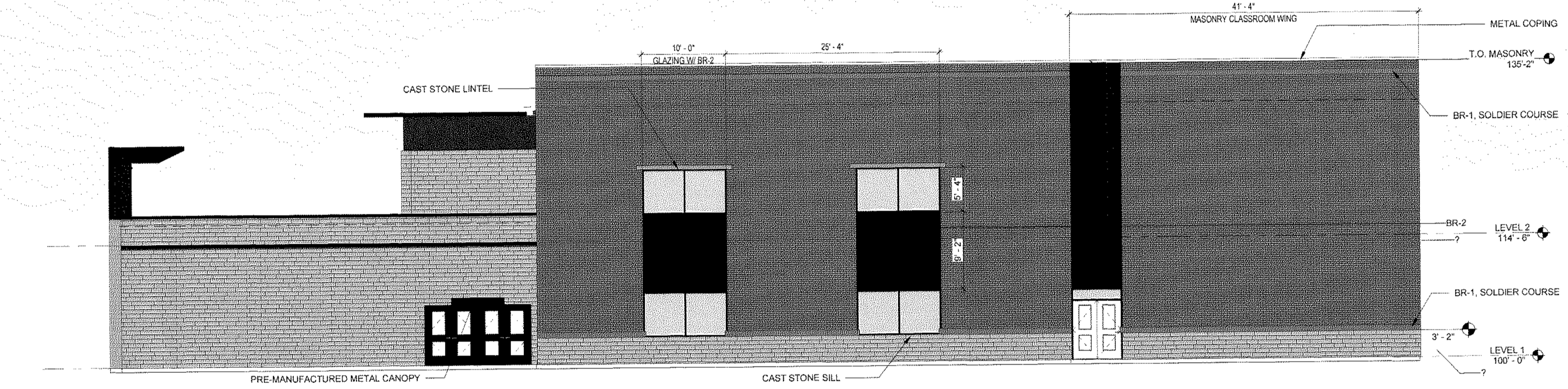
06 EXTERIOR ELEVATION - ATHLETICS - NORTH
1/8" = 1'-0"



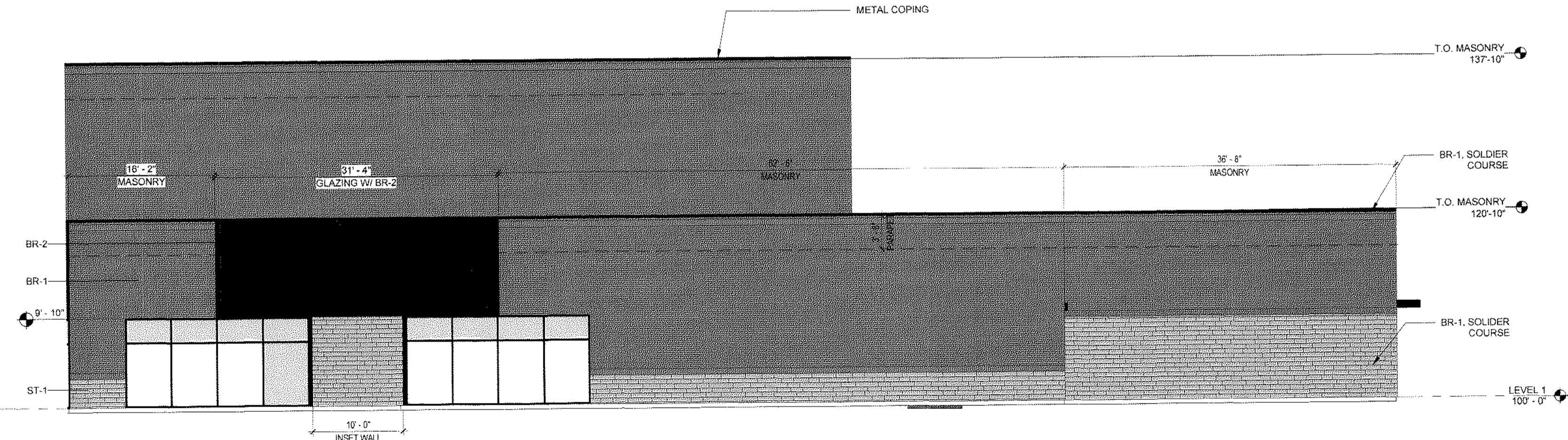
05 EXTERIOR ELEVATION - S. CLASSROOM WING - NORTH
1/8" = 1'-0"



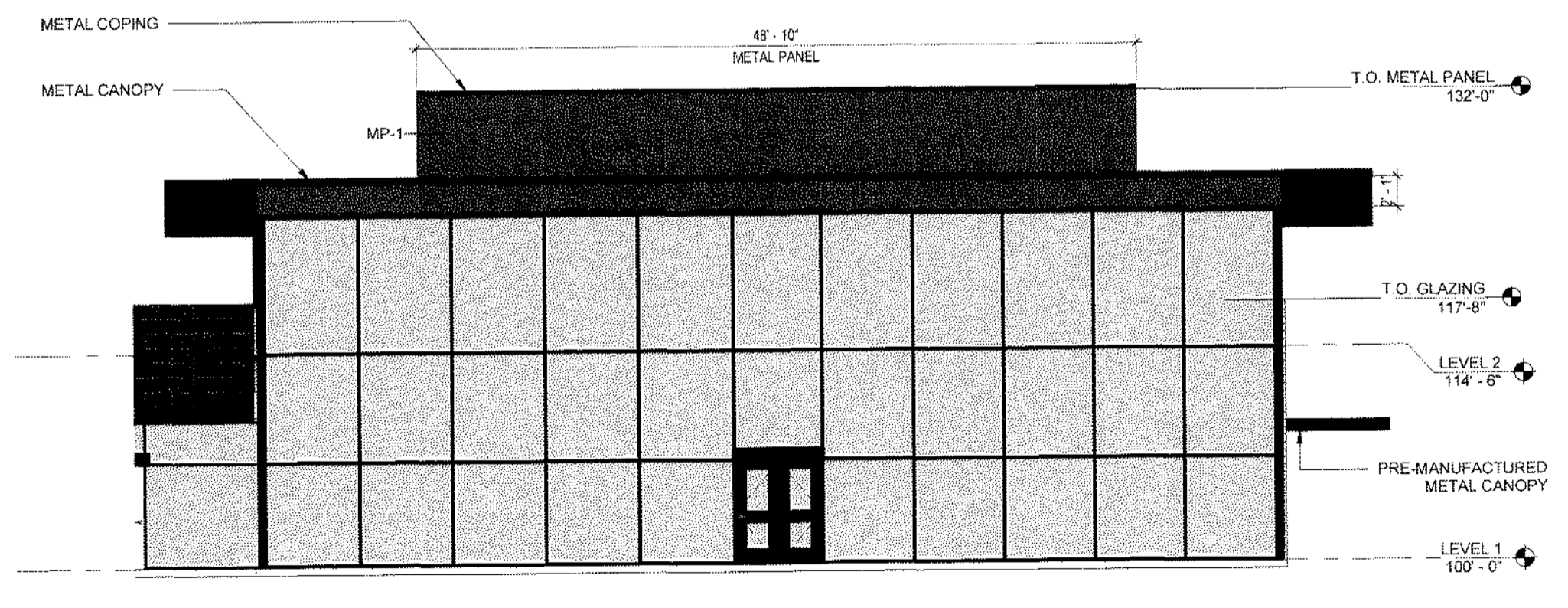
04 EXTERIOR ELEVATION - COMMONS - WEST
1/8" = 1'-0"



03 EXTERIOR ELEVATION - NORTH CLASSROOM WING - WEST
1/8" = 1'-0"

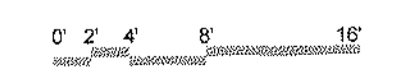


02 EXTERIOR ELEVATION - ATHLETICS - WEST
1/8" = 1'-0"



01 EXTERIOR ELEVATION - LIBRARY - EAST
1/8" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1	
	ST-1	
	GL-1	



EXTERIOR ELEVATIONS

As indicated

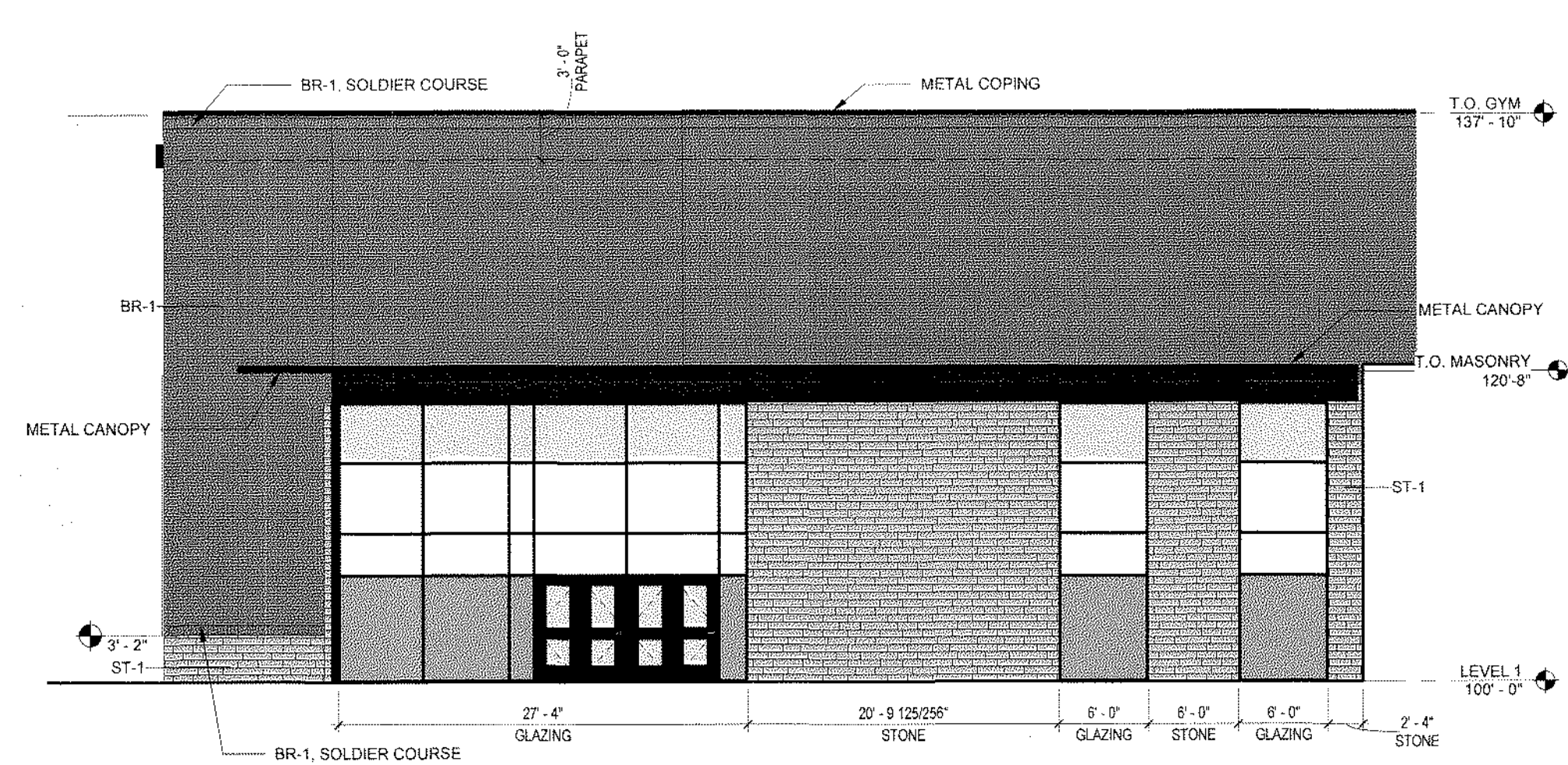
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
WITNESS OUR HANDS, this 29th day of September, 2022.

S. R.
Planning & Zoning Commission, Chairman

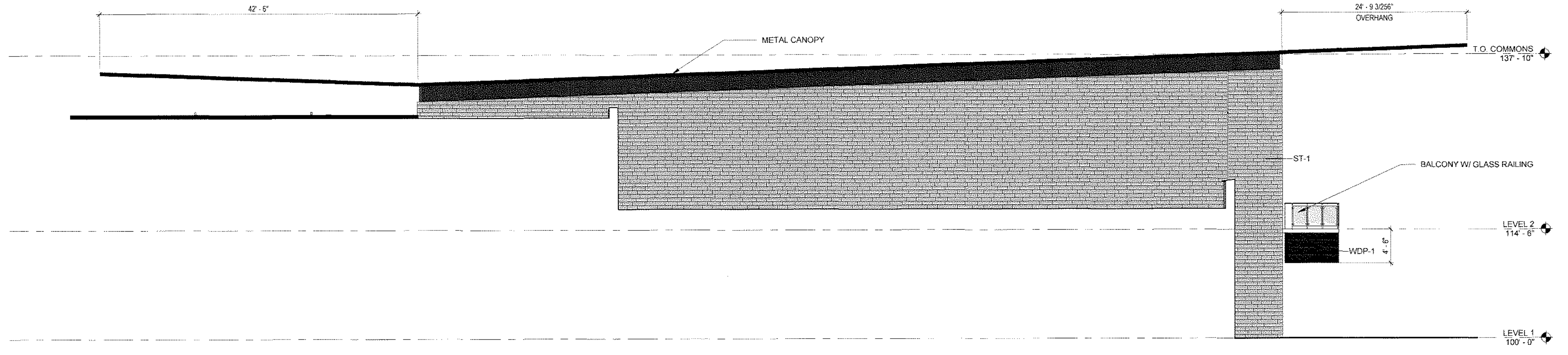
B. J.
Director of Planning and Zoning



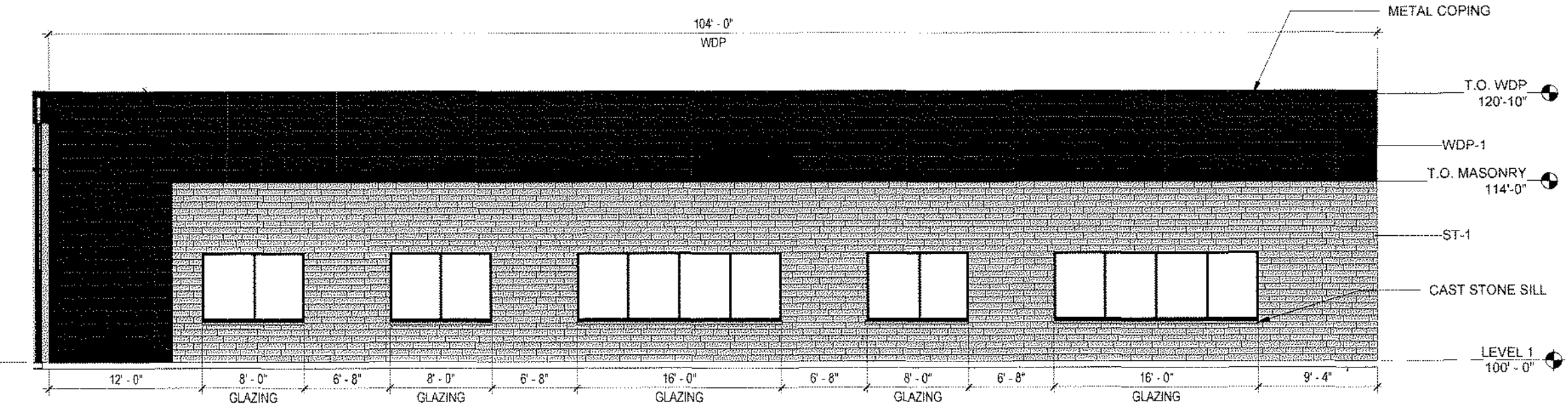
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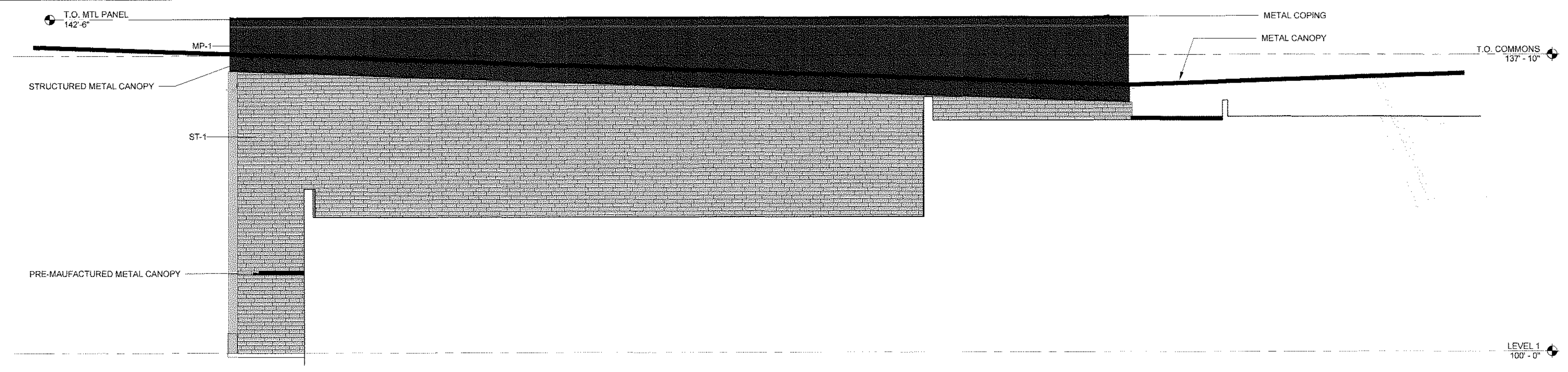
07 EXTERIOR ELEVATION - ATHLETICS - NORTH
1/8" = 1'-0"



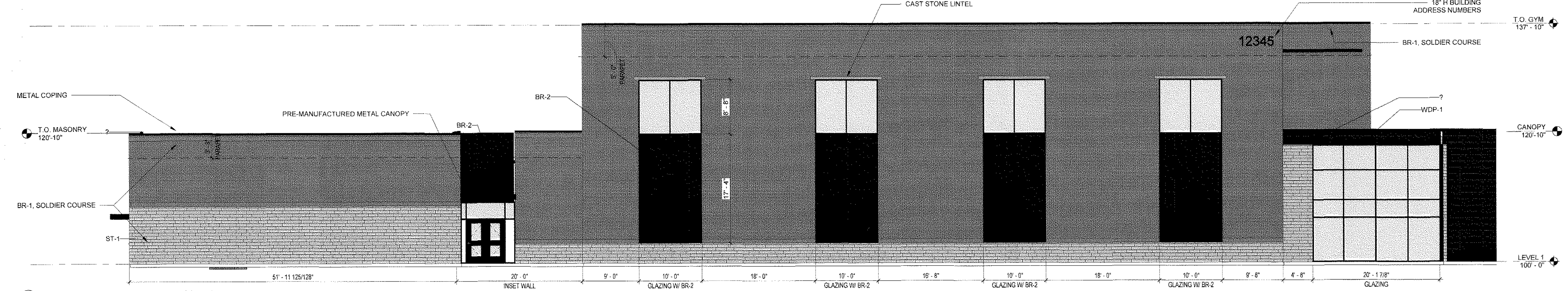
06 EXTERIOR ELEVATION - COMMONS - SOUTH
1/8" = 1'-0"



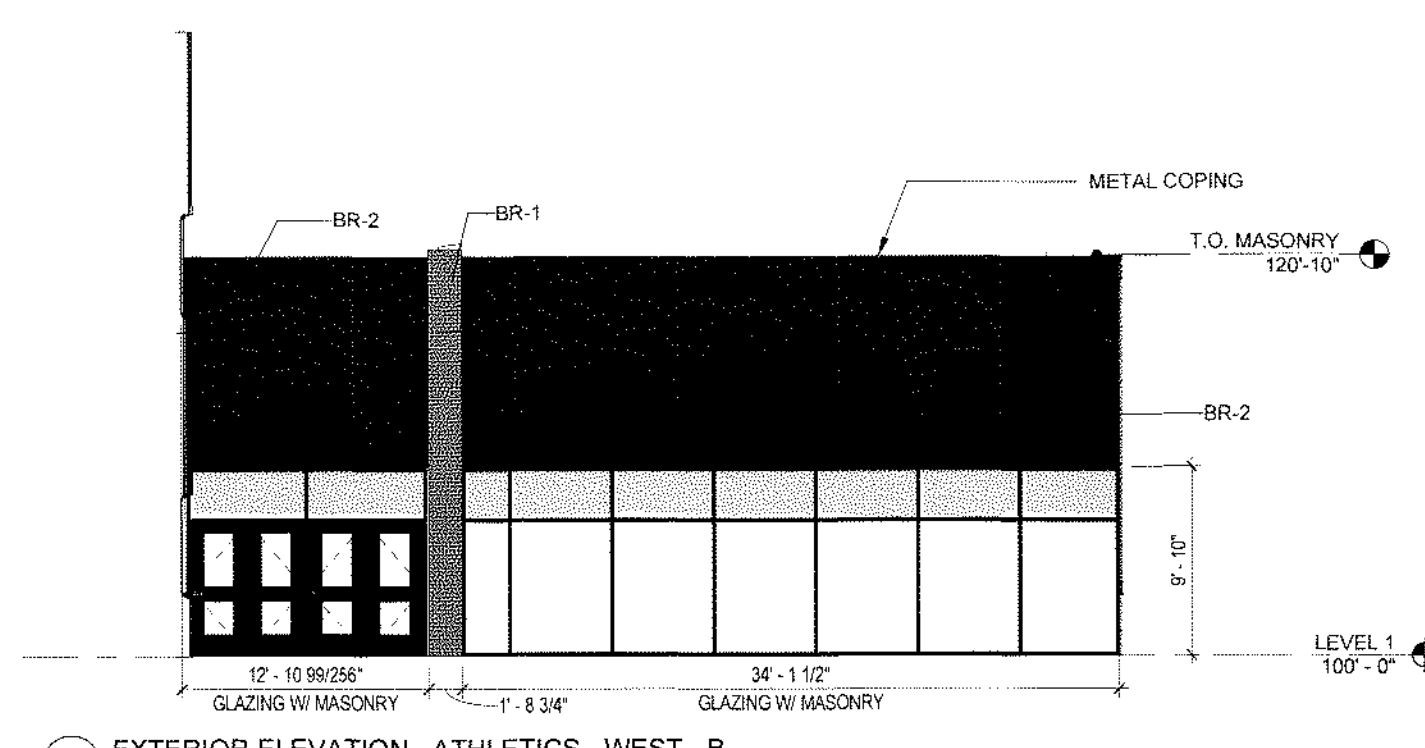
05 EXTERIOR ELEVATION - ADMIN - EAST
1/8" = 1'-0"



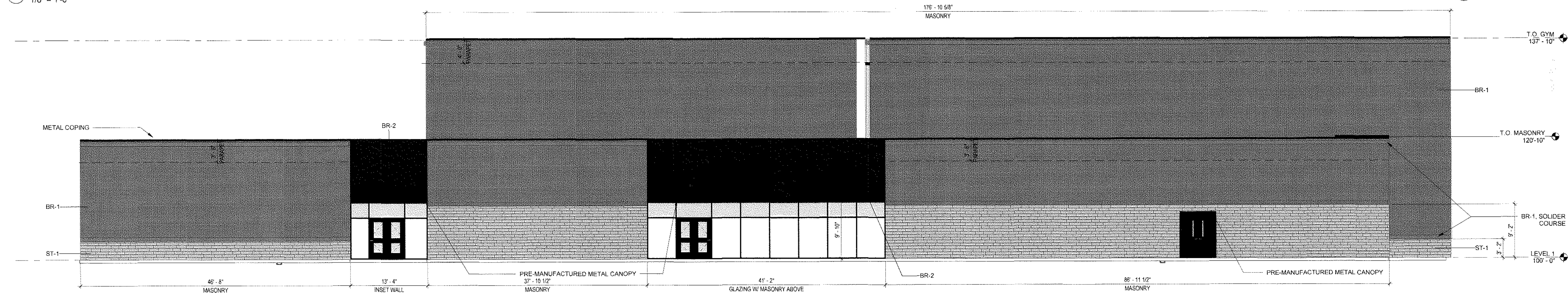
04 EXTERIOR ELEVATION - COMMONS - NORTH
1/8" = 1'-0"



03 EXTERIOR ELEVATION - ATHLETICS - WEST
1/8" = 1'-0"

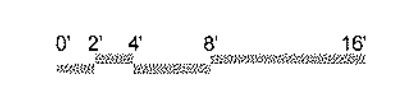


02 EXTERIOR ELEVATION - ATHLETICS - WEST - B
1/8" = 1'-0"



01 EXTERIOR ELEVATION - ATHLETICS - SOUTH
1/8" = 1'-0"

EXT. MATERIALS LEGEND		
	BR-1	BR-2
	ST-1	MP-1
	GL-1	WDP-1



EXTERIOR ELEVATIONS

As indicated

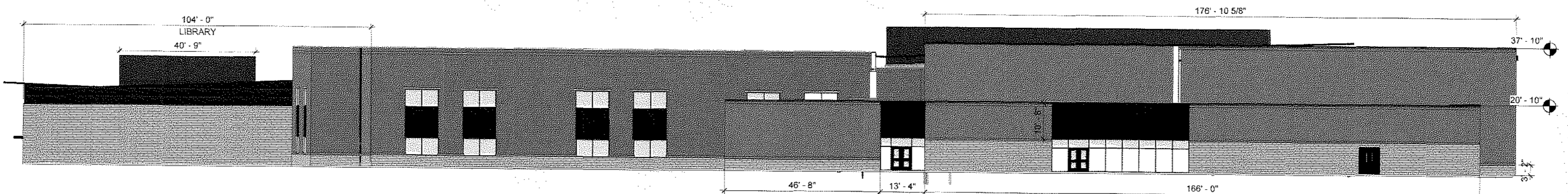
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
WITNESS OUR HANDS, this 21th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

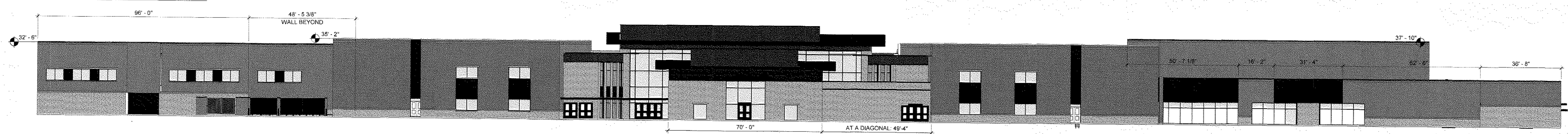


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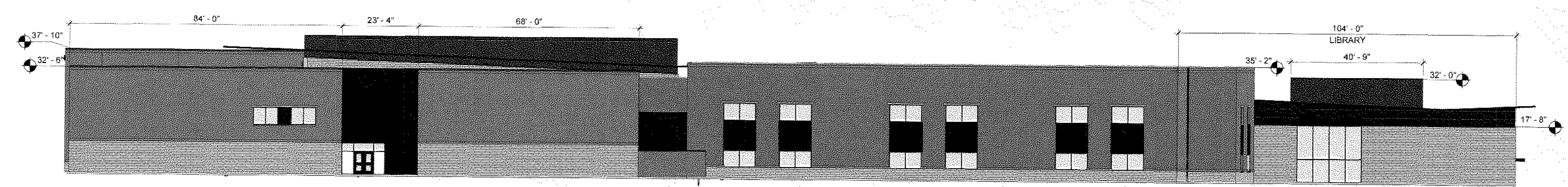
04 OVERALL EXTERIOR ELEVATION - SOUTH
1" = 20'-0"

TOTAL FACADE SQUARE FOOTAGE:	16,308 SF
TOTAL FACADE SF (MINUS GLAZING: 1,001 SF):	15,307 SF
BRICK:	10,658 SF (69.62%)
STONE:	3,225 SF (21.13%)
METAL PANEL:	908 SF (5.93%)
PHENOLIC PANEL:	506 SF (3.31%)
MASONRY PERCENTAGE:	(91%)



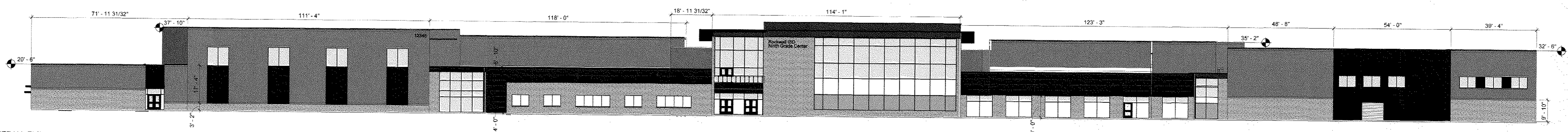
03 OVERALL EXTERIOR ELEVATION - WEST
1" = 20'-0"

TOTAL FACADE SQUARE FOOTAGE:	24,073 SF
TOTAL FACADE SF (MINUS GLAZING: 2,239 SF):	21,834 SF
BRICK:	15,239 SF (69.80%)
STONE:	5,149 SF (23.68%)
METAL PANEL:	1,042 SF (4.77%)
PHENOLIC PANEL:	404 SF (1.85%)
MASONRY PERCENTAGE:	(93%)



02 OVERALL EXTERIOR ELEVATION - NORTH
1" = 20'-0"

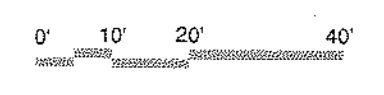
TOTAL FACADE SQUARE FOOTAGE:	16,275 SF
TOTAL FACADE SF (MINUS GLAZING: 1,073 SF):	15,202 SF
BRICK:	10,015 SF (65.85%)
STONE:	3,608 SF (23.73%)
METAL PANEL:	1,109 SF (7.30%)
PHENOLIC PANEL:	470 SF (3.09%)
MASONRY PERCENTAGE:	(90%)



01 OVERALL EXTERIOR ELEVATION - EAST (FACES ROW FM 1141)
1" = 20'-0"

TOTAL FACADE SQUARE FOOTAGE:	24,147 SF
TOTAL FACADE SF (MINUS GLAZING: 5,607 SF):	18,540 SF
BRICK:	11,688 SF (63.04%)
STONE:	4,233 SF (22.83%)
METAL PANEL:	453 SF (2.45%)
PHENOLIC PANEL:	2,138 SF (11.52%)
MASONRY PERCENTAGE:	(86%)

EXT. MATERIALS LEGEND		
	BR-1	
	ST-1	
	MP-1	



EXTERIOR ELEVATIONS - OVERALL

As indicated

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of July, 2022.
WITNESS OUR HANDS, this 29th day of September, 2022.

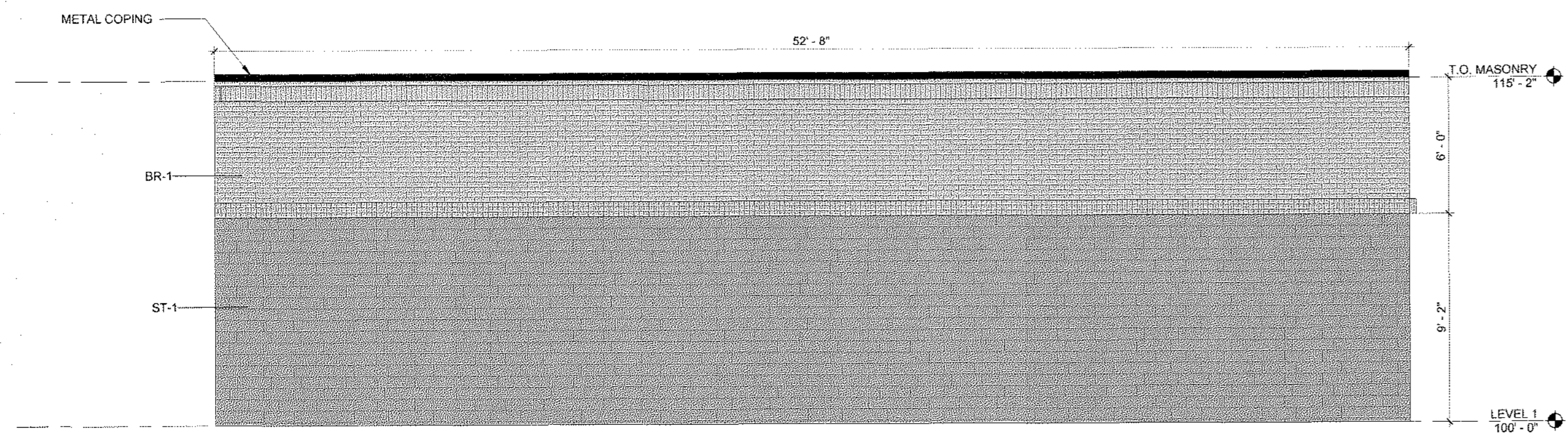
[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning



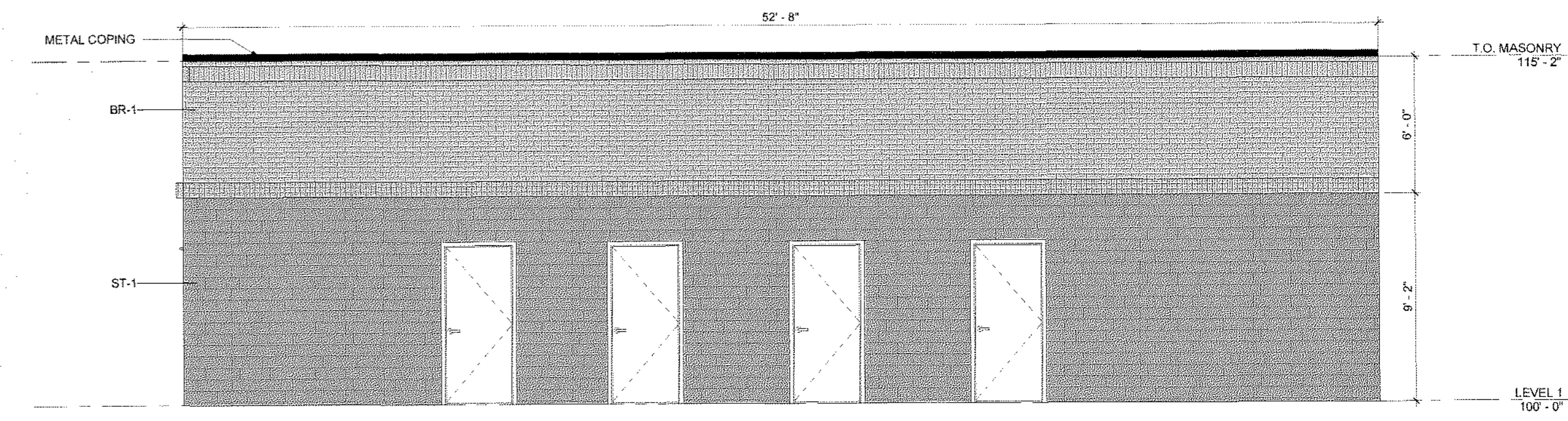
This Document was produced by or under the authority of INSERT NAME HERE

This document is incomplete and may not be used for regulatory approval, permit or construction.



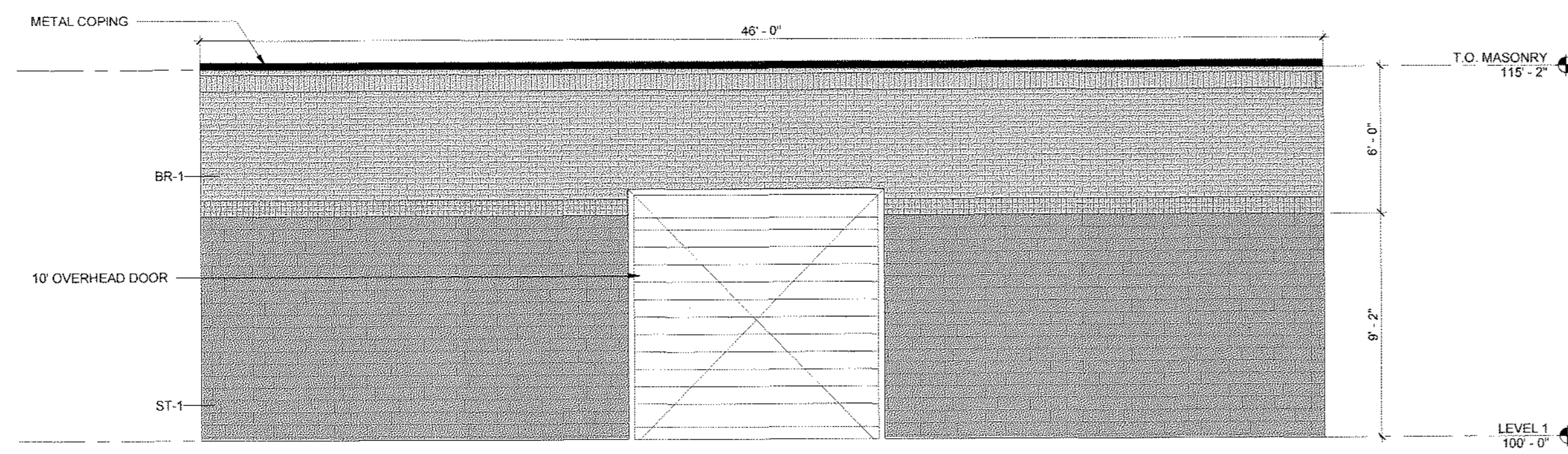
04 EXTERIOR ELEVATION - TENNIS BUILDING - NORTH
1/4" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 798 SQ FT
BRICK: 316 SQ FT
STONE: 482 SQ FT (60%)



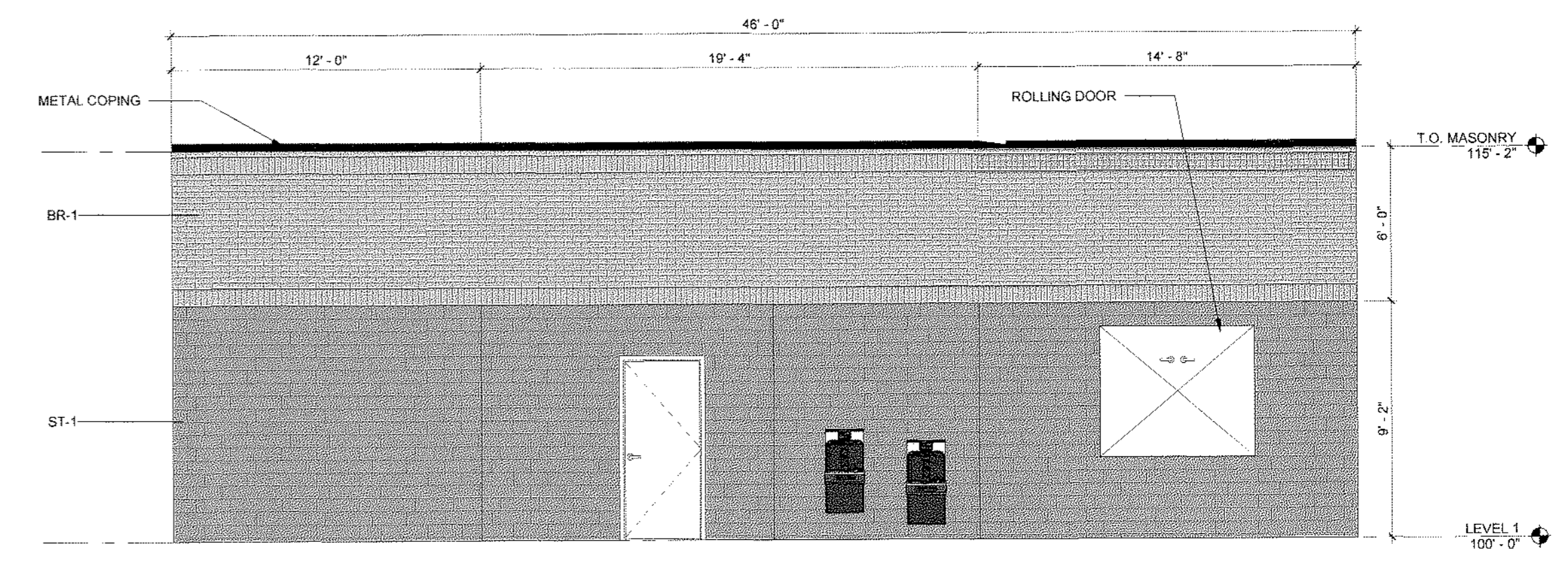
03 EXTERIOR ELEVATION - TENNIS BUILDING - SOUTH
1/4" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 703 SQ FT
BRICK: 318 SQ FT
STONE: 387 SQ FT (55%)



02 EXTERIOR ELEVATION - TENNIS BUILDING - EAST
1/4" = 1'-0"

TOTAL FACADE SQUARE FOOTAGE: 590 SQ FT
BRICK: 264 SQ FT
STONE: 325 SQ FT (55%)



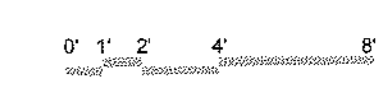
01 EXTERIOR ELEVATION - TENNIS BUILDING - WEST
1/4" = 1'-0"

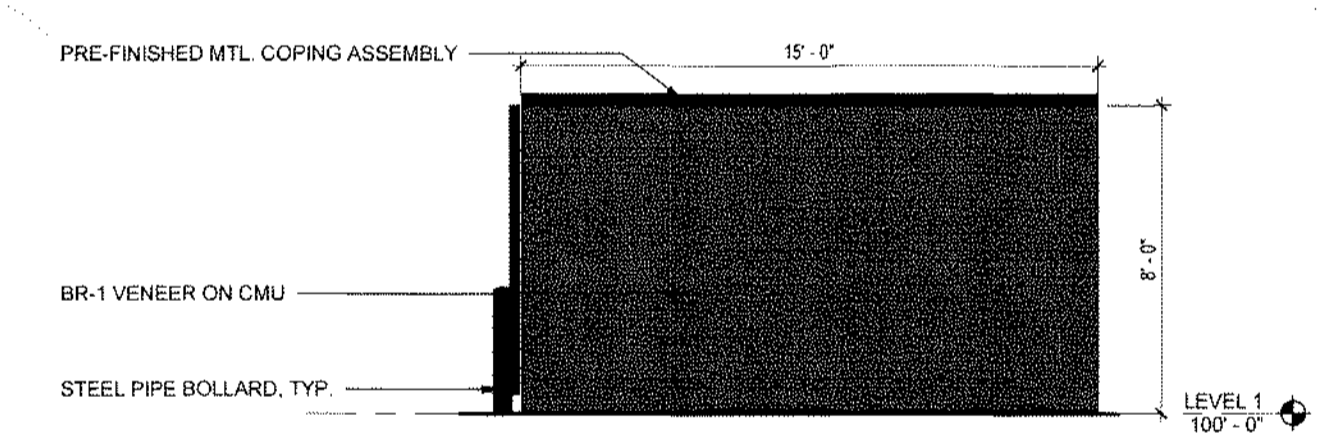
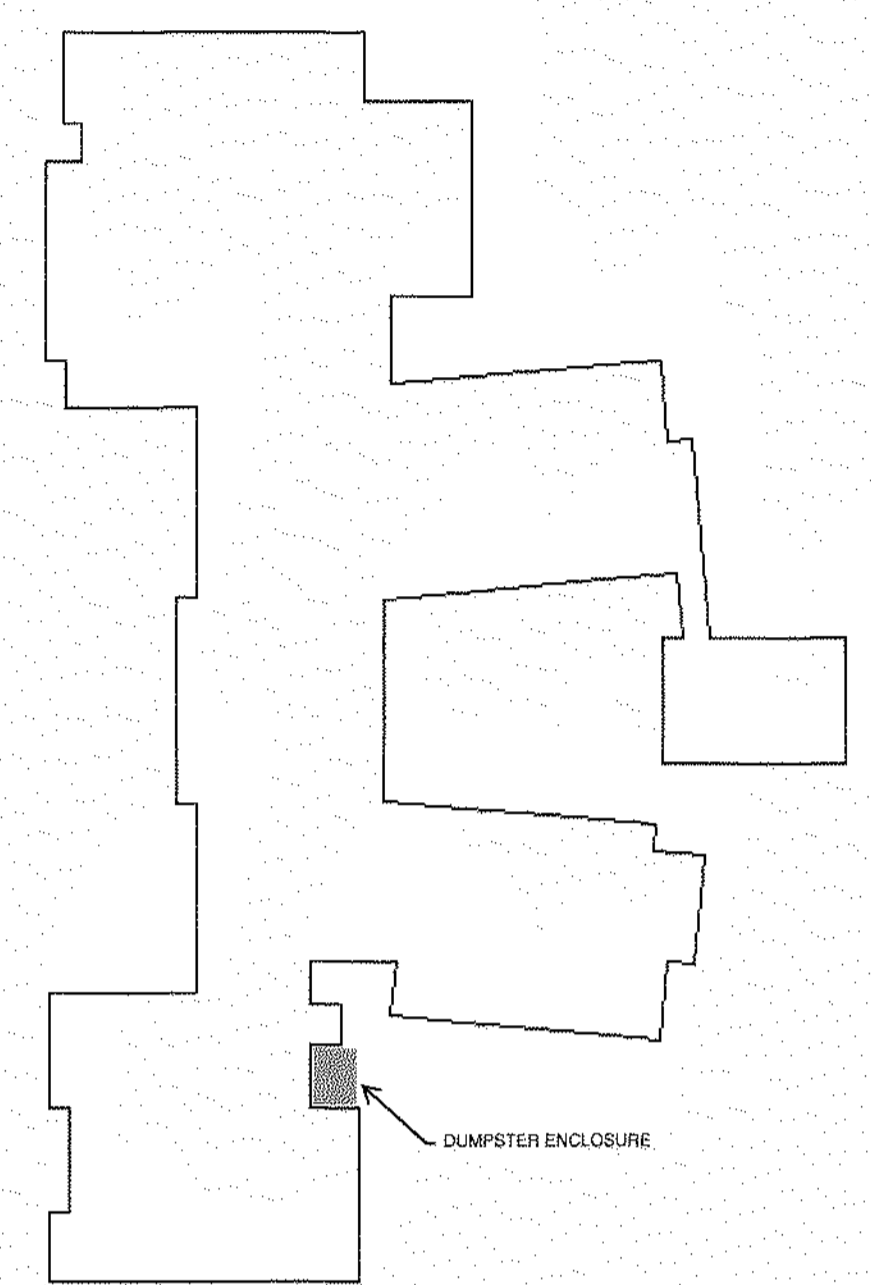
TOTAL FACADE SQUARE FOOTAGE: 643 SQ FT
BRICK: 279 SQ FT
STONE: 367 SQ FT (57%)

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
WITNESS OUR HANDS, this 29th day of September, 2022.

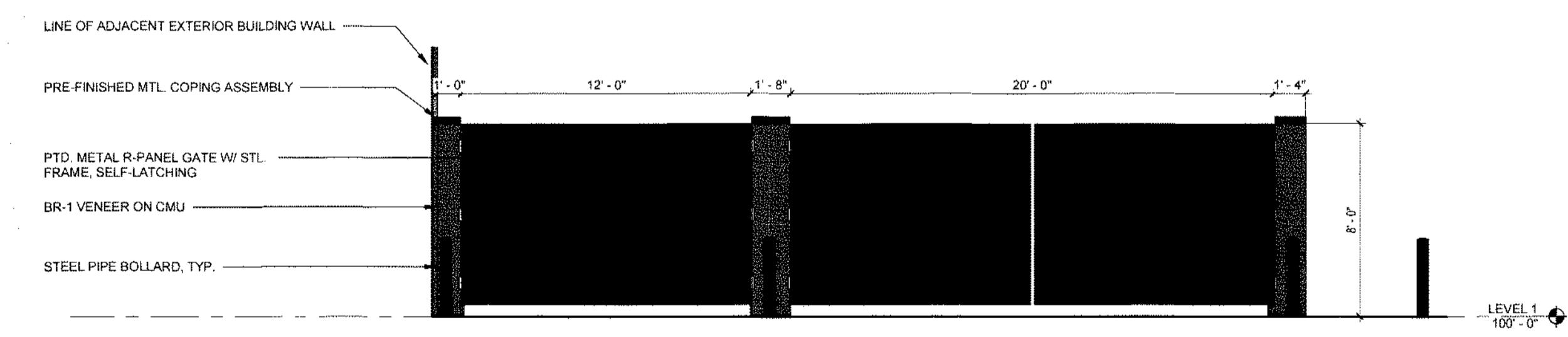
[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

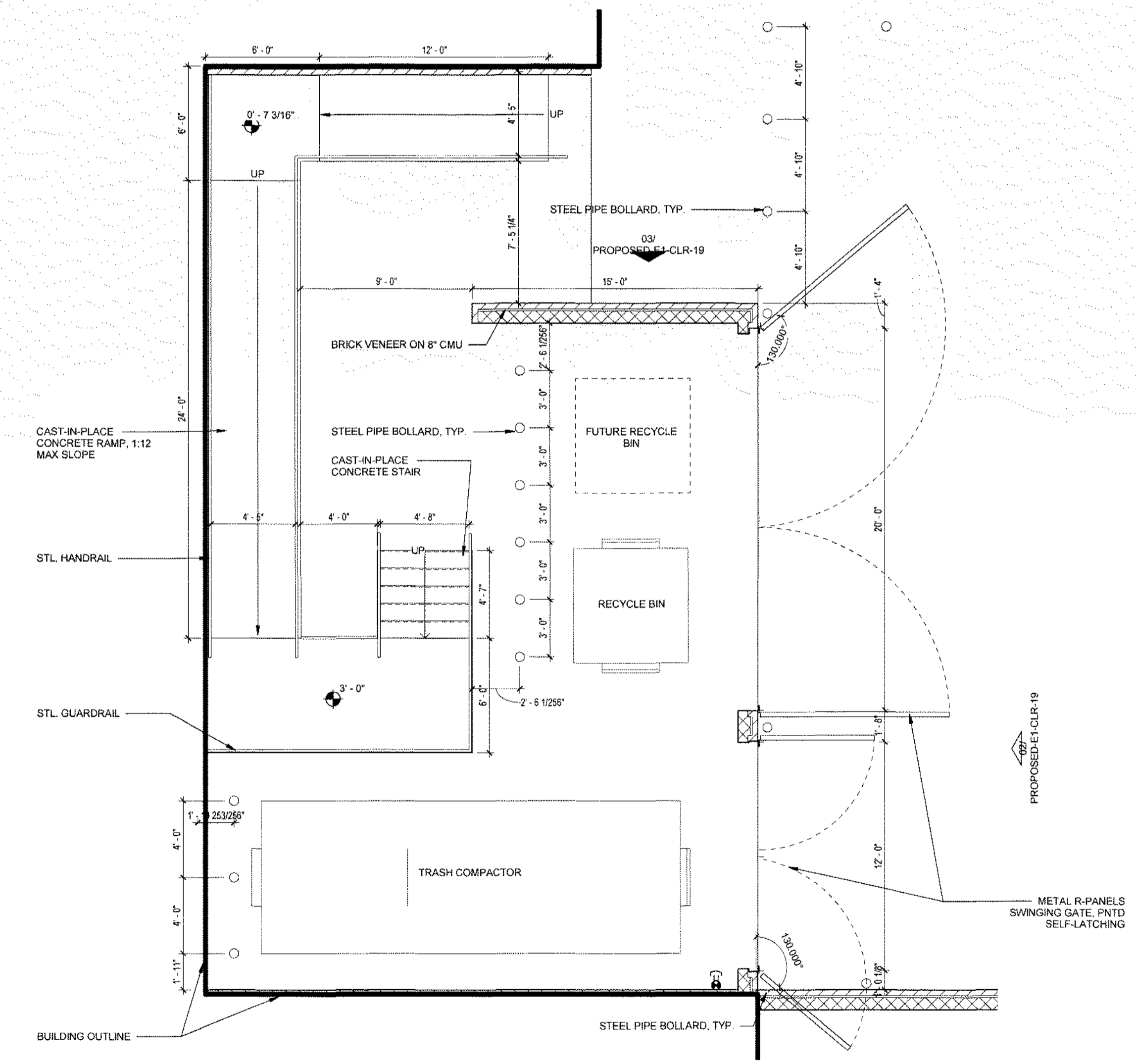




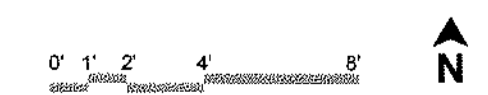
03 EXTERIOR ELEVATION - DUMPSTER SIDE WALL
1/4" = 1'-0"



02 EXTERIOR ELEVATION - DUMPSTER GATE
1/4" = 1'-0"



01 DUMPSTER ENCLOSURE - PLAN
1/4" = 1'-0"



DUMPSTER ENCLOSURE EXHIBIT

1/4" = 1'-0"

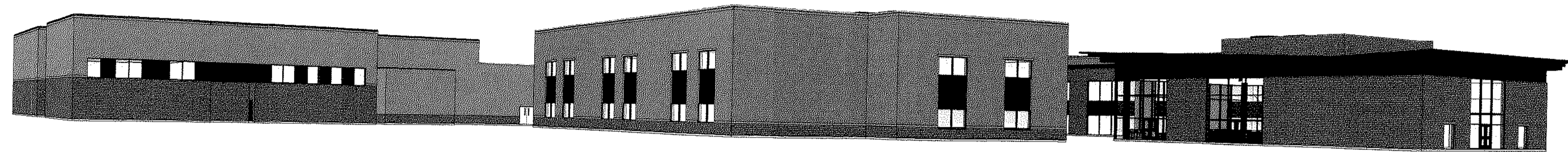
APPROVED:
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WITNESS OUR HANDS, this 29th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

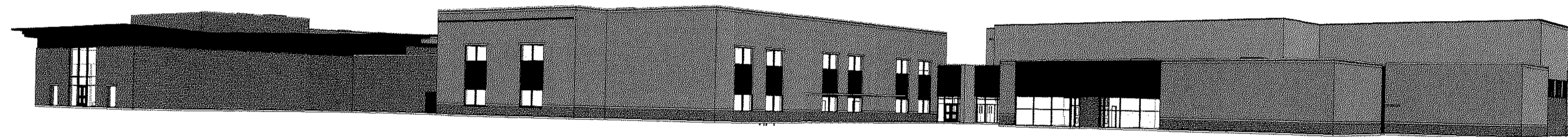
[Signature]
Director of Planning and Zoning



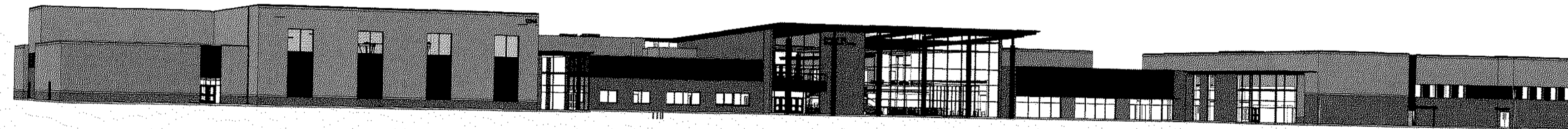
This document is incomplete and may not be used for regulatory approval, permit or construction.



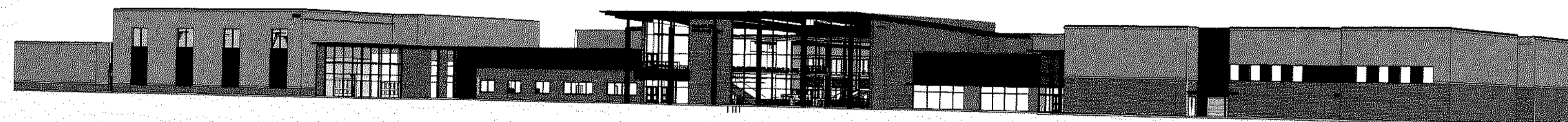
4 3D BUILDING VIEW - SOUTHEAST CORNER
N.T.S.



3 3D BUILDING VIEW - NORTHEAST CORNER
N.T.S.



2 3D BUILDING VIEW - NORTHWEST CORNER
N.T.S.



1 3D BUILDING VIEW - SOUTHWEST CORNER
N.T.S.



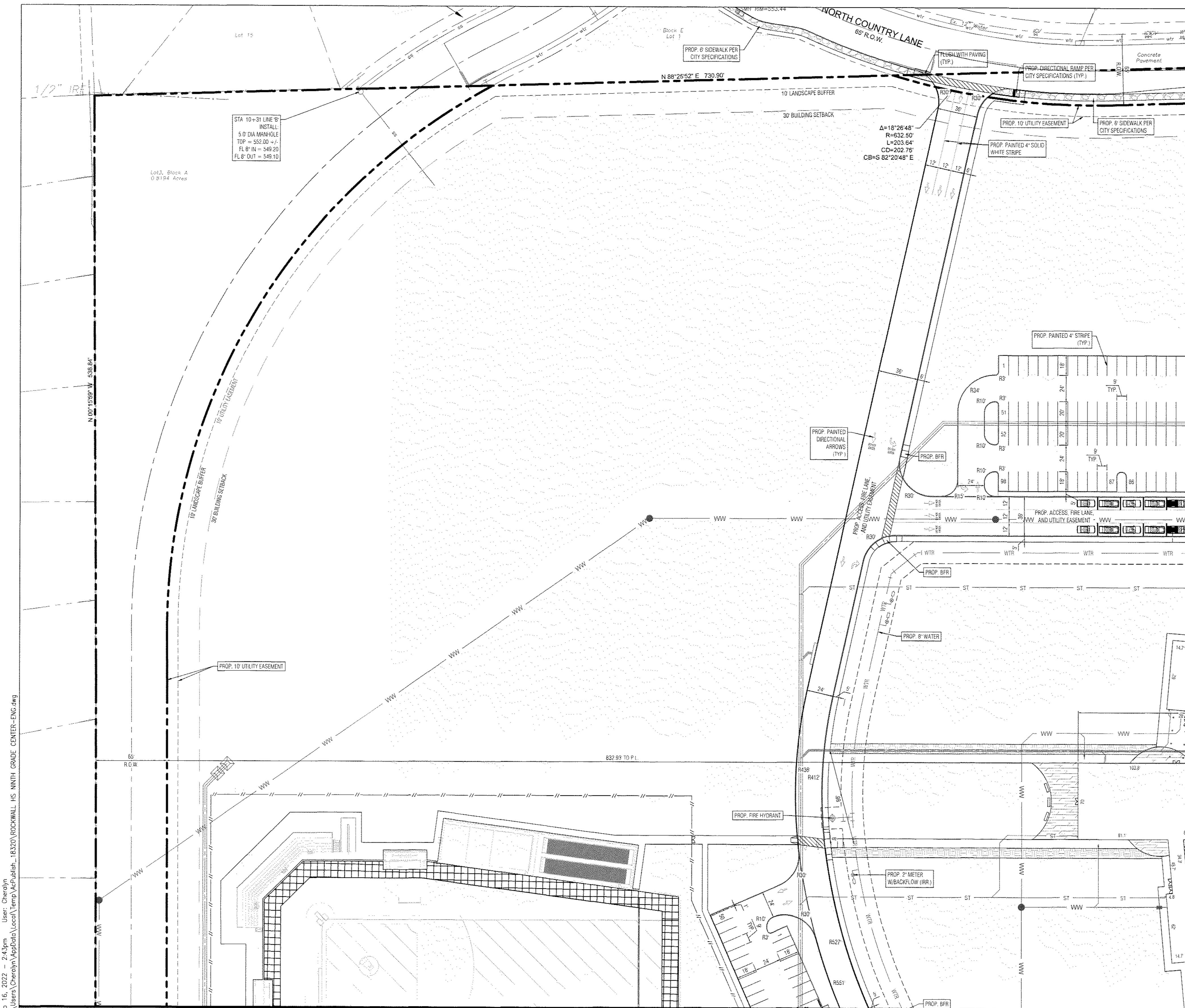
3D RTU SCREENING VIEWS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18th day of July, 2022.
WITNESS OUR HANDS, this 29th day of August, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning



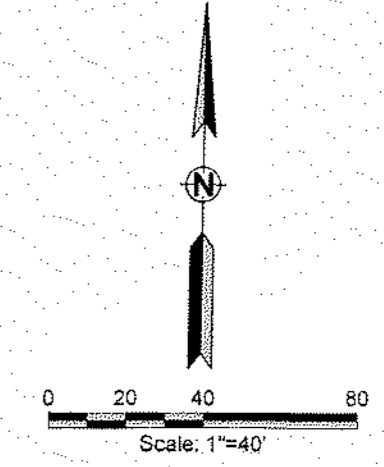
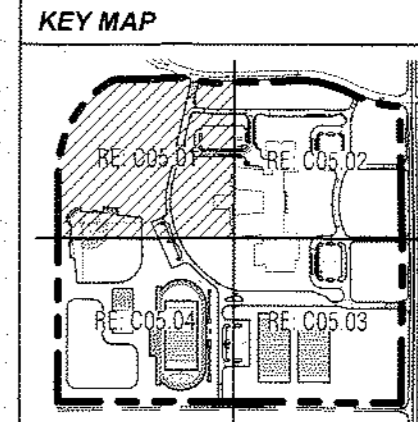


SITE LEGEND (PROPOSED)

CONCRETE CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
ORNAMENTAL FENCE
PAINTED 18" HIGH DIRECTIONAL ARROWS
PAINTED 18" HIGH DIRECTIONAL ARROWS
PLANTING AREAS
RE LANDSCAPE
PROPERTY LINE
WASTEWATER
10' MASONRY SCREENING WALL
SEWER (PRIVATE)
SEWER (PUBLIC)
WTR
WATER

SITE LEGEND (EXISTING)

CONCRETE CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
FENCE
PROPERTY LINE
WASTEWATER
STORM SEWER
WTR
WATER



ALL RETAINING WALL FACES TO BE CLAD IN STONE.

CORGAN

CORGAN
Dallas, TX 75202
T: 214.748.2000

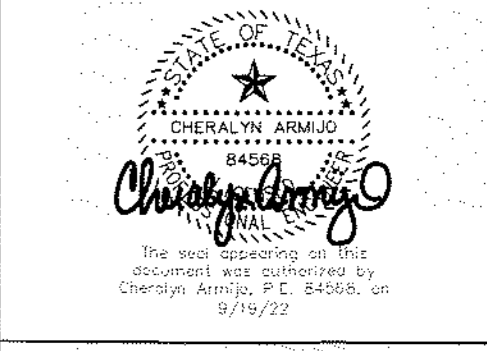
ISSUES

1	08/26/22	ISSUE FOR CONSTRUCTION
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REVISIONS

△	9/8/2022	ADDENDUM 1
△	9/19/2022	ADDENDUM 2

GLENN ENGINEERING
TEXAS REGISTRATION # P-303
PHONE: 972.717.5151 FAX: 972.717.5175
4800 FULLER DRIVE, SUITE 200 IRVING, TEXAS 75038



NINTH GRADE CENTERS NORTH SITE
for
Rockwall Independent School District
2852 FM 1141 Rockwall, TX 75087

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
WITNESS OUR HANDS: the Mayor of the City of Rockwall, Texas, this 12th day of July, 2022.

[Signature]
Mayor of Planning and Zoning

Rockwall - NINTH GRADE CENTER
LOT 1, BLOCK A
OUT OF THE
JOHN M. GASS SURVEY, ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL USD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
1200 W. MCKENZIE BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(714) 484-6586
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
4800 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERYL M. ARNUO

CITY OF ROCKWALL CASE NO. SP2022-017
CITY OF ROCKWALL CASE NO.

DETAILED NORTHWEST SITE PLAN

JOB 21572.0000
DATE 9/19/22
SHEET
C05.01

Sep 16, 2022 - 2:43pm User: Cheryl C:\Users\Cheryl\AppData\Local\Temp\AcPublish... 18320\ROCKWALL HS NINTH GRADE CENTER - ENG.dwg

MATCH LINE RE: C05.04 - DETAILED SOUTHWEST SITE PLAN

MATCH LINE RE: C05.02 - DETAILED NORTHEAST SITE PLAN

Calculation Summary				
Label	CalcType	Avg	Max	Min
AREA LIGHTING	Illuminance	0.19	3.0	0.0
DRIVEWAY	Illuminance	0.62	13.7	0.0
PARKING LOT	Illuminance	1.33	3.0	0.0
PROPERTY LINE	Illuminance	0.05	0.1	0.0

**SITE PLAN PHOTOMETRIC CALCULATIONS
GENERAL NOTES**

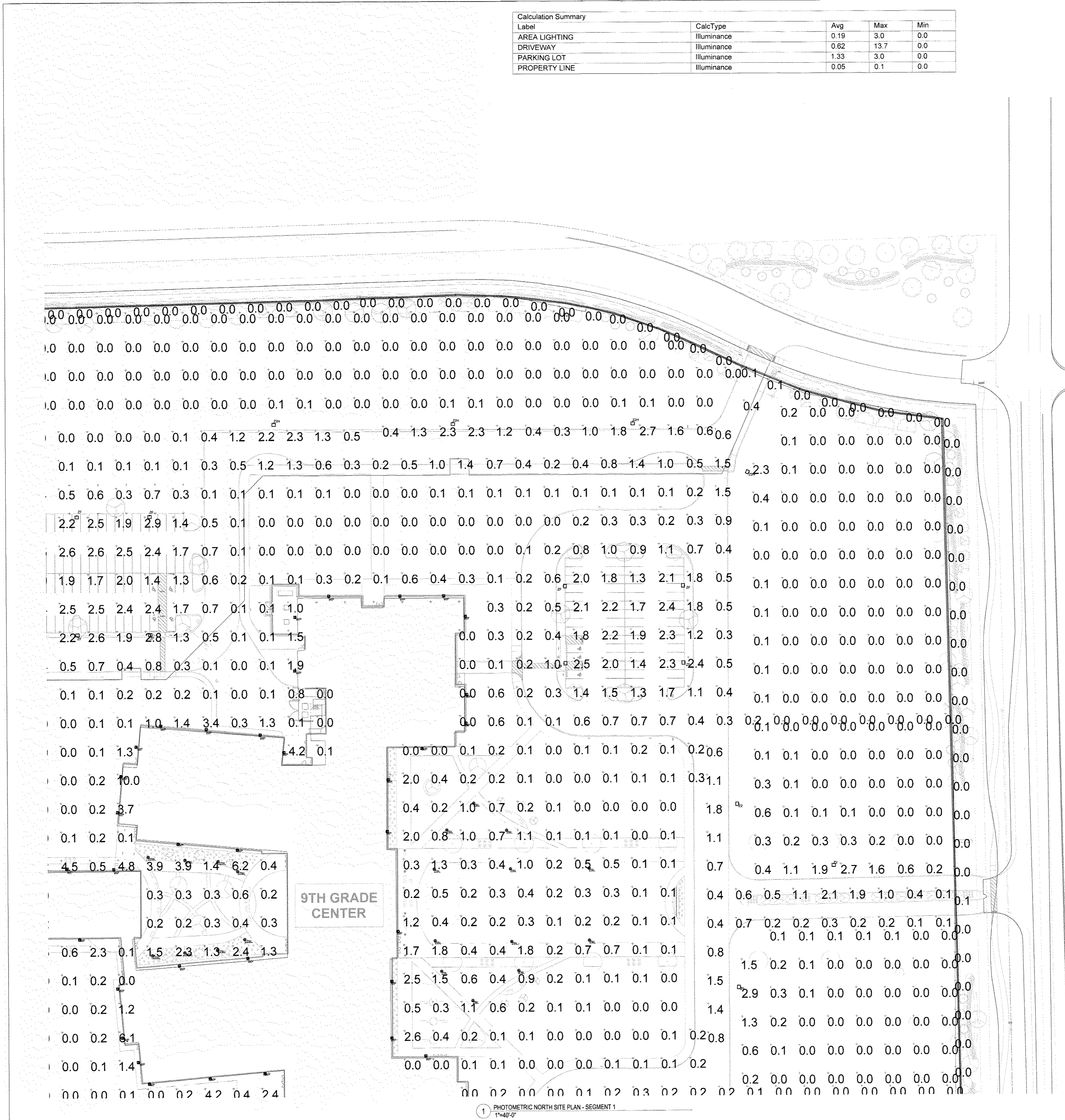
- THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL, TX OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
- ALL CALCULATION POINTS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
- LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

CORGAN

CORGAN
www.corgan.com
T: 214.748.2000

ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
2	
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10	

REVISIONS	
1	08/08/2022 ADDENDUM 01



**NINTH GRADE CENTERS
NORTH SITE**
for
Rockwall Independent School District
2727 S. John King Blvd, Rockwall, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.
WITNESS OUR HANDS, this 29th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

EMA Engineering and Consulting
Tyler | Austin | Houston | El Paso
DFW | San Antonio | Shreveport
TBPE Firm Registration No. F-893
Website: www.EMAengineer.com
Phone: 1-800-933-0538

DESIGN SOLVE ENHANCE

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

PHOTOMETRIC
NORTH SITE PLAN
- SEGMENT 1

JOB 21572.0000
DATE 08/26/2022
SHEET
E01-01.5

1 PHOTOMETRIC NORTH SITE PLAN - SEGMENT 1
1"=40'-0"

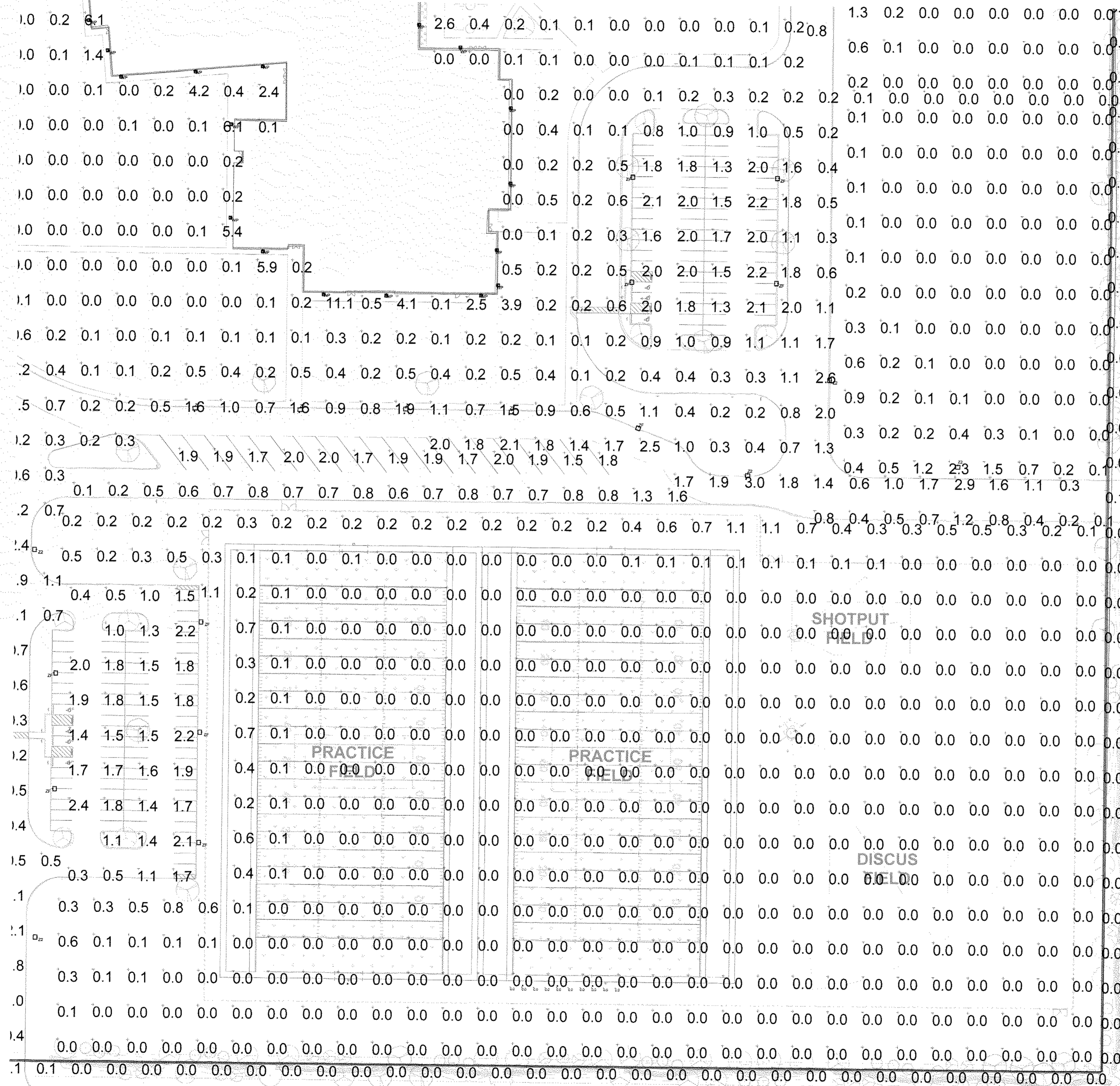
Label	CalcType	Avg	Max	Min
AREA LIGHTING	Illuminance	0.19	3.0	0.0
DRIVEWAY	Illuminance	0.62	13.7	0.0
PARKING LOT	Illuminance	1.33	3.0	0.0
PROPERTY LINE	Illuminance	0.05	0.1	0.0

SITE PLAN PHOTOMETRIC CALCULATIONS
GENERAL NOTES

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CORGAN

CORGAN
www.corgan.com
T. 214.745.2000



ISSUES	
1	08/26/22 ISSUE FOR CONSTRUCTION
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REVISIONS	
1	09/08/2022 ADDENDUM 01



NINTH GRADE CENTERS
NORTH SITE
for
Rockwall Independent School District
2727 S. John King Blvd, Rockwall, TX 75032

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WITNESS OUR HANDS, this 29th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

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PHOTOMETRIC
NORTH SITE PLAN
- SEGMENT 2

JOB 21572.0000
DATE 08/26/2022
SHEET
E01-01.6

Calculation Summary				
Label	CalcType	Avg	Max	Min
AREA LIGHTING	Illuminance	0.19	3.0	0.0
DRIVEWAY	Illuminance	0.62	13.7	0.0
PARKING LOT	Illuminance	1.33	3.0	0.0
PROPERTY LINE	Illuminance	0.05	0.1	0.0

**SITE PLAN PHOTOMETRIC CALCULATIONS
GENERAL NOTES**

1. THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL, TX OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
2. ALL CALCULATION POINTS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
3. LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AG32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

CORGAN

CORGAN
www.corgan.com
T: 214.745.2000

ISSUES

1	08/26/22	ISSUE FOR CONSTRUCTION
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REVISIONS

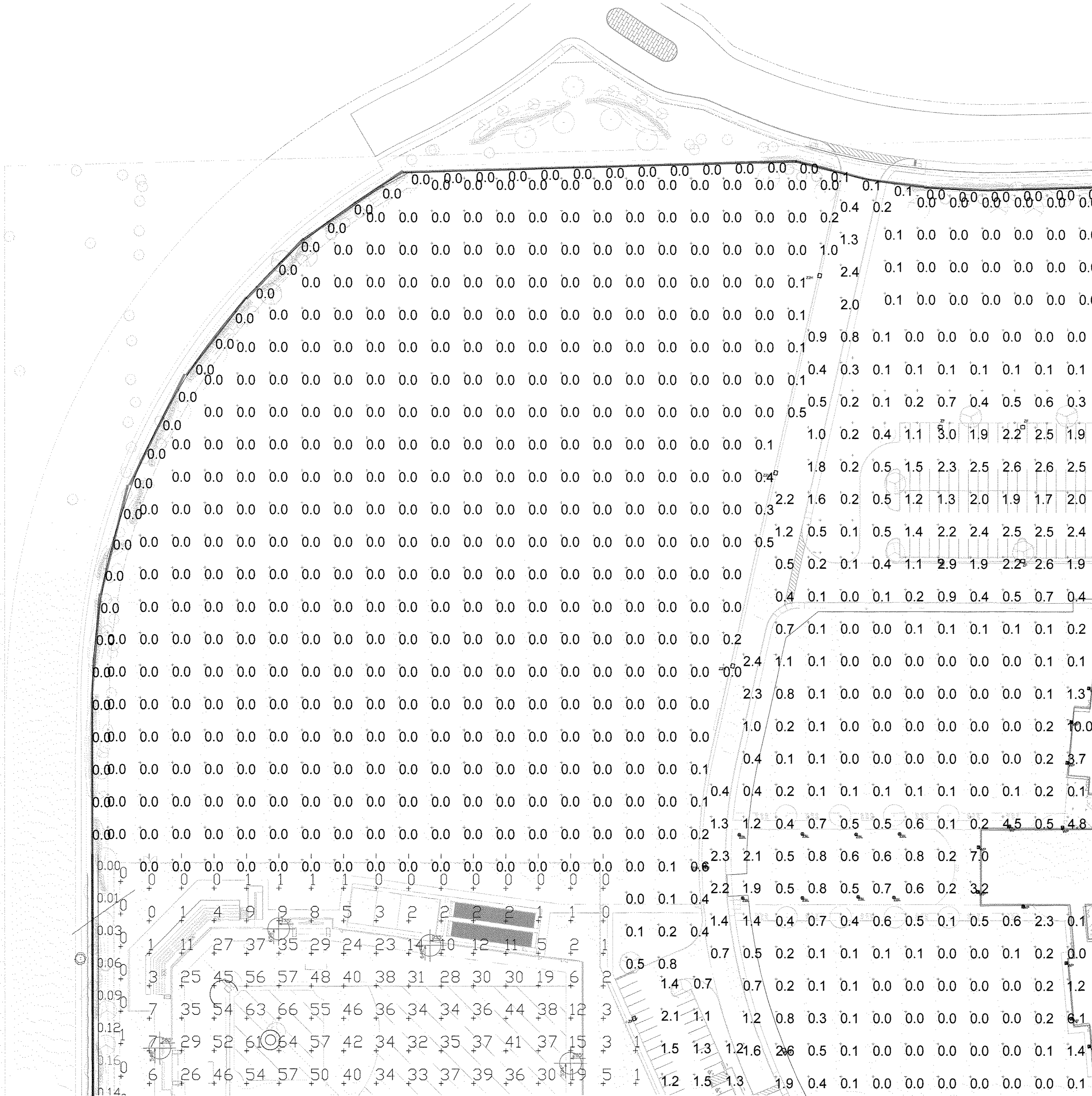
1	09/08/2022	ADDENDUM 01
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**NINTH GRADE CENTERS
NORTH SITE**

for
Rockwall Independent School District

2727 S. John King Blvd., Rockwall, TX 75032



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of July, 2022.
WITNESS OUR HANDS, this 29th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

EMA EMA Engineering and Consulting
Tyler | Austin | Houston | El Paso
DFW | San Antonio | Shreveport
TBP Firm Registration No. F-893
Website: www.EMAengineer.com
Phone: 1.800.933.0538

DESIGN SOLVE ENHANCE
SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.
1 082 0079 002

PHOTOMETRIC
NORTH SITE PLAN
- SEGMENT 4

JOB 21572.0000
DATE 08/26/2022

SHEET
E01-01.8