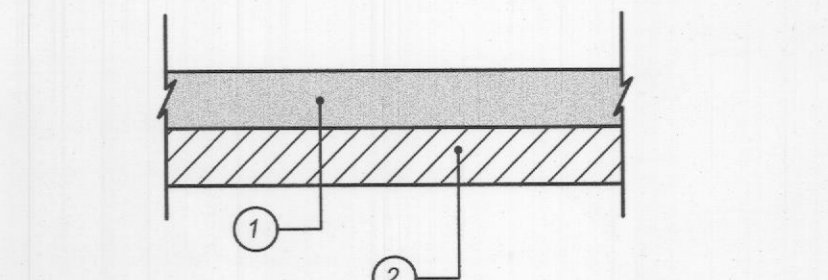


- REINFORCED CONCRETE SIDEWALK SECTION**
N.T.S.
- 4"-3,000 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 3 BARS @ 24" ON CENTER BOTH WAYS. EXPANSION JOINTS TO BE PROVIDED EVERY 115' AND AT ALL RADIUS POINTS. 1" DEEP SAW JOINTS TO BE CUT INTO SIDEWALK EVERY 5'. (5.5 SACK MIX MIN.)
 - 6" COMPACTED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95%. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



- PARKING AREA CONCRETE PAVEMENT SECTION**
N.T.S.
- 5"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS @ 18" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
 - 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

SITE INFORMATION	
LAND AREA:	2.768 ACRES (120,574 SF)
CURRENT ZONING:	PD-57
EXISTING USE:	UNUSED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	± 32,420 SF
BUILDING HEIGHT:	29'-8"
BUILDING TO LOT COVERAGE:	32,420/120,574 = 26.9%
BUILDING REQUIRED PARKING:	COMMERCIAL: 1/300 S.F. = 108 SPACES
BUILDING PARKING PROVIDED:	112
IMPERVIOUS AREA:	92,260 SF
LANDSCAPE AREA REQUIRED:	15% OF TOTAL SITE
LANDSCAPE AREA PROVIDED:	28,372 SF (0.65 AC.) = 23.5% OF TOTAL SITE

LEGEND	
	PROPOSED SIDEWALK
	PROPOSED STANDARD DUTY PAVEMENT
	PROPOSED LIGHT POLES
	PROPOSED WATER METER AND BACKFLOW
	PROPOSED SANITARY SEWER MANHOLE

NOTE: ALL TRASH BINS SHOWN ON THE SITE PLAN ARE FOR ROLL AWAY TRASH AND RECYCLE CONTAINERS.

LEGAL DESCRIPTION
BLOCK 1 OF ALLIANCE ADDITION PHASE 2 RECORDED AS INSTRUMENT NO. 20140000011317 ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING 2.768 ACRES SITUATED IN THE W.W. FORD SURVEY, ABST. NO. 80 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

OWNER INFORMATION
RANDALL NOE
NH LEGACY PARTNERS, LP.
P.O. BOX 818
TERRELL, TX 75160

ENGINEER INFORMATION
CAMERON SLOWN
TEAGUE, NALL AND PERKINS, INC.
825 WATTERS CREEK BLVD, SUITE M300
ALLEN, TX 75013

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the 12 day of April, 2022.
Witness our hands this 12th day of July, 2022.
Cameron Slown, Director of Planning & Zoning

CASE NUMBER: SP2022-013

NOT FOR CONSTRUCTION

no.	revision	by	date



teague nall and perkins, inc
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnppinc.com
TPELS: ENGR F-230; SURV 10011600, 10011601, 1019438
GBPE: PEF007431; TBAE: BR 2673

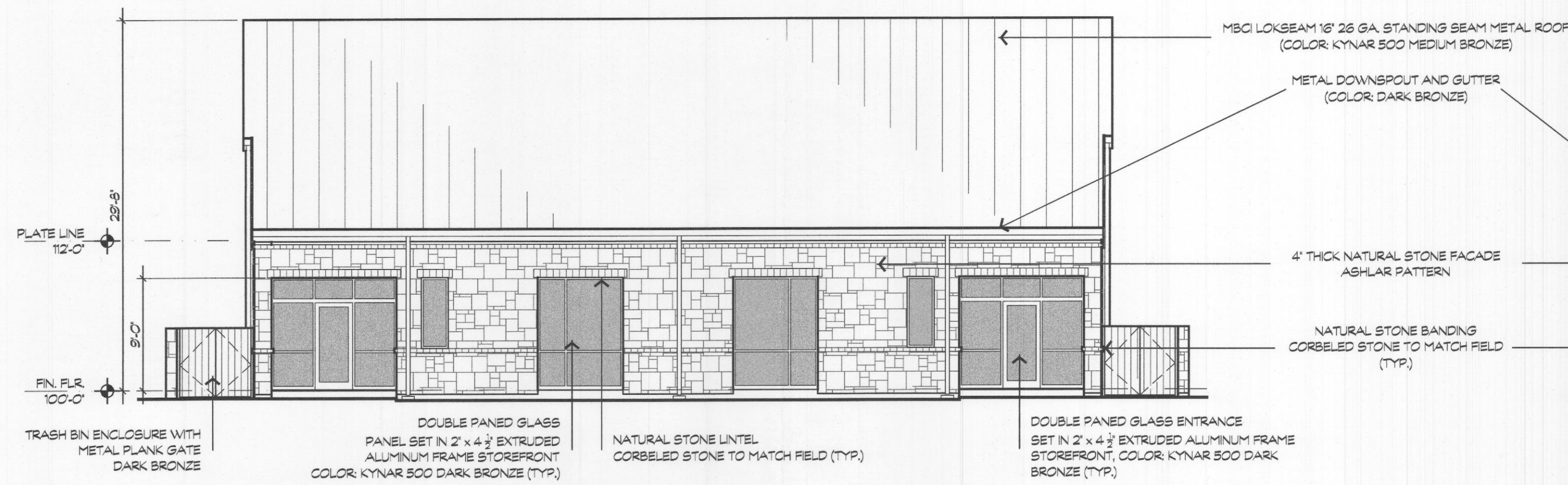
This document is for interim review and is not intended for construction, bidding or permit purposes.
CAMERON SLOWN, P.E. Date: 04/05/2022
Tx. Reg. # 106317

scale when bar is 1 inch long
horiz 1"=30'
vert N/A
APR 2022

NH LEGACY PARTNERS, LP.
P.O. BOX 818
Terrell, TX 75160

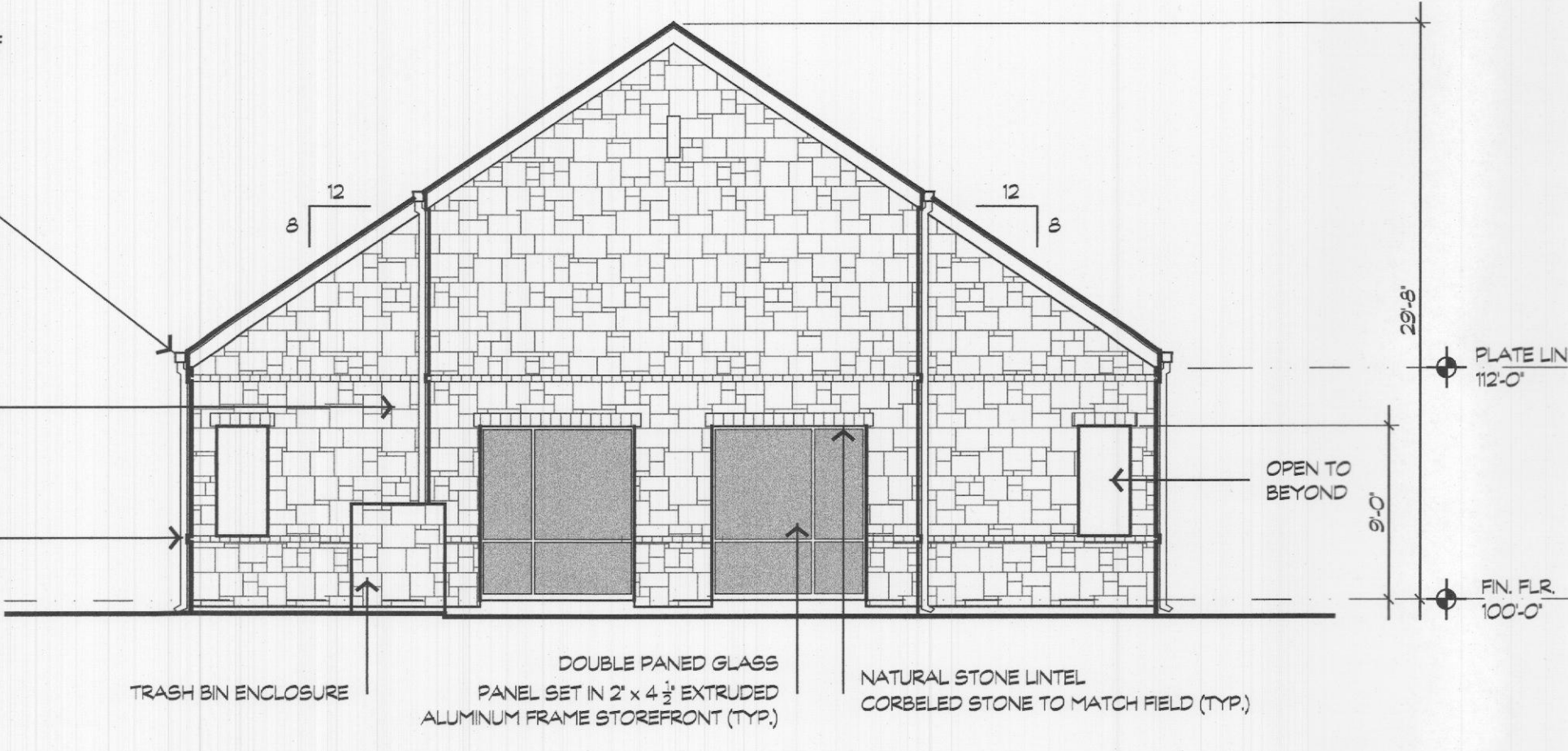
Rockwall, Texas
Improvements for
ALLIANCE DRIVE - 8-LOT DEVELOPMENT
SITE PLAN

tnp project RNP22123
sheet 1 of 1



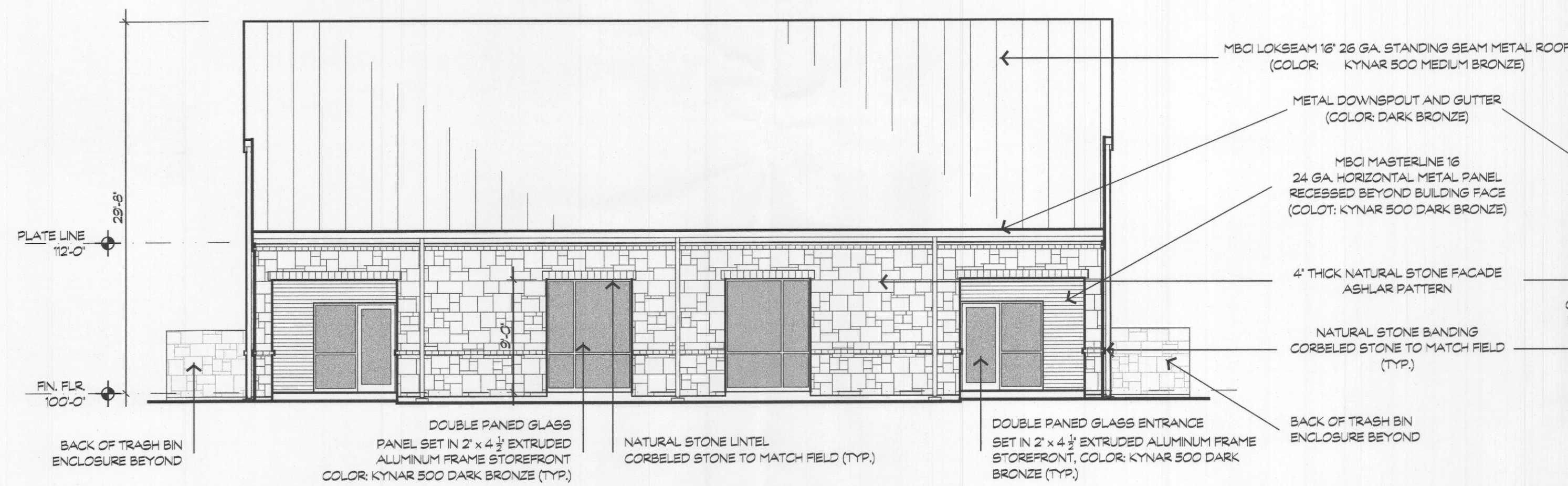
1 Building "A" Front Elevation, West or East

Scale: 1/8" = 1'-0"
 MATERIALS:
 MASONRY AREA LESS GLASS: 577 S.F. (100%)



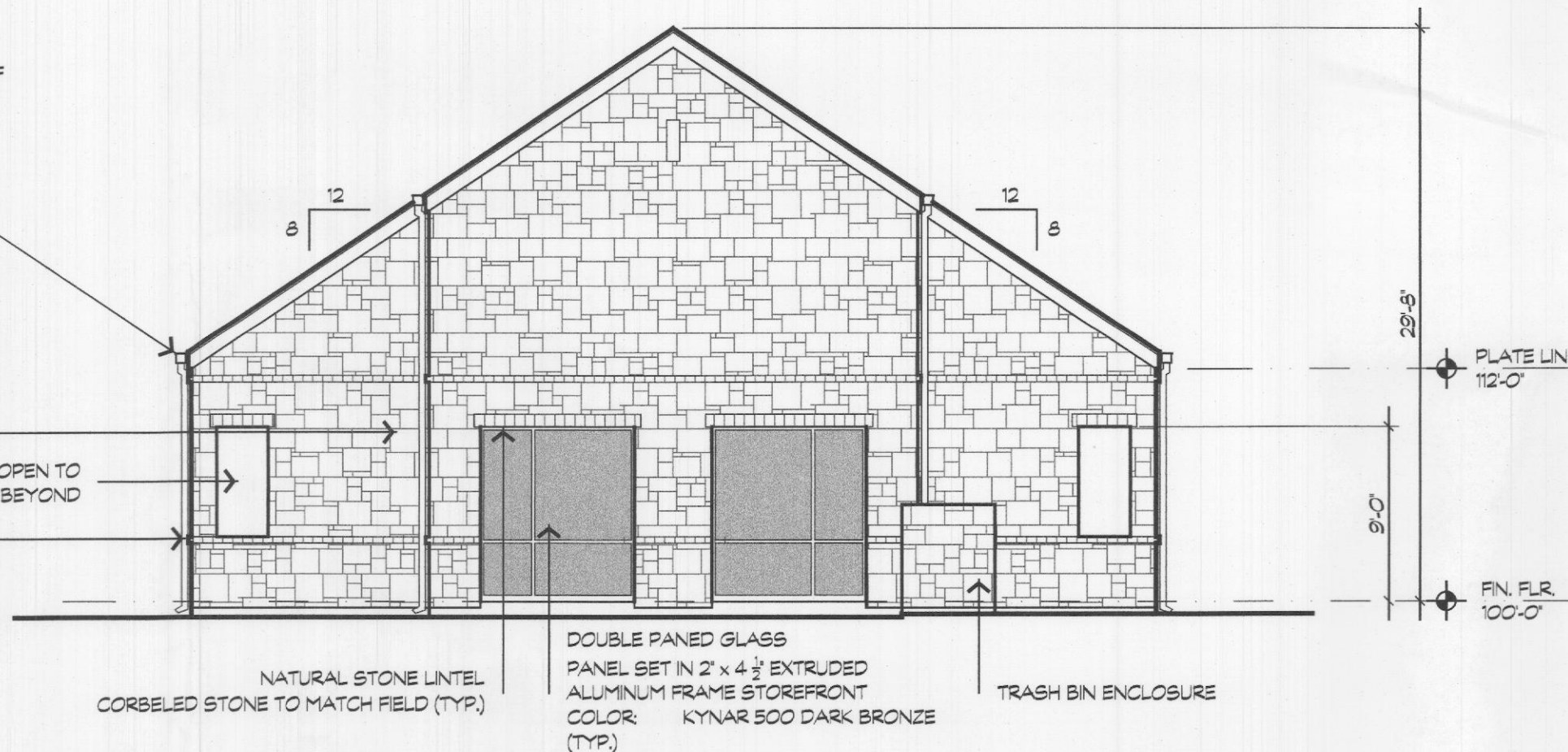
4 Building "A" Right Elevation, North or South

Scale: 1/8" = 1'-0"
 MATERIALS:
 MASONRY AREA LESS GLASS: 689 S.F. (100%)



3 Building "A" Back Elevation, West or East

Scale: 1/8" = 1'-0"
 MATERIALS:
 MASONRY AREA LESS GLASS: 548 S.F. (87%)
 ARCHITECTURAL PANEL: 84 S.F. (13%)



2 Building "A" Left Elevation, North or South

Scale: 1/8" = 1'-0"
 MATERIALS:
 MASONRY AREA LESS GLASS: 689 S.F. (100%)

APPROVED:
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 12 day of April, 2022.

[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning & Zoning

Site Information

LAND AREA:	2.768 ACRES (120,574 SF)
CURRENT ZONING:	PD-57
EXISTING USE:	UNUSED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	32,420 SF
BUILDING HEIGHT:	23'-0"
BUILDING TO LOT COVERAGE:	33,420/120,574 = 28%
BUILDING REQUIRED PARKING:	COMMERCIAL: 1,300 S.F. = 108 SPACES
BUILDING PARKING PROVIDED:	112
IMPERVIOUS AREA:	92,260 SF
LANDSCAPE AREA REQUIRED:	15% OF TOTAL SITE
LANDSCAPE AREA PROVIDED:	25,372 SF (0.65 AC) = 23.5% OF TOTAL SITE

Legal Description

BLOCK 1 OF ALLIANCE ADDITION PHASE 2 RECORDED AS INSTRUMENT NO. 201400000137 ROCKWALL COUNTY OFFICIAL PLAT RECORDS, BEING 2.768 ACRES SITUATED IN THE W.W. FORD SURVEY, ABST. NO. 80 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Key Notes

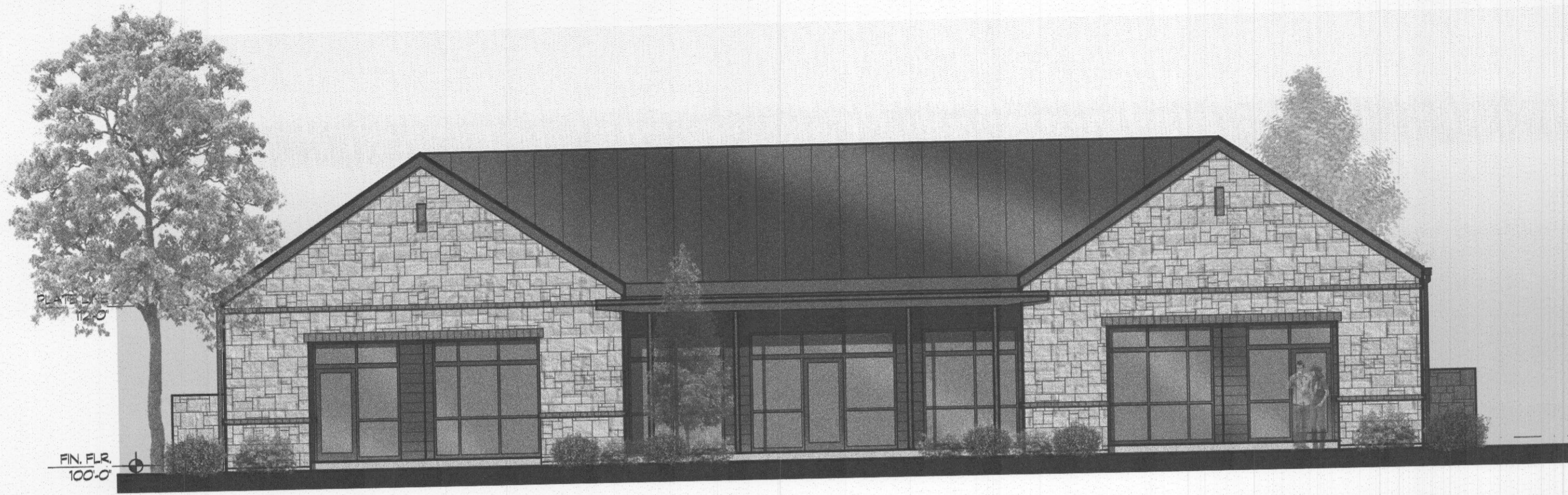
- * INDICATES SPECIFIED PRODUCT ON SHEET A0.02
- 1 GENERAL REQUIREMENTS-NOT USED
- 2 SITE WORK
- 2.1 SITE PAVING, REFER CIVIL
- 3 CONCRETE
- 3.1
- 4 MASONRY
- 4.1 MASONRY VENEER
- 5 METALS
- 5.1 METALS
- 6 WOODS & PLASTICS
- 6.1
- 7 THERMAL AND MOISTURE PROTECTION
- 7.1 STANDING BEAM METAL ROOF
- 8 DOORS AND WINDOWS
- 8.1 ALUMINUM STOREFRONT
- 9 FINISHES
- 9.1 FINISHES
- 10 SPECIALTIES
- 10.1 SIGNS
- 11 EQUIPMENT
- 11.1
- 12 FURNISHINGS-NOT USED
- 13 SPECIAL CONSTRUCTION
- 13.1 SPECIAL CONSTRUCTION
- 14 CONVEYING SYSTEMS - NOT USED
- 15 MECHANICAL
- 15.1 MECHANICAL EQUIPMENT
- 16 ELECTRICAL
- 16.1 SITE LIGHTING

Owner / Developer

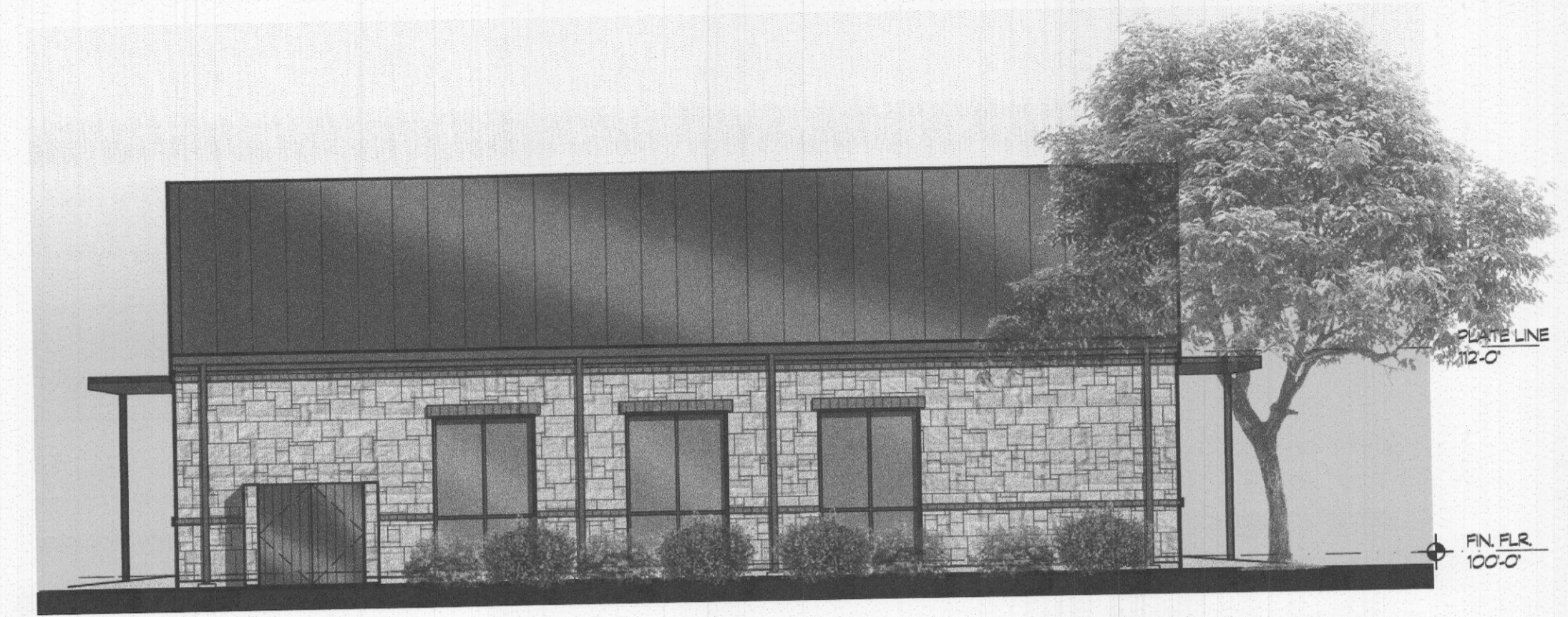
RANDELL NOE
 NH LEGACY PARTNERS
 P.O. BOX 816
 TERRELL, TEXAS 75160
 214.507.9981

Document Developer

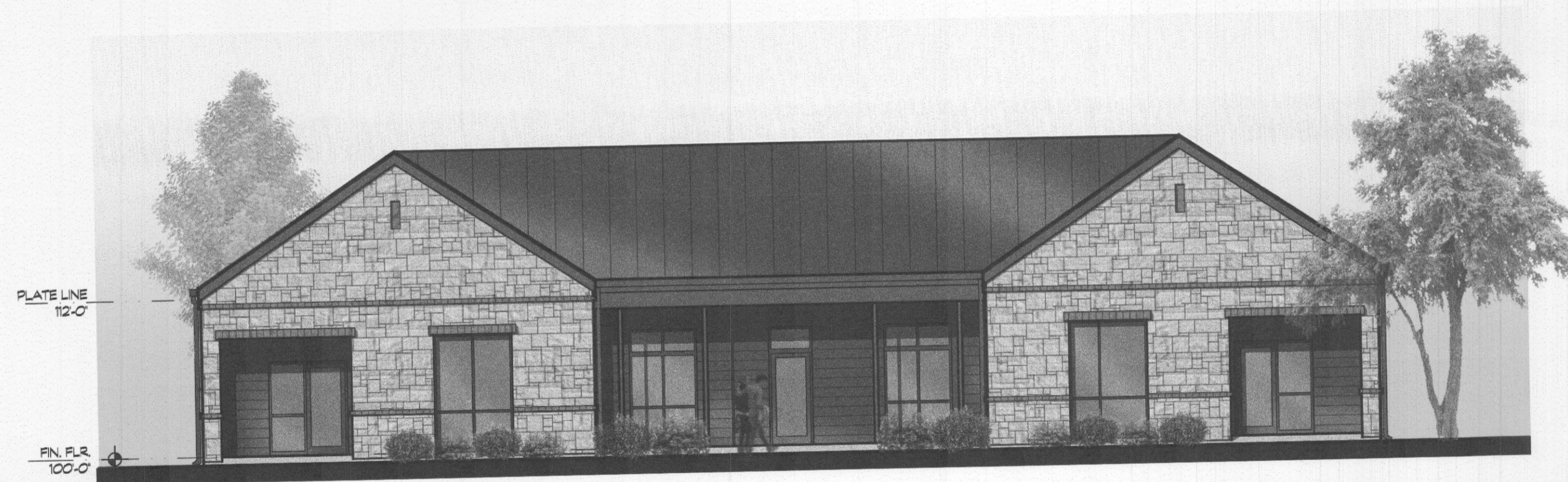
SEITZ ARCHITECTS, INC.
 506 MEADOWLAKE LANE
 HEATH, TEXAS 75032
 214.537.9981
 seitz@seitzarchitects.com



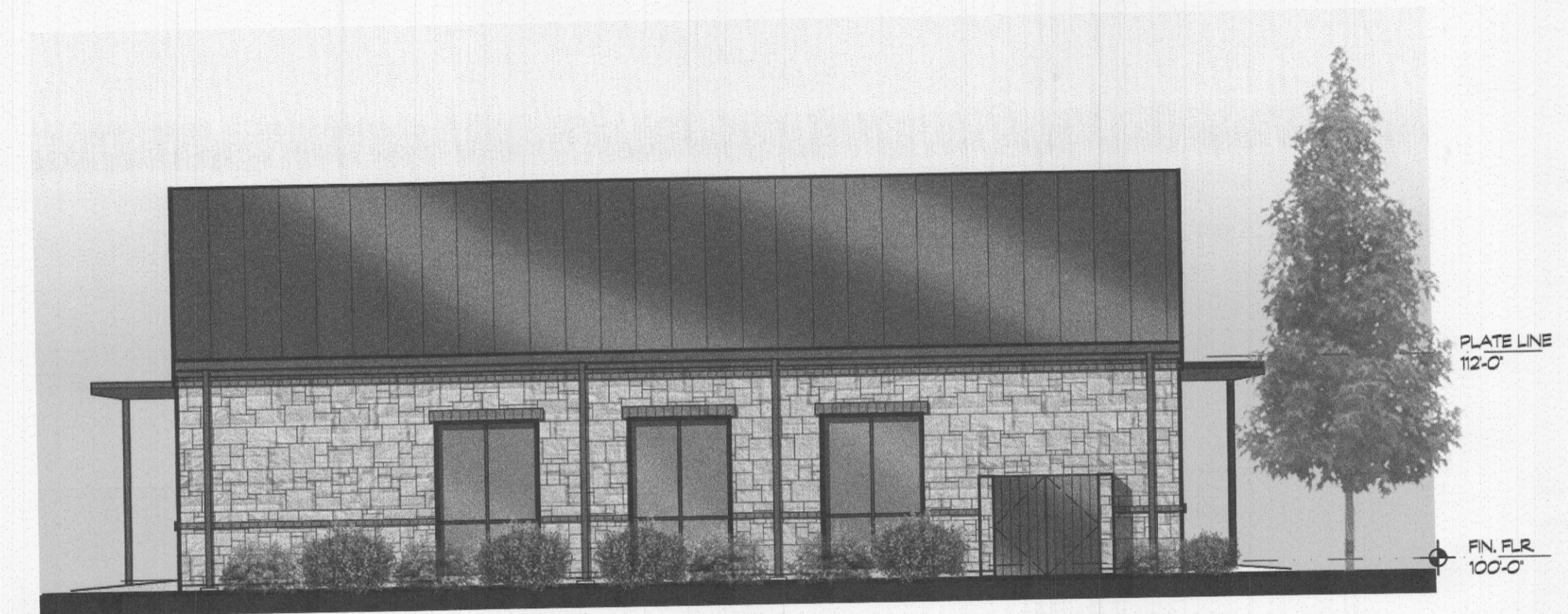
1
A3.01
Scale: 1/8" = 1'-0"
Front Elevation, North or South



4
A3.01
Scale: 1/8" = 1'-0"
Right Elevation, East or West



1
A3.01
Scale: 1/8" = 1'-0"
Back Elevation, North or South



4
A3.01
Scale: 1/8" = 1'-0"
Left Elevation, East or West

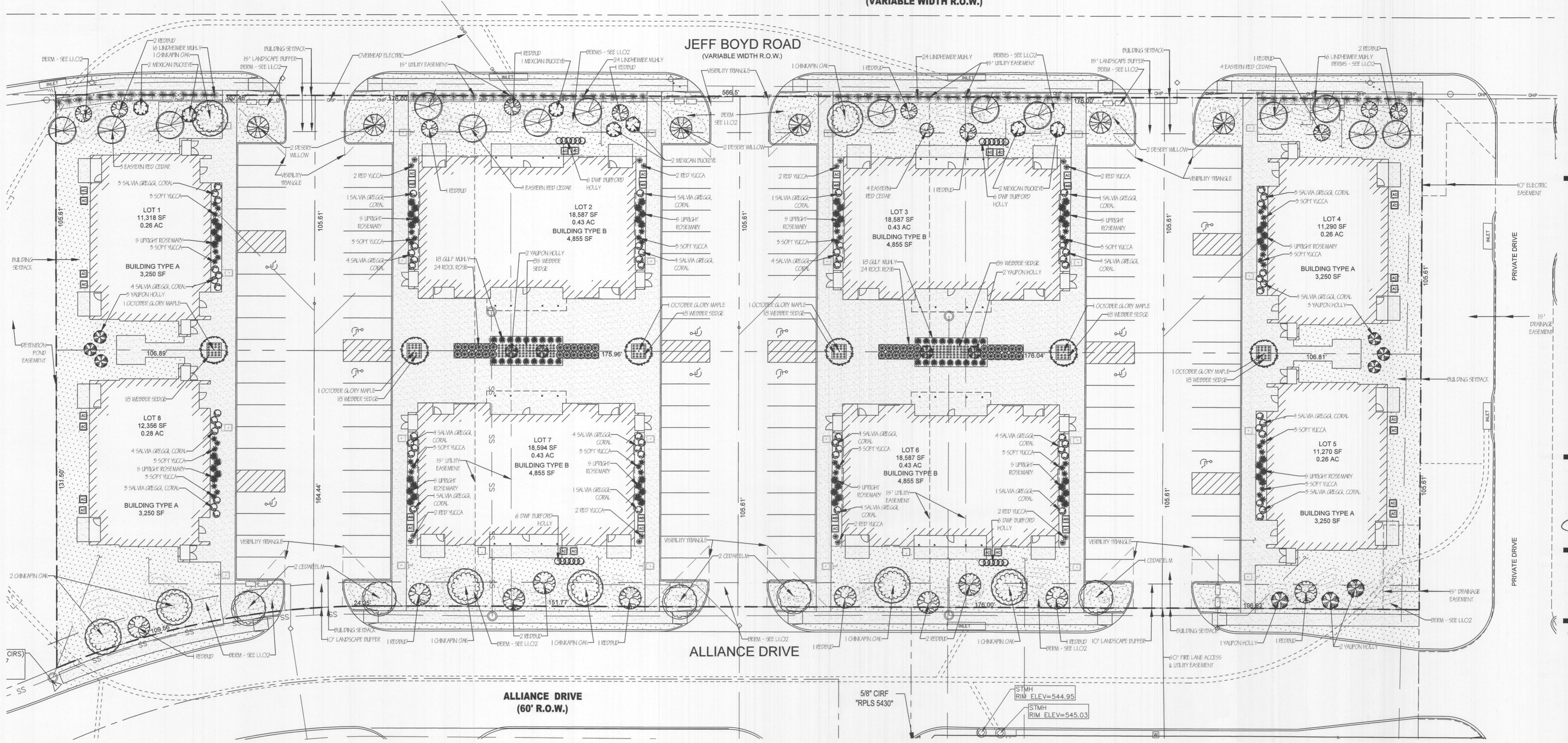
APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 12 day of April, 2022.

[Signature]
Chairman

[Signature]
Director of Planning & Zoning

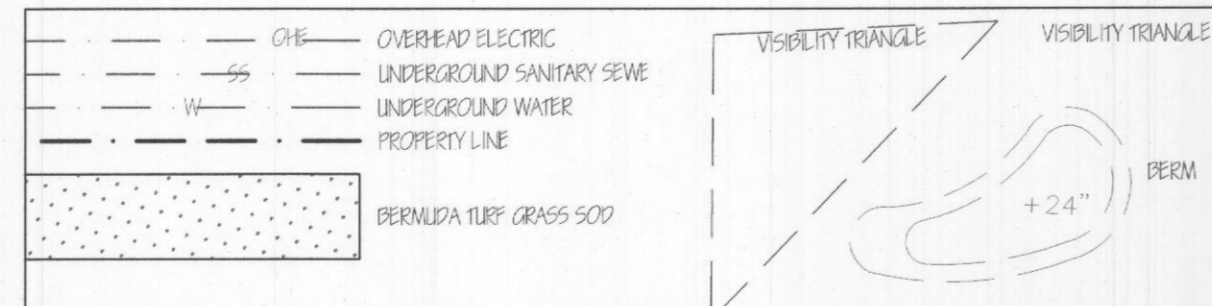
Rockwall Case Number SP 2022-013

JEFF BOYD CIR.
(VARIABLE WIDTH R.O.W.)



PLANTING PLAN

Scale: 1" = 20'



PLANT LIST

Common Name	Botanical Name	Rockwall Tree Classification	Texas Native	Size	Qty	Remarks
Cedar Elm	<i>Ulmus crassifolia</i>	Canopy Tree	Yes	100 gal	5	4" cal min.
Chinkapin Oak	<i>Quercus muhlenbergii</i>	Canopy Tree	Yes	100 gal	8	4" cal min.
Desert Willow	<i>Chiosopsis linearis</i>	Accent Tree	Yes	15 gal	6	4' height min
Dwarf Burford Holly	<i>Ilex cornata 'nana'</i>	Shrub	No	5 gal	24	full pot
Eastern Red Cedar	<i>Juniperus virginiana</i>	Canopy Tree	Yes	65 gal	15	4" cal min.
Mexican Buckeye	<i>Unguadia speciosa</i>	Accent Tree	Yes	25 gal	7	4' height min
Muhly / Gulf Muhly	<i>Muhlenbergia capillaris</i>	Grass	Yes	3 gal	36	full pot
Muhly / Lindheimer Muhly / Big Muhly	<i>Muhlenbergia lindheimeri</i>	Grass	Yes	3 gal	80	full pot
October Glory Maple	<i>Acer rubrum var. 'October Glory'</i>	Canopy Tree	Yes	100 gal	6	4" cal min.
Red Yucca	<i>Hesperaloe parviflora</i>	Shrub	Yes	5 gal	16	full pot

Redbud, Eastern	<i>Cercis canadensis</i>	Accent Tree	Yes	25 gal	20	4' height min
Rock Rose / Pavonia	<i>Pavonia lasiopetalata</i>	Shrub	Yes	1 gal	48	full pot
Rosemary, Upright	<i>Rosmarinus officinalis</i>	Shrub	No	3 gal	60	full pot
Salvia greggii 'coral'	<i>Salvia greggii</i>	(not classified - perennial)	Yes	1 gal	68	full pot
Webber Sedge or Meadow Sedge	<i>Carex spp.</i>	(not classified - groundcover)	Yes	4" pots	278	full pot
Yaupon Holly	<i>Ilex vomitoria</i>	Accent Tree	Yes	35 gal	13	tree form, 4" height min., min 4 canes
Yucca, Softleaf Yucca	<i>Yucca recurvifolia</i>	Shrub	No	5 gal	48	full pot
Bermuda grass sod	<i>Tif 419</i>	Grass	sf		26,430	

Jurisdiction of Project

REGULATORY AUTHORITIES:
CITY OF ROCKWALL, PLANNING & ZONING
385 SOUTH GOLIAD
ROCKWALL, TEXAS
972.771-7745

TEXAS DEPARTMENT OF LICENSING AND REGULATION
ELIMINATION OF ARCHITECTURAL BARRIERS
E.O. THOMPSON STATE OFFICE BUILDING
920 COLORADO
AUSTIN, TEXAS 78701
(512) 463-2211
(512) 475-2886 (FAX)

Irrigation Requirements

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED.
SYSTEM DESIGNED AND INSTALLED ACCORDING TO TCEQ LAWS AND REGULATIONS PROVIDING FOR 100% COVERAGE ON ALL LANDSCAPE AND TURF. THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR. IRRIGATION WILL MEET THE REQUIREMENTS OF THE UDC.

SITE INFORMATION

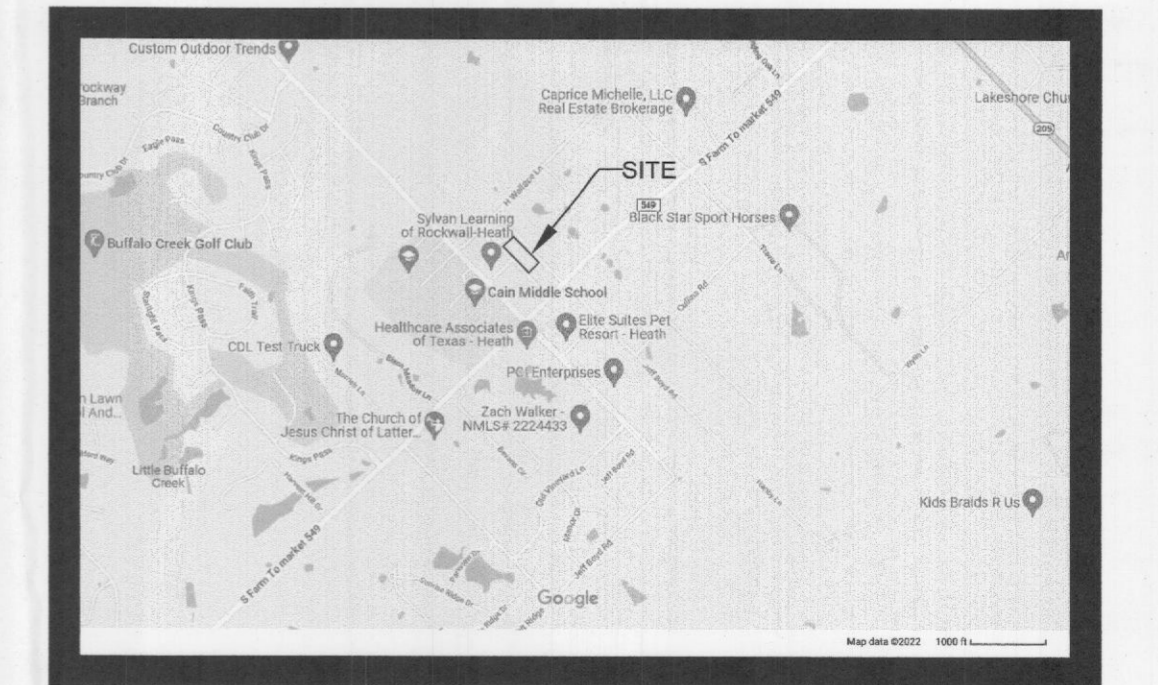
LAND AREA: 2.788 ACRES (100,574 SF)
EXISTING ZONING: PD-57
PROPOSED USE: COMMERCIAL
BUILDING AREA: 2,32,430 SF
BUILDING HEIGHT: 29'-0"
BUILDING TO LOT COVERAGE: 32.400/120,574 = 26.9%
BUILDING REQUIRED PARKING: 112
IMPERVIOUS AREA PROVIDED: 112
LANDSCAPE AREA REQUIRED: 102,260 SF
LANDSCAPE AREA PROVIDED: 28,372 SF (8.81 AC) = 23.5% OF TOTL

Landscaping Requirements

CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE
ARTICLE 8. LANDSCAPE & FENCE STANDARDS
APPENDIX C. LANDSCAPING GUIDELINES AND REQUIREMENTS
PD NO. 57

- A. IMPERVIOUS AREA VS. LANDSCAPE / OPEN SPACE
LOT SIZE: 120,592 SF OR 2.77 ACRE - COMMERCIAL
20% PERVIOUS AREA REQUIRED: 24,118 SF
30% PERVIOUS AREA PROVIDED: 28,155 SF
- B. LANDSCAPE BUFFERS
JEFF BOYD ROAD FRONTAGE (565' LIN FT)
REQUIRED: 15 FT PROVIDED: 15 FT
3 CANOPY TREES + 4 ACCENT TREES PER 100 LIN FT OF FRONTAGE
PROVIDED: 17 CANOPY TREES + 23 ACCENT TREES
ALLIANCE DRIVE FRONTAGE (572' LIN FT)
REQUIRED: 10 FT PROVIDED: 10 FT
1 CANOPY TREE + 1 ACCENT TREE PER 50 LIN FT OF FRONTAGE
REQUIRED: 11 CANOPY TREES + 11 ACCENT TREES
PROVIDED: 12 CANOPY TREES + 11 ACCENT TREES
- C. PARKING LOT LANDSCAPING
1 TREE WITHIN 80' OF EACH PARKING SPACE
- D. LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

Site Location



Owner & Professionals Information

OWNER: NH PARTNERS, L.P.
P.O. BOX 818, TERRELL, TX 75160
ATTN: RANDALL NOE, 214.507.9831

ENGINEER: TEAGUE, NALL AND PERKINS, INC.
825 WATTERS CREEK BLVD, SUITE M200
ALLEN, TX 75013 ATTN: CAMERON SLOWIN

ARCHITECT: SEITZ ARCHITECTS, INC.
MEADOWLAKE LANE, HEATH, TEXAS 75032
ATTN: STEVE SEITZ, 214.571.9981
WWW.SEITZARCHITECTS.COM

LANDSCAPE ARCHITECT: FELDMAN DESIGN STUDIOS
P.O. BOX 832346, RICHARDSON, TEXAS 75083
ATTN: CAROL FELDMAN, 972.521.4944
CAROL@FELDMANDESIGN.COM

APPROVED: I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 12 day of April 2022.

LEGAL DESCRIPTION
BLOCK 1 OF ALLIANCE ADDITION PHASE 2
RECORDED AS INSTRUMENT NO. 201400001317
ROCKWALL COUNTY SPECIAL PLAT (REGIONS
BING 2.788 ACRES SITUATED IN THE R.W.
FORD SURVEY, ABST. NO. 80 IN THE CITY OF
ROCKWALL, ROCKWALL COUNTY, TEXAS.

Chairman
Director of Planning & Zoning

FELDMAN DESIGN STUDIOS
P.O. Box 832346, Richardson, Texas 75083
Mobile: 972.521.4944
carol@feldmandesign.com

NO.	ITEM DESCRIPTION	DATE
1.	SUBMITTAL	3/18/22
2.	REVISED PER COMMENTS	4/5/22
3.		
4.		
5.		
6.		
7.		

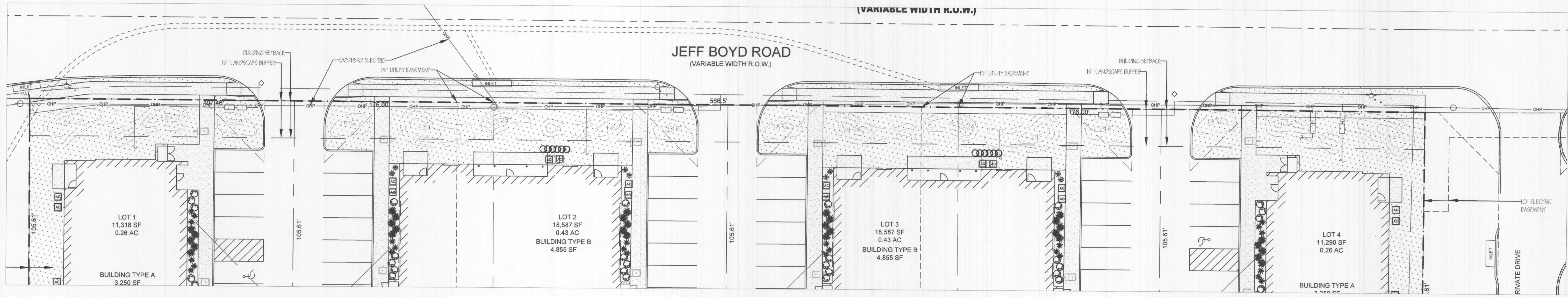


These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

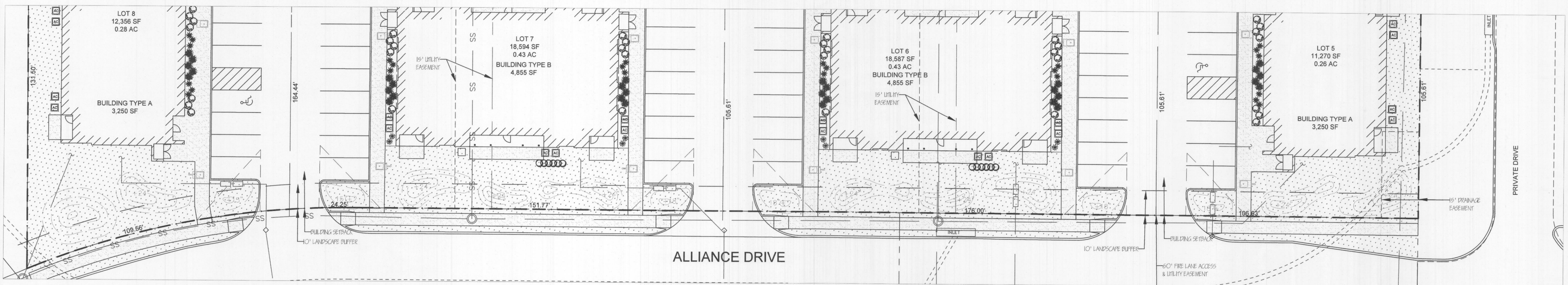
ALLIANCE DRIVE DEVELOPMENT
6535, 6545, 6595 & 6605 ALLIANCE DRIVE
182, 194, 202 & 214 JEFF BOYD ROAD
ROCKWALL, TEXAS

SHEET NO.
L1.01

CITY OF ROCKWALL CASE #SP2022-013
LANDSCAPE PLANTING PLAN



BERMING DETAIL - JEFF BOYD ROAD
Scale: 1" = 20'



BERMING DETAIL - ALLIANCE DRIVE
Scale: 1" = 20'

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 12 day of April, 2022.

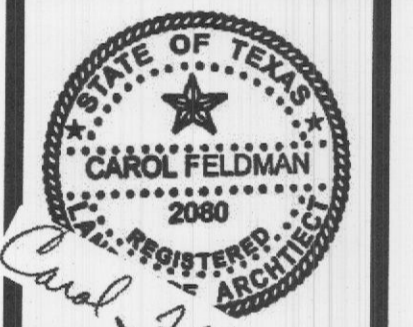
[Signature]
Chairman
Planning & Zoning Commission

[Signature]
Director of Planning & Zoning

CITY OF ROCKWALL CASE #SP2022-013
LANDSCAPE DETAILS

FELDMAN DESIGN STUDIOS
P.O. Box 652946, Richardson, Texas 75085
Office: 972.980.1750 Mobile: 972.529.4944
carol@feldmandesign.com

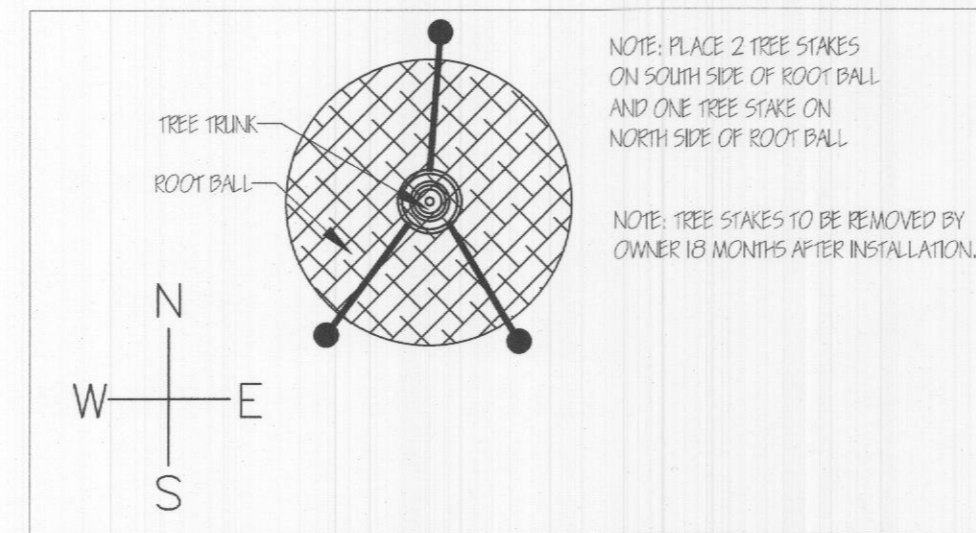
NO.	ITEM DESCRIPTION	DATE
1.	SUBMITTAL	3/18/22
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3.		
4.		
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6.		
7.		



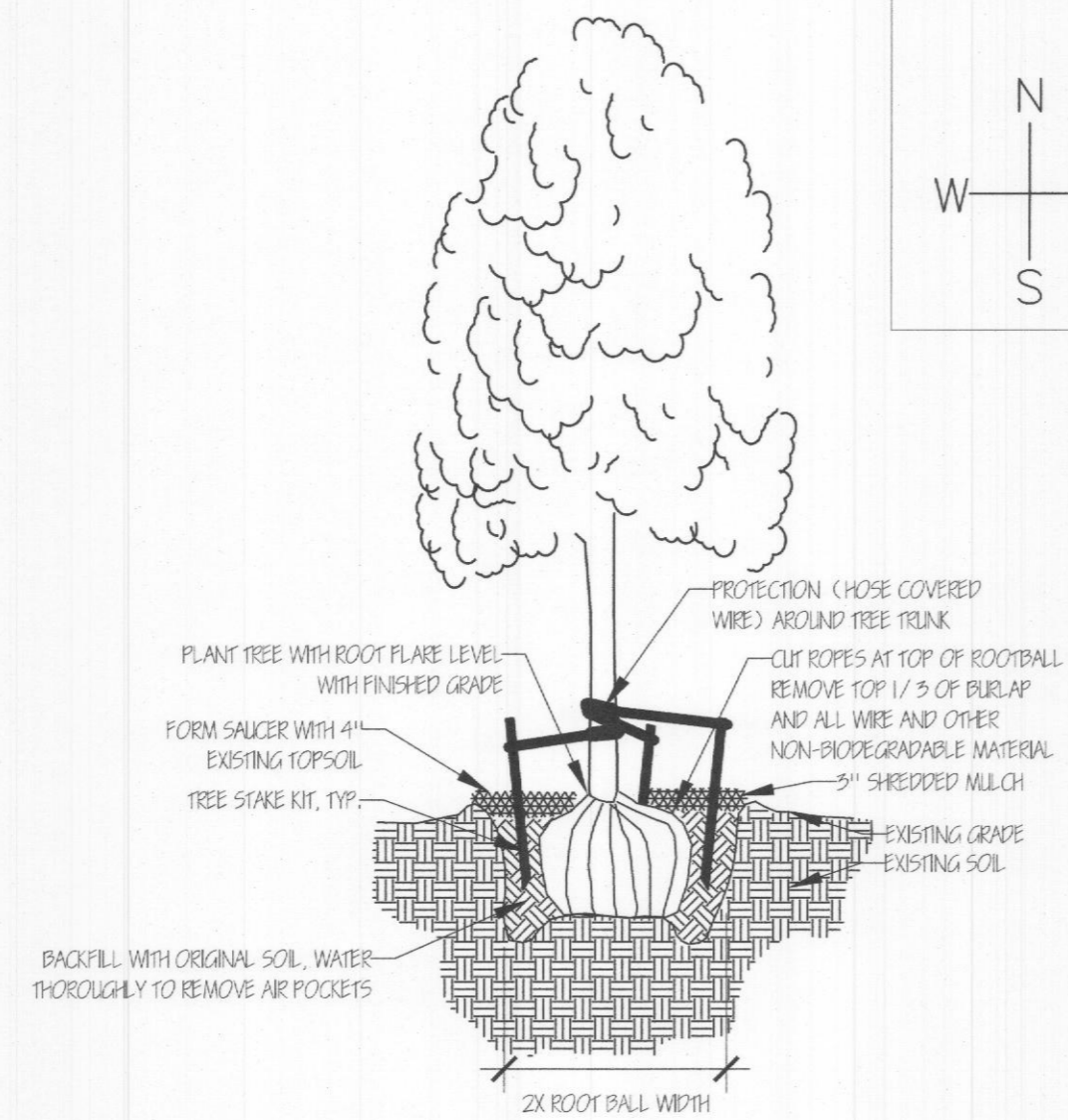
These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, License #20245.

ALLIANCE DRIVE DEVELOPMENT
6535, 6545, 6595 & 6605 ALLIANCE DRIVE
182, 194, 202 & 214 JEFF BOYD ROAD
ROCKWALL, TEXAS

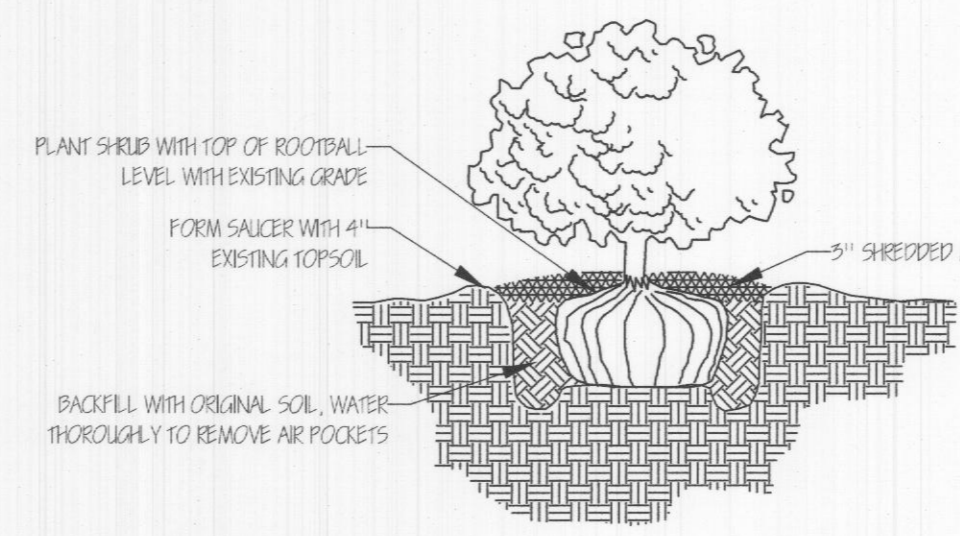
SHEET NO.
L1.02



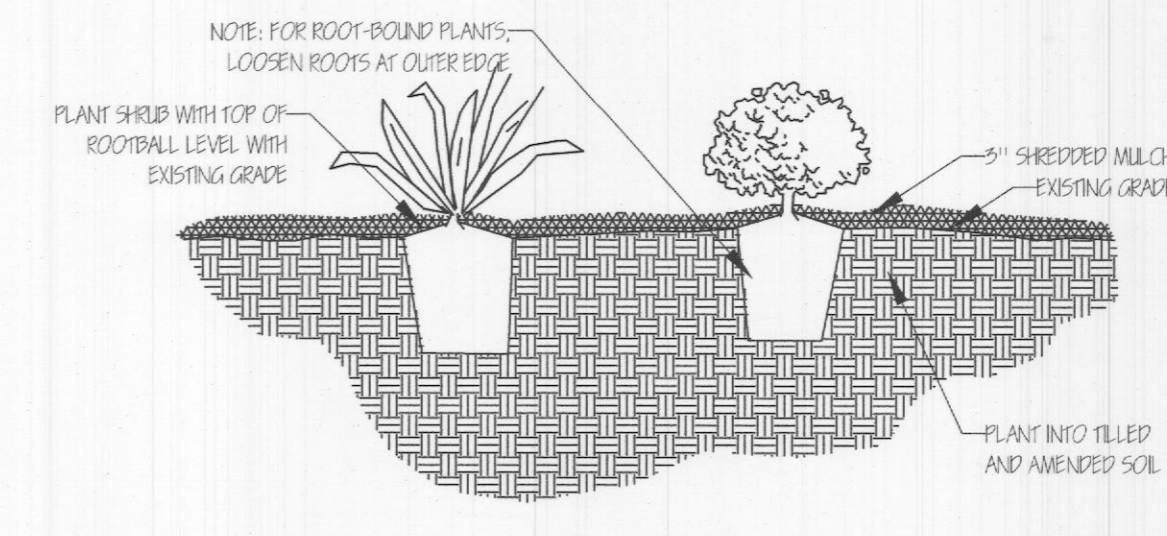
TREE STAKE DETAIL
Scale: 1/2" = 1'



TREE PLANTING
Scale: Not to scale



SHRUB & ORNAMENTAL GRASS PLANTING DETAIL
Scale: Not to scale



PERENNIAL PLANTING DETAIL
Scale: Not to scale

- SECTION 02910 - SOIL PREPARATION**
- PART 1 - GENERAL**
- A. DESCRIPTION
1. PROVIDE COMPLETE GRADING AND SOIL PREPARATION, INCLUDING AMENDMENTS, AS SPECIFIED HEREIN.
- B. EXAMINATION
1. EXAMINE SITE TO VERIFY REQUIRED ROUGH GRADING HAS BEEN COMPLETED CORRECTLY PRIOR TO BED PREPARATION WORK.
 2. EXAMINE SITE TO VERIFY THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED PRIOR TO BED REPARATION WORK.
- C. APPROVALS
1. ALL "APPROVED EQUAL" MATERIALS MUST BE APPROVED BY LANDSCAPE ARCHITECT.
- PART 2 - PRODUCTS**
- A. MATERIALS
1. COMPOST:
 - 1.1. COTTON BUR COMPOST
 - 1.2. SHALL BE SUPPLIED BY: GREENSENSE COMPOST, GARLAND, TX, OR CLEAR FORK MATERIALS, ALEDO, TX, OR APPROVED EQUAL.
 2. FERTILIZERS AND SUPPLEMENTS:
 - 2.1. A 6-2-4 GRANULAR FERTILIZER WITH A WATER SOLUBLE SLOW RELEASE ORGANIC BASE SUCH AS GREENSENSE, OR SUSTANE, OR APPROVED EQUAL.
 3. MULCH
 - 3.1. SHALL BE SHREDDED HARDWOOD MULCH, SHREDDED CEDAR MULCH, SHREDDED NATIVE MULCH, OR APPROVED EQUAL.
- PART 3 - EXECUTION**
- A. BED PREPARATION AND PREPARATION FOR SOD INSTALLATION
1. GENERAL
 - 1.1. INSPECT ALL EXISTING CONDITIONS AND OTHER ITEMS OF WORK PREVIOUSLY COMPLETED. DO NOT PROCEED UNTIL DEFECTS ARE CORRECTED.
 - 1.2. INSPECT THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED COMPLETELY.
 - 1.3. ALL AREAS TO BE PREPARED WITH ORGANIC TECHNIQUES ONLY.
 2. SHRUB BEDS:
 - 2.1. BREAK UP AND TILL EXISTING SOIL TO A DEPTH OF 6 INCHES.
 - 2.2. ADD A 3 INCH LAYER OF COMPOST TO THE BEDS.
 - 2.3. TILL EXISTING SOIL AND COMPOST TOGETHER TO A TOTAL OVERALL DEPTH OF 8 INCHES.
 - 2.4. RAKE OUT ROCKS AND CLODS AND FINE GRADE THE BEDS TO DRAIN IN APPROPRIATE DIRECTIONS.
 - 2.5. TOP-DRESS BED WITH A 3 INCH LAYER OF MULCH AFTER PLANTING.
3. SOD AND SEED AREAS
- 3.1. LIGHTLY CULTIVATE COMPACTED SOIL AND RAKE THE SOIL SMOOTH.
 - 3.2. ADD 1/2 INCH COMPOST TO ALL AREAS.
 - 3.3. FINE GRADE TO DRAIN IN APPROPRIATE DIRECTIONS.

- NOTES**
- GENERAL LANDSCAPE**
1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
 2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.
 3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL AND ALL PLANT PLACEMENT. FIELD ADJUSTMENTS OF PLANT LOCATIONS TO BE COORDINATED WITH OWNER.
 4. ALL CANOPY AND ORNAMENTAL TREES TO BE STAKED (SEE DETAIL.)
 5. ALL LAWN AND LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 14 GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.

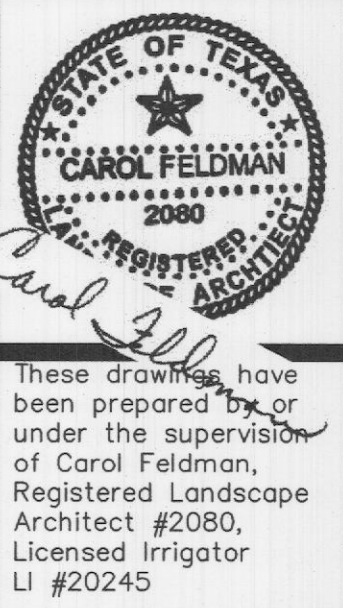
- SECTION 02915 - LANDSCAPE PLANTING**
- PART 1 - GENERAL**
- A. SPECIAL CONDITIONS
1. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
 2. EMPLOY ONLY EXPERIENCE PERSONNEL FAMILIAR WITH REQUIRED WORK. PROVIDE ADEQUATE SUPERVISION BY A QUALIFIED FOREMAN WITH A MINIMUM OF TEN(10) YEARS EXPERIENCE WITH PROJECTS OF SIMILAR COMPLEXITY.
 3. DO NOT MAKE SUBSTITUTIONS OF TREE, SHRUB AND GRASS MATERIALS. IF REQUIRED MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER'S REPRESENTATIVE.
 4. PROVIDE QUANTITY, SIZE, GENUS, SPECIES AND VARIETY OF TREES AND SHRUBS INDICATED AND SCHEDULED FOR LANDSCAPE WORK WHICH COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND ANY APPLICABLE STATE AND FEDERAL LAWS CONCERNING DISEASE AND INSECT INFESTATION.
- B. REFERENCE STANDARDS
1. AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, 2014 BY AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
 2. SHINNERS & MAHLER'S, ILLUSTRATED FLORA OF NORTH CENTRAL TEXAS, BOTANICAL RESEARCH INSTITUTE OF TEXAS (BRIT), FORT WORTH, TEXAS, 1999.
 3. HORTUS THIRD, CORNELL UNIVERSITY, 1967.
- C. PREPARATION
4. COORDINATION WITH BUILDING AND ENGINEERING PROJECT ACTIVITIES.
 5. COORDINATE THE WORK OF THIS SECTION WITH THAT OF REGULAR AND EMERGENCY WATER UTILITY ACTIVITIES ON THE SITE.
 6. COORDINATION WITH IRRIGATION SYSTEM:
 - 6.1. THE UNDERGROUND IRRIGATION SYSTEM MUST BE INSTALLED PRIOR TO COMMENCEMENT OF THE PLANTING OPERATIONS.
 - 6.2. THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AT THE TIME THAT PLANTING OPERATIONS COMMENCE.
 - 6.3. COORDINATE WORK WITH THE IRRIGATION CONTRACTOR TO PREVENT DAMAGE TO THE IRRIGATION SYSTEM.
- D. ALL PLANT MATERIALS FOR THIS PROJECT SHALL BE NURSERY-GROWN, INCLUDING TREES.
1. CONTAINER GROWN PLANTS SHALL HAVE BEEN "STEPPED-UP" AS NECESSARY TO PREVENT ROOT GIRDLING.
 2. CONTAINER GROWN PLANTS SHALL HAVE BEEN IN THE CONTAINER FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO THE SITE TO ENSURE ADEQUATE ROOT DEVELOPMENT.
 3. THE "ROOT FLARE" OF ALL TREES AND SHRUBS SHALL NOT BE COVERED WITH SOIL.
- E. THE FOLLOWING TREE CARE PROCEDURES SHALL BE ADHERED TO:
1. DO NOT MAKE FLUSH CUTS OR LEAVE STUBS WHEN PRUNING. LEAVE THE BRANCH COLLAR INTACT.
 2. DO NOT USE ANY TYPE OF PRUNING PAINT ON WOUNDS.
 3. DO NOT USE ANY TYPE OF TREE WRAP, EXCEPT, TRUNKS MAY BE WRAPPED WITH BURLAP DURING PLANTING OPERATIONS ONLY.
 4. STAKE AND GUY ANY TREES AS PER DETAIL. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUYS AFTER TREES HAVE BEEN IN THE GROUND 6 MONTHS, AND BEFORE THE ONE YEAR ANNIVERSARY OF PLANTING.
 5. DO NOT HANDLE ANY TREE BY ITS TRUNK. ANY TREE HANDLED IN SUCH A MANNER SHOULD BE REJECTED.
- F. WARRANTY
1. UNCONDITIONALLY WARRANT ALL PLANTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF INSTALLATION INITIAL ACCEPTANCE. REPLACE MATERIALS NOT IN VIGOROUS, THRIVING CONDITION AS SOON AS WEATHER PERMITS AFTER NOTIFICATION BY OWNERS THAT THE PLANTS HAVE DIED OR ARE OTHER WISE NOT ACCEPTABLE. GUARANTEE REPLACEMENT PLANTS FOR ONE YEAR, STARTING FROM THE DATE REPLACEMENT IS MADE.
 2. WARRANTY EXCLUDES REPLACEMENT OF PLANTS BECAUSE OF INJURY BY STORM, NATURAL DROUGHT, DROWNING, HAIL, OR FREEZING, IF REASONABLE CARE WAS TAKEN TO ADEQUATELY PROTECT THE MATERIAL, AND IN THE OPINION OF THE OWNER'S REPRESENTATIVE THAT THE PROBLEM OCCURRED AFTER THE DATE OF INITIAL ACCEPTANCE.

- PART 3 - EXECUTION**
- A. PREPARATION FOR PLANT MATERIAL INSTALLATION
1. EXAMINE THE SUB-GRADE UPON WHICH THE WORK IS TO BE PERFORMED, VERIFY GRADE ELEVATIONS AND VERIFY THAT BEDS HAVE BEEN LEFT LOW BY OTHER TRADES. OBSERVE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CONFIRM THAT UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED PRIOR TO PROCEEDING.
- B. TIME OF PLANTING
1. CARE IS TO BE TAKEN SO THAT NO PLANTS SIT IN POTS IN THE SUMMER HEAT FOR MORE THAN 1 HOUR. IF PLANTING DURING HOT SEASONS (NOT PREFERRED) PLANTING IS TO BE DONE IN SMALL SECTIONS WITH STOCKPILED PLANTS TO BE PROTECTED FROM THE SUMMER HEAT (SHADE AREAS).
- C. TREE PLANTING
1. STAKE LOCATIONS FOR TREES PRIOR TO DIGGING HOLES.
 2. DIG PITS WITH ROUGH SIDES AND WHICH HAVE TAPERED WALLS, A MINIMUM OF TWICE THE WIDTH OF THE TREE BALL. A PEDESTAL SHOULD BE LEFT IN THE CENTER OF THE HOLE AND THE TREE BALL SET UPON THAT PEDESTAL.
 3. SET PLANTS IN THE CENTER OF THE HOLE AND ON THE PEDESTAL, PLUM AND VERTICAL, AND AT SUCH A DEPTH THAT THE CROWN OF THE TREE BALL WILL BE LEVEL WITH THE SURROUNDING GRADE.
 4. ALL PLANTS SHALL BE SET TO MEET THE SAME RELATIONSHIP TO THE FINISHED GRADE OF THE SURROUNDING SOIL THAT THEY BORE TO PREVIOUS EXISTING GRADE OF SOIL.
 5. BACKFILL WITH EXISTING TOPSOIL AND WATER IMMEDIATELY.
 6. FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PIT TO FACILITATE WATERING. REMOVE PRIOR TO MULCHING.
 7. COVER ALL TREE BALLS WITH A MINIMUM OF 3" OF SPECIFIED MULCH. EXTEND MULCH OUT TO THE EDGE OF THE TREE PIT, BUT KEEP AWAY FROM TRUNKS.
 8. ALL EXCAVATED MATERIAL UNACCEPTABLE FOR REUSE SHALL BE DISPOSED OF OFF SITE, OR AS DIRECTED BY THE OWNER.
- D. SHRUBS, TALL GRASSES AND PERENNIAL PLANTING
1. REMOVE CONTAINER AND SET PLANT MATERIAL AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE CROWN OF THE BALL WILL BE AT FINISHED GRADE.
 2. GENTLY CUT OUTER ROOTS OF ANY ROOTBALLS THAT HAVE "POT-BOUND" PRIOR TO INSTALLATION.
 3. COVER PLANTING BEDS WITH A MINIMUM 3" LAYER OF SPECIFIED MULCH. SOD PLANTING
 1. LAY SOD IN AN ORDERLY MANNER TO COVER ALL BARE SOIL AREAS.
 2. WATER ALL AREAS OF THE SOD UNTIL THOROUGHLY WET.
 3. ROLL SOD WITH A SOD ROLLER AFTER 24 HOURS AFTER LAYING AND WATERING SOD TO OBTAIN A UNIFORM, SMOOTH FINISH.
 4. FILL JOINTS WITH COMPOST IF NECESSARY TO FORM A UNIFORM GRASS LAYER.
 5. KEEP SOD ADEQUATELY WATERED UNTIL SOD MAKES A FIRM CONNECTION TO THE SOIL.
- E. SEED PLANTING
1. AREAS SHALL BE RAKED TO A DEPTH OF 1/2", SMOOTH AND FREE OF STONES AND DEBRIS.
 2. APPLY SEED EVENLY AT THE RATE RECOMMENDED.
 3. RAKE AND WATER TO ESTABLISH A FIRM CONNECTION OF THE SEED TO THE SOIL.
 4. KEEP SEED AREA MOIST (NOT WET) UNTIL SEED GERMINATES AND GRASS IS APPROX. 1/2" IN HEIGHT.
 5. KEEP AREA ADEQUATELY WATERED UNTIL A STAND OF THE GRASS IS ESTABLISHED.
 6. RE-SEED TO ESTABLISH A THICK STAND OF GRASS IF NECESSARY.
- END OF SECTION 02915

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission on the 12 day of April, 2022.

[Signature]
Chairman

[Signature]
Director of Planning & Zoning



These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

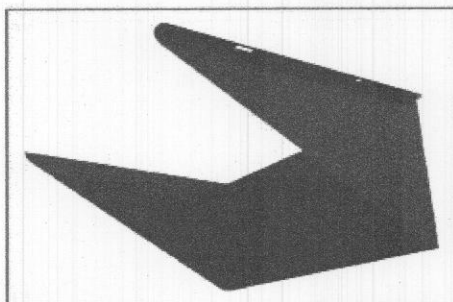
ALLIANCE DRIVE DEVELOPMENT
6535, 6545, 6595 & 6605 ALLIANCE DRIVE
182, 194, 202 & 214 JEFF BOYD ROAD
ROCKWALL, TEXAS

SHEET NO.
L1.03

Symbol	Qty	Label	Description	LLF
[Symbol]	6	SHIELDED - KT-ALED70-S1-3-NM-850-VDIM	67w 9430Lm LED Area Light - Type 3 Dist. - SHIELDED	0.900
[Symbol]	16	SLMWP1A-013UNV750-CO	13w 1561Lm LED Wall Pack - Cut Off	0.900
[Symbol]	8	WALPAK5B040UNVD8SC2C1	38w 4595Lm LED Wall Pack - Cut Off	0.900
[Symbol]	3	KT-ALED70-S1-3-NM-850-VDIM	67w 9430Lm LED Area Light - Type 3 Dist.	0.900
[Symbol]	6	B2B_KT-ALED70-S1-3-NM-850-VDIM	67w 9430Lm LED Area Light - Type 3 Dist.	0.900

Calculation Summary				
Label	Units	Avg	Max	Min
Calculation_10 x 10	Fc	1.09	13.3	0.0

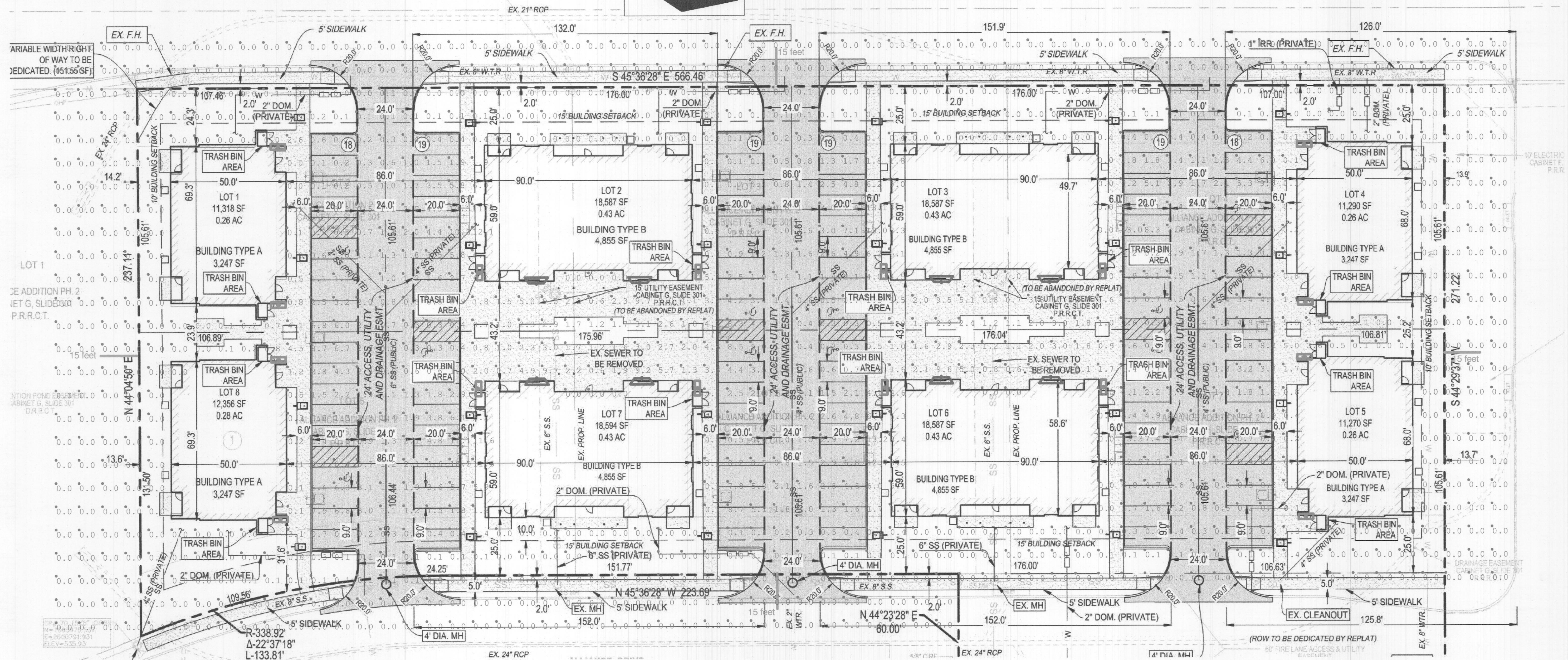
Mounting Heights:
 15' Area Lights
 12' Wall Packs
 10' Entrance Packs



Illumination results shown on this lighting design are derived from project parameters provided to REXEL USA used in conjunction with photometric information available at the time of the design. It remains the responsibility of the client to determine that the design is fit for purpose and that the parameters of the design are maintained to ensure continued compliance. This includes, but is not limited to: light fixture positions, quantities and mounting heights, room conditions (such as reflectance's and equipment locations if considered at the time.)

REXEL USA cannot accept responsibility in respect of the design provided if these design parameters are not maintained and shall in no way be liable to the client or to any third parties for any direct, indirect or consequential damage, loss or expense arising from any defect in the design, or arising from the actual design provided.

The client is responsible for the compliance with any applicable local electrical, lighting or energy codes.



APPROVED:
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 12 day of April, 2022.

[Signature]
 Director of Planning & Zoning

[Signature]
 Chairman