

**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**\*\*JOINT USE PARKING CALCULATIONS**

LAND USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
OFFICE - ACCOUNTANT	4,980 S.F.	1/300	= 16.60
RETAIL - GYM	6,159 S.F.	1/250	= 24.63
MEDICAL - CHIRO	3,000 S.F.	1/150	= 20.00
MEDICAL - NEW	7,766 S.F.	1/150	= 51.77
<b>TOTAL PARKING REQUIRED</b>			<b>= 113 SPACES</b>

**SHARED PARKING**

TIME OF DAY	OFFICE	RETAIL	MEDICAL	TOTAL
6AM-12PM	.80X17 13.6	.50X25 12.5	.80X72 57.6	= 83.7
12PM-1PM	.50X17 8.5	.90X25 22.5	.90X72 64.8	= 95.8
1PM-4PM	.80X17 13.6	.90X25 22.5	.90X72 64.8	= 100.9
4PM-6PM	.80X17 13.6	.90X25 22.5	.90X72 64.8	= 100.9
6PM-8PM	.05X17 0.85	.90X25 22.5	.25X72 18.0	= 41.35
8PM-12AM	0X17 0	.50X25 12.5	0X72 0	= 12.5
<b>TOTAL PARKING REQUIRED</b>				<b>= 101 SPACES</b>

REDUCTION OF 11%

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
  - 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS EASEMENTS, PROPERTY LINES, ETC.
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
  - 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
  - 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
  - 6) NO SAND UNDER PAVING.

**SITE PLAN SIGNATURE BLOCK**

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 15 day of March, 2022.

WITNESS OUR HANDS, this 27 day of April, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

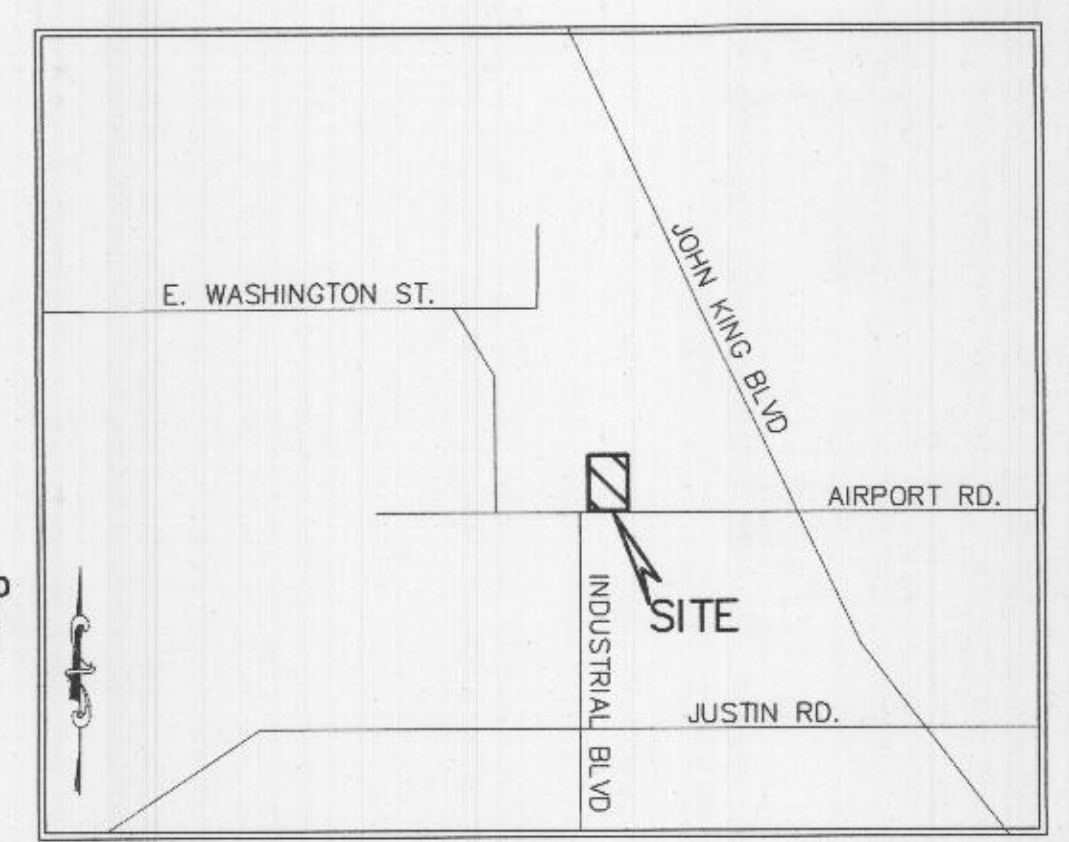
\_\_\_\_\_  
Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  2. Fire lanes shall be designed and constructed per city standards.
  3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  5. All signage contingent upon Building Inspection Department.
  6. Approval of the site plan is not final until all engineering plans are approved.
  7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  9. All electrical transmission, distribution and service lines must be underground.

**Offsite BM:**  
City of Rockwall control monument R016 located in the grass area between the parking lot and northwest corner of the City Services Center building.  
Elev=558.72

**Onsite BM:**  
X Cut on sidewalk along Airport Road at the SE corner of property.  
Elev=577.17.



**SITE DATA:**

LOT AREA:  
0.47 Acres, 20,655 sq.ft.

LOT COVERAGE:  
37.6%

FLOOR TO AREA RATIO:  
2.66:1

**BUILDING AREA:**  
Medical Office: 7,766 sq.ft.

**CONSTRUCTION TYPE:**  
IIB & IV

**BUILDING HEIGHT:**  
1 Story 36" MAX

**PROPOSED FUTURE USE:**  
General Office

**IMPERVIOUS AREA**  
(including buildings):  
13,803 sq.ft.

**ZONING:**  
C

**\*\*JOINT USE PARKING:**  
Required:  
Medical (1/150sf) = 52  
Handicap = 2  
Provided:  
Standard = 44  
Handicapped = 2  
Total Provided = 46

**LANDSCAPE AREA:**  
Required: (20%) 4,131 sq.ft.  
Provided: 6,852 sq.ft.

**FIRE SPRINKLER:**  
Yes  
\* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

- LEGEND**
- = PROPERTY LINE
  - EX. SS = EXISTING SANITARY SEWER LINE
  - EX. W = EXISTING WATER LINE
  - FFH = EXISTING FIRE HYDRANT
  - WM = EXISTING WATER METER
  - PP = EXISTING POWER POLE
  - LP = EXISTING LIGHT POLE
  - SS = EXISTING SS MANHOLE
  - EX. TEL. = EX. TELEPHONE BOX
  - EXIST. or EX. = EXISTING
  - CL = CENTERLINE
  - PROP. = PROPOSED
  - LS = LANDSCAPE
  - RCP = REINFORCED CONCRETE PIPE
  - min = MINIMUM
  - max = MAXIMUM
  - B-B = BACK OF CURB TO BACK OF CURB
  - EXIST FIRELANE
  - PROPOSED PAVING

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



PROJECT #: SP2022-004

**SITE PLAN**

**LEFERE OFFICE**

1501 AIRPORT ROAD  
LANDING POINT ADDITION  
Lot 4, Blk A, 0.47 ACRES  
City of Rockwall, Rockwall County, Texas 75087

owner  
**Kevin Leferé**  
Contact: 469-628-9106

prepared by  
**MONK CONSULTING ENGINEERS**  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2022-4 REG. NO.: F-2567

date: 2/9/22 scale: 1"=20' sheet: C101

**\*\* NOTICE TO CONTRACTORS \*\***

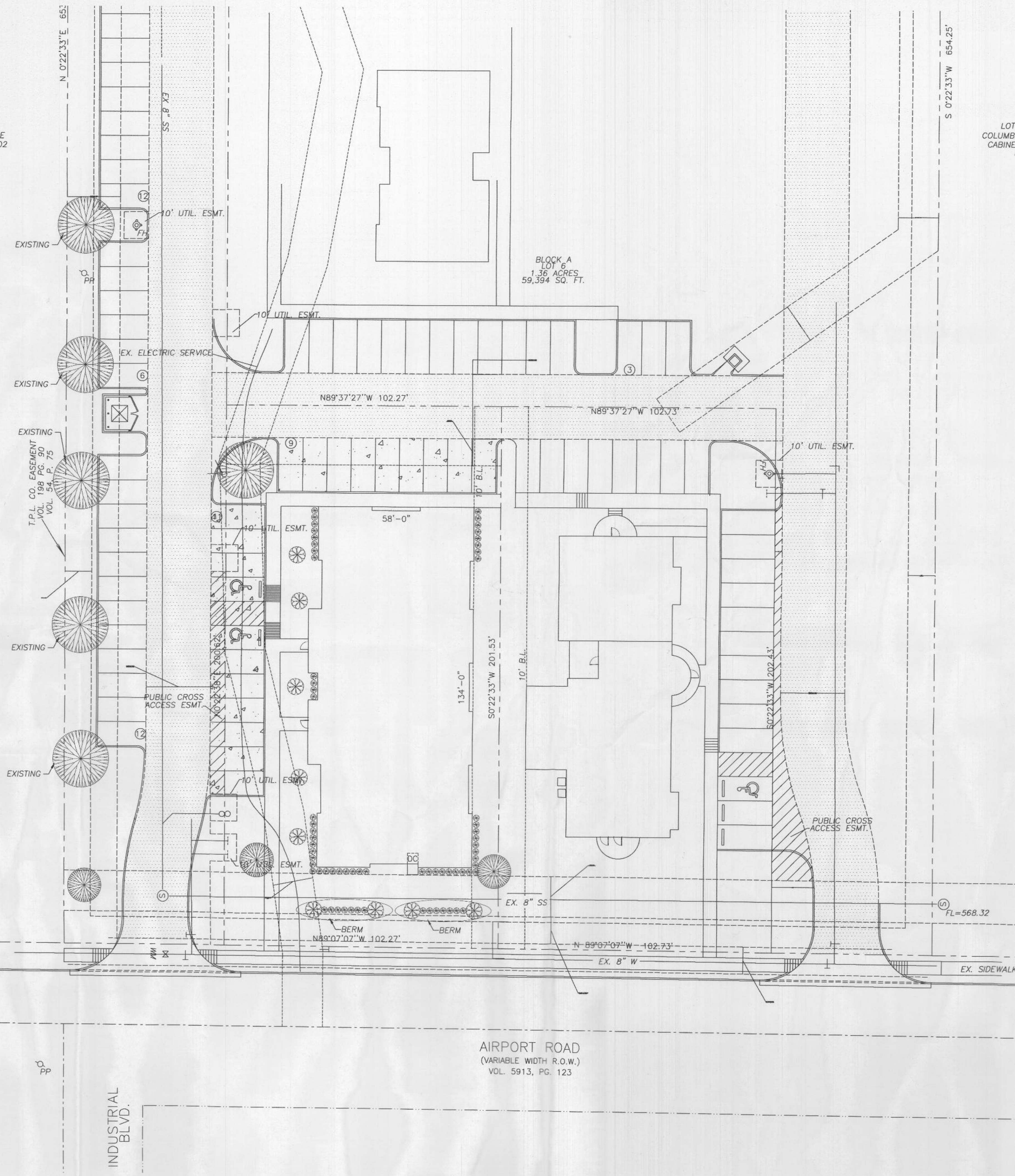
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **IND. VETTY LAND SURVEYOR OF ROYSE CITY, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.







4.00 ACRES  
MARY HALL KEENE  
VOL. 172, PG. 202  
D.R.R.C.T.



SITE DATA TABLE	
SITE AREA	0.47 ACRES (20,655 S.F.)
ZONING	C
PROPOSED USE	GENERAL OFFICE
PROPOSED BUILDING AREA:	7,766 S.F.
LOT COVERAGE (GROSS AREA)	37.6%
FLOOR TO AREA RATIO	2.66 : 1
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	0.47 ACRES (20,655 S.F.)
REQUIRED LANDSCAPE AREA—20% OF 20,655 S.F.	4,131 S.F.
PROVIDED LANDSCAPE AREA—33% OF 20,655 S.F.	6,852 S.F.
IMPERVIOUS COVERAGE—67% OF 20,655 S.F.	13,803 S.F.

**NOTES:**

- Irrigation shall be provided to all landscaped areas.
- Tree mitigation for this project for existing trees on this property.
- All perimeter parking are within 50'-0" of a shade tree.
- No trees within 5' of public utilities less than 10'.
- No trees within 10' of public utilities 10' or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
	ACCENT TREE

- GENERAL NOTES:**
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA. OWNER MAY SUBSTITUTE TYPES OF TREES, THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. — PROVIDED
  - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
  - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE.
  - ALL PARKING SPACES ARE WITHIN 80' OF A TREE.

JOINT USE PARKING CALCULATIONS			
INDIVIDUAL	LAND USE	SQUARE FOOTAGE	REQUIRED PARKING
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<b>REDUCTION OF 11%</b>				

**OFFICE @ AIRPORT ROAD**

LEGAL DESCRIPTION AND/OR ADDRESS:  
OFFICE @ AIRPORT ROAD  
1501 AIRPORT ROAD — LOT 4, BLOCK A  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

OWNER:  
Kevin Lefere  
1501 Airport Road, LLC.  
Rockwall, TX 75087

APPLICANT:  
Carroll Architects, Inc.  
750 E. Interstate 30 #110  
Rockwall, TX 75087  
P: 972-732-6085  
E: jc@carrollarch.com  
ATTN: Jeff Carroll

CITY OF ROCKWALL CASE NUMBER:  
SP2022-004

SITE PLAN SIGNATURE BLOCK:  
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 15 day of April, 2022.

WITNESS OUR HANDS, this 15 day of April 2022

Director of Planning & Zoning

ISSUE:

CITY SUBMITTAL:	02-18-2022
CITY REVISION:	03-11-2022

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**OFFICE @ AIRPORT ROAD**  
1501 Airport Road - Lot 4 Block A  
Rockwall, Texas 75087

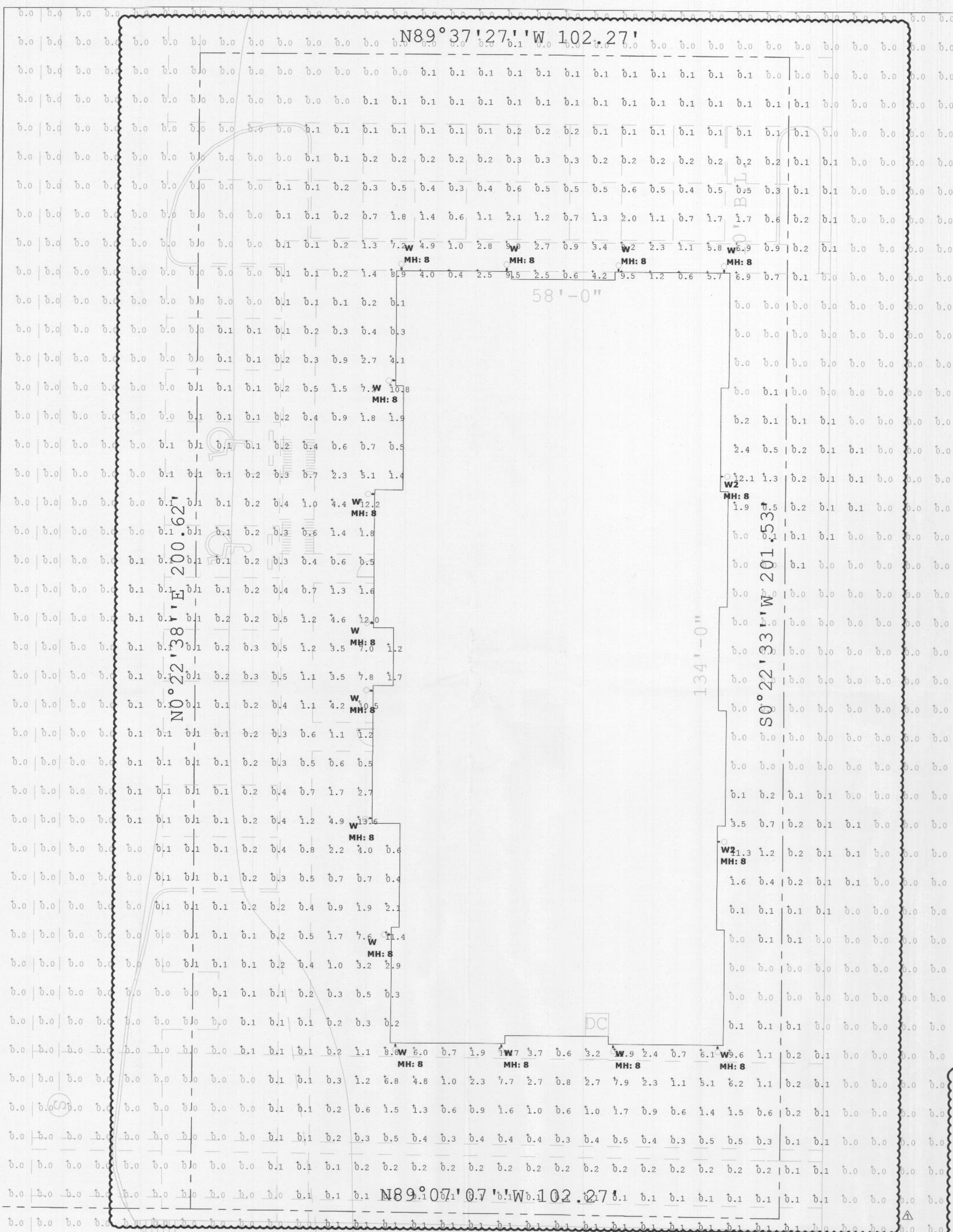
KEVIN LEFERE  
AIRPORT ROAD, LLC.  
Rockwall, TX 75087

**CARROLL architects**  
750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
P: 972-732-6085  
F: 972-732-8058

**LANDSCAPE PLAN**

DATE: DEC 2021 SHEET NO:  
PROJECT NO: 2021063  
DRAWN BY:  
CHECKED BY:





**CONTRACTOR RESPONSIBILITIES**  
 CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES ON THE DRAWINGS TO ENGINEER FOR VERIFICATION BEFORE STARTING CONSTRUCTION. OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR ANY ERRORS IN CONSTRUCTION WHERE SUCH DISCREPANCIES, OMISSIONS OR INCONSISTENCIES HAVE NOT BEEN PROPERLY REPORTED IN A TIMELY MANNER.

**NOTE: BID INTENT**  
 THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.

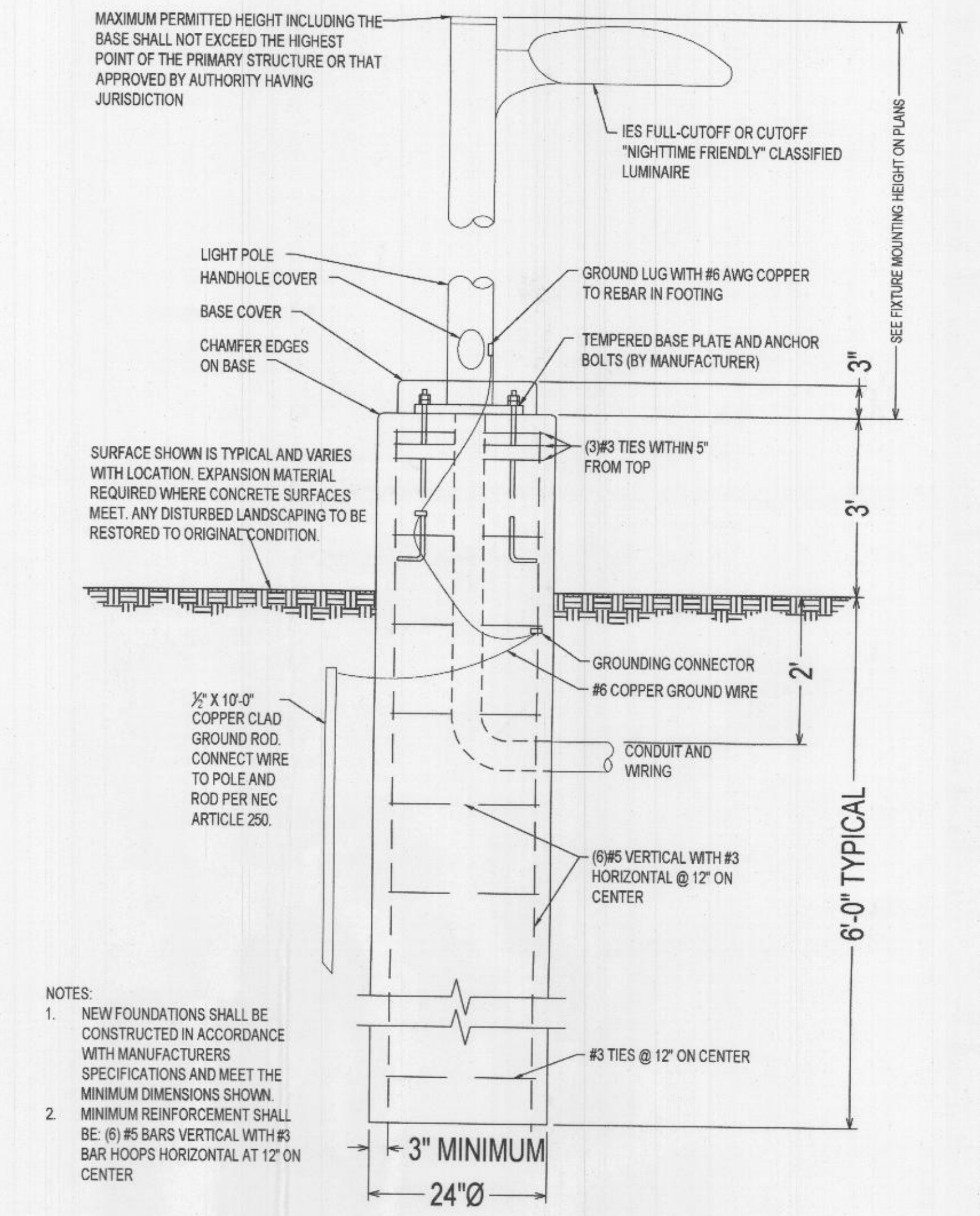
**SITE PHOTOMETRIC NOTES**  
 1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS AND IS ALSO RESPONSIBLE FOR REPORTING ANY CONFLICTS TO THE ENGINEER PRIOR TO THE START OF WORK.  
 2. THE PHOTOMETRIC ZONE IS CALCULATED AT 3 FEET ABOVE FINISH GRADE LEVEL AND SPACED EVERY 10' X 10'.  
 3. THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION HOWEVER, THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. VISUAL LIGHTING SOFTWARE WAS USED TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR CONTRIBUTION FROM OTHER (NEARBY) LIGHT SOURCES IN ADJACENT PROPERTIES.

**PHOTOMETRIC NOTES FOR THE CITY OF ROCKWALL**  
 1. ACCORDING TO SECTION 3.3, MINIMUM REQUIREMENTS, OF ARTICLE VII, ENVIRONMENTAL PERFORMANCE, OF THE UDC, THE MAXIMUM ALLOWABLE LIGHT INTENSITY MEASURED AT THE PROPERTY LINE OF ANY NON-RESIDENTIALLY ZONED LOT SHALL BE 0.2 FC.  
 2. NO LIGHT POLE, BASE OR COMBINATION THEREOF SHALL EXCEED AN OVERALL HEIGHT OF 30-FT. PROVIDE POLE DETAIL. (AR. VII, SEC. 3.3.D)

**MEP GENERAL NOTES**  
 1. ALL CONSTRUCTION TO CONFORM TO INTERNATIONAL, STATE AND LOCAL CODES AND ORDINANCES CURRENTLY ADOPTED BY THE AUTHORITY HAVING JURISDICTION (A&J).  
 2. CONTRACTORS TO CONFIRM ALL SPECIFICATIONS HEREIN WITH ACTUAL EQUIPMENT IN FIELD PRIOR TO PURCHASE AND INSTALLATION.  
 3. REVIEW PLAN SHEET "MEP - MEP NOTES" PRIOR TO BIDDING, PERMITTING, AND CONSTRUCTION.  
 4. THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.  
 5. SEE CIVIL AND ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL FIXTURES AND STRUCTURES.  
 6. SEE ARCHITECTURAL FINISH OUT SCHEDULES FOR SPECIFIC MODELS, COLORS AND DESIGN NOT DEFINED HEREIN.  
 7. WITH OWNER APPROVAL, CONTRACTOR MAY CHANGE SPECIFIED EQUIPMENT BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS.  
 8. CONTRACTOR TO CONTACT AME ENGINEERING, INC. AT 817-653-4122 PRIOR TO ANY SIGNIFICANT DESIGN REVISIONS.  
 9. DETAILS LABELED "TYPICAL" ON THE DRAWINGS SHALL APPLY TO ALL SITUATIONS OCCURRING ON THE PROJECT THAT ARE OR ARE SIMILAR TO THOSE SPECIFICALLY DETAILED. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF DETAIL. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE REFERENCED AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER OF RECORD.



3 VICINITY MAP  
 NOT TO SCALE



2 TYPICAL LIGHT POLE AND BASE  
 NOT TO SCALE

**EXTERIOR LIGHT FIXTURE SCHEDULE**

MARK	EXTERIOR FIXTURE	DESCRIPTION	MH'	LUMENS	QTY.	WATTS*	TOTAL WATTS
W	WALL SCONCE	LUMINIS SQ602-L2L15-R30-HL MOD FROM L2L40	8'	4823	14	31	434
W2	WALL SCONCE - SMALL	LUMINIS SQ502-L2L10-R30	8'	1848	2	25	50
TOTAL EXTERIOR WATTAGE							484
TOTAL ALLOWABLE EXTERIOR WATTAGE PER CURRENTLY ADOPTED IECC							PASSES

\* ALL FIXTURES SPECIFIED AT 120V-1PH.  
 \* OWNER, TENANT OR ARCHITECT MAY CHANGE EQUIPMENT MANUFACTURER OR USE EXISTING EQUIPMENT AS APPLICABLE, BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS.  
 \* CONTRACTOR TO VERIFY ALL FIXTURES WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.  
 \* CONTACT MARK SCHULLEN WITH AIA FOR MORE INFORMATION ABOUT UNITS SPECIFIED: 214-658-9000.

TEXAS FIRM F-16489  
**AME Engineering, Inc.**  
 9825 W Green Oaks Blvd Suite 200, Arlington TX 76016-2700  
 jessica.kilgore@ameengineering.com | o/c 817-653-4122 | fax 817-754-6615  
 JESSICA J. KILGORE  
 106106  
 LICENSED PROFESSIONAL ENGINEER

The seal appearing on this document was authorized by Jessica J. Kilgore, P.E. 106106 on April 12, 2022

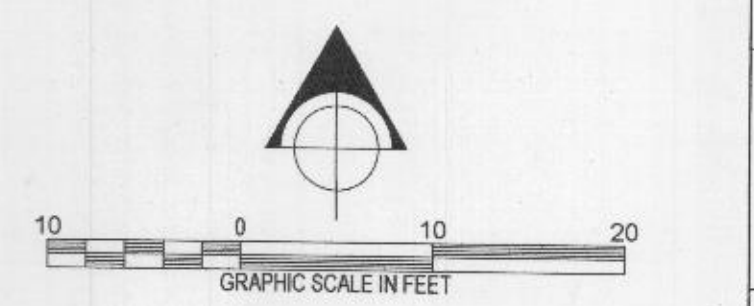
OFFICE @ AIRPORT ROAD  
 1501 AIRPORT ROAD LOT 4, BLOCK A  
 ROCKWALL, TX 75087

CONTACT NAME	JEFF CARROLL
CONTACT COMPANY	CARROLL ARCHITECTS
CONTACT PHONE	214-832-1762
ISSUE:	
PERMIT REVIEW	04-12-2022
SHEET REVISIONS	
CITY COMMENTS	04/18/2022

PRINTED	4/18/2022 2:59 PM
DESIGNED	DLP
CHECKED	JKK
IBC	2018
IECC/ASHRAE	2018
NEC	2017
SCALE	1" = 10'

**SITE PHOTOMETRIC LIGHTING PLAN**  
 PROJECT E1.1  
 1676

APPROVED:  
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of March 2022.  
 Planning & Zoning Commission, Chairman  
 Director of Planning & Zoning



1 SITE PHOTOMETRIC LIGHTING PLAN