

SQUARE FOOTAGE	
RESTAURANT	3,753 S.F.
TOTAL:	3,753 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	10 %
ACREAGE	LOT: 0.993    BUILDING: 0.086

**SITE PLAN/EASEMENTS**  
1 TO 20

**SITE PLAN SIGNATURE BLOCK**  
 APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.  
 WITNESS OUR HANDS, this 23 day of March, 2022.

*[Signature]*  
 Planning & Zoning Commission, Chairman

*[Signature]*  
 Director of Planning and Zoning

OWNER: JH PR GROUP HOLDINGS LLC  
 DEVELOPER: MTY REMODELING & CONSTRUCTION

**CREATIVODESIGNS**  
 602 SRL THORNTON FWY SUITE B  
 DALLAS, TEXAS 75203  
 214.884.8168 214.886.2866  
 cs@creativodesignsusa.com

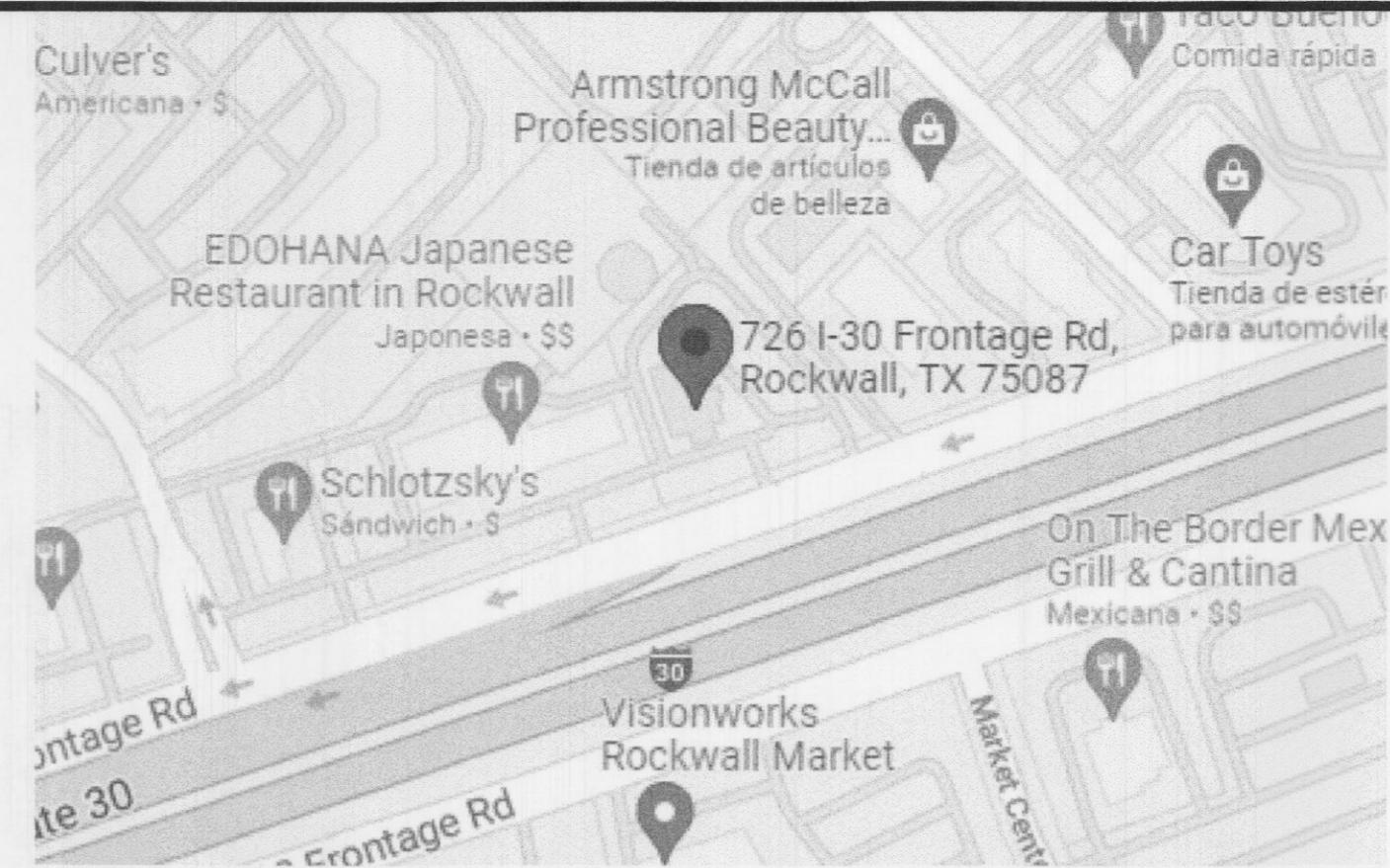
ADDRESS: **726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087**

SCOPE OF WORK: **REMODEL**

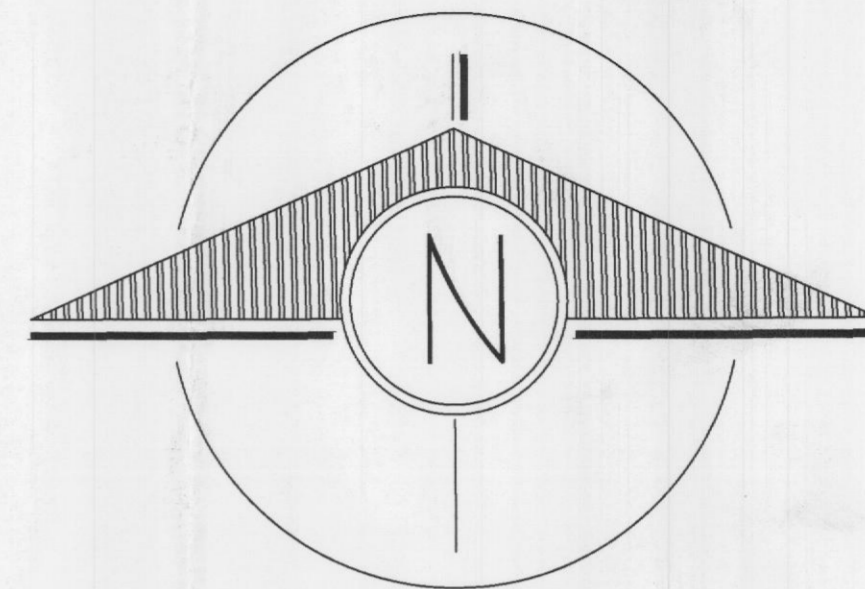
CASE # **SP2022-006**

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

SCALE:	1 TO 20	DRAWING No.	
DATE:	03/08/2022	<b>1 OF 12</b>	
SQ FT:	3,956		
TYPE:	SITE PLAN	DRAWN:	EACB



REFERENCE MAP



LEGAL DESCRIPTION:

TALLEY TOWN REP  
BLK 2 LOT 2R ACS 3.0080

SQUARE FOOTAGE

EXG. BUILDING 2,478 SQ FT  
EXG. METAL BUILDING 578 SQ FT  
PROP. AREA 3,900 SQ FT

TOTAL COVERAGE 6,956 SQ FT  
LOT SIZE 124.966 SQ FT  
TOTAL COVERAGE 05 %

SQUARE FOOTAGE

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PARKING ANALYSIS

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
RESTAURANT	3,753	100	RESTAURANT	40
PARKING REQUIRED				40
PARKING PROVIDED				54

SITE PLAN SIGNATURE BLOCK

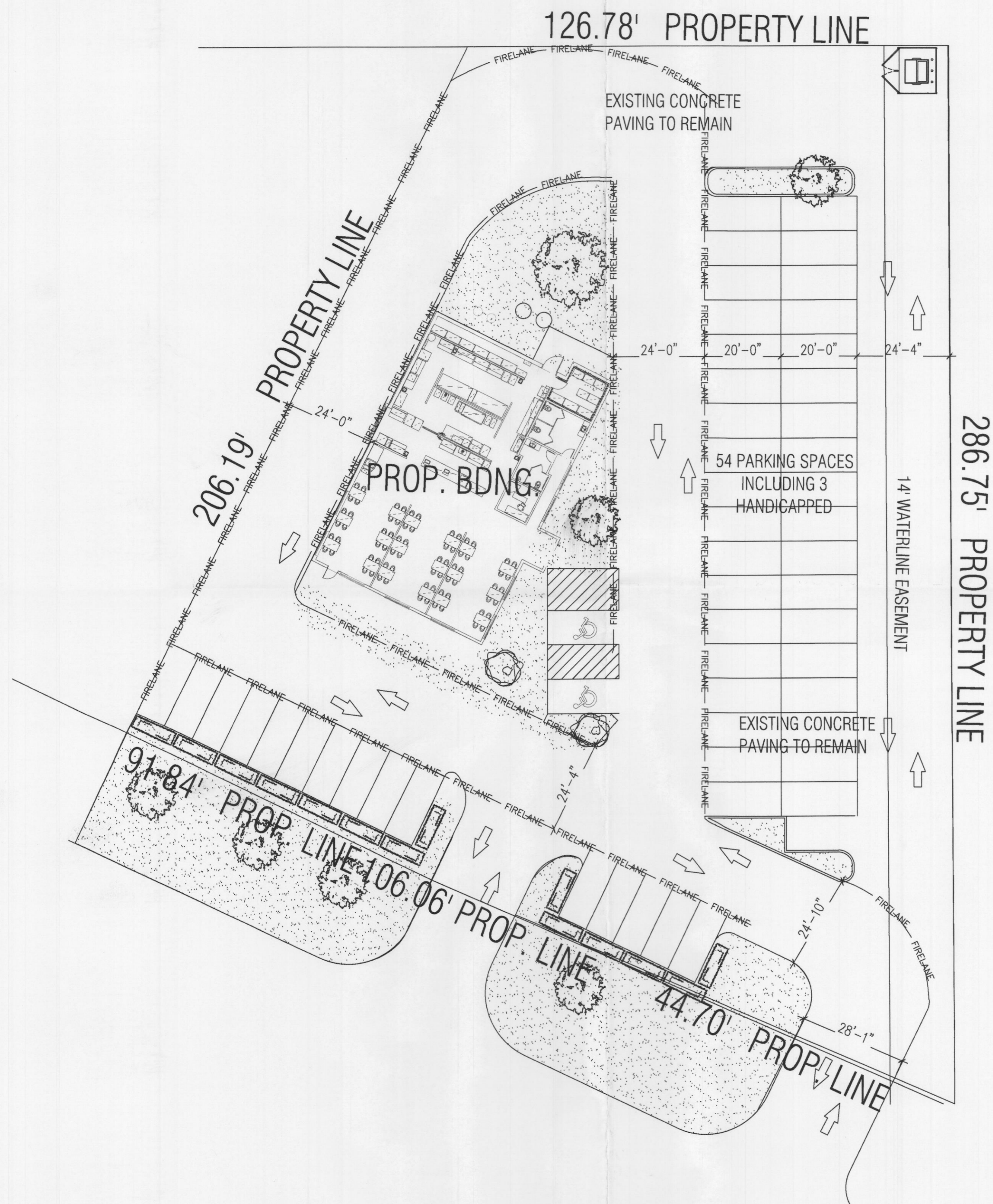
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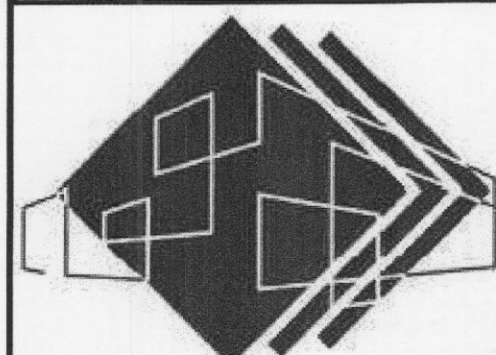
REMODEL

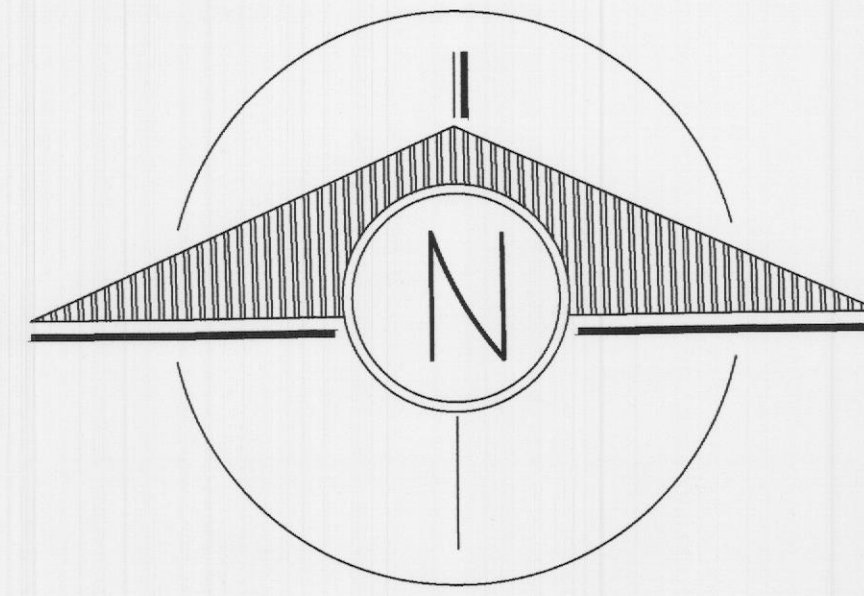
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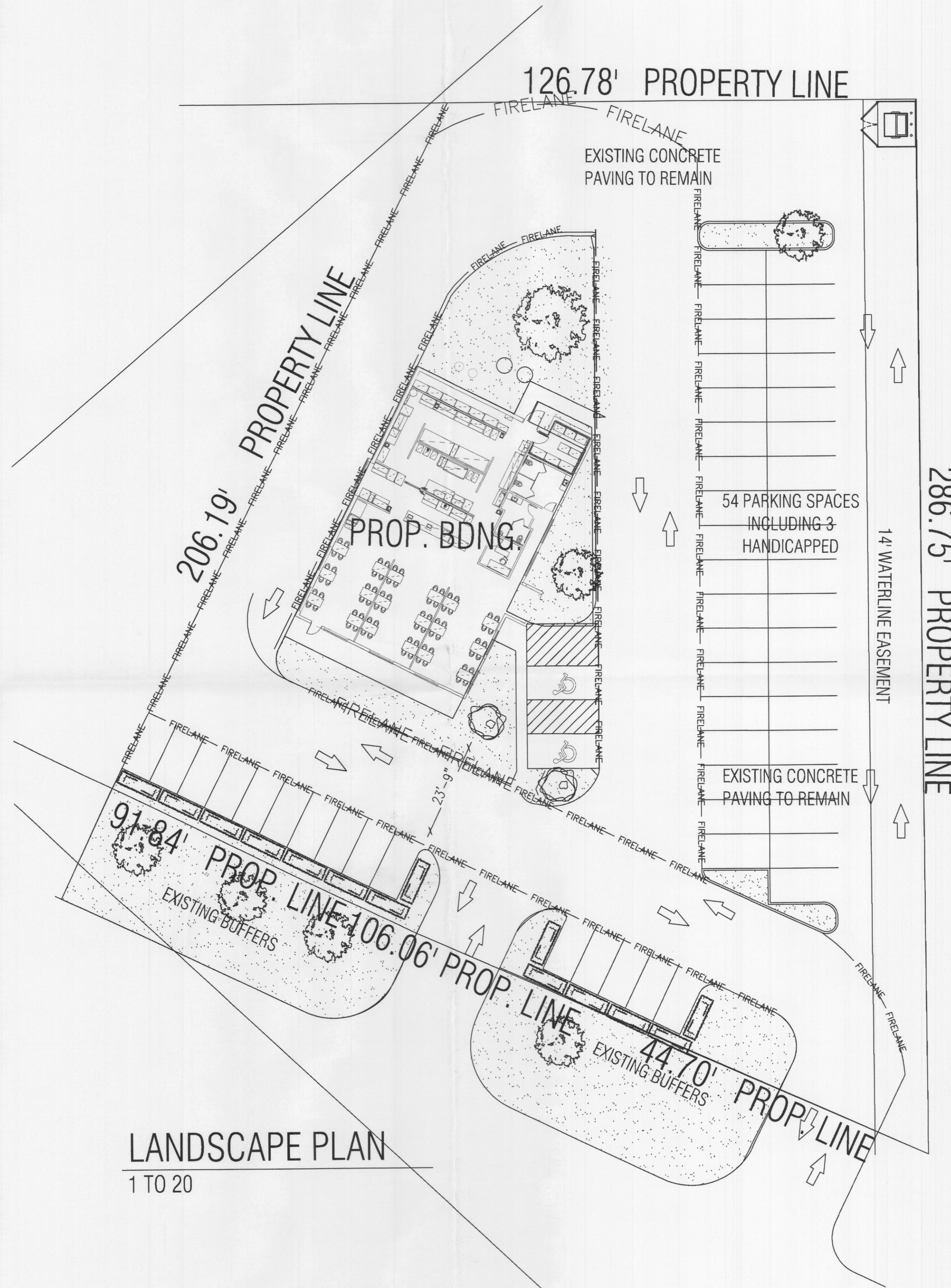
SCALE: 1 TO 20  
DATE: 03/08/2022  
SQ FT: 3,956  
TYPE: SITE PLAN

DRAWING No.  
**1 OF 12**  
DRAWN: EACB

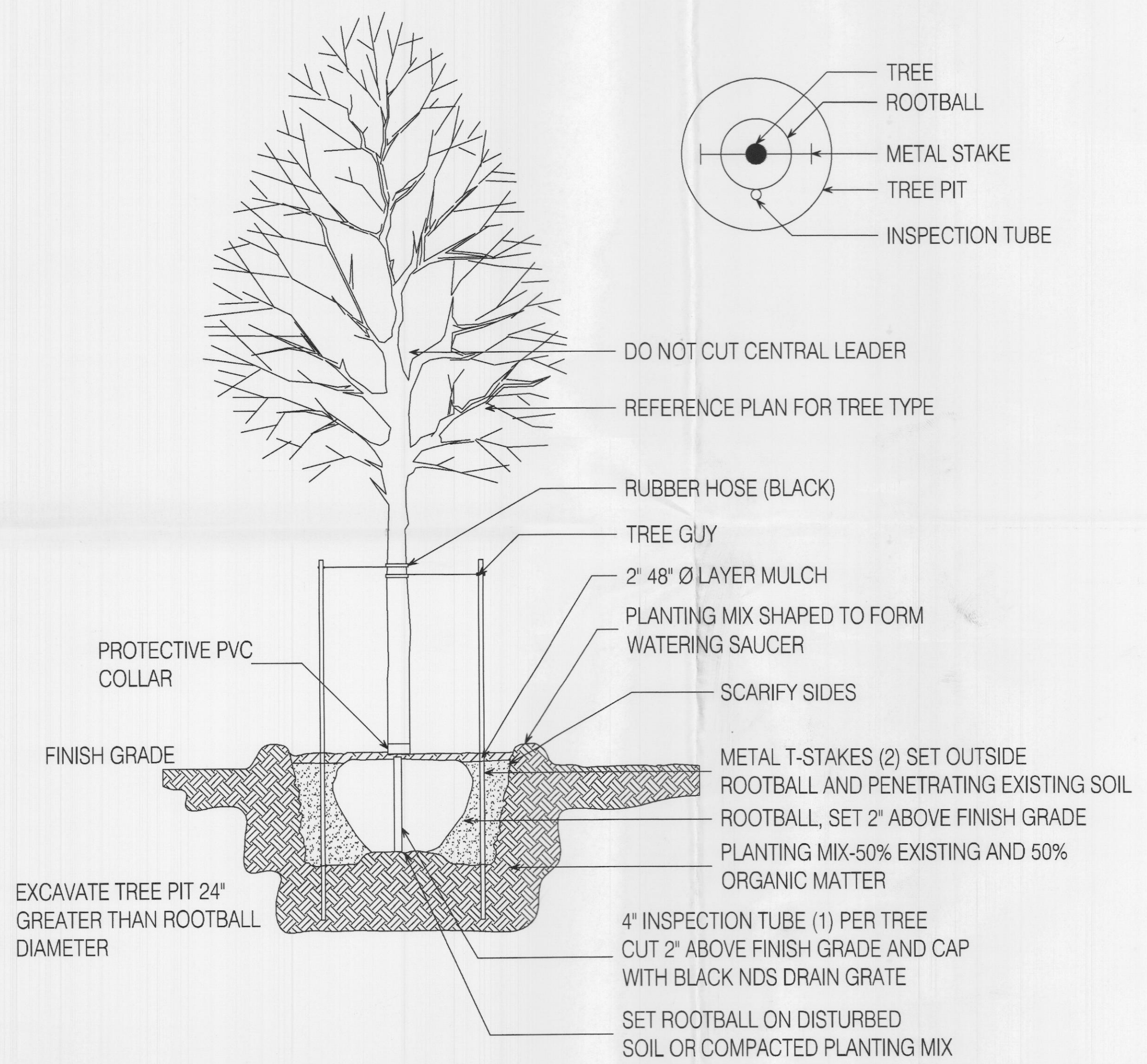




ELEMENT	QTY.
EXISTING ACCENT TREE, 8 FT TALL	2
EXISTING CANOPY TREE, 10 FT DRIP LINE	7
EXISTING CONTINUOUS 10FT L, 2FT D, 2 FT TALL SHRUB	14
GRASS COVERED GROUND SURFACE	100 % COV.



LANDSCAPE PLAN  
1 TO 20

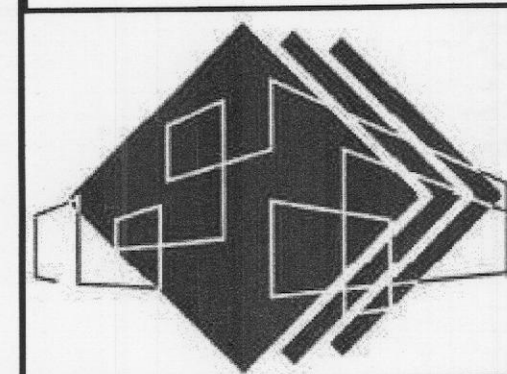


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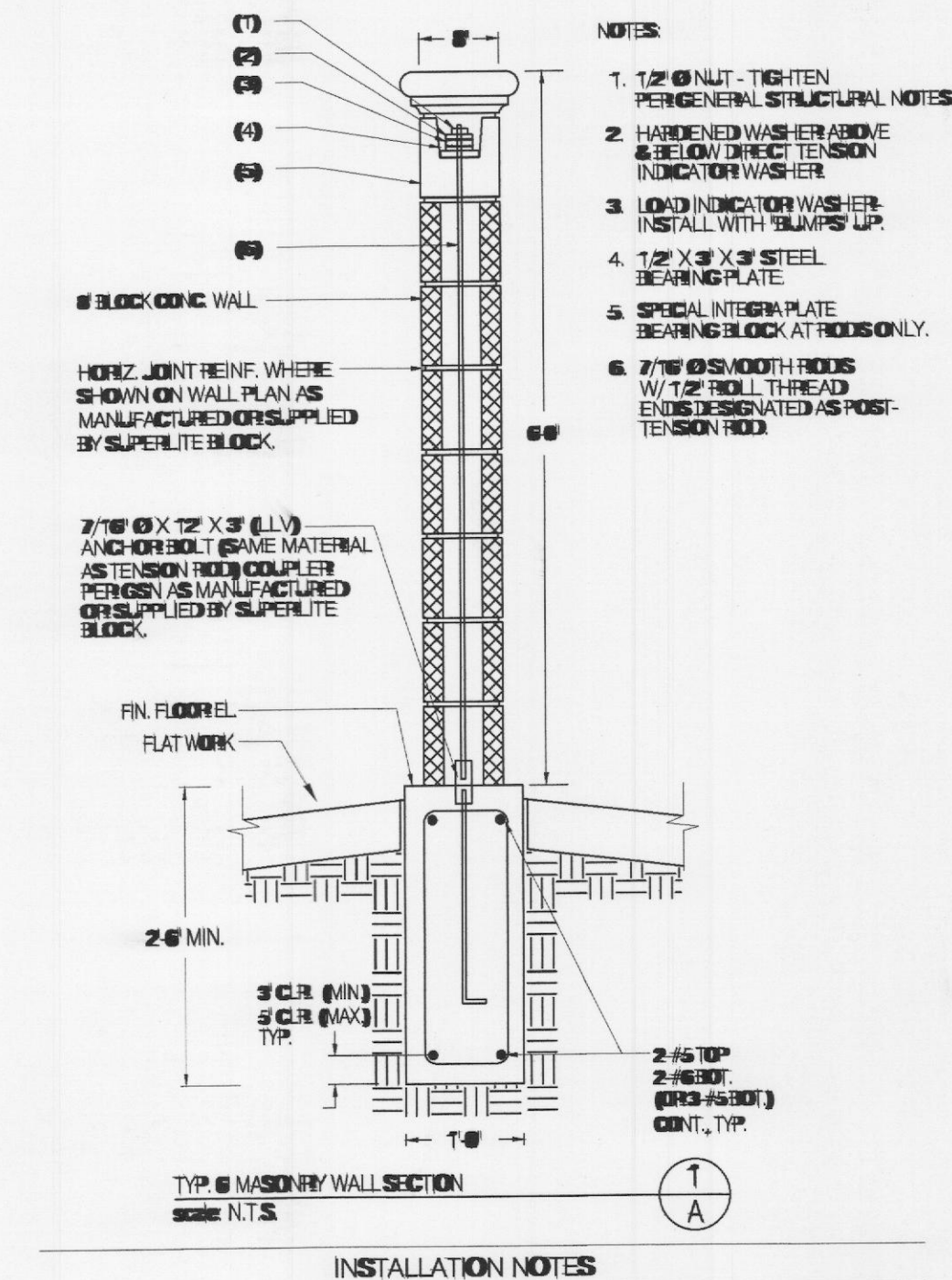
726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

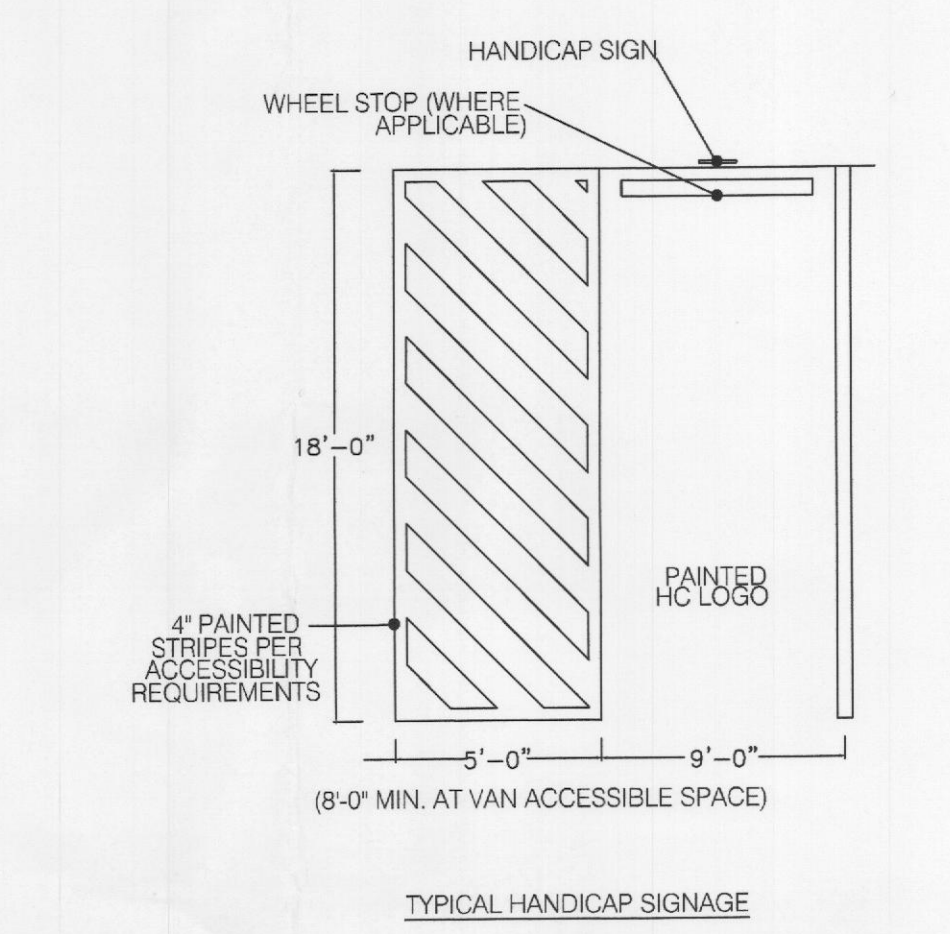
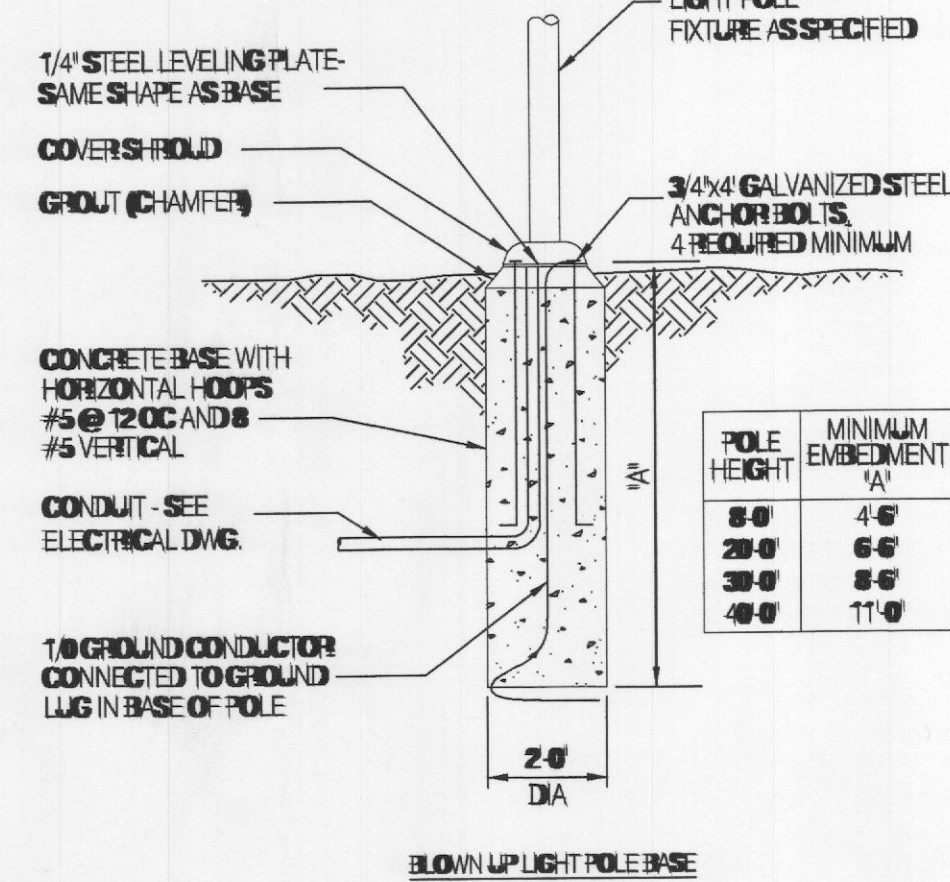
CASE # SP2022-006

SCALE:	1 TO 20
DATE:	03/08/2022
SQ FT:	3,956
TYPE:	LANDSCAPE

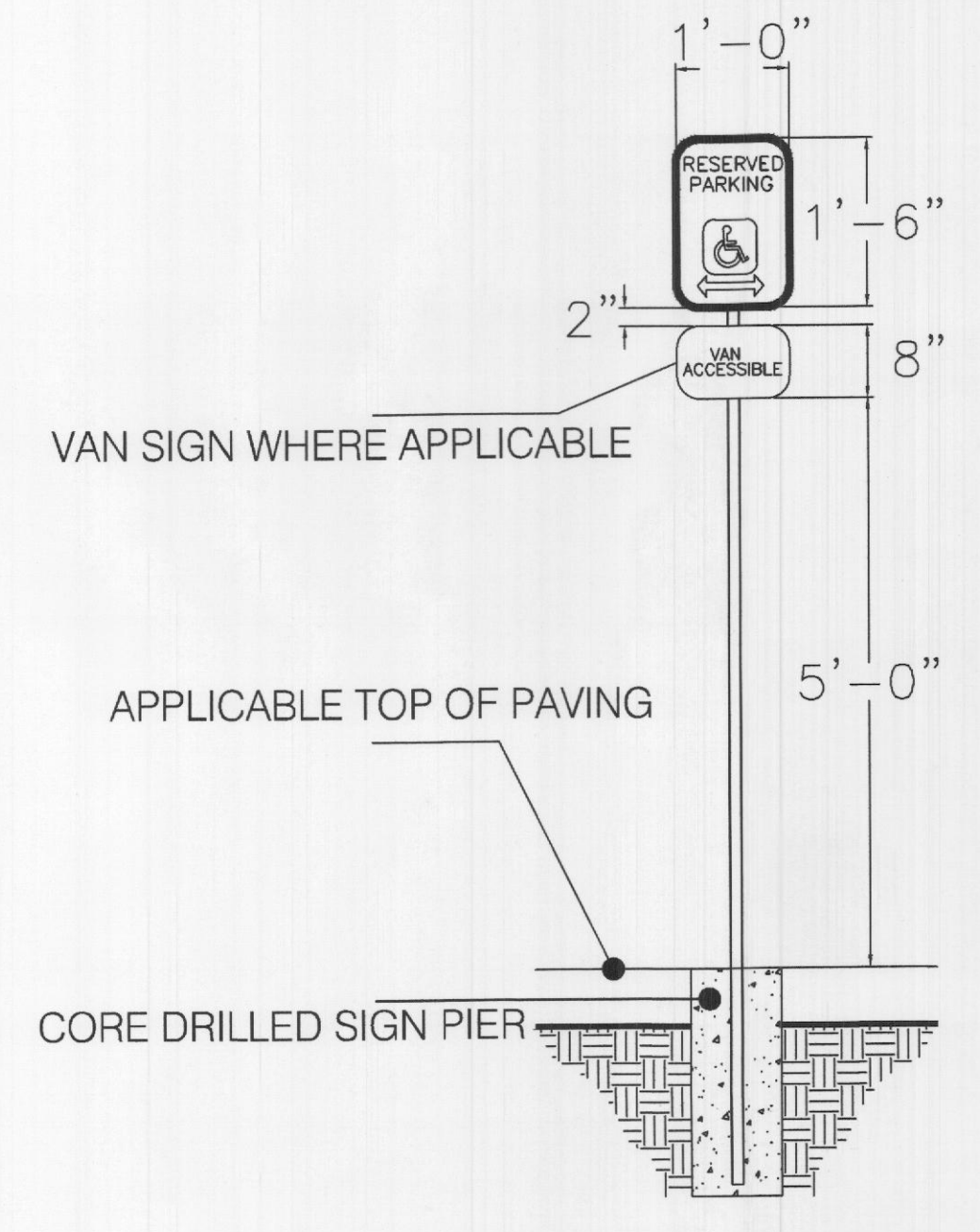
DRAWING No.  
**1A OF 12**  
DRAWN: EAC



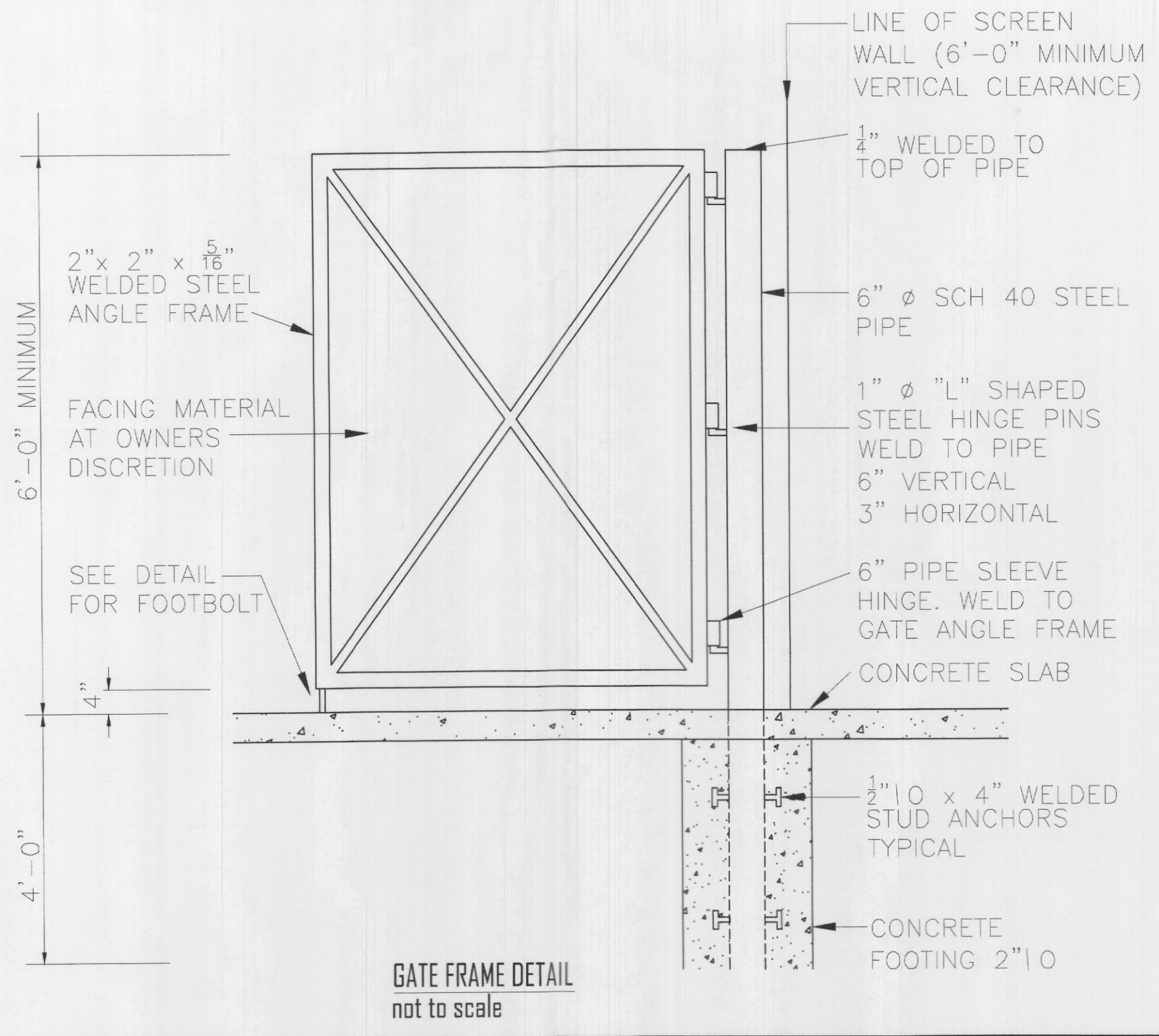
- INSTALLATION NOTES**
- FOOTING: PLACE AND SECURE FOOTING REINFORCING.
  - STEM WALL: PLACE AND SECURE #4 IN TOP OF STEM. MARK ON FORMS LOCATION OF ANCHOR BOLTS FOR POST TENSIONING RODS IN WALL. STAB ANCHOR BOLTS IN STEM.
  - INTERIOR WALL SYSTEM: INSTALL POST TENSIONING RODS IN COMPLETION ANCHOR BOLTS. BEGIN MASONRY WALL AT LOCATIONS WHERE GROUT IS SPECIFIED. GROUT LIFTS MAY NOT EXCEED 4'. CELL SHALL BE WELL TRODDEN TO ENSURE GROUT FULLY ENCASES REINFORCING ROD IN MAXIMUM LIFTS. IT IS ACCEPTABLE TO USE MORTAR AS GROUT IN 8' MAXIMUM LIFTS. INSTALL ALL HARDWARE FOR BEAM BEARINGS ETC.
  - LINTELS: SLOPE LINTELS 1/8\"/>



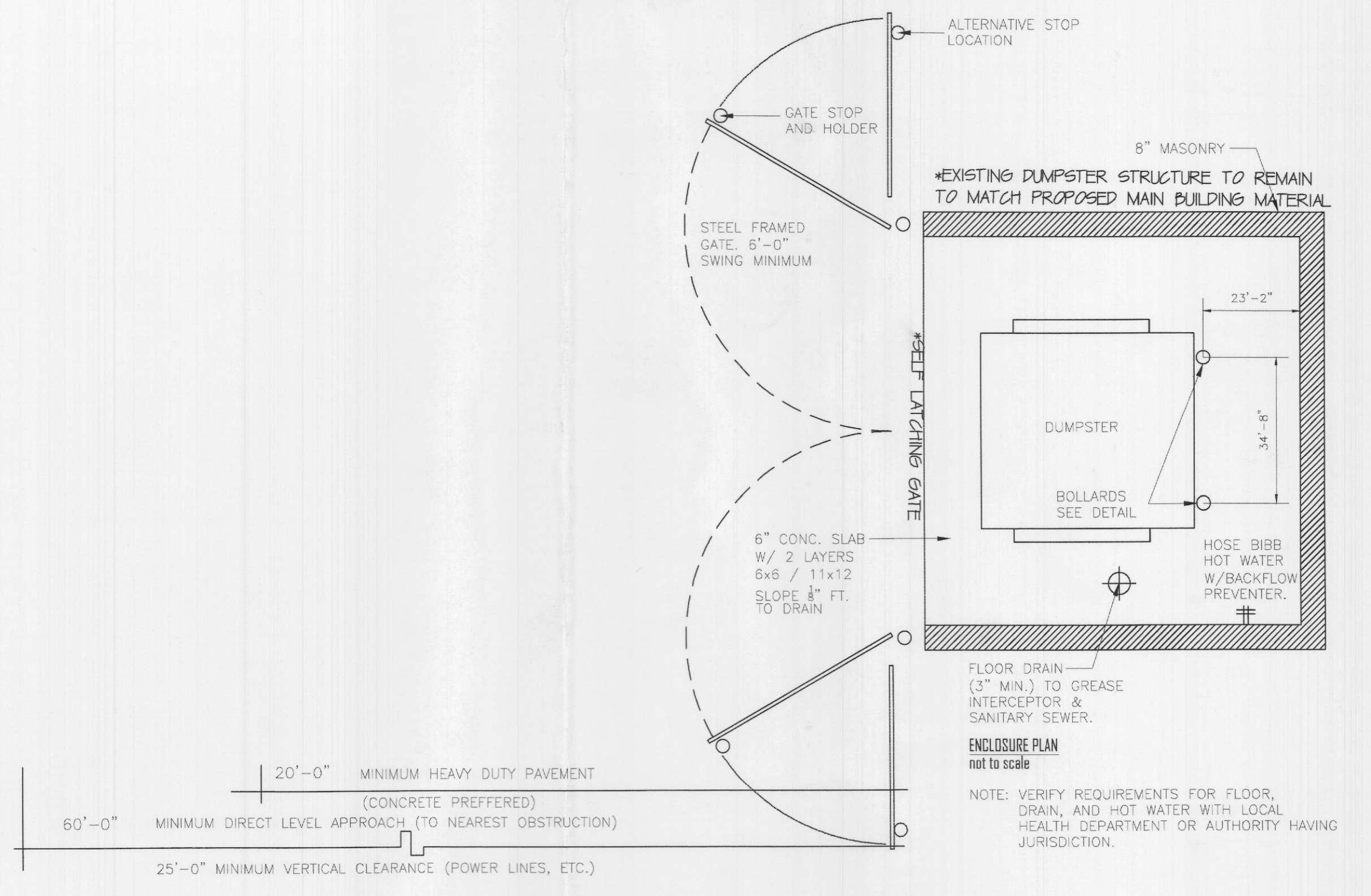
- HANDICAP SIGN NOTES:**
- VERIFY SIGN AND RQMTS. WITH CITY.
  - USE SINGLE OR DOUBLE ARROW DEPENDING ON NUMBER OF REQUIRED SPACES.
  - SIGN COLORS:  
LEGEND AND BORDER - GREEN  
BACKGROUND - WHITE  
HANDICAP SYMBOL - WHITE AND BLUE



TYPICAL HANDICAP SIGNAGE  
NOT TO SCALE

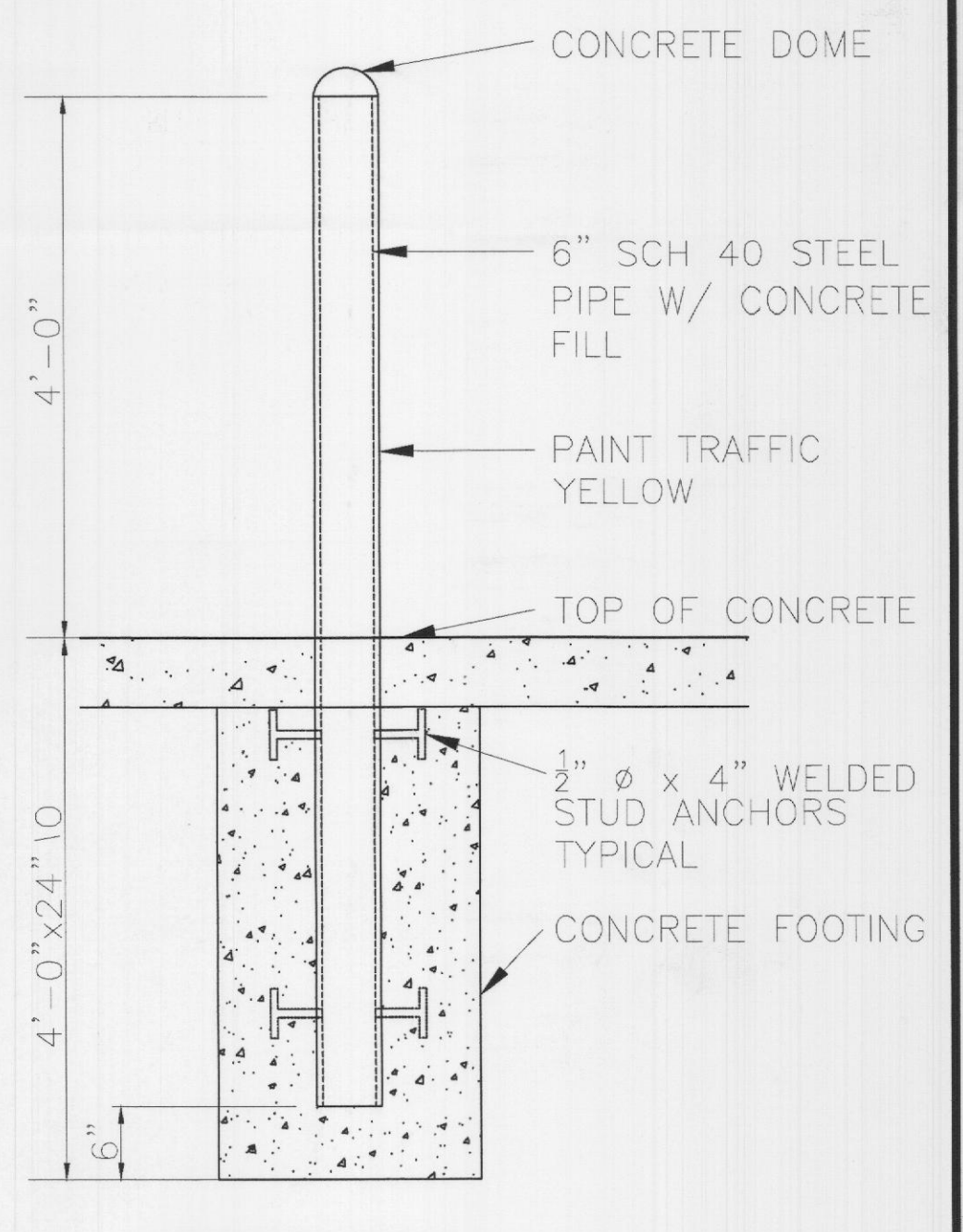
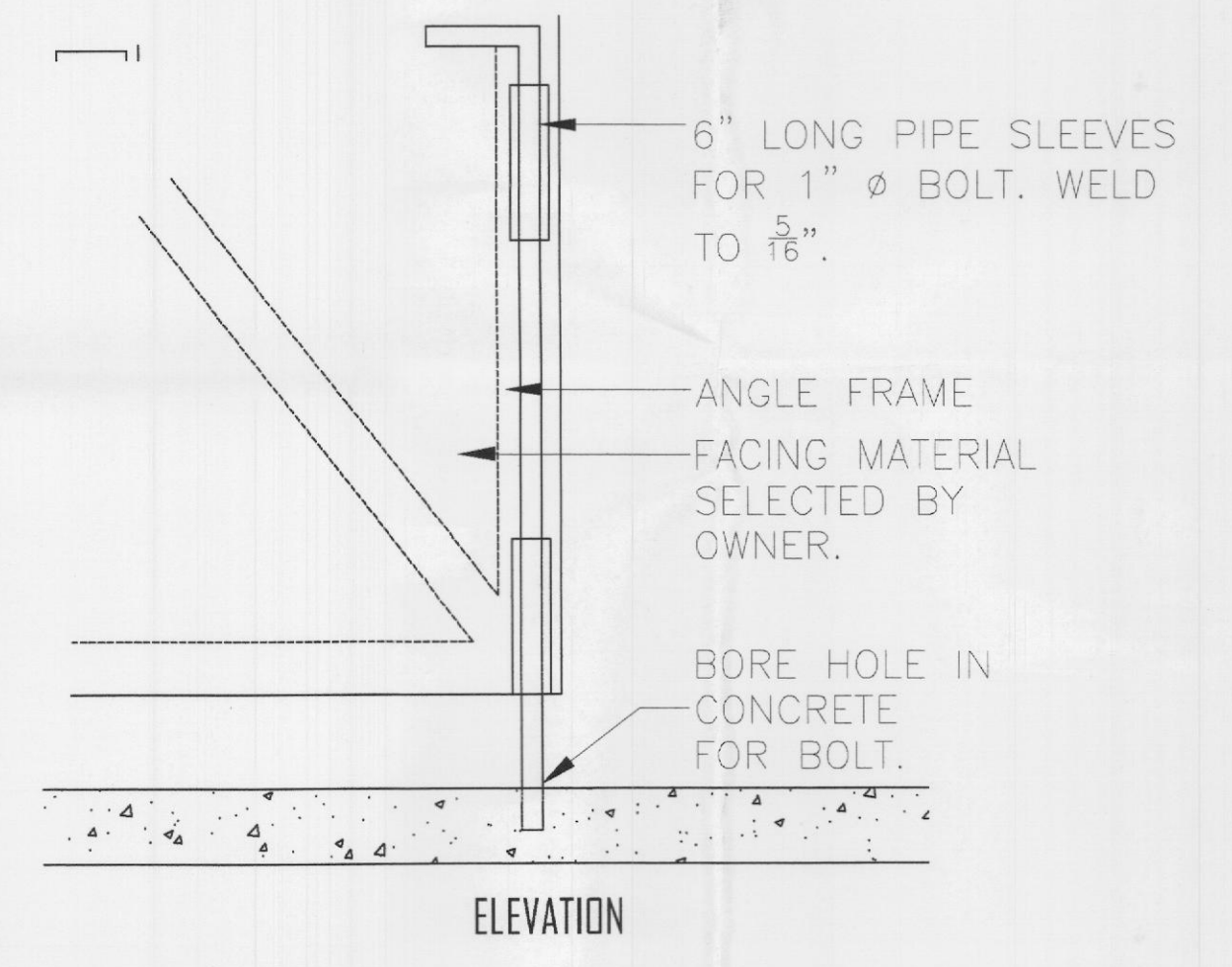


GATE FRAME DETAIL  
not to scale

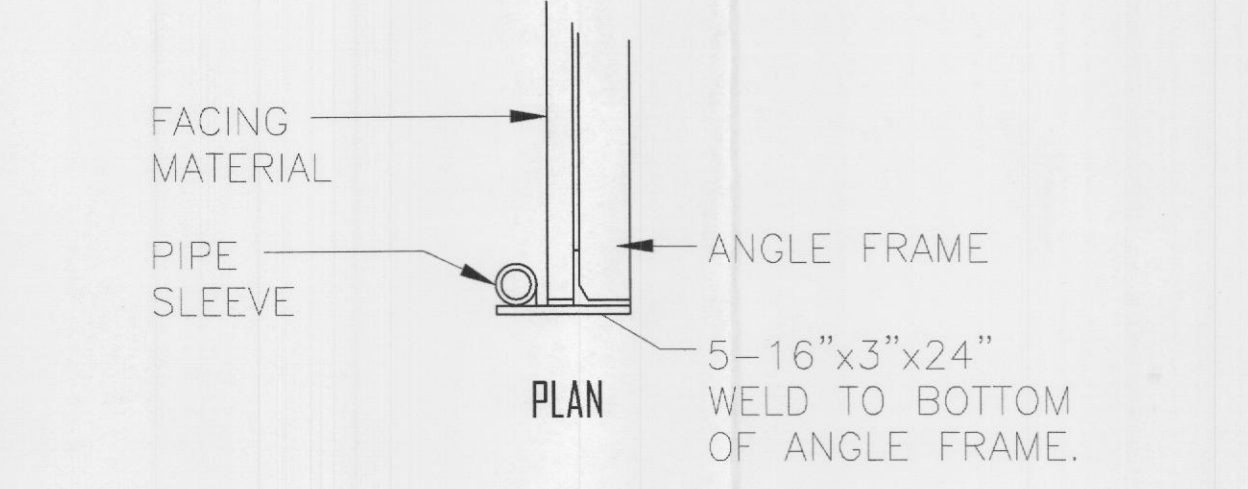


ENCLOSURE PLAN  
not to scale

NOTE: VERIFY REQUIREMENTS FOR FLOOR, DRAIN, AND HOT WATER WITH LOCAL HEALTH DEPARTMENT OR AUTHORITY HAVING JURISDICTION.



TYPICAL PIPE BOLLARD  
not to scale



TYPICAL FOOTBOLT  
not to scale

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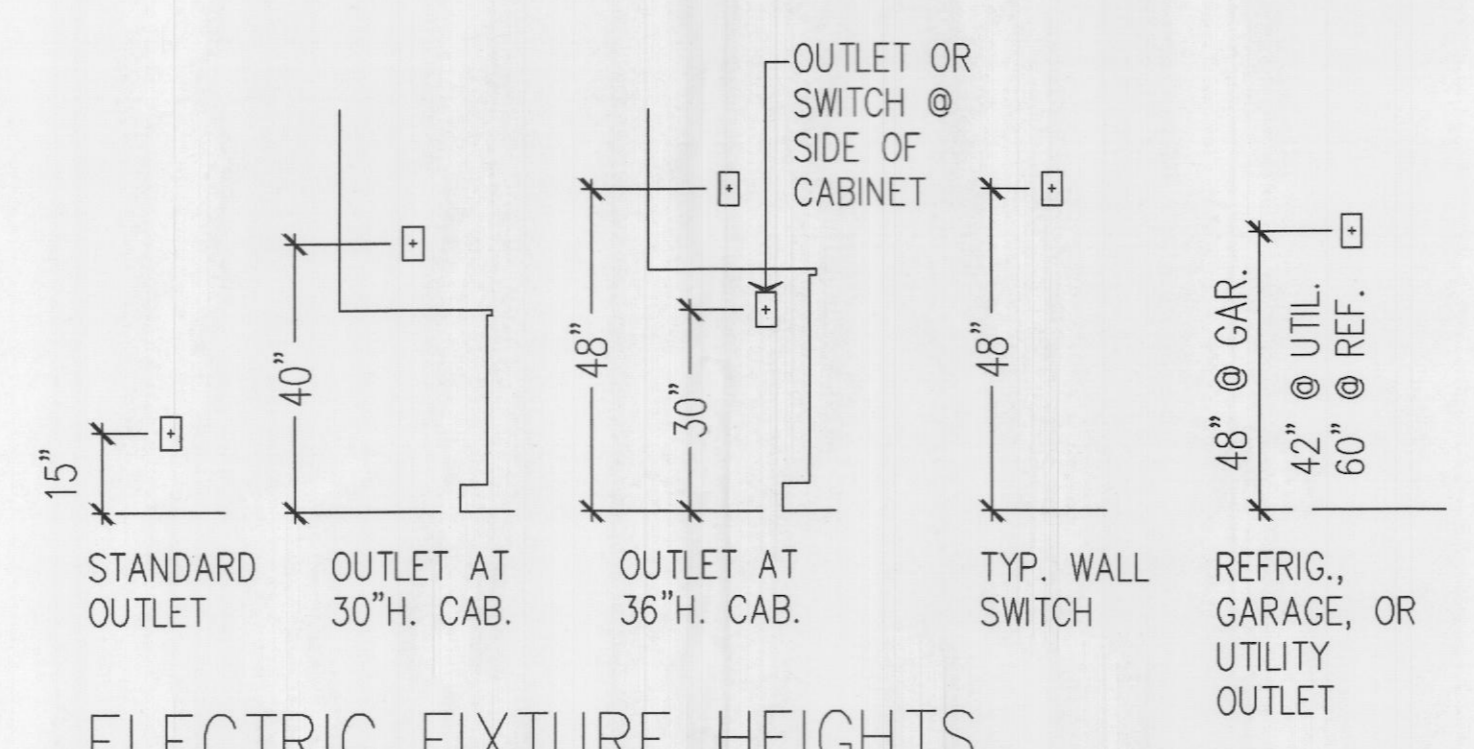
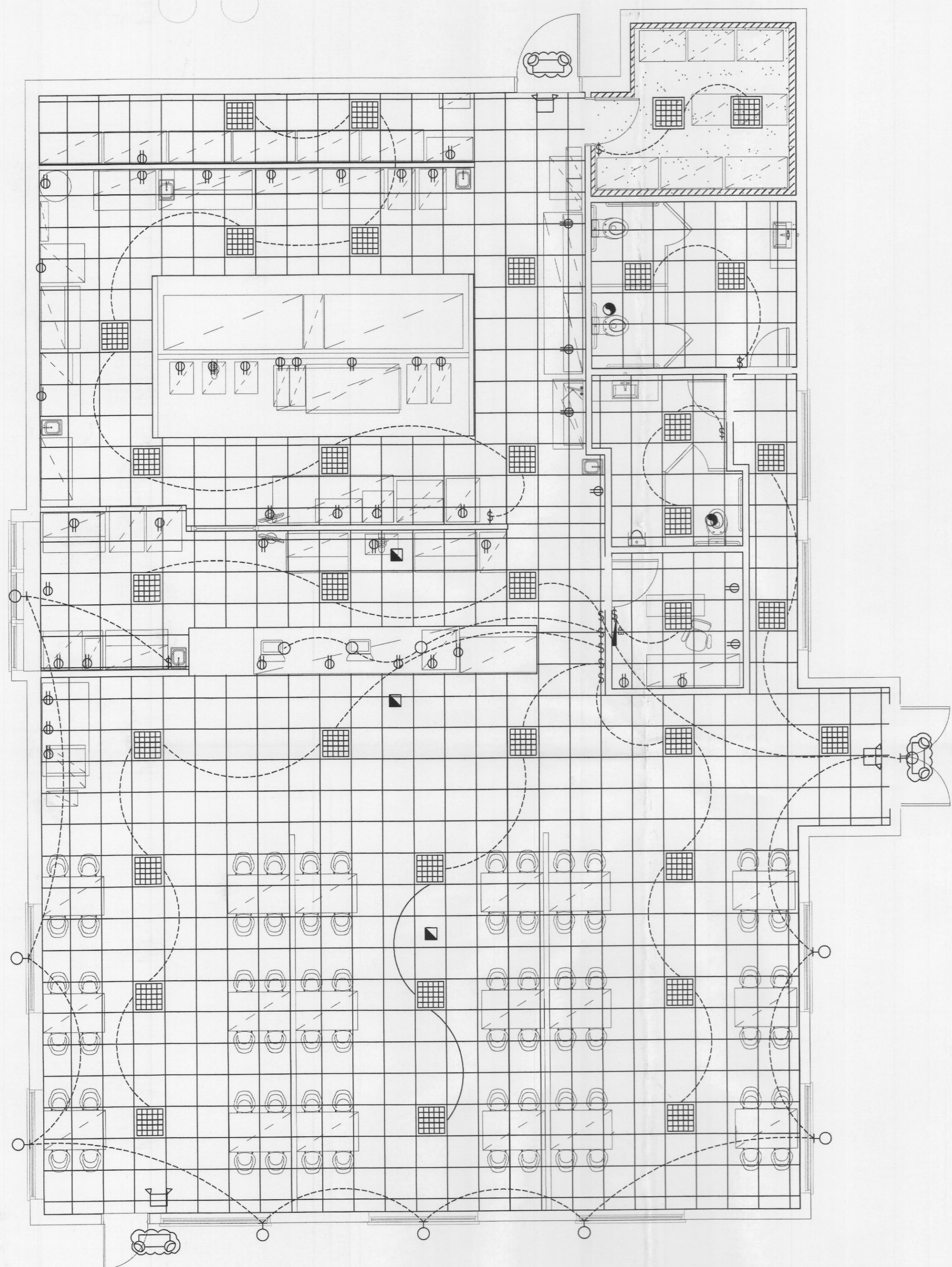
ADDRESS:  
SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087  
REMODEL

CASE # SP2022-006

SCALE:	NTS	DRAWING No.	2 OF 12
DATE:	03/08/2022	DRAWN:	EACB
SQ FT:	3,956		
TYPE:	DETAILS		

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**ELECTRIC FIXTURE HEIGHTS**  
(UNLESS NOTED OTHERWISE)

**GENERAL ELECTRICAL NOTES**

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

- ⊕ 110 VOLT RECEPTACLE
- ⊕ WP WATERPROOF RECEPTACLE
- ⊕ CLG 110 VOLT IN CEILING
- ⊕ GFI 110 VOLT with GROUND FAULT INTERRUPTER
- FLR 110 VOLT IN FLOOR
- ⊕ 220V 220 VOLT RECEPTACLE
- ⊕ 110 VOLT DIRECT HARD WIRE
- ≡ HOSE BIBB
- ◀ TELEPHONE OUTLET w/ CATS VOICE & DATA
- PUSH BUTTON (DOORBELL OR GARAGE DOOR OPENER)
- ◼ SMOKE DETECTOR/CARBON MONOXIDE (HARD WIRE WITH BATTERY BACKUP)
- ⊗ Fire Exit
- ⊕ T THERMOSTAT
- ▬ EP ELEC. PANEL
- ⊕ SINGLE POLE SWITCH
- ⊕ 3 THREE WAY SWITCH
- ⊕ 4 FOUR WAY SWITCH
- ⊕ DIM DIMMER SWITCH
- ⊕ RHEO RHEOSTAT SWITCH
- CEILING MOUNTED LIGHT
- ⊗ HANGING LIGHT
- ⊕ RECESSED, ADJUSTABLE CAN LIGHT
- ⊕ WP WATERPROOF RECESSED ADJUSTABLE CAN L
- ⊕ WALL MOUNTED LIGHT
- ⊕ EXHAUST FAN (50 cfm MIN.)
- ⊕ 2x2 FLUORESCENT FIXTURE 25 W
- ⊕ EXIT LIGHT, BATTERY TYPE WITH CHARGER
- ⊕ EMERGENCY ILLUMINATION



**WALL PACKS SPECS**

Specs at a Glance*			
# of LEDs	42 LEDs	66 LEDs	90 LEDs
Wattage (w)	27	43	54
Lumens (lm)	2,155	3,386	4,873
Efficacy (LPW)	75	75	88
Equivalency	100w HID	150w HID	250w HID
CCT	3000K, 4000K, 5000K		
CRI	≥85		
Optics	Type II Very Short		
Input Voltage	120-277 Voltage Sensing		
Warranty	5 Years		
Certifications	UL Listed for Wet Locations, ARRA		
Ambient Temp	-35°F to 40°C (-31°F to 104°F)		

\* 5000K CCT tested

**GREEN/ENERGY CODE COMPLIANCE OUTLINE 2012 IECC**

1. WATER EFFICIENCY:
  - 1.1. ALL LAV. FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
  - 1.2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
  - 1.3. ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE
2. STORM WATER:
  - 2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE
3. POLY SEAL:
  - 3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK
  - 3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK
  - 3.3. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK
  - 3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK
  - 3.5. BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS
  - 3.6. DUCT TIGHTNESS TESTING IS MANDATORY. TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4 FT<sup>3</sup>/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
    - 3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE
4. INSULATION:
  - 4.1. 2:12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF
  - 4.2. ALL PIER AND BEAM/ RAISED FLOORS MUST BE INSULATED WITH R - 19 INSULATION OR HIGHER
    - 4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R - 5 CONTINUOUS OR R - 13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH
  - 4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R - 20 CAVITY OR R - 13 CAVITY WITH R - 5 CONTINUOUS INSULATION OR HIGHER
  - 4.4. CEILINGS MUST BE INSULATED WITH R - 49 IF THERE IS ATTIC SPACE AND R - 30 IF NO ATTIC SPACE (CATHEDRAL) AND THAT IS LIMITED TO 500 SQ. FT. TOTAL OR 20% OF CEILING WHICHEVER IS LESS
  - 4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
5. HVAC/SERVICE WATER:
  - 5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R - 8 DUCTING
  - 5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R - 13 INSULATION
6. WINDOWS AND DOORS:
  - 6.1. MUST HAVE A U-FACTOR OF .32 OR LESS
  - 6.2. MUST HAVE A SHGC OF .25 OR LESS
7. LIGHTING:
  - 7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE
  - 7.2. MINIMUM OF 75% OF LIGHTING MUST BE HIGH EFFICIENCY (ANYTHING BUT INCANDESCENT)

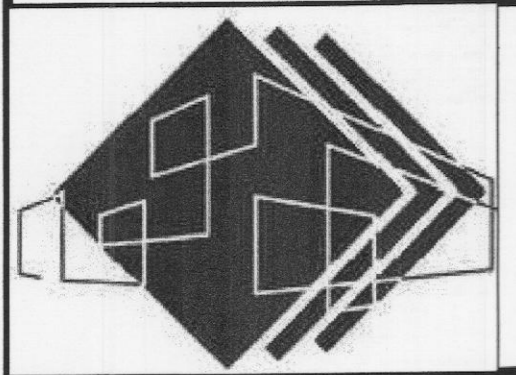
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**ELECTRICAL PLAN**  
SCALE: 3/16" = 1'-0"



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REMODEL

CASE # SP2022-006

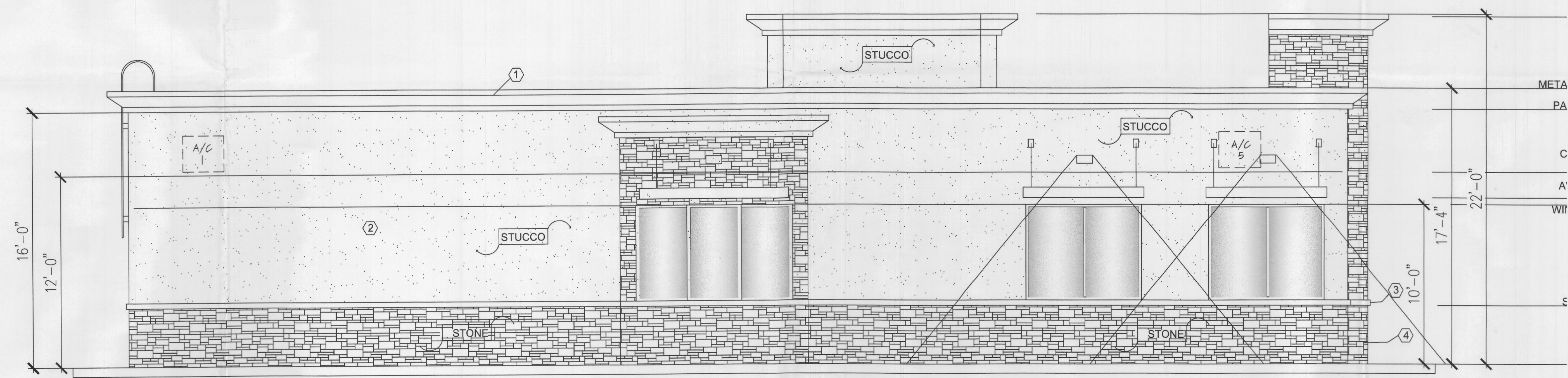
SCALE: 3/16" = 1'-0"  
DATE: 03/08/2022  
SQ FT: 3,956  
TYPE: ELECTRICAL PLAN

DRAWING No.  
**5 OF 12**  
DRAWN: EACB



STUCCO: 50%  
 STONE: 10%  
 WINDOWS/DOORS: 10%  
 PARAPET WALL: 10%

RIGHT ELEVATION (EAST)  
 SCALE: 1/4" = 1'-0"



STUCCO: 51%  
 STONE: 30%  
 WINDOWS/DOORS: 11%  
 PARAPET WALL: 8%

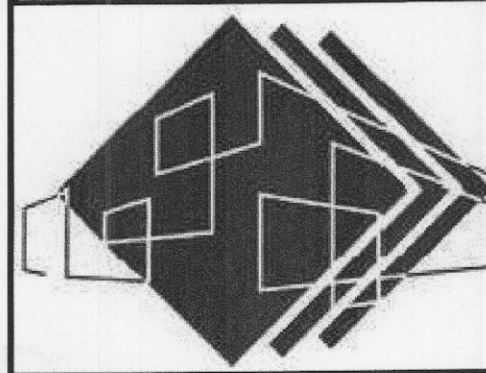
LEFT ELEVATION (WEST)  
 SCALE: 1/4" = 1'-0"

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SCALE:	1/4" = 1'-0"
DATE:	03/08/2022
SQ FT:	3,956
TYPE:	ADA

DRAWING No.	11 OF 12
DRAWN:	EACB



FRONT ELEVATION (SOUTH)  
SCALE: 1/4" = 1'-0"

STUCCO: 20%  
STONE: 50%  
WINDOWS/DOORS: 15%  
PARAPET WALL: 15%

① EXTERIOR TRIM AROUND BUILDING SW 6868 REAL RED

SW 6868 REAL RED  
Sherwin-Williams Color  
sR = 200.663  
sG = 66.999  
sB = 73.620  
#C9474E

② EXTERIOR WALLS (ABOVE STUCCO BAND/STONE OR GRAY PAINT),

SW 6126 NAVAJO WHITE  
Sherwin-Williams Color  
sR = 233.166  
sG = 222.635  
sB = 200.668  
#E9DFC9

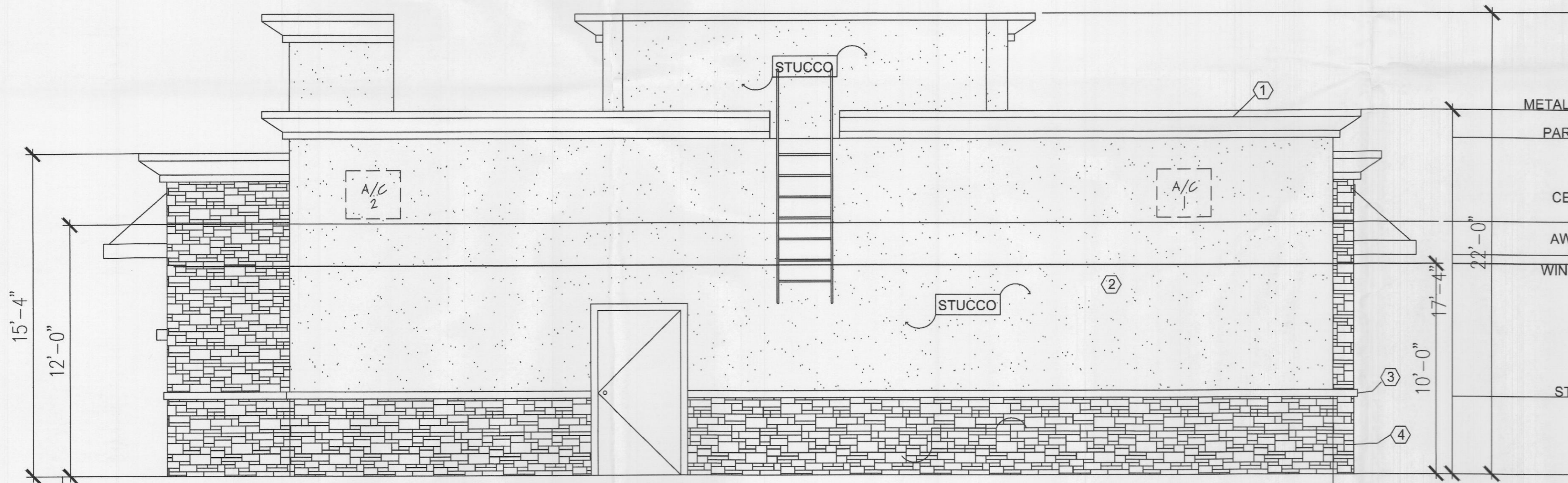
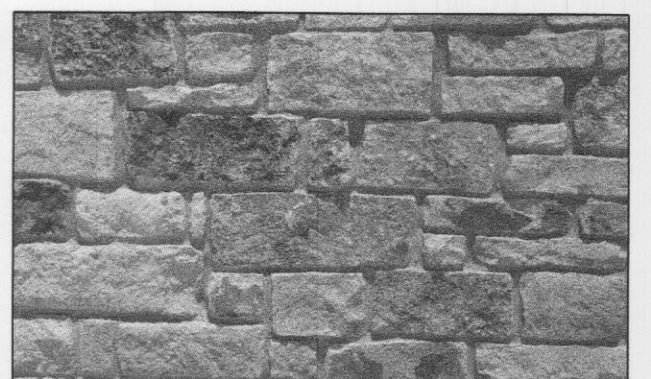
③ OUTSIDE TRIM MOLDINGS, SW 7017 DORIAN GRAY

6126 NAVAJO WHITE

SW 7017 DORIAN GRAY  
Sherwin-Williams Color  
sR = 172.588  
sG = 169.664  
sB = 161.194  
#AEABA3

④ EXTERIOR STONE

TEXAS MIX NATURAL CHOP



REAR ELEVATION (NORTH)  
SCALE: 1/4" = 1'-0"

STUCCO: 60%  
STONE: 90%  
WINDOWS/DOORS: 2%  
PARAPET WALL: 8%

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.  
WITNESS OUR HANDS, this 23 day of March, 2022.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

CREATIVODESIGNS  
602 SRL THORNTON FWY SUITE B  
DALLAS, TEXAS 75203  
214.884.8168 214.886.2866  
cs@creativodesignsusa.com

ADDRESS:  
SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

CASE # SP2022-006

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

SCALE:	N.T.S
DATE:	03/08/2022
SQ FT:	3,956
TYPE:	ADA

DRAWING No.	12 OF 12
DRAWN:	EACB