

PRELIMINARY FOR REVIEW ONLY
 THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR THE PURPOSES OF CONSTRUCTION, BIDDING OR PERMIT. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:
 JEREMY B. NELSON
 P.E.# 138740
 DATE: 03/08/2022



525 S. LOOP 288,
 SUITE 105
 DENTON, TX 76205
 (940) 566-5465

INTEGRATED DEFENSE PRODUCTS TM
 LOT 4, BLOCK B
 ROCKWALL TECHNOLOGY PARK,
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 (2.50 ACRES) J.M. ALLEN SURVEY A-2

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |



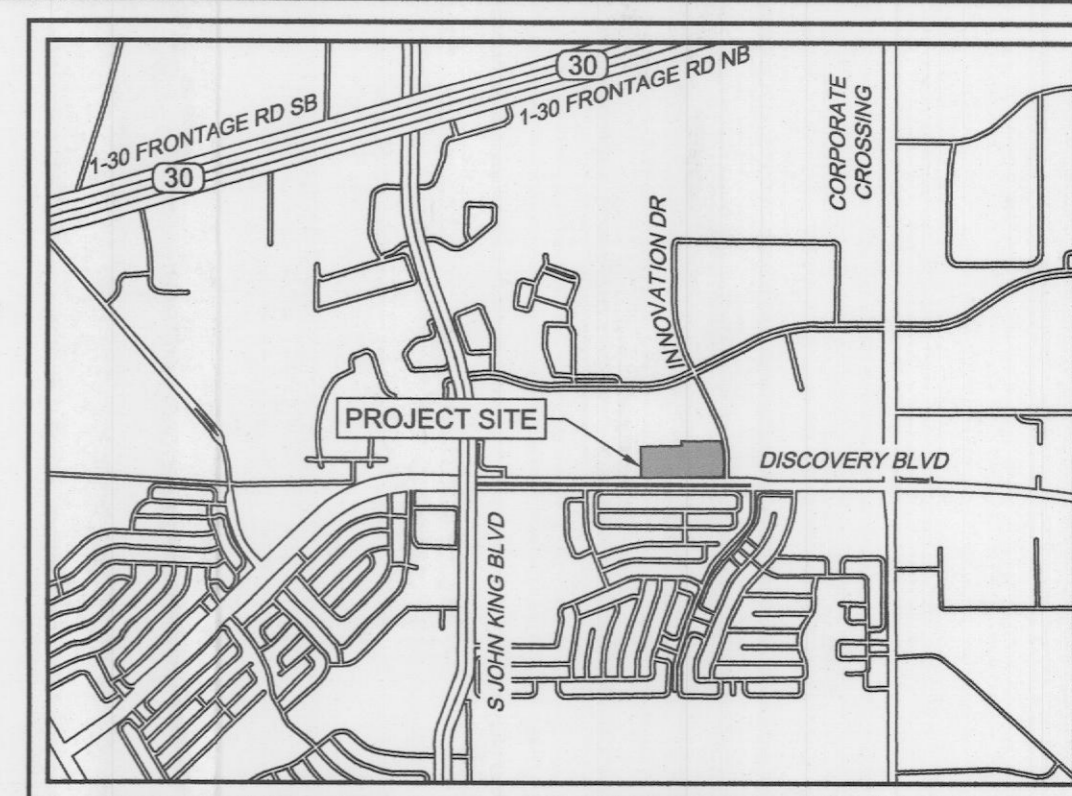
KIRKMAN ENGINEERING, LLC
 5200 STATE HIGHWAY 121
 COLLEVILLE, TX 76034
 TEXAS FIRM NO. 15874

JOB NUMBER: LNK21005

ISSUE DATE: 03/08/2022

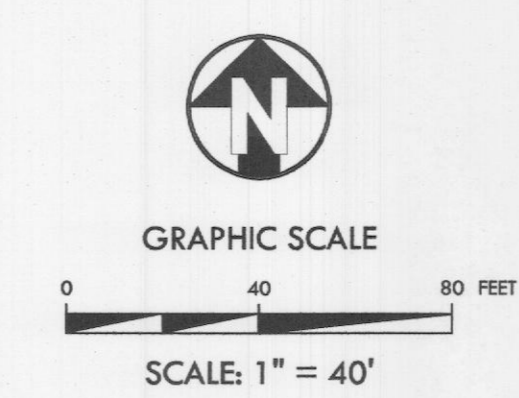
SITE PLAN
 SHEET:
C3.0

CASE NUMBER: SP2022-005

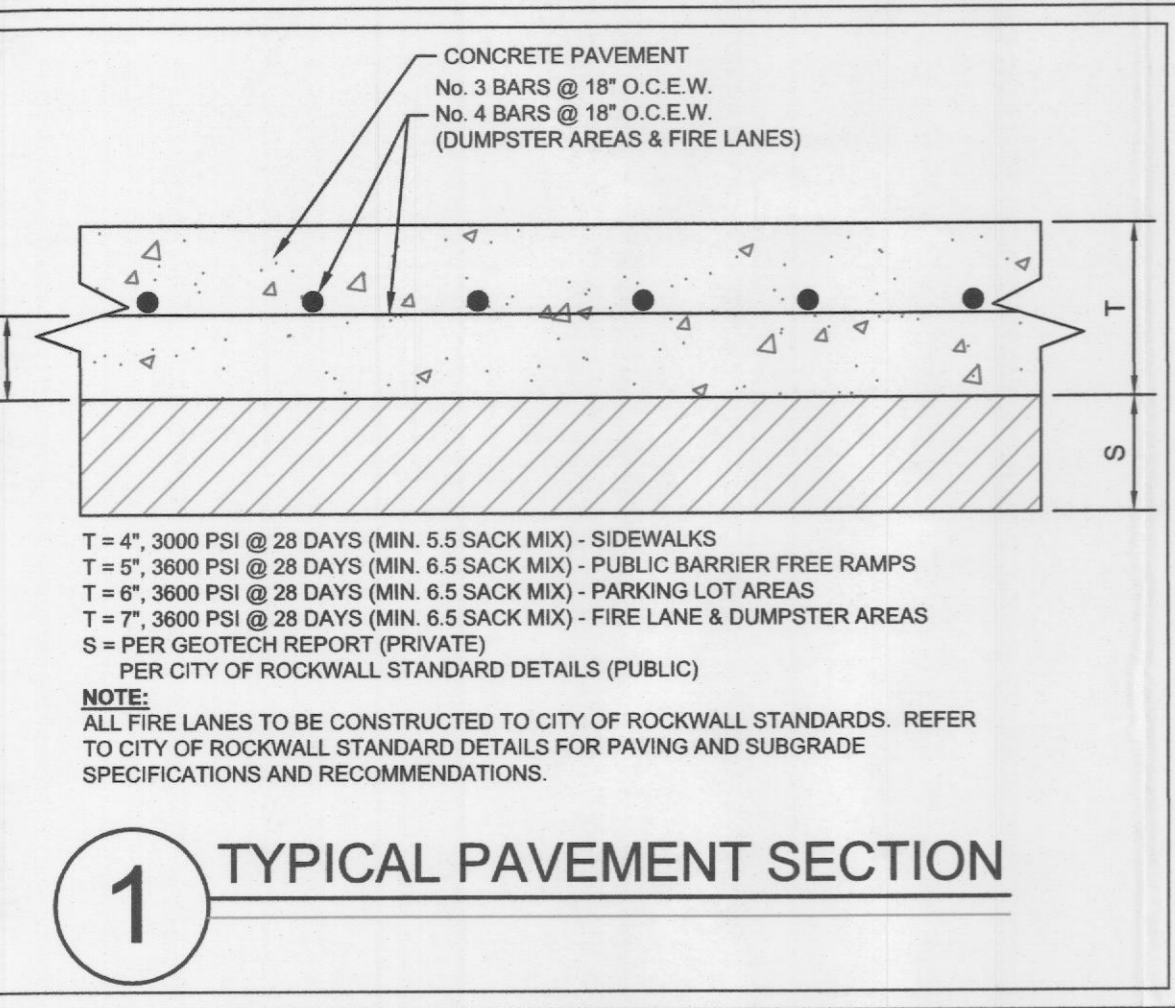


VICINITY MAP
 N.T.S.

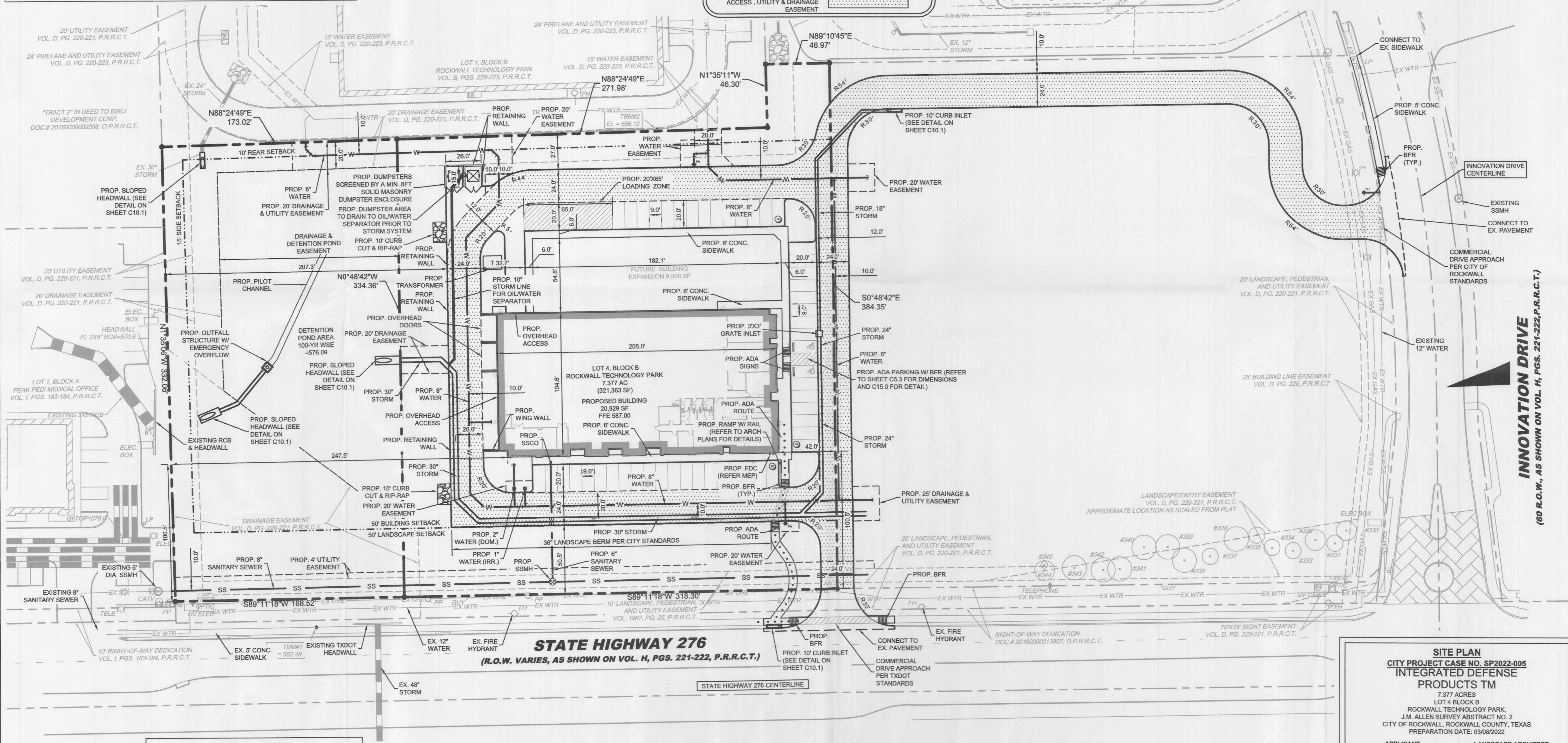
| LEGEND | |
|--|------------|
| PROPOSED SIGN | ○ |
| FIRE LANE STRIPING | — FIRELINE |
| EXISTING WATER | — EX WTR |
| PROPOSED WATER | — W |
| EXISTING SANITARY SEWER | — EX SS |
| PROPOSED SANITARY SEWER | — SS |
| EXISTING STORM DRAIN | — EX STD |
| PROPOSED STORM DRAIN | — STD |
| PROPOSED FIRE HYDRANT | ● FH |
| PROPOSED SANITARY SEWER MANHOLE | ○ SS |
| PROPOSED GRATE INLET | □ |
| ACCESSIBLE ROUTE | ○ 10 |
| PARKING COUNT | — |
| PROPOSED RETAINING WALL | — |
| PROPOSED FDC | — |
| PROPERTY BOUNDARY | — |
| PROPOSED FIRE LANE, PUBLIC ACCESS, UTILITY & DRAINAGE EASEMENT | — |



| SITE DATA SUMMARY TABLE | |
|--|--|
| GENERAL SITE DATA | |
| ZONING | LOT 4 LI - LIGHT INDUSTRIAL |
| LAND USE | OFFICE/WAREHOUSE |
| LOT AREA | 109,258 SF/2.50 AC |
| BUILDING FOOTPRINT AREA | 20,930 SF |
| TOTAL BUILDING AREA | 3,765 SF OFFICE 17,165 SF WAREHOUSE TOTAL 20,930 SF |
| BUILDING HEIGHT (# STORIES) | |
| BUILDING HEIGHT | 29'-8" |
| LOT COVERAGE | 12.59% |
| FLOOR AREA RATIO | 0.13 |
| PARKING | |
| PARKING RATIO | OFFICE: ONE SPACE PER 300 SF WAREHOUSE: ONE SPACE PER 1000 SF |
| REQUIRED PARKING (# SPACES) | 31 |
| PROVIDED PARKING (# SPACES) | 50 |
| ACCESSIBLE PARKING REQUIRED (# SPACES) | 2 |
| ACCESSIBLE PARKING PROVIDED (# SPACES) | 2 |



1 TYPICAL PAVEMENT SECTION



STATE HIGHWAY 276
 (R.O.W. VARIES, AS SHOWN ON VOL. H, PGS. 221-222, P.R.R.C.T.)

- LAYOUT & DIMENSIONAL CONTROL NOTES:**
- BOUNDARY LINES AND EASEMENT: REFER TO THE FINAL PLAT TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS.
 - DIMENSIONAL CONTROL: UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
 - CURB RADII: UNLESS NOTED OTHERWISE, ALL CURB RADII SHALL BE 3' AT FACE OF CURB.
 - BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
 - ALL COORDINATES ARE U.S. SURVEY FEET, NAD '83 SURFACE.

NOTE TO CONTRACTOR
 THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of March, 2022.
 WITNESS OUR HANDS, THIS 23 day of March 2022.

OWNER:
 ROCKWALL TECHNOLOGY PARK
 PO BOX 988
 ROCKWALL, TX 75087
 PH: (972) 772-0025
 CONTACT: PHIL WAGNER

PLANNING & ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

SITE PLAN
 CITY PROJECT CASE NO. SP2022-005
INTEGRATED DEFENSE PRODUCTS TM
 LOT 4 BLOCK B
 ROCKWALL TECHNOLOGY PARK,
 J.M. ALLEN SURVEY ABSTRACT NO. 2
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 PREPARATION DATE: 03/08/2022

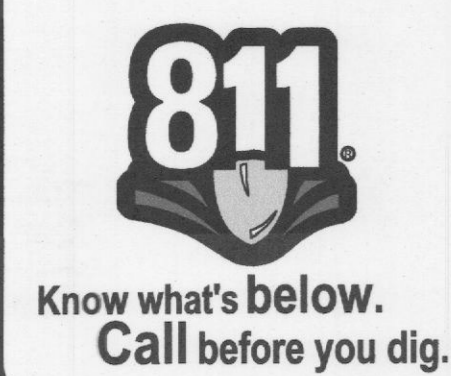
APPLICANT:
 LINKS CONSTRUCTION
 525 S. LOOP 288, SUITE 105
 DENTON, TX 76034
 PH: 940-753-0520
 CONTACT: ALISON WINGSET, PE

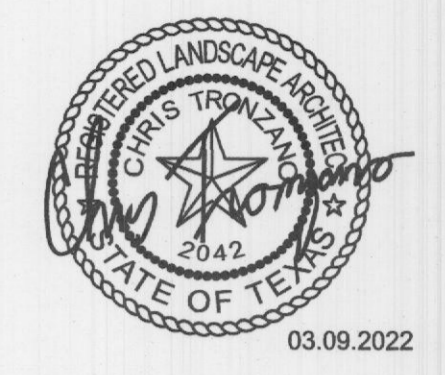
LANDSCAPE ARCHITECT:
 STUDIO GREEN SPOT, INC.
 1784 W. McDERMOTT DR. STE. 110
 ALLEN, TX 75013
 PH: 469-969-4448
 CONTACT: CHRIS TRONZANO, RLA

ENGINEER:
 KIRKMAN ENGINEERING, LLC
 5200 STATE HIGHWAY 121
 COLLEVILLE, TX 76034
 PH: 817-458-4960
 CONTACT: JEREMY NELSON, PE

SURVEYOR:
 BARTON CHAPA SURVEYING
 5200 STATE HIGHWAY 121
 COLLEVILLE, TX 76034
 PH: 817-564-1957
 CONTACT: JACK BARTON, RPLS

FULL PATH: C:\Users\jnelson\OneDrive\Documents\Rockwall\SP2022-005\SP2022-005_SitePlan.dwg
 PLOTTED BY: J. NELSON
 PLOT DATE: 3/8/2022





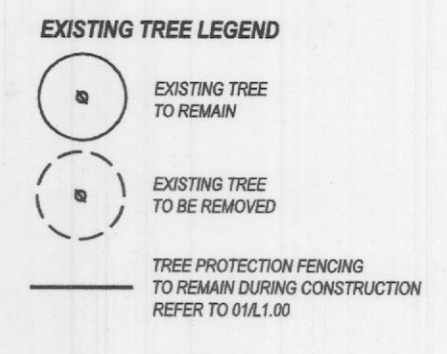
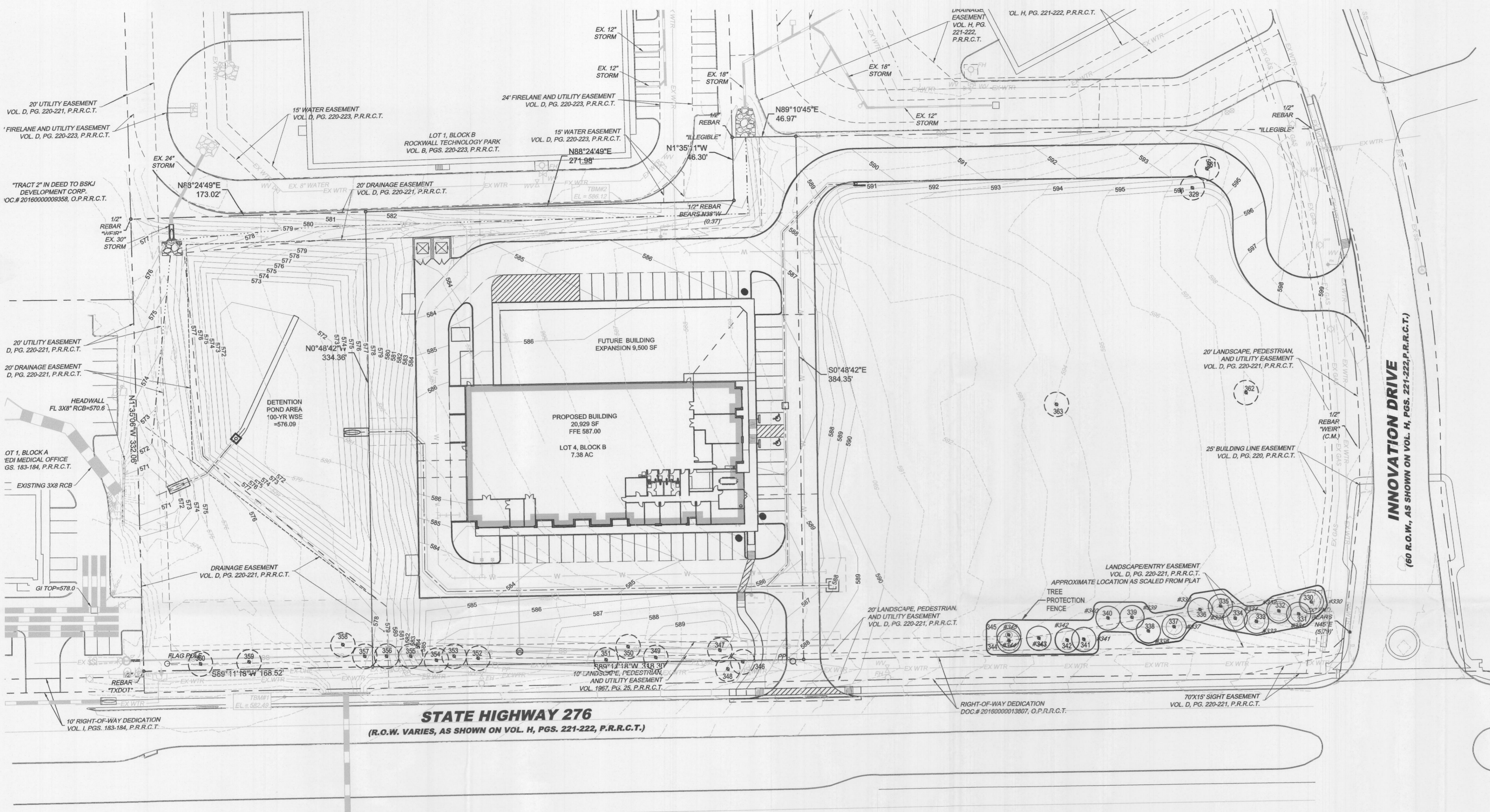
INTEGRATED DEFENSE PRODUCT™
LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

ISSUE:
FOR APPROVAL 02.04.2022
CITY COMMENTS 02.18.2022
CITY COMMENTS 03.03.2022
CITY COMMENTS 03.09.2022

DATE:
03.09.2022

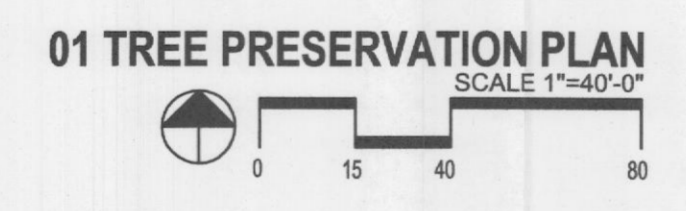
SHEET NAME:
TREE PRESERVATION PLAN

SHEET NUMBER:
L.1



EXISTING TREE NOTES

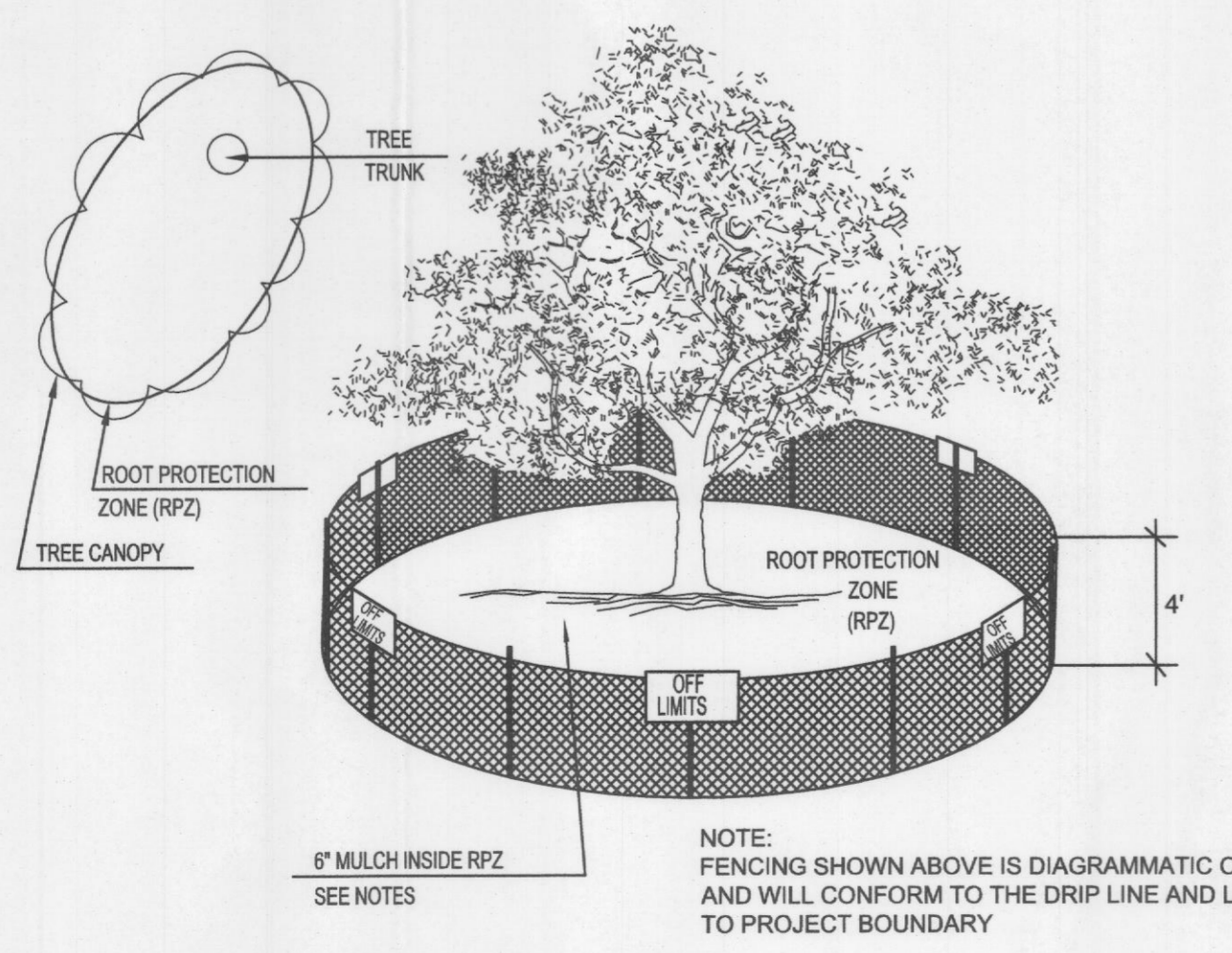
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.



EXISTING TREES PREVIOUS BUILDING DEVELOPMENT

| NO. | DIA INCHES | SPECIES (COMMON NAME) | REMARKS | MITIGATION REQUIRED |
|-----|------------|-----------------------|---------------|---------------------|
| 329 | 11 | CEDAR | TO BE REMOVED | 11 |
| 330 | 15 | CEDAR | TO REMAIN | |
| 331 | 11 | CEDAR | TO REMAIN | |
| 332 | 14 | CEDAR | TO REMAIN | |
| 333 | 12 | CEDAR | TO REMAIN | |
| 334 | 13 | CEDAR | TO REMAIN | |
| 335 | 12 | CEDAR | TO REMAIN | |
| 338 | 15 | CEDAR | TO REMAIN | |
| 337 | 12 | CEDAR | TO REMAIN | |
| 338 | 14 | CEDAR | TO REMAIN | |
| 339 | 15 | CEDAR | TO REMAIN | |
| 340 | 15 | CEDAR | TO REMAIN | |
| 341 | 22 | CEDAR MULTI-TRUNK | TO REMAIN | |
| 342 | 15 | CEDAR | TO REMAIN | |
| 343 | 18 | CEDAR | TO REMAIN | |
| 344 | 14 | CEDAR | TO REMAIN | |
| 345 | 5 | HERCULES CLUB | TO REMAIN | |
| 346 | 7 | OAK | TO BE REMOVED | 7 |
| 347 | 6 | OAK | TO BE REMOVED | 6 |
| 348 | 7 | OAK | TO BE REMOVED | 7 |
| 349 | 6 | OAK | TO BE REMOVED | 6 |
| 350 | 5 | OAK | TO BE REMOVED | 5 |
| 351 | 5 | OAK | TO BE REMOVED | 5 |
| 352 | 7 | OAK | TO BE REMOVED | 7 |
| 353 | 8 | OAK | TO BE REMOVED | 8 |
| 354 | 5 | OAK | TO BE REMOVED | 5 |
| 355 | 11 | OAK | TO BE REMOVED | 11 |
| 356 | 9 | OAK | TO BE REMOVED | 9 |
| 357 | 10 | OAK | TO BE REMOVED | 10 |
| 358 | 8 | OAK | TO BE REMOVED | 8 |
| 359 | 9 | OAK | TO BE REMOVED | 9 |
| 360 | 7 | OAK | TO BE REMOVED | 7 |
| 361 | 17 | CEDAR MULTI-TRUNK | TO BE REMOVED | 17 |
| 362 | 13 | CEDAR MULTI-TRUNK | TO BE REMOVED | 13 |
| 363 | 15 | CEDAR MULTI-TRUNK | TO BE REMOVED | 15 |

TOTAL MITIGATION REQUIRED: 166 CAL INCHES
MITIGATION PROVIDED: 162 4" CALIPER TREES
TOTAL INCHES OF MITIGATION TREES PLANTED ON SITE: 168 CAL INCHES



01 TREE PROTECTION FENCE A
NOT TO SCALE

SITE DATA SUMMARY TABLE

| GENERAL SITE DATA | | LOT 4 |
|--|--|--|
| ZONING | | LI - LIGHT INDUSTRIAL |
| LAND USE | | OFFICE/WAREHOUSE |
| LOT AREA | | 109,258 SF / 2.50 AC |
| BUILDING FOOTPRINT AREA | | 20,930 SF |
| TOTAL BUILDING AREA | | 3,765 SF OFFICE 17,165 SF WAREHOUSE TOTAL 20,930 SF |
| BUILDING HEIGHT (# STORIES) | | 1 |
| BUILDING HEIGHT | | 29'-8" |
| LOT COVERAGE | | 12.59% |
| FLOOR AREA RATIO | | 0.13 |
| PARKING | | |
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| PROVIDED PARKING (# SPACES) | | 50 |
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| ACCESSIBLE PARKING PROVIDED (# SPACES) | | 2 |

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.

WITNESS OUR HANDS, THIS 23 day of March, 2022

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

OWNER
ROCKWALL TECHNOLOGY PARK
PO BOX 968
ROCKWALL, TX 75087
PH: (972) 772-0025
CONTACT: PHIL WAGNER

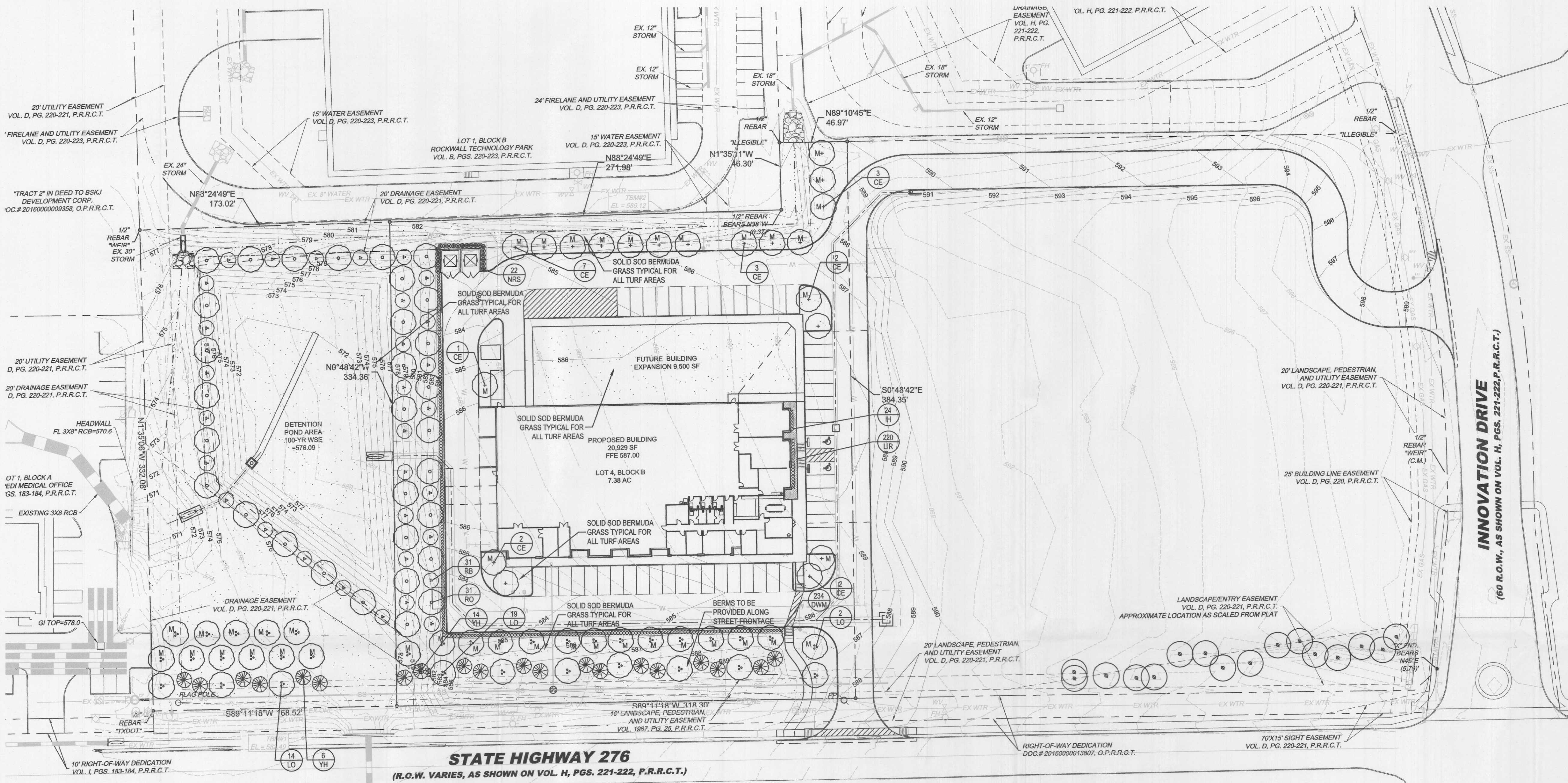
LANDSCAPE PLAN
CITY PROJECT CASE NO. SP2022-005
INTEGRATED DEFENSE PRODUCTS™
7.38 ACRES
LOT 4 BLOCK B
ROCKWALL TECHNOLOGY PARK
J.M. ALLEN SURVEY ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARATION DATE: 03/01/2022

APPLICANT
LINKS CONSTRUCTION
525 S. LOOP 298, SUITE 105
DENTON, TX 76204
PH: 940-783-0920
CONTACT: ALISON WINGET, PE

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR. STE. 110
ALLEN, TX 75013
PH: 469-369-4448
CONTACT: CHRIS TRONZANO, RLA

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEVILLE, TX 76034
PH: 817-864-4960
CONTACT: JEREMY NELSON, PE

SURVEYOR
BARTON CHAPA SURVEYING
6200 STATE HIGHWAY 121
COLLEVILLE, TX 76034
PH: 817-864-1957
CONTACT: JACK BARTON, RPLS



- SOLID SOD NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
 - PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
 - ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
 - WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

- LANDSCAPE NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE UTILITIES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
 - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
 - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
 - ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - DECOMPOSED GRANITE SHALL BE (3) THREE INCHES DEEP W/ FILTER FABRIC BETWEEN NATIVE SOIL AND GRANITE.

- GENERAL LAWN NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
 - ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
 - ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
 - CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.
- IRRIGATION NOTE:**
- ALL IRRIGATION WILL MEET THE REQUIREMENTS OF THE UDC.

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



03.09.2022

INTEGRATED DEFENSE PRODUCT TM
LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS



LANDSCAPE TABULATIONS:
SITE REQUIREMENTS (site area 166,159 s.f.)
Requirements: 15% site area to be landscaped

| Required | Provided |
|-------------------|-------------------|
| 24,924 s.f. (15%) | 91,875 s.f. (55%) |

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

| Required | Provided |
|-------------------|--------------------|
| 12,462 s.f. (50%) | 30,208 s.f. (121%) |

STREET REQUIREMENTS
Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage

| Required | Provided |
|-------------------|-------------------|
| (10) canopy trees | (10) canopy trees |
| (20) accent trees | (20) accent trees |

PARKING LOT REQUIREMENTS (50 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

| Required | Provided |
|------------------|------------------|
| (3) canopy trees | (3) canopy trees |

DETENTION AREA REQUIREMENTS (23,448 s.f.)
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 750 sf detention area

| Required | Provided |
|-------------------|-------------------|
| (31) canopy trees | (31) canopy trees |
| (31) accent trees | (31) accent trees |

PERVIOUS VS. IMPERVIOUS COVER
PERVIOUS COVER - 46,174 SF
IMPERVIOUS COVER - 63,084 SF

M-TREES COUNTED FOR TREE MITIGATION

PLANT MATERIAL SCHEDULE

| TREES | TYPE | QTY. | COMMON NAME | BOTANICAL NAME | SIZE | REMARKS |
|--------------|------|------|------------------------|---------------------------------|---------|---|
| | CE | 20 | Cedar Elm | <i>Ulmus Crassifolia</i> | 4" cal. | container, 12' ht., 5' spread, 6' clear straight trunk |
| | YH | 20 | Yaupon Holly | <i>Ilex vomitoria</i> | 4" ht. | container, 4' ht., 4' spread, 3 or 5 calines, tree form |
| | LO | 35 | Live Oak | <i>Quercus virginiana</i> | 4" cal. | container, 12' ht., 5' spread, 6' clear straight trunk |
| | RB | 31 | Redbud | <i>Cercis canadensis</i> | 4" ht. | container, 4' ht., 4' spread, straight trunk |
| | RO | 31 | Red Oak | <i>Quercus rubra</i> | 4" cal. | container, 12' ht., 5' spread, 6' clear straight trunk |
| SHRUBS | TYPE | QTY. | COMMON NAME | BOTANICAL NAME | SIZE | REMARKS |
| | DWM | 234 | Dwarf Wax Myrtle | <i>Myrica pusilla</i> | 5 gal. | container, 30" ht., 24" spread |
| | HI | 24 | Indian Hawthorn | <i>Rhamnus tylicifolia</i> | 5 gal. | container, 20" ht., 20" spread |
| | NRS | 22 | Nellie R Stevens Holly | <i>Ilex x Nellie R. Stevens</i> | 7 gal. | container, 36" ht., 30" spread |
| GROUNDCOVERS | TYPE | QTY. | COMMON NAME | BOTANICAL NAME | SIZE | REMARKS |
| | LIR | 220 | Liriope | <i>Liriope muscari</i> | 4" pots | container full, well rooted |
| | | | '419' Bermudagrass | <i>Cynodon dactylon '419'</i> | | Solid Sod refer to notes |

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees are to be measured at Diameter Breast Height (dbh). Trees to have straight trunks and be matching within varieties.

SITE DATA SUMMARY TABLE

| GENERAL SITE DATA | LOT 4 |
|--|--|
| ZONING | LI - LIGHT INDUSTRIAL |
| LAND USE | OFFICE/WAREHOUSE |
| LOT AREA | 109,258 SF / 2.50 AC |
| BUILDING FOOTPRINT AREA | 20,930 SF |
| TOTAL BUILDING AREA | 3,765 SF OFFICE 17,165 SF WAREHOUSE TOTAL 20,930 SF |
| BUILDING HEIGHT (# STORIES) | 1 |
| BUILDING HEIGHT | 29'-8" |
| LOT COVERAGE | 12.59% |
| FLOOR AREA RATIO | 0.13 |
| PARKING | |
| PARKING RATIO | OFFICE: ONE SPACE PER 300 SF WAREHOUSE: ONE SPACE PER 1000 SF |
| REQUIRED PARKING (# SPACES) | 31 |
| PROVIDED PARKING (# SPACES) | 50 |
| ACCESSIBLE PARKING REQUIRED (# SPACES) | 2 |
| ACCESSIBLE PARKING PROVIDED (# SPACES) | 2 |

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.
WITNESS OUR HANDS, THIS 23 day of March 2022

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

OWNER
ROCKWALL TECHNOLOGY PARK
PO BOX 968
ROCKWALL, TX 75087
PH: 972-772-0625
CONTACT: PHIL WAGNER

LANDSCAPE PLAN
CITY PROJECT CASE NO. SP2022-005
INTEGRATED DEFENSE PRODUCTS TM
7.38 ACRES
LOT 4 BLOCK B
ROCKWALL TECHNOLOGY PARK
J.M. ALLEN SURVEY ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARATION DATE: 03/01/2022

APPLICANT
LINKS CONSTRUCTION
525 S. LOOP 288, SUITE 105
DENTON, TX 76204
PH: 940-783-0920
CONTACT: ALISON WINGET, PE

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
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ALLEN, TX 75013
PH: 469-369-4448
CONTACT: CHRIS TROZZANO, RLA

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEVILLE, TX 76034
PH: 817-488-4960
CONTACT: JEREMY NELSON, PE

SURVEYOR
BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121
COLLEVILLE, TX 76034
PH: 817-864-1957
CONTACT: JACK BARTON, RPLS

ISSUE:
FOR APPROVAL 02.04.2022
CITY COMMENTS 02.18.2022
CITY COMMENTS 03.03.2022
CITY COMMENTS 03.09.2022

DATE:
03.09.2022

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

L.2

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1960, Edition; by American National Standards Institute, Inc. (Z60.1) — plant material.
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- E. File Certificates of inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including cuts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and respected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Balled and Burlapped (BBB) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 1. Post: Slotted T-Post, #1 Armo with anchor plate, 6'-0" length; paint green.
 2. Wire: 12 gauge, single strand, galvanized wire.
 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/4 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Lofland Co. (214) 631-6250 or approved equal.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Tilt existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gapped open, then watered thoroughly.
 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

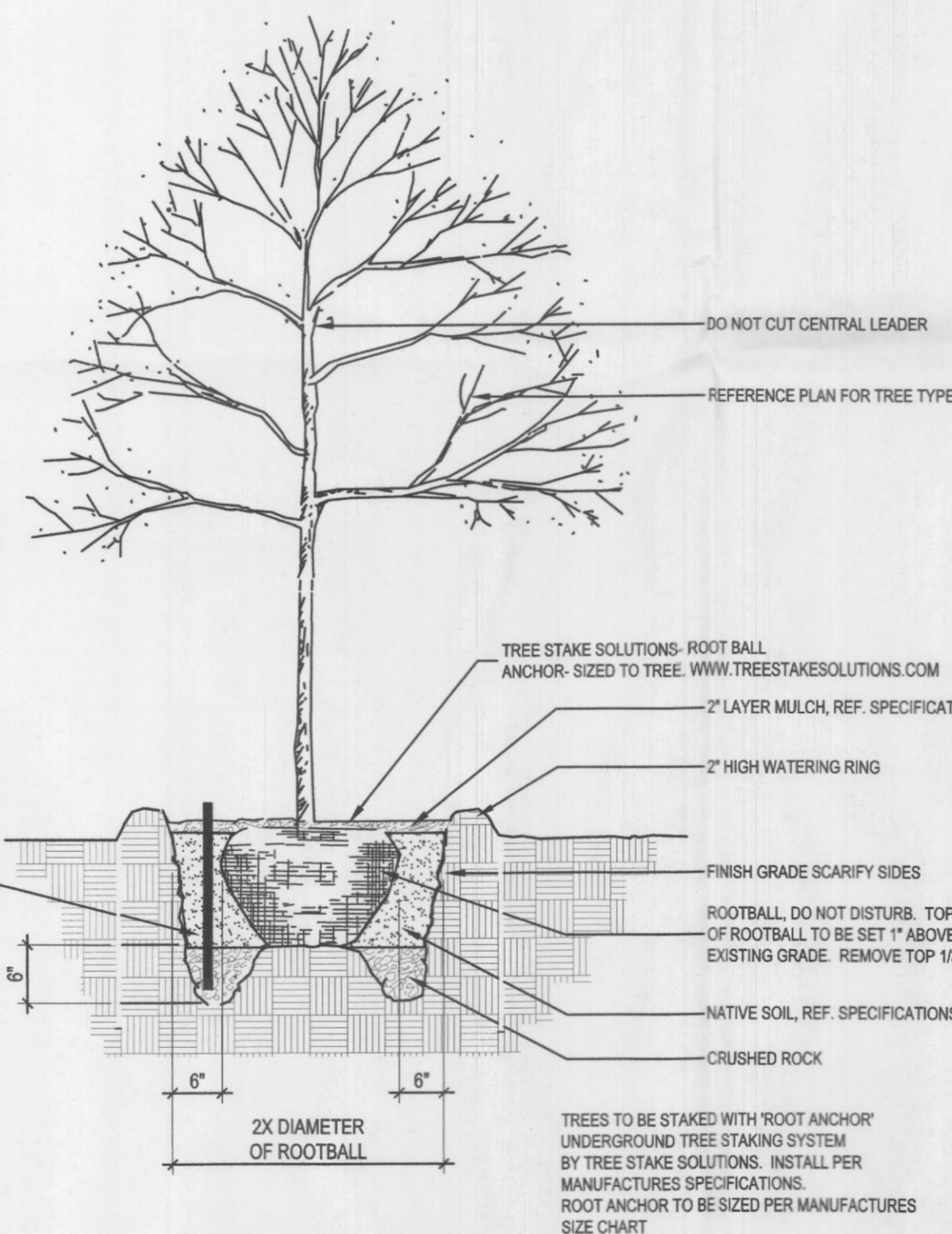
3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

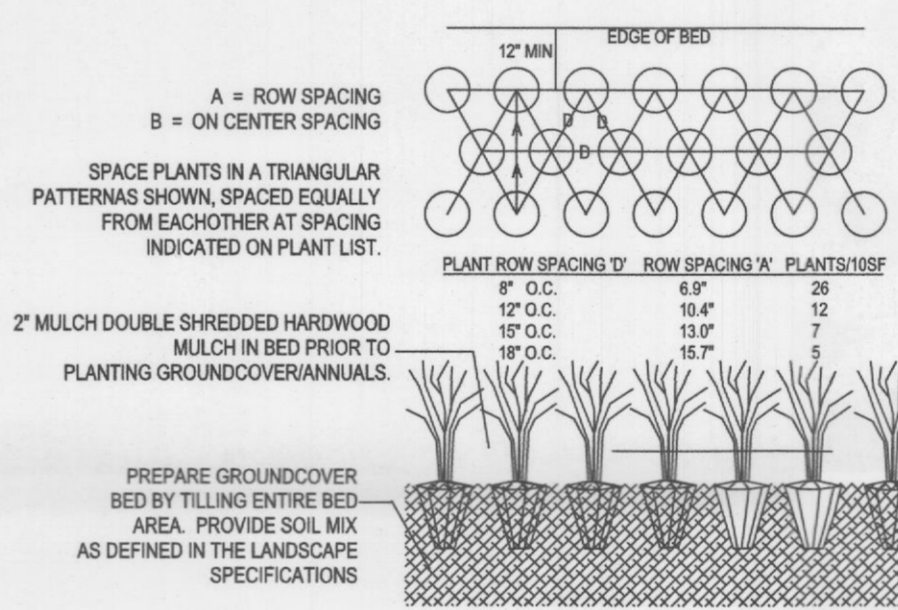
3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each day work.

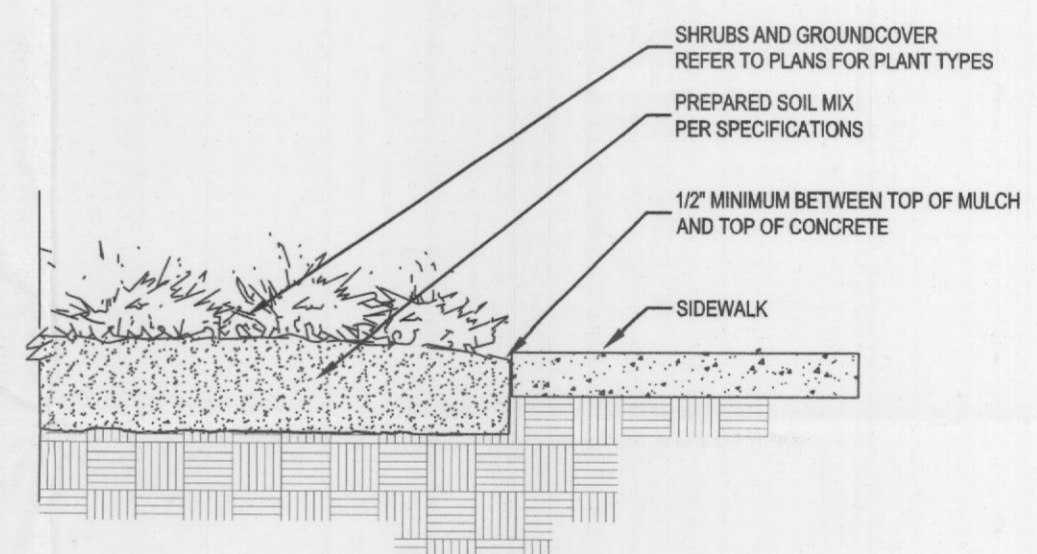
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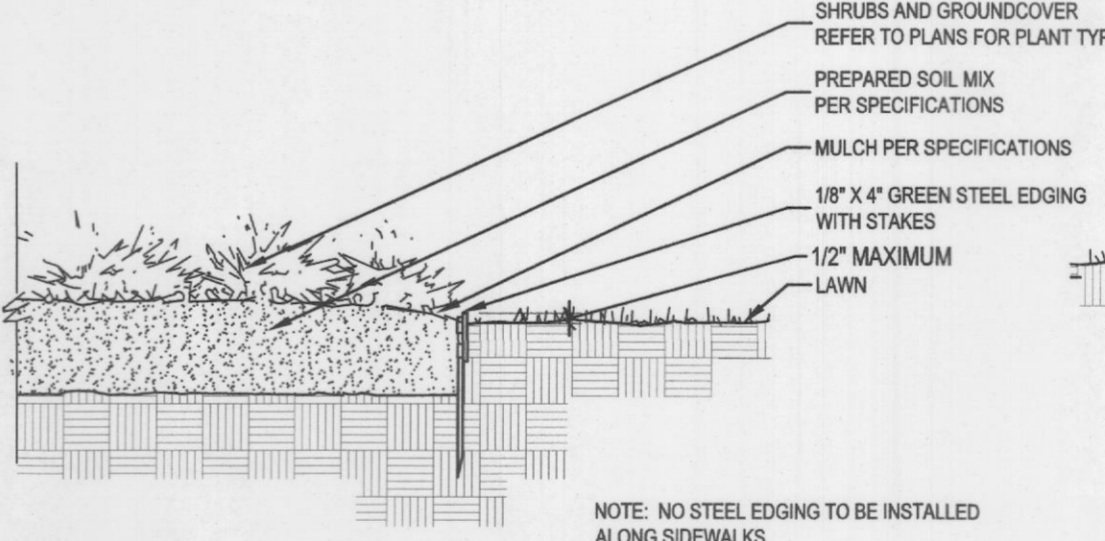
01 TREE PLANTING DETAIL NOT TO SCALE



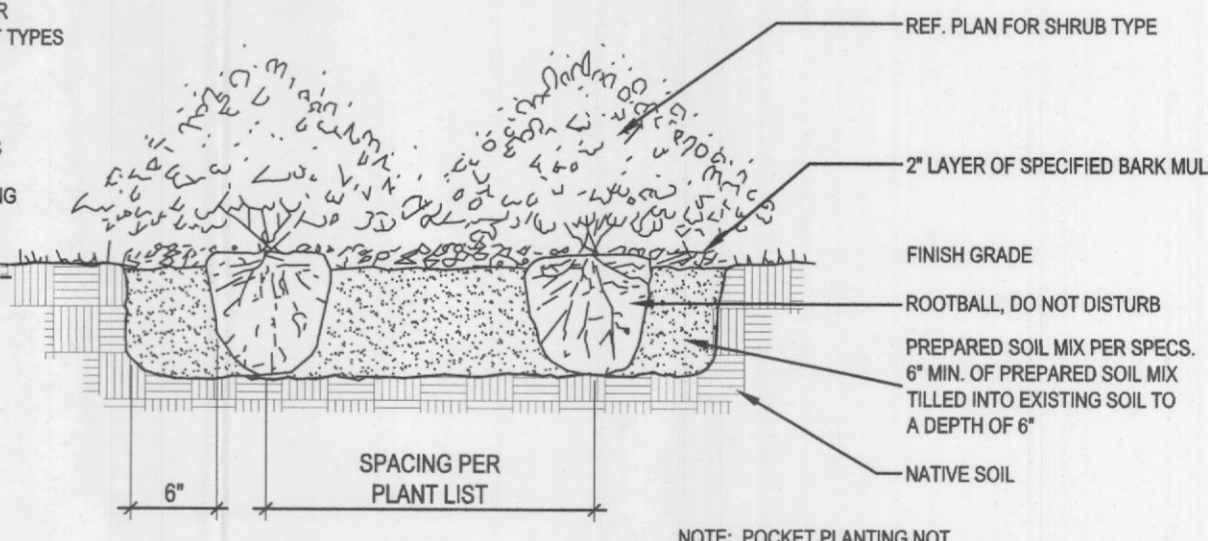
02 GROUNDCOVER PLANTING DETAIL NOT TO SCALE



03 SIDEWALK / MULCH DETAIL no steel along sidewalks NOT TO SCALE

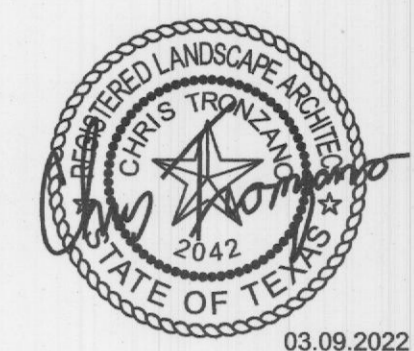


04 STEEL EDGING DETAIL NOT TO SCALE



05 SHRUB PLANTING DETAIL NOT TO SCALE

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CHRIS@STUDIOPGREENSPOT.COM



INTEGRATED DEFENSE PRODUCT TM
LOT 4, BLOCK B
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CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER
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PH: (972) 772-0025
CONTACT: PHIL WAGNER

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PREPARATION DATE: 03/01/2022

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PH: 940-783-0920
CONTACT: ALISON WINGET, PE

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SURVEYOR: BARTON CHAPA SURVEYING
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COLLEVILLE, TX 76034
PH: 817-864-1957
CONTACT: JACK BARTON, RPLS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.

WITNESS OUR HANDS, THIS 23 day of March 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

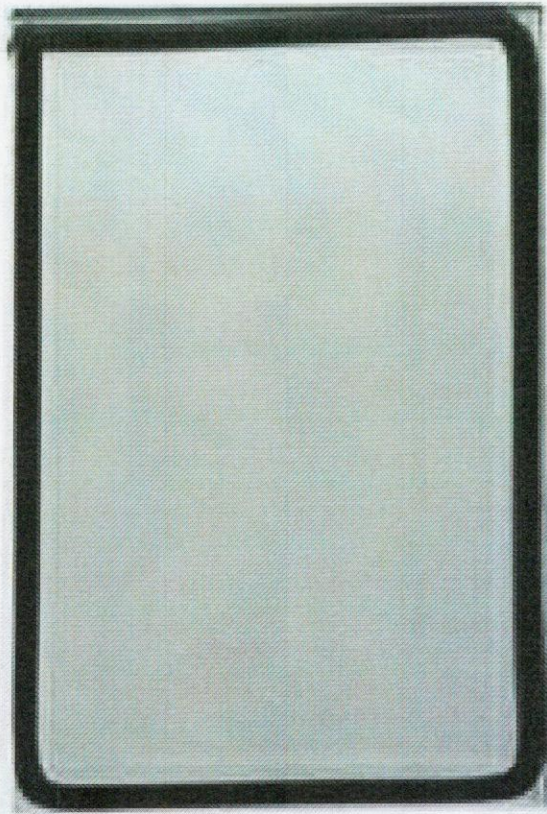
ISSUE:
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CITY COMMENTS 03.03.2022
CITY COMMENTS 03.09.2022

DATE:
03.09.2022

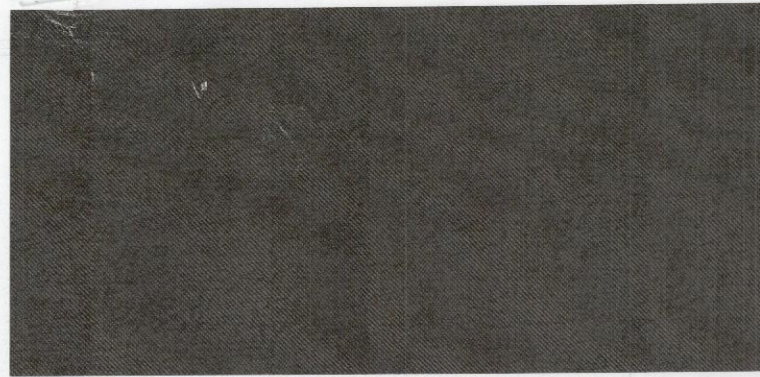
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LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

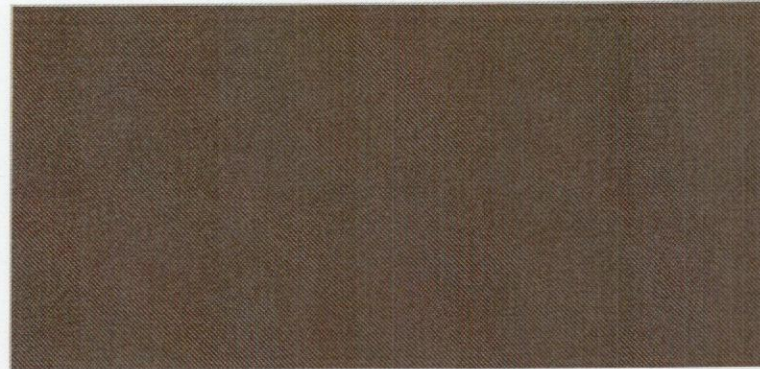
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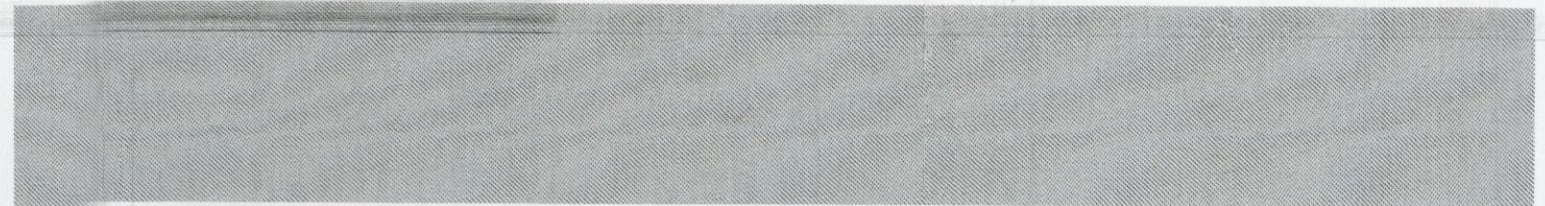
GLASS - OPTIGRAY SOLARBAN 60



METAL PANEL - KOLBE GINGERSNAP



METAL PANEL - KOLBE MUDPIE



TILT WALL PAINT - SW7072 ONLINE



NATURAL STONE - LIMESTONE, COBRA STONE, COBRA'S CREAM



STUCCO - STO CORP WHITE



MATERIAL PERCENTAGE TOTALS:

NATURAL STONE (LIMESTONE) = 26.5%
4564 SF / 17211 SF TOTAL

STUCCO = 42.2%
7265 SF / 17211 SF TOTAL

TILT WALL (CONCRETE) = 12.8%
2195 SF / 17211 SF TOTAL

STOREFRONT (GLASS) = 12.4%
2133 SF / 17211 SF TOTAL

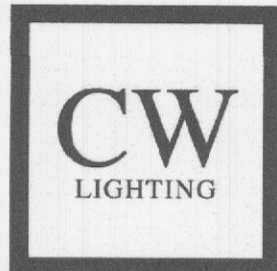
METAL (DOORS) = 3.7%
639 SF / 17211 SF TOTAL

METAL (CANOPIES) = 2.4%
415 SF / 17211 SF TOTAL

APPLICANT INFORMATION
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AWINGET@LINKSCONSTRUCTION.COM

OWNER INFORMATION
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805-240-2900
BBUSCHOLD@IDPTM.COM

PROJECT NAME: IDP OFFICE &
MANUFACTURING
CASE # SP2022-005



CW LIGHTING & ASSOCIATES

7701 W. LITTLE YORK RD. STE 300
HOUSTON, TX 77040

P. 713-690-9320
W. CWLIGHTING.COM

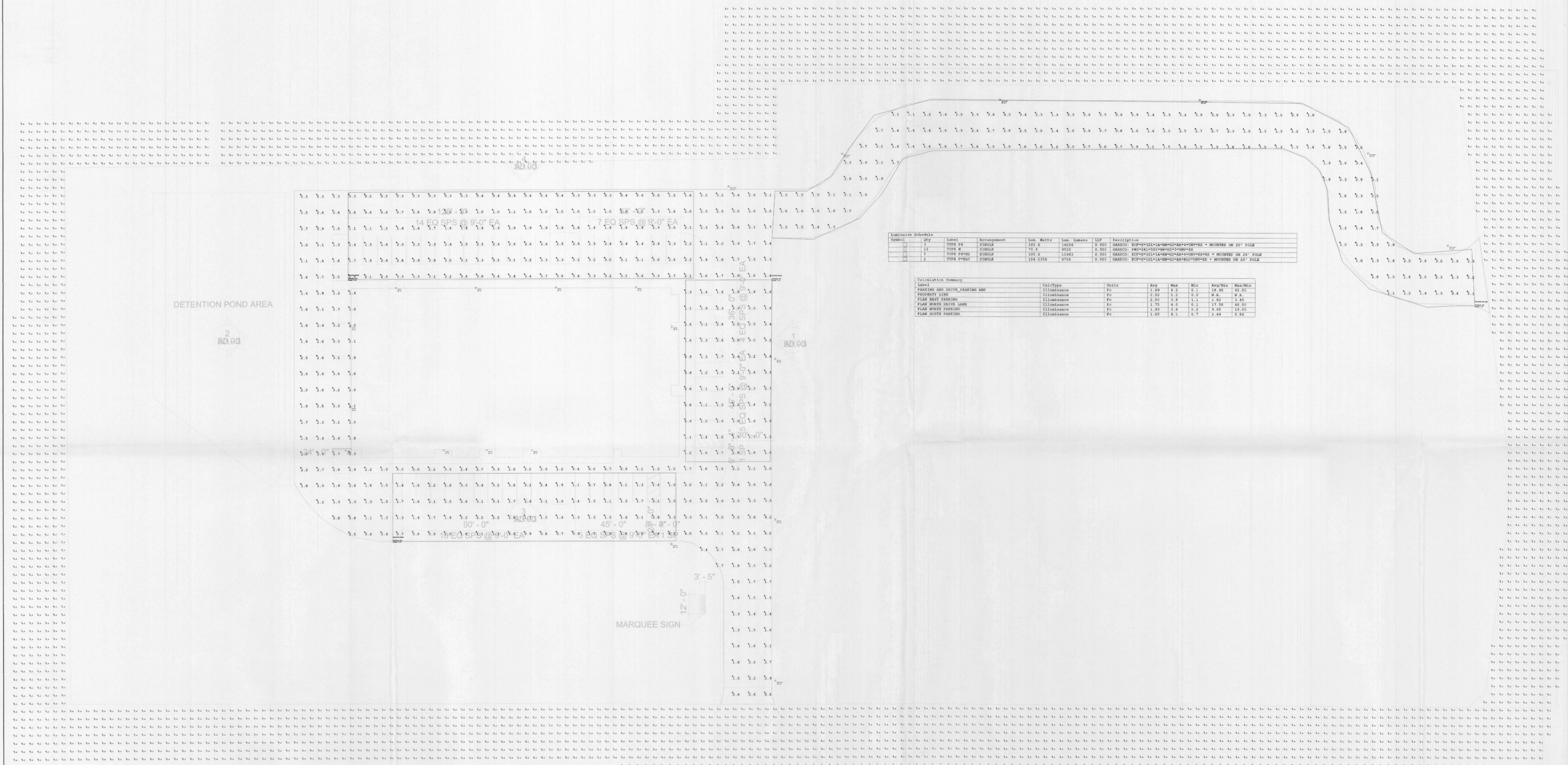
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ROCKWALL IDP MANUFACTURING

ADDRESS:

NOTES:

ISSUE NAME:

CW1.00
SITE PHOTOMETRICS



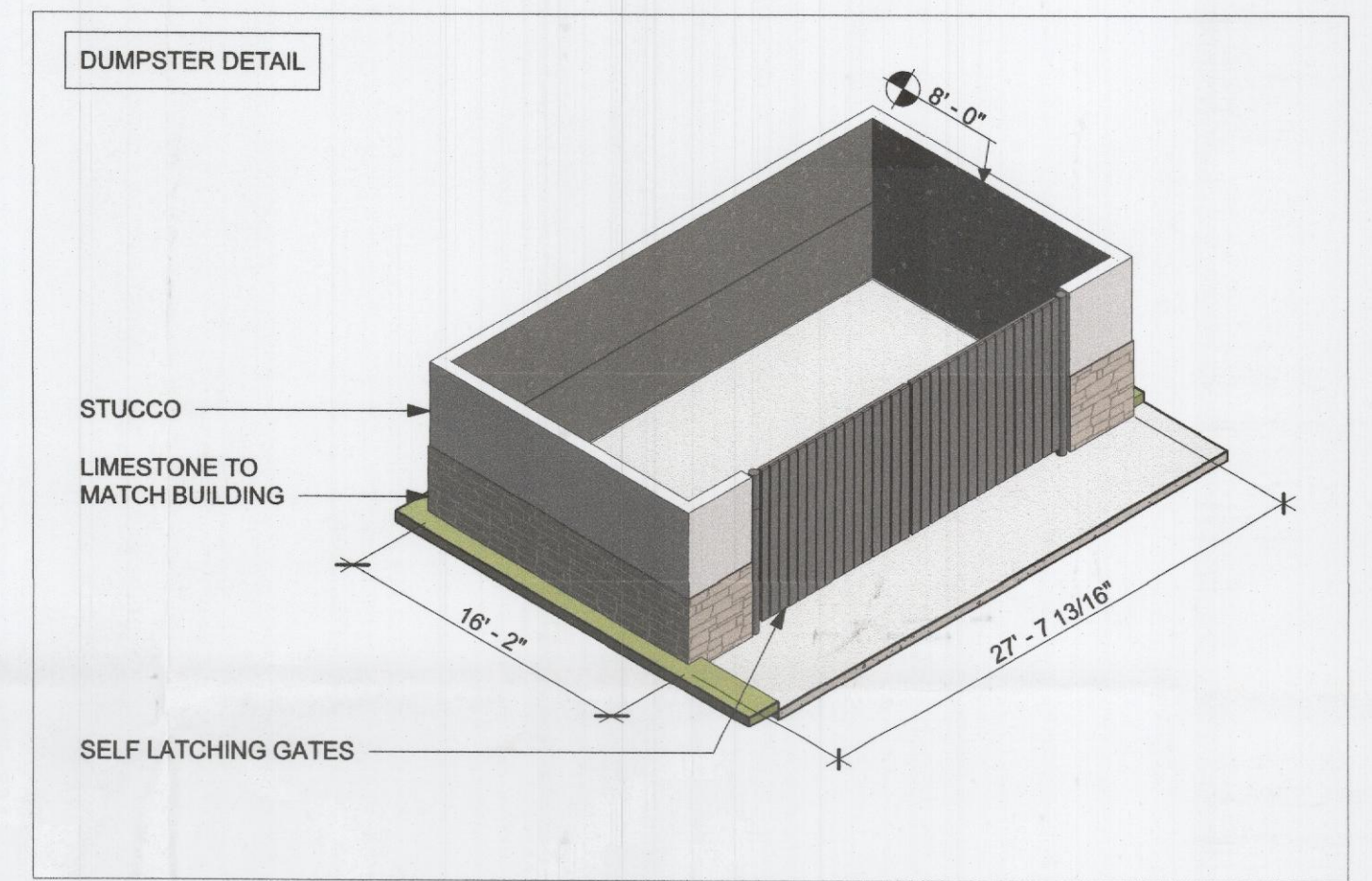
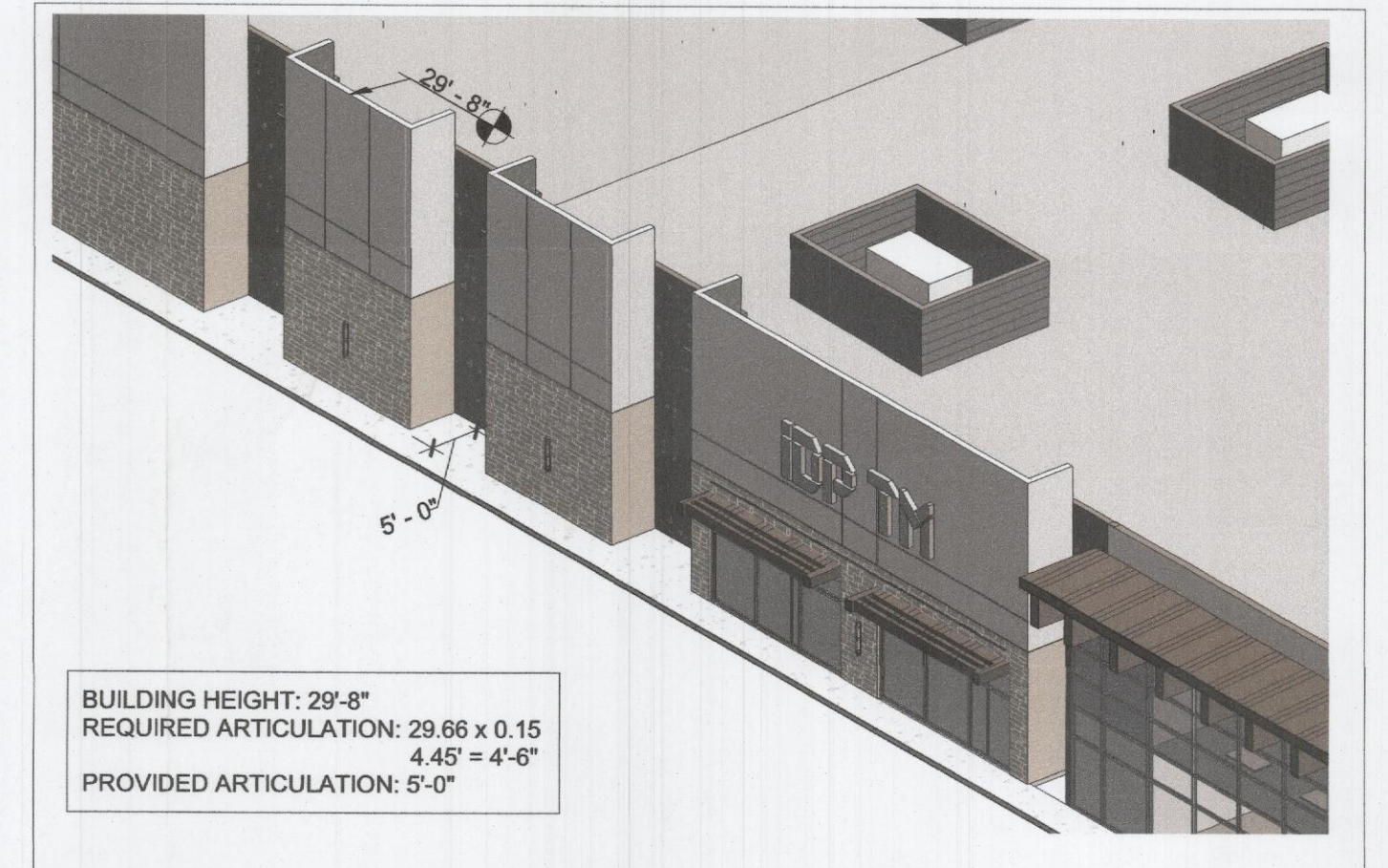
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WITNESS OUR HANDS, THE 23rd day of March, 2022

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

CASE NUMBER: SP2022-005



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