

GRAPHIC SCALE IN FEET  
0 25 50 100

LEGEND	
PROPERTY LINE	---
PROPOSED FIRE LINE	FL — FL
SETBACKS	---
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
PROPOSED WATER LINE	W — W
PROPOSED SANITARY SEWER LINE	SS — SS
PROPOSED STORM LINE	---
EXISTING FENCE LINE	X — X
EXISTING WATER LINE	W — W
EXISTING SANITARY SEWER LINE	SS — SS
EXISTING OVERHEAD ELECTRIC LINE	OHE

SITE SUMMARY TABLE	
ZONING	LIGHT INDUSTRIAL
PROPOSED USE	WAREHOUSE
REQUESTED MAX BUILDING HEIGHT	41'
PROPOSED TOTAL BUILDING AREA	199,179 SF
TOTAL LAND AREA	735,728.4 SF / 16.89 AC
PROPOSED R.O.W DEDICATION	25,357 SQFT / 0.05 AC
NET SITE AREA	733,057 SQFT / 16.83 AC
BUILDING COVERAGE	27.17%
IMPERVIOUS COVER	68.60%
PROPOSED AUTO PARKING	307
REQUIRED AUTO PARKING	260
PROPOSED ACCESSIBLE PARKING	12
REQUIRED ACCESSIBLE PARKING	6

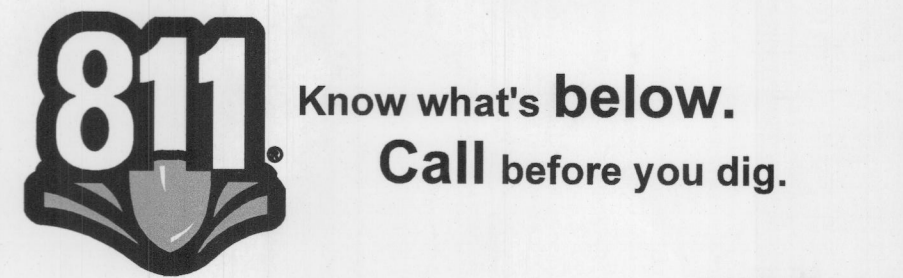
PARKING CALCULATIONS	
PARKING REQUIREMENT 1 / 1,000 SQFT	
BUILDING 1 = 58,008 SQFT	
BUILDING 2 = 77,234 SQFT	
BUILDING 3 = 63,937 SQFT	
TOTAL OFFICE SPACE = 20,000 SQFT	
TOTAL WAREHOUSE SPACE = 199,179 - 20,000 = 179,179	
179,179 / 1,000 = 180 PARKING SPACES	
20,000 / 250 = 80 PARKING SPACES	
180 + 80 = 260 TOTAL PARKING SPACE	

**OWNER**  
**ROBERT B. BALDWIN III**  
 4500 CHRISTOPHER DRIVE  
 AUSTIN, TEXAS 78746  
 512-751-4500  
 RBBALDWIN3@ME.COM

**DEVELOPER**  
**INTREPID EQUITY**  
 TYLER WOOD  
 10000 N. CENTRAL EXPRESSWAY, SUITE 437  
 DALLAS, TEXAS 78759  
 214-909-9202  
 TWOOD@INTREPID-EQUITY.COM

**NOTES**  
 1. THESE DOCUMENTS ARE SCHEMATIC IN NATURE ONLY. A COMPLETE DESIGN HAS NOT BEEN PERFORMED IN PREPARATION OF THESE SHEETS. DESIGN INTENT, LOCATIONS, AND QUANTITIES MAY CHANGE DURING THE DESIGN PROCESS.

**WARNING:** EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA. THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.

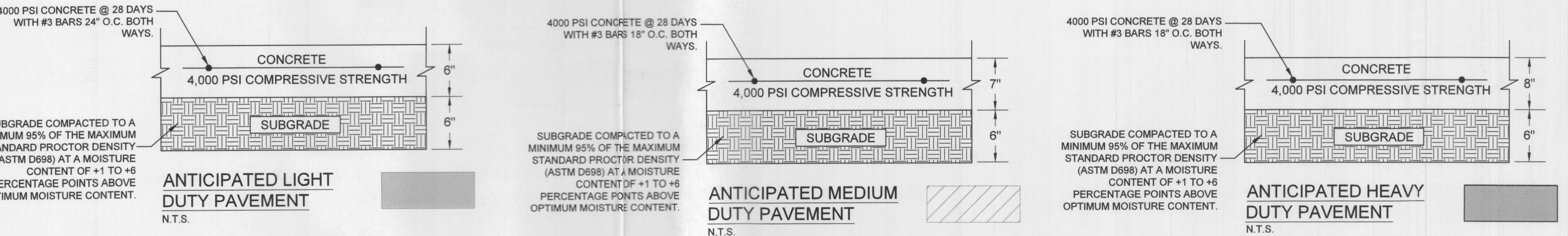


**SITE PLAN SIGNATURE**

APPROVED:  
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 16 day of February, 2021.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning & Zoning

\_\_\_\_\_  
 AN DIRECTOR OF PLANNING AND ZONING



**Kimley»Horn**  
 13465 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928  
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**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction or permit purposes.

**Kimley»Horn**  
 Engineer: PATRICK J. HOGAN  
 P.E. No. 133986 Date: NOV 2021

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GROSS ACRES	16.88 AC	DATE	11/02/2021	SCALE	AS SHOWN	DESIGNED BY	ZRH	DRAWN BY	ZRH	CHECKED BY	PJH
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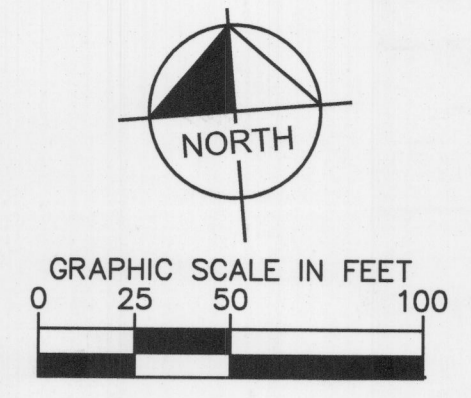
**INTREPID - ROCKWALL**

**SITE PLAN**

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SP2021-030  
 MAP ID : 3-3

E:\Projects\2021\SP2021-030\SP2021-030.dwg  
 DATE: 11/02/2021 2:47 PM  
 USER: pjh  
 DWG NAME: SP2021-030\_SIT PLAN.dwg  
 PROJECT: SP2021-030 - NEW WAREHOUSE AND OFFICE BUILDING AT 4500 CHRISTOPHER DRIVE, AUSTIN, TX



City of Rockwall Landscape Requirements		
TOTAL SITE AREA: 735,664 SF (16.89 ACRES)		
Zoning: LI		
Landscape Buffers (Article 08, Section 05, Subsection 05.01, Landscape Buffers)	Required	Provided
Abutting a Public Right-of-Way, A minimum of ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way (i.e. collector street, arterial roadway, or alleyway) or a residentially zoned or used property that is located directly across a public street (regardless of the size of the street).	10 wide landscape buffer along Airport Road.	20 wide landscape buffer along Airport Road.
All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency. 1,200 lf/50 = 24 canopy trees, 24 accent trees	berms, shrubs, 24 canopy trees, 24 accent trees	berms, shrubs, 26 canopy trees, 24 accent trees
Landscape Screening (Article 08, Section 05, Subsection 05.02, Landscape Screening)	Required	Provided
Off-street loading docks and outside storage areas shall be screened from all public streets, open spaces, adjacent properties and any residential zoning. The screening must be in accordance with Subsection 01.05 Screening Standards, of Article 5, District Development Standards.	yes	yes
Head in parking adjacent to a street shall incorporate a minimum of a 2' berm with mature evergreen shrubs along the entire adjacency of the parking areas	2' berm with mature evergreen shrubs	2' berm with mature evergreen shrubs
Landscape Requirements (Article 08, Section 05, Subsection 05.03, Landscape Requirements)	Required	Provided
Light Industrial Districts shall have 15% of the total site area landscaped. A minimum of 100% of the total required landscaping shall be located in front of and along the side of buildings with street frontages.	15% in Frontage (117,090 sf)	15% in Frontage (177,090 sf)
Detention Basins (Article 08, Section 05, Subsection 05.03, Landscape Screening)	Required	Provided
Detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs, berms, accent and canopy trees. There shall be a minimum of 1 canopy tree and 1 accent tree per 1,500 sf. 64,933 sf / 1,500 = 44 Trees	44 Accent Trees 44 Canopy Trees	44 Accent Trees 44 Canopy Trees
Parking Lot Landscaping (Article 08, Section 05, Subsection 05.03, Landscape Screening)	Required	Provided
If the parking and maneuvering space exceeds 20,000 SF, one large canopy tree for every 10 parking spaces shall be required to be planted internal to the parking areas. 341 spaces/10 = 35 trees	35 trees	40 trees
No required parking space may be located more than 80 feet from the trunk of a canopy tree	Yes	Yes
Xeriscaping/ Smartscaping Standards (Article 08, Section 05, Subsection 05.05, Xeriscaping/ Smartscaping Standards)	Required	Provided
Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by Subsection 05.03(D) (i.e. one [1] tree per every 750 SF and one [1] accent tree per 1,500 SF of detention area). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area. 73,720 SF / 750 SF = 98 SF of Shrubs or Ornamental Grass	98 SF of Shrub or Ornamental Grass	73,740 SF of Ornamental Grass

**Kimley»Horn**  
 13485 NOEL ROAD, TWO GALLERIA OFFICE TOWER,  
 SUITE 200, ROCKWALL, TEXAS 75087  
 PHONE: 972-770-1300 FAX: 972-938-3820  
 WWW.KIMLEY-HORN.COM TX F-0928

PRELIMINARY  
 FOR REVIEW ONLY  
 Not for construction or permit  
**Kimley»Horn**  
 BLAINE D. MIKULAK  
 R.L.A. No. 5488 Exp. 11/02/2021

GROSS ACREAGE	17.92 AC
DATE	11/02/2021
SCALE	AS SHOWN
DESIGNED BY	AJS
PREPARED BY	AJS

INTREPID - ROCKWALL

LANDSCAPE PLAN

L01.00

TREES		CODE	QTY	BOTANICAL / COMMON NAME	ROOT	CAL.	SIZE	REMARKS
UA	20	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B	4" CAL.	16' - 18' HT.	SINGLE STRAIGHT CEN	IR 43	15 GAL. 42" HT. 48" O.C. FULL AND MATCHING
TD	44	TAXODIUM DISTICHUM / BALD CYPRESS	B & B	4" CAL.	16' - 18' HT.	SINGLE STRAIGHT CEN	LF 18	5 GAL. MIN. 38" HT. 48" O.C. FULL AND MATCHING
QC	12	QUERCUS MUEHLBERGERI / CHINKAPIN OAK	B & B	4" CAL.	16' - 18' HT.	SINGLE STRAIGHT CEN	SOD	122,573 SF CYNODON DACTYLON / COMMON BERMUDA GRASS
JE	48	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	B & B	4" CAL.	16' - 18' HT.	SINGLE STRAIGHT CEN	DM	72,381 SF DRAINFIELD MIX / DRAINFIELD MIX
MG	44	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM MAGNOLIA	CONT.	3" CAL.	6' - 8' HT.	STRONG CENTRAL LEAF		
QS	25	QUERCUS SHUMARDII / SHUMARDI RED OAK	B & B	4" CAL.	16' - 18' HT.	SINGLE STRAIGHT CEN		
CC	24	CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD	CONT.	2" CAL.	8' - 10' HT.	SINGLE STEM, FULL		
SHRUBS		CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	SPACING	REMARKS
HP	179	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM / BRAKELIGHTS RED YUCCA	5 GAL. MIN.	18" HT.	24" O.C.	FULL AND MATCHING		
IC	158	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY	5 GAL. MIN.	38" HT.	38" O.C.	FULL AND MATCHING		
ML	157	MUEHLBERGIA LINDEIMERI / LINDEIMER'S MUHLY	CONT.	CONT.	24" H X 10" O.C.	38" O.C.	FULL AND MATCHING	
IR	43	ILEX X 'NELLIE R STEVENS' / NELLIE R STEVENS	15 GAL.	42" HT.	48" O.C.	FULL AND MATCHING		
LF	18	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL. MIN.	38" HT.	48" O.C.	FULL AND MATCHING		

**NOTE:**

- CONTRACTOR TO SEED LIMITS OF DISTURBANCE.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS. THE IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL, INSTALLED BY A LICENSED IRRIGATOR, AND COMPLY WITH THE CITY OF ROCKWALL IRRIGATION STANDARDS.
- CONTRACTOR TO ESTABLISH, MAINTAIN, AND IRRIGATE ALL SEEDS/SODDED AREAS UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH (1") IN HEIGHT AS DETERMINED BY THE CITY. (SECTION 4.2, ENGINEERING STANDARDS OF DESIGN AND CONSTRUCTION).
- ALL TREES LOCATED ALONG PROPERTY LINE ARE NOT TO BE DISTURBED WITHIN CRITICAL ROOT ZONE OR CANOPY DRIP LINE.
- NO TREES TO BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
- NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10" IN DIAMETER.
- ALL SHRUBS ARE TO BE 5 GALLON CONTAINER SIZE MINIMUM.

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 11 day of February, 2021.

*[Signature]*  
 Chairman

ONING SITE PLAN FOR DEVELOPEMENT IN THE CITY OF ROCKWALL, TEXAS, BY THE PLANNING AND ZONING COMMISSION

*[Signature]*  
 DIRECTOR OF PLANNING AND ZONING

PROJECT: 2021-07-17 Land 2021-07-17, 10:00 AM  
 LAST SAVED: 11/02/2021 10:24 AM  
 DRAWN BY: DAVID BATH  
 CHECKED BY: DAVID BATH  
 DATE PLOTTED: 11/02/2021 11:36 AM  
 PLOTTER: HP DesignJet T1300  
 C:\Users\DAVIDBATH\AppData\Local\Temp\110220211136\110220211136.dwg  
 L01.00

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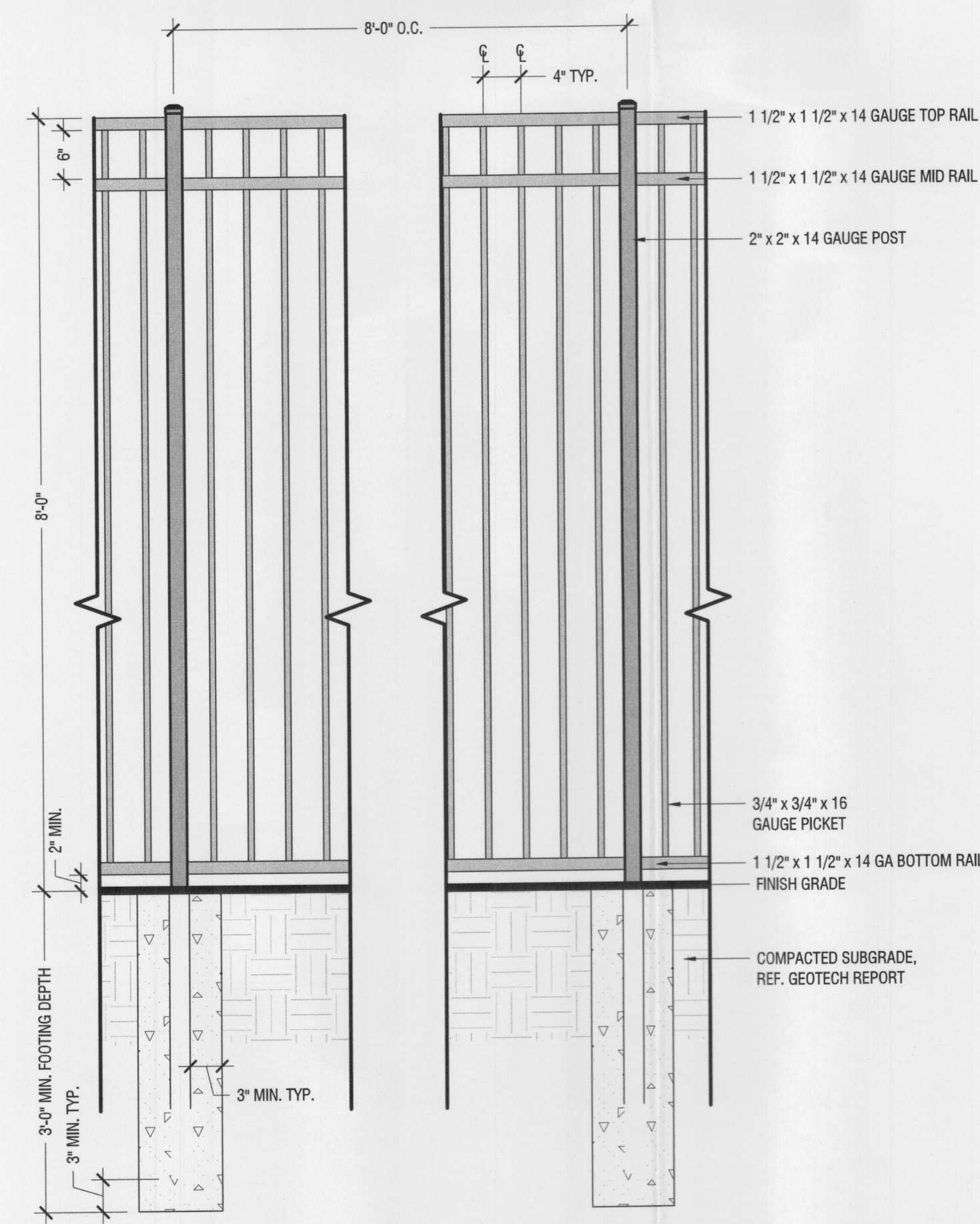
SITE PLAN SIGNATURE

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 16 DAY OF February, 2022.

WITNESSE OUR HANDS, THIS 16 DAY OF February 2022  
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

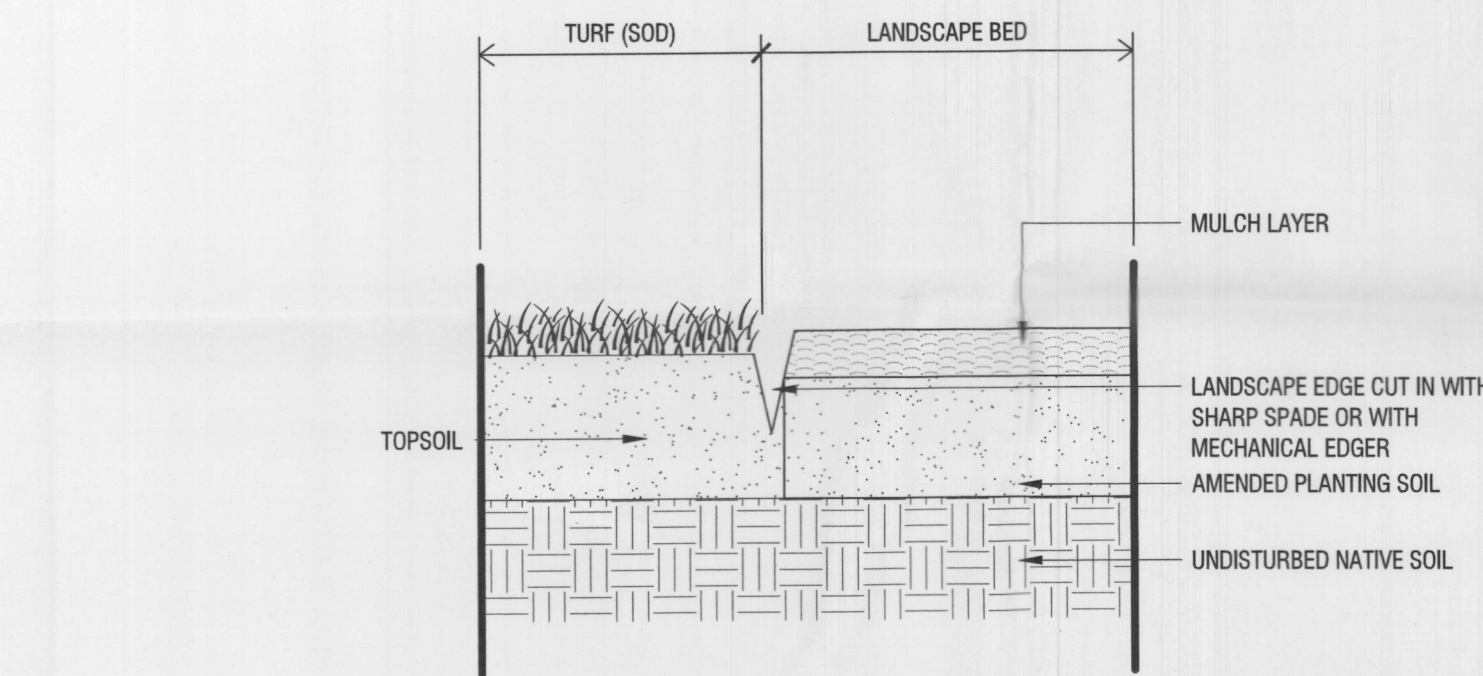
PLANTING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PERMITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION AND MUST BE REPLACED WITHIN 30 DAYS WITH PLANT MATERIAL OF THE SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. ALL PLANT QUANTITIES ARE LISTED FOR INFORMATION PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SHOWN ON THE PLANS AND SPECIFIED IN THE PLANT SCHEDULE.
- CONTRACTOR TO PROVIDE STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS GIVEN IN THE PLANT SCHEDULE, PLANTING DETAILS, AND PLANTING SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL MEET INDUSTRY STANDARDS AS INDICATED IN THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL PLANTING AREAS SHALL RECEIVE SOIL AMENDMENTS.
- PLANT MATERIAL SHALL BE PRUNED PER PLANTING DETAILS UNLESS OTHERWISE NOTED ON DRAWINGS.
- PLANTING AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIME STABILIZED SOIL AND INORGANIC SELECT FILL FOR BUILDING OR PAVING CONSTRUCTION SHALL BE REMOVED FROM ALL PLANTING BEDS TO A MINIMUM DEPTH OF 24" UNLESS OTHERWISE NOTED. REPLACE MATERIAL REMOVED WITH IMPORTED TOPSOIL.
- TREES OVERHANGING PEDESTRIAN WALKS AND WITHIN VISIBILITY TRIANGLES AS NOTED ON THE PLANS SHALL BE LIMBED TO A HEIGHT OF SEVEN FEET (7'). TREE OVERHANGING PUBLIC STREETS AND FIRELANES SHALL BE LIMBED TO A HEIGHT OF FOURTEEN FEET (14').
- TREES PLANTED NEXT TO ACCESSIBLE ROUTES AND ACCESSIBLE AREAS SHALL BE LIMBED TO 76" (80" MIN.) AFF.
- ALL PROPOSED TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM AS SHOWN IN THE PLANTING DETAILS AND SPECIFICATIONS. NO ABOVE-GROUND STAKING SYSTEMS, GUY WIRES/WIRES, HOSES, STRAPS, POSTS (METAL OR WOOD) SHALL BE ALLOWED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.



8' Ht. Wrought Iron Screening Fence

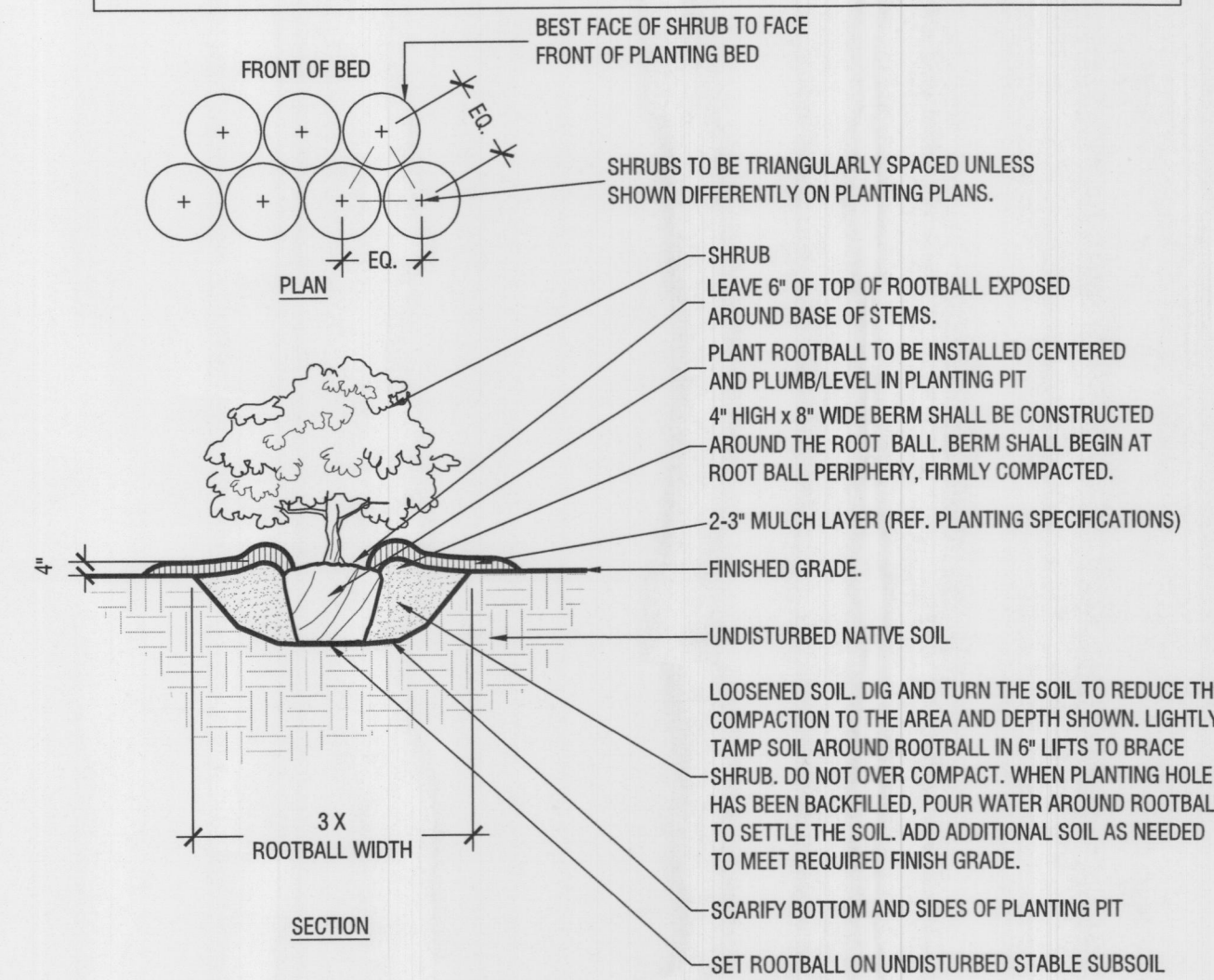
Scale: 3/4" = 1'-0"



LANDSCAPE EDGE (AT TURF & LANDSCAPE BED)

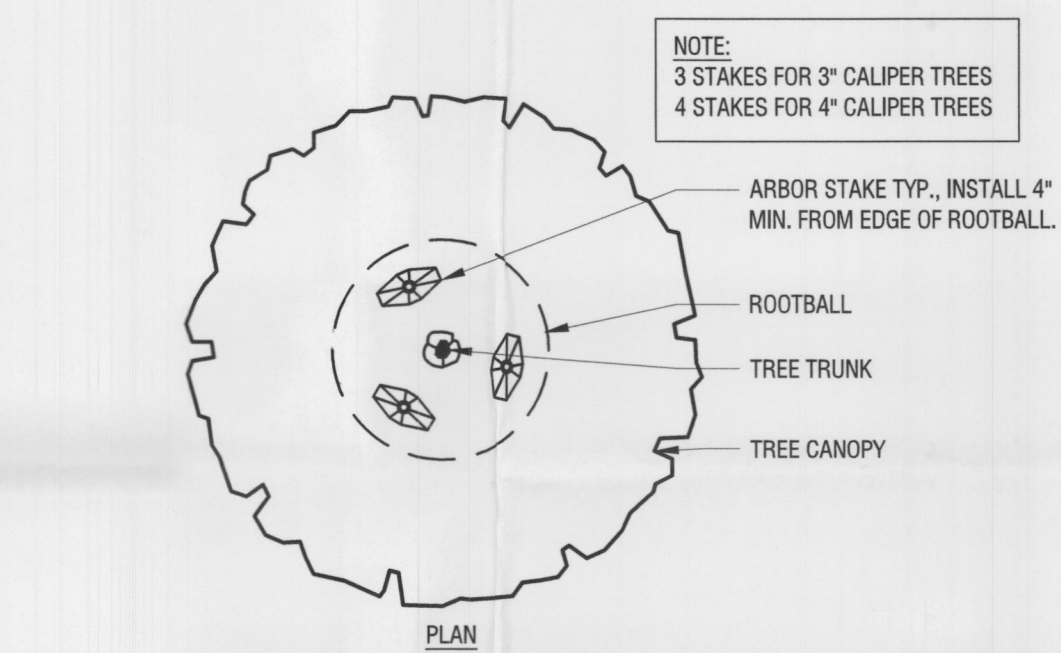
Scale: 1 1/2" = 1'-0"

- NOTES:
- REF. PLANTING SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  - WHEN SHRUBS MASSES TOGETHER WITH GROUND COVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)
  - WHEN SHRUBS ARE USED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS/HEIGHT.
  - REF. TO PLANT SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.

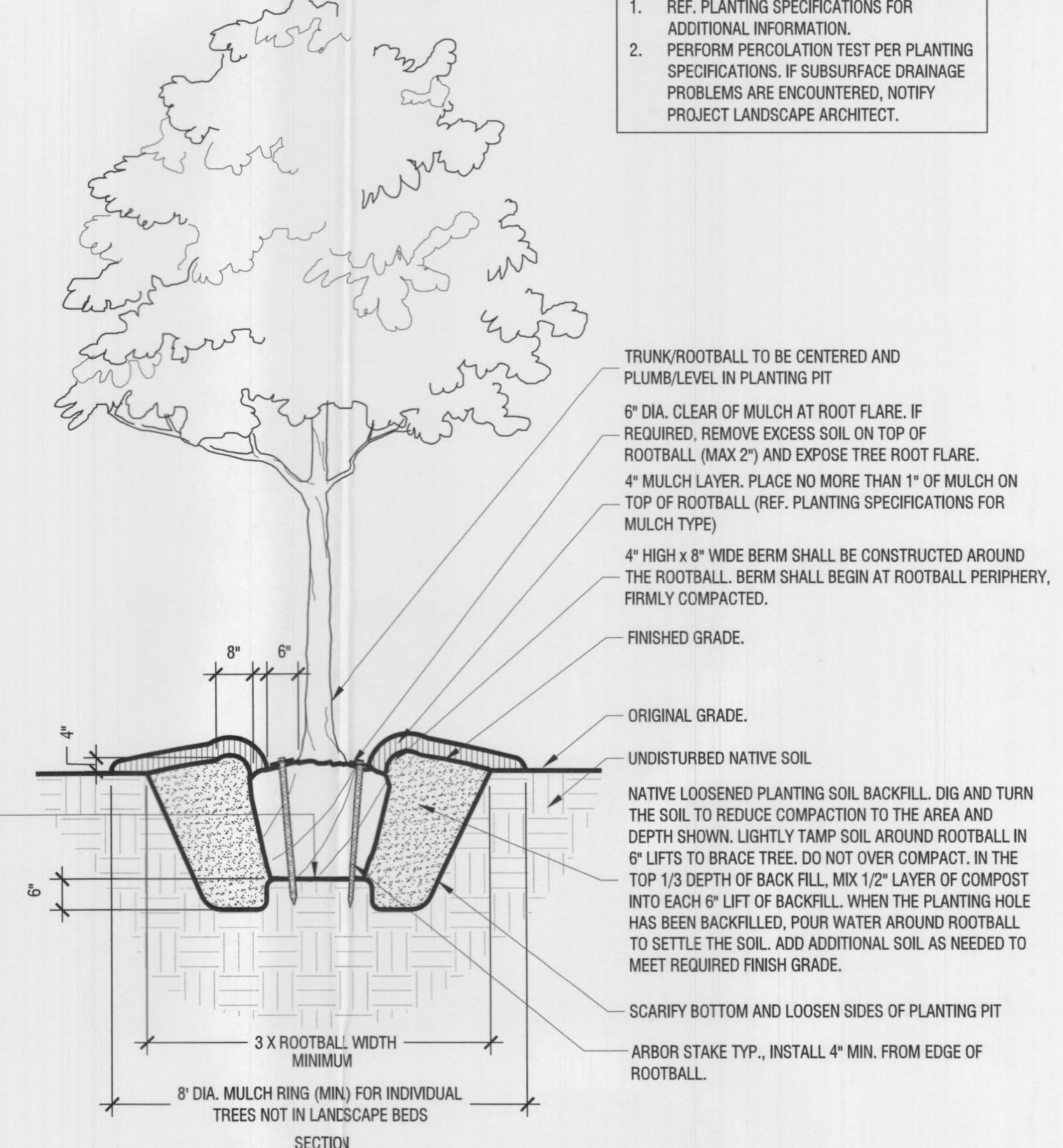


TYPICAL SHRUB PLANTING

Scale: NTS



- NOTES:
- REF. PLANTING SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  - PERFORM PERCOLATION TEST PER PLANTING SPECIFICATIONS. IF SUBSURFACE DRAINAGE PROBLEMS ARE ENCOUNTERED, NOTIFY PROJECT LANDSCAPE ARCHITECT.



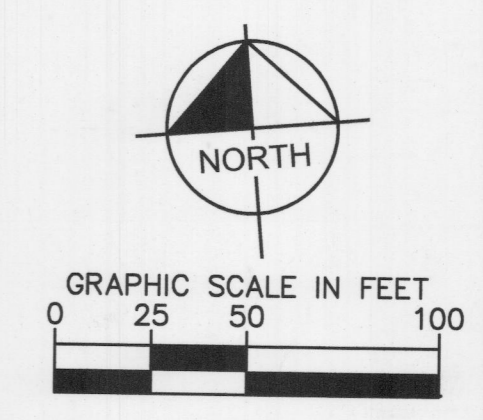
TYPICAL TREE PLANTING

Scale: NTS

PAGES: 10  
 PREP: JLD  
 CHECKED: JLD  
 DATE: 1/10/2021  
 TIME: 11:38 AM  
 PROJECT: 17-92 AC  
 CLIENT: ROCKWALL, TEXAS  
 DRAWING: LANDSCAPE DETAILS  
 SHEET: L02.00

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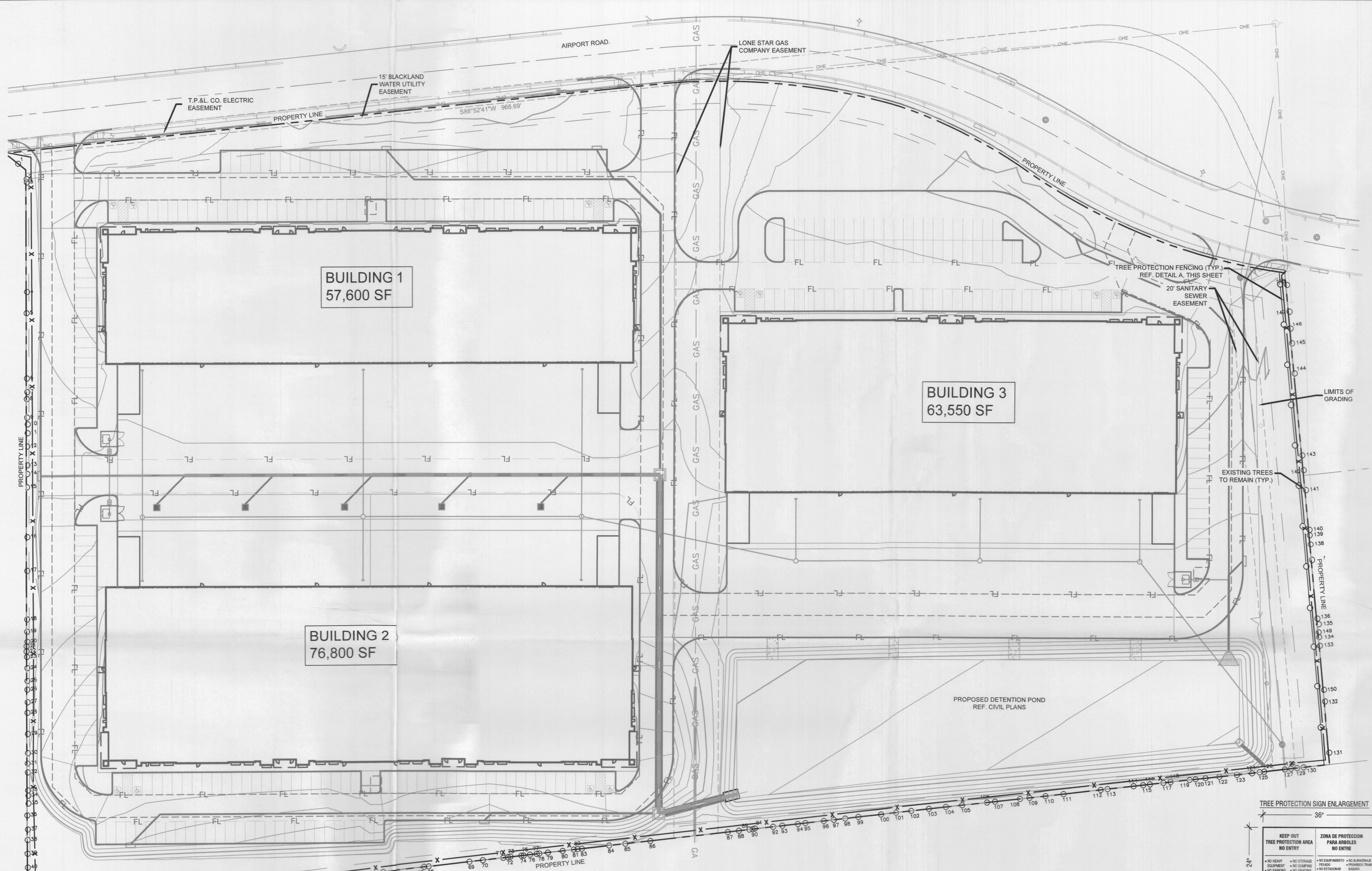
<p>13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240                  PHONE: 972-770-1000 FAX: 972-238-3820                  WWW.KIMLEY-HORN.COM TX F-928                  © 2021 KIMLEY-HORN AND ASSOCIATES, INC.</p>	
<p>FOR REVIEW ONLY                  Not for construction or permit purposes.</p> <p><b>Kimley-Horn</b>                  K.L.A. BLAINE D. MERRILL                  L.A. No. 3486 Date: 11/02/2021</p>	
GROSS ACREAGE	17.92 AC
DATE	11/02/2021
SCALE	AS SHOWN
DESIGNED BY	AJS
DRAWN BY	AJS
CHECKED BY	BDM
<p>LOT DESCRIPTION:                  TRACT 4</p>	
<p>INTREPID - ROCKWALL</p>	
<p>LANDSCAPE DETAILS</p>	
<p>L02.00</p>	



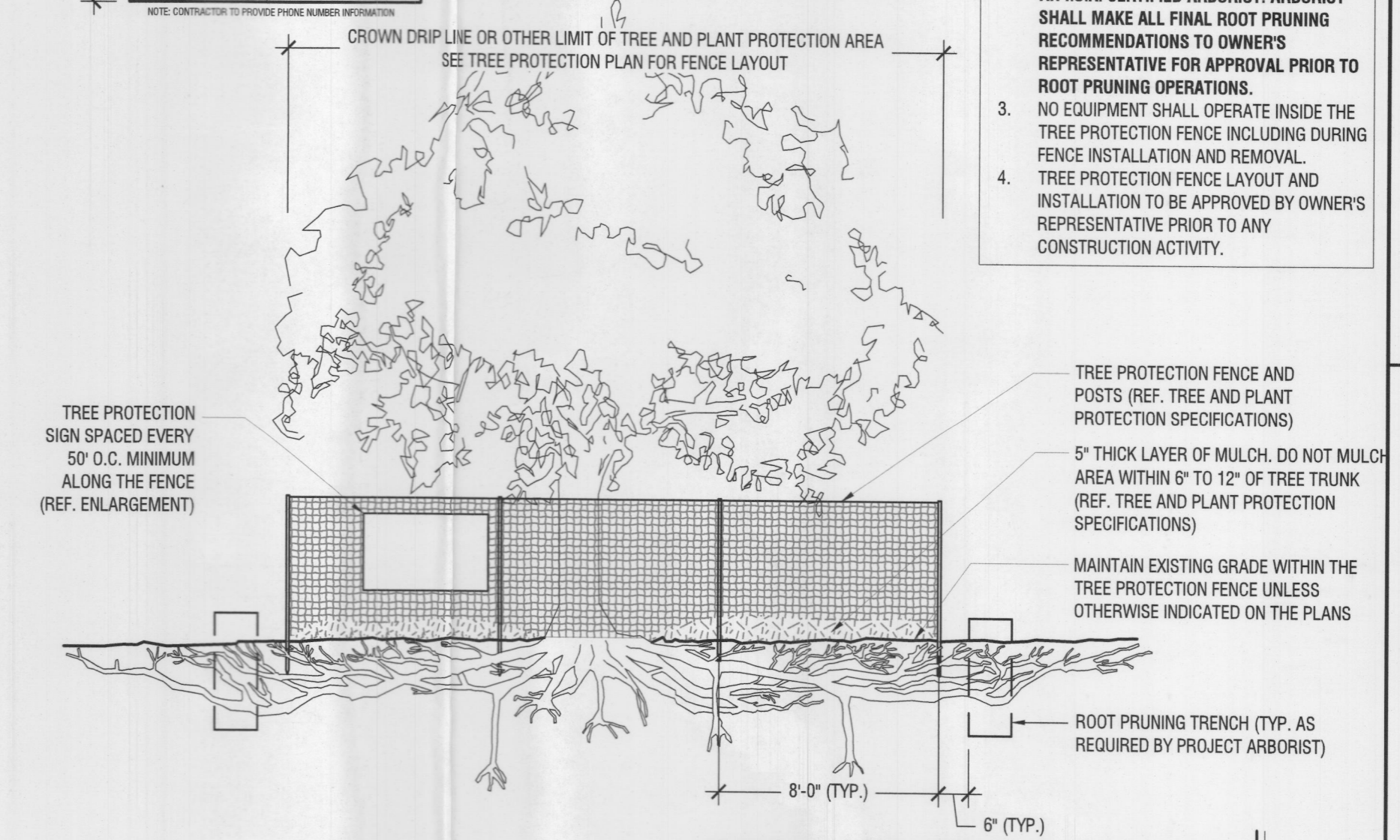
**LEGEND**

- ⊗ EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE PROTECTED
- - - TREE PROTECTION FENCING
- - - EXISTING CONTOUR
- PROPOSED CONTOUR

**NOTE:**  
1. ALL EXISTING TREES ARE TO BE PRESERVED IN PLACE.



- NOTES:**
- SEE TREE AND PLANT PROTECTION SPECIFICATIONS FOR WATERING AND OTHER ADDITIONAL REQUIREMENTS.
  - ALL TREE AND ROOT PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN I.S.A. CERTIFIED ARBORIST. ARBORIST SHALL MAKE ALL FINAL ROOT PRUNING RECOMMENDATIONS TO OWNERS REPRESENTATIVE FOR APPROVAL PRIOR TO ROOT PRUNING OPERATIONS.
  - NO EQUIPMENT SHALL OPERATE INSIDE THE TREE PROTECTION FENCE INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  - TREE PROTECTION FENCE LAYOUT AND INSTALLATION TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO ANY CONSTRUCTION ACTIVITY.



~ TREE TABLE ~		
NO	TYPE	SIZE
1	HB	8"
2	CEDAR	7"
3	HB	10"
4	CEDAR	7"
5	CEDAR	7"
6	CEDAR	7"
7	CEDAR	11"
8	HB	6"
9	CEDAR	2-10"
10	CEDAR	6"
11	CEDAR	6"
12	HB	13"
13	CEDAR	7"
14	CEDAR	8"
15	CEDAR	7"
16	CEDAR	10"
17	CEDAR	10"
18	CEDAR	12"
19	CEDAR	12"
20	CEDAR	6"
21	CEDAR	6"
22	CEDAR	8"
23	CEDAR	7"
24	CEDAR	7"
26	CEDAR	7"
27	CEDAR	7"
28	CEDAR	7"
29	CEDAR	9"
30	CEDAR	9"
31	CEDAR	7"
32	CEDAR	6"
33	CEDAR	6"
34	CEDAR	6"
35	CEDAR	6"
36	CEDAR	6"
37	CEDAR	6"
38	CEDAR	10"
39	CEDAR	6"
40	CEDAR	6"
41	CEDAR	6"
42	CEDAR	6"
43	CEDAR	6"
44	HB	10"
45	HB	2-7"
46	HB	7"
47	HB	14"
48	HB	8"
49	HB	13" SIZE
50	HB	7"
51	HB	2-7"
52	HB	12"
53	CEDAR	7"
54	HB	6"
55	HB	8"
56	HB	12"
57	HB	7"
58	HB	8"
59	HB	7"
60	HB	7"
61	HB	6"
62	HB	6"
63	HB	6"
64	HB	7"
65	HB	6"
66	2-7"	HB
67	HB	8"
68	HB	14"
69	HB	7"
70	CEDAR	7"
71	HB	7"
72	HB	7"
73	HB	7"
74	HB	8"
75	HB	7"
76	CEDAR	7"
77	ELM	16"
78	HB	7"
79	HB	7"
80	HB	7"
81	HB	7"
82	HB	7"
83	HB	8"
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85	HB	12"
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89	HB	7"
90	ELM	18"
91	HB	8"
92	HB	7"
93	HB	6"
94	HB	8"
95	HB	6"
96	HB	8"
97	HB	7"
98	HB	7"
99	HB	6"
100	HB	7"
101	HB	7"
102	HB	6"
103	HB	6"
104	HB	6"
105	HB	12"
106	HB	7"
107	HB	12"
108	HB	12"
109	HB	6"
110	HB	8"
111	HB	10"
112	HB	10"
113	HB	10"
114	HB	13"
115	CEDAR	6"
116	CEDAR	6"
117	HB	6"
118	HB	12"
119	HB	13"
120	CEDAR	6"
121	HB	10"
122	HB	16"
123	HB	16"
124	HB	7"
125	HB	14"
126	HB	2-6"
127	HB	14"
128	HB	9"
129	HB	6"
130	WILLOW	12"
131	CEDAR	11"
132	CEDAR	8"
133	CEDAR	6"
134	CEDAR	7"
135	CEDAR	13"
136	CEDAR	12"
137	CEDAR	10"
138	CEDAR	12"
139	CEDAR	7"
140	CEDAR	7"
141	CEDAR	18"
142	CEDAR	12"
143	CEDAR	12"
144	CEDAR	7"
145	CEDAR	8"
146	CEDAR	8"
147	CEDAR	8"
148	HB	6"
149	CEDAR	7"
149	CEDAR	14"

**SITE PLAN SIGNATURE BLOCK**

APPROVED: I HEREBY CERTIFY THAT THE ABOVE DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING & ZONING COMMISSION ON THE 16th DAY OF FEBRUARY, 2022.

WITNESS OUR HANDS, THIS 16th DAY OF FEBRUARY, 2022.

PLANNING & ZONING COMMISSION, CITY OF ROCKWALL, TEXAS

APPROVED: I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 16th day of February, 2022.

WITNESS OUR HANDS, THIS 16th DAY OF FEBRUARY, 2022.

PLANNING & ZONING COMMISSION, CITY OF ROCKWALL, TEXAS

EPG022076\_0000210714\_L002 2/25/21 10:46:47 AM 4/21/21 10:46:47 AM  
 DATE SAVED: 2/25/21 11:52 AM  
 DRAWN BY: MARIK BLOME  
 CHECKED BY: MARIK BLOME  
 DWG NAME: TREE PRESERVATION PLAN (T01.00)

This document, together with the concepts and designs presented herein, is an instrument of service, in and to be used only for the specific purpose and client for which it was prepared. Release of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**Kimley»Horn**  
 13455 NOEL ROAD, THE GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-236-3920  
 WWW.KIMLEY-HORN.COM TX F-928  
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC.

**PRELIMINARY**  
 Not for construction or permit purposes.

**Kimley»Horn**  
 B.L.A. BLAINE D. MULLIK  
 L.A. No. 3488 Date: 11/02/2021

GROSS ACREAGE	17.92 AC
DATE	11/02/2021
SCALE	AS SHOWN
DESIGNED BY	AJS
DRAWN BY	AJS
CHECKED BY	BDM

**INTREPID - ROCKWALL**

**TREE PRESERVATION PLAN**

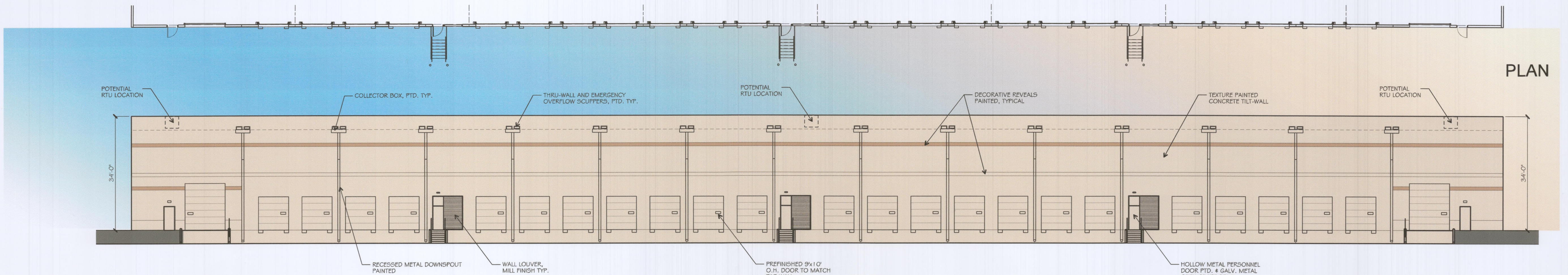
LOT DESCRIPTION: TRACT 4

ROCKWALL, TEXAS  
 ROCKWALL COUNTY

Scale: NTS

**T01.00**

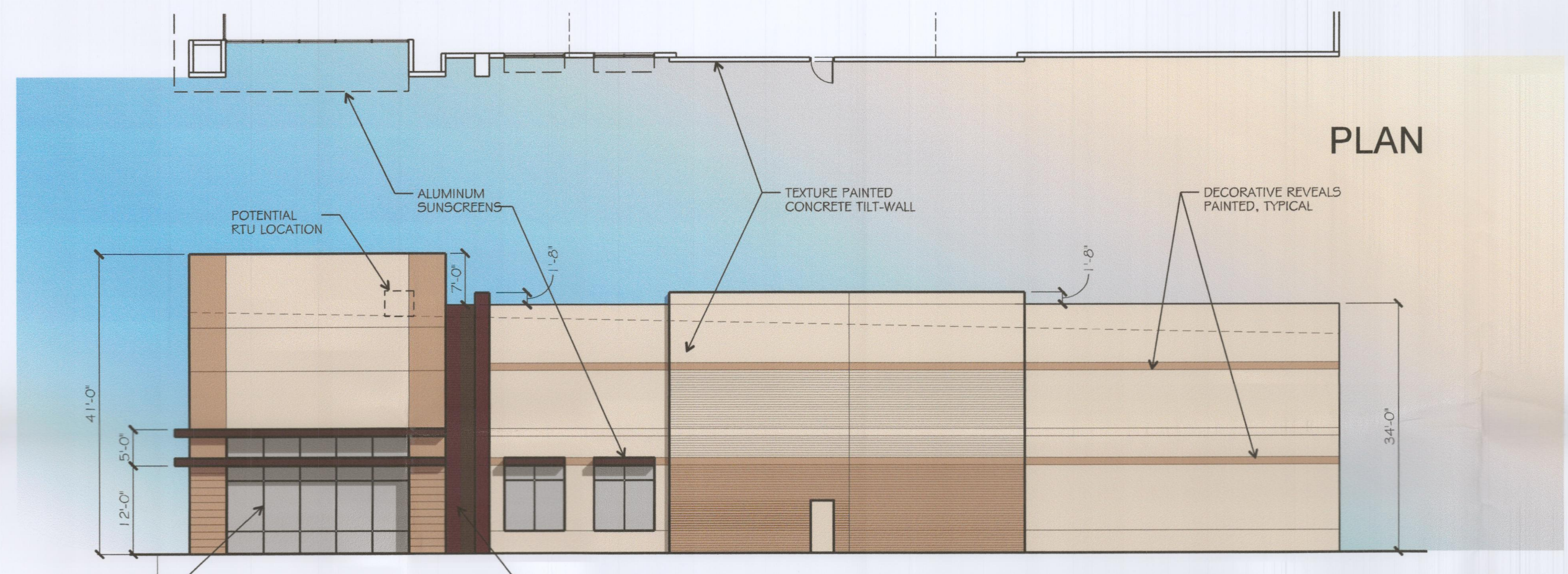
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PLAN

MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	78.24 %
% DOORS	21.76 %

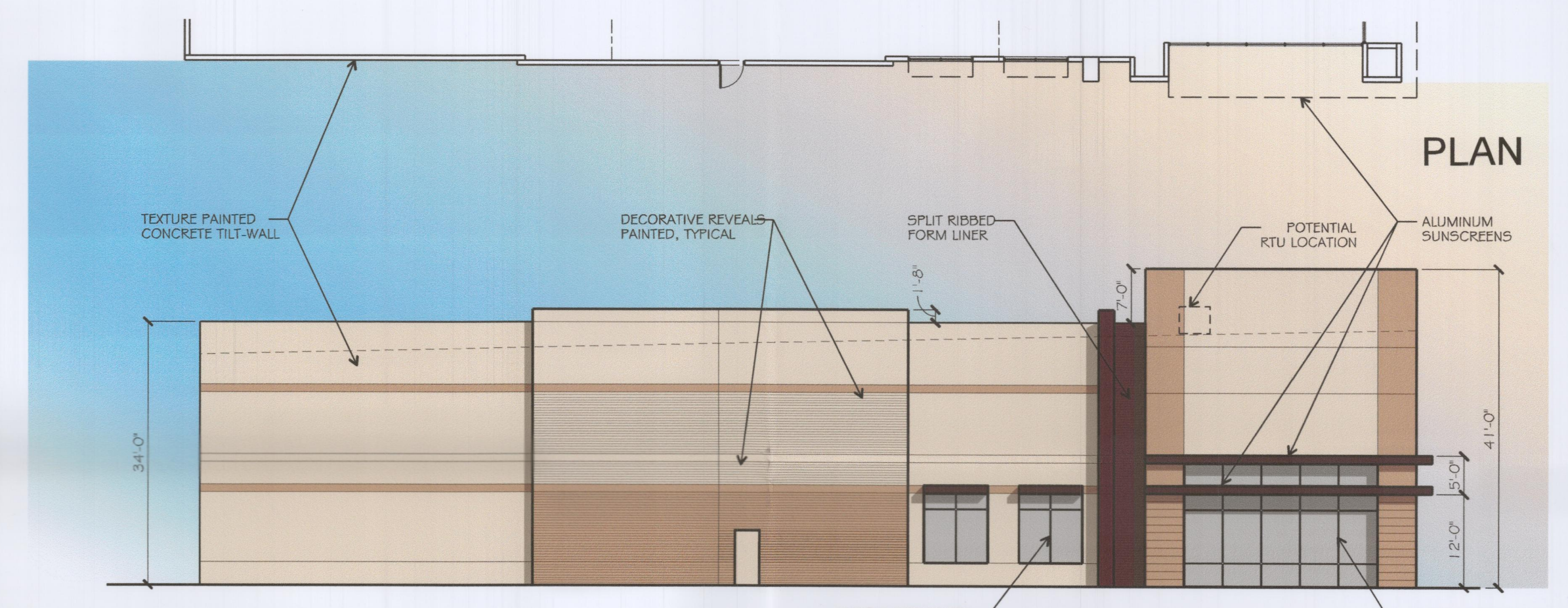
**4** BUILDING 3 SOUTH ELEVATION  
SCALE: 1/16"=1'-0"



PLAN

MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	86.6 %
% RIB FORMLINER	2.44 %
% GLASS	9.34 %
% ALUMINUM SUNSCREENS	1.62 %

**3** BUILDING 3 WEST ELEVATION  
SCALE: 1/16"=1'-0"



PLAN

MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	86.6 %
% RIB FORMLINER	2.44 %
% GLASS	9.34 %
% ALUMINUM SUNSCREENS	1.62 %

**2** BUILDING 3 EAST ELEVATION  
SCALE: 1/16"=1'-0"



PLAN

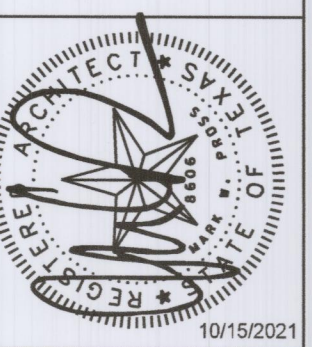
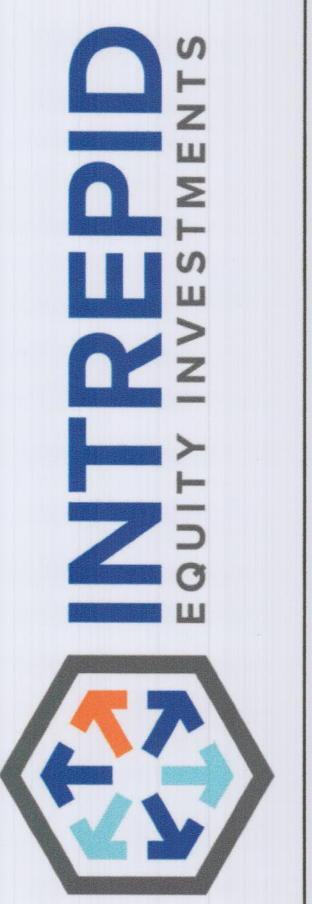
PAINT SCHEDULE	
	FIELD - SW 7011 NATURAL CHOICE
	ACCENT 1 - SW7038 TONY TAUPE
	ACCENT 2 - SW 7027 HICKORY SMOKE

MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	83.18 %
% RIB FORMLINER	3.58 %
% GLASS	11.35 %
% ALUMINUM SUNSCREENS	1.89 %

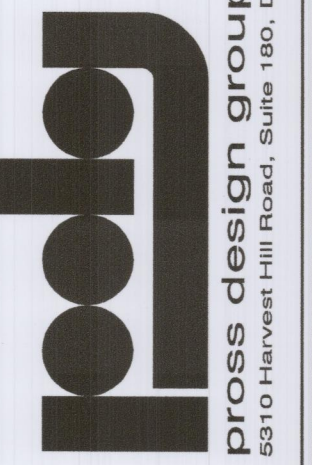
SITE PLAN SIGNATURE  
APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF May, 2022.  
WITNESS OUR HANDS, THIS 14 DAY OF May, 2022.  
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**1** BUILDING 3 NORTH ELEVATION  
SCALE: 1/16"=1'-0"

drawn:  
checked:  
ROBERT PROSS  
DCT/E  
10/15/2021



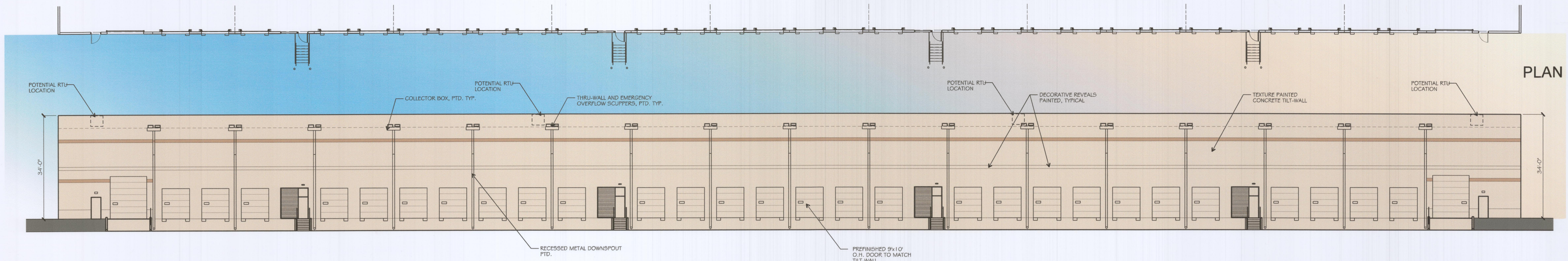
**pross design group, incorporated.**  
5510 Harvest Hill Road, Suite 100, Dallas, Texas 75248. 972/769-1400



**INTREPID ROCKWALL**  
ROCKWALL, TEXAS

job no  
2145  
sheet  
A3.2

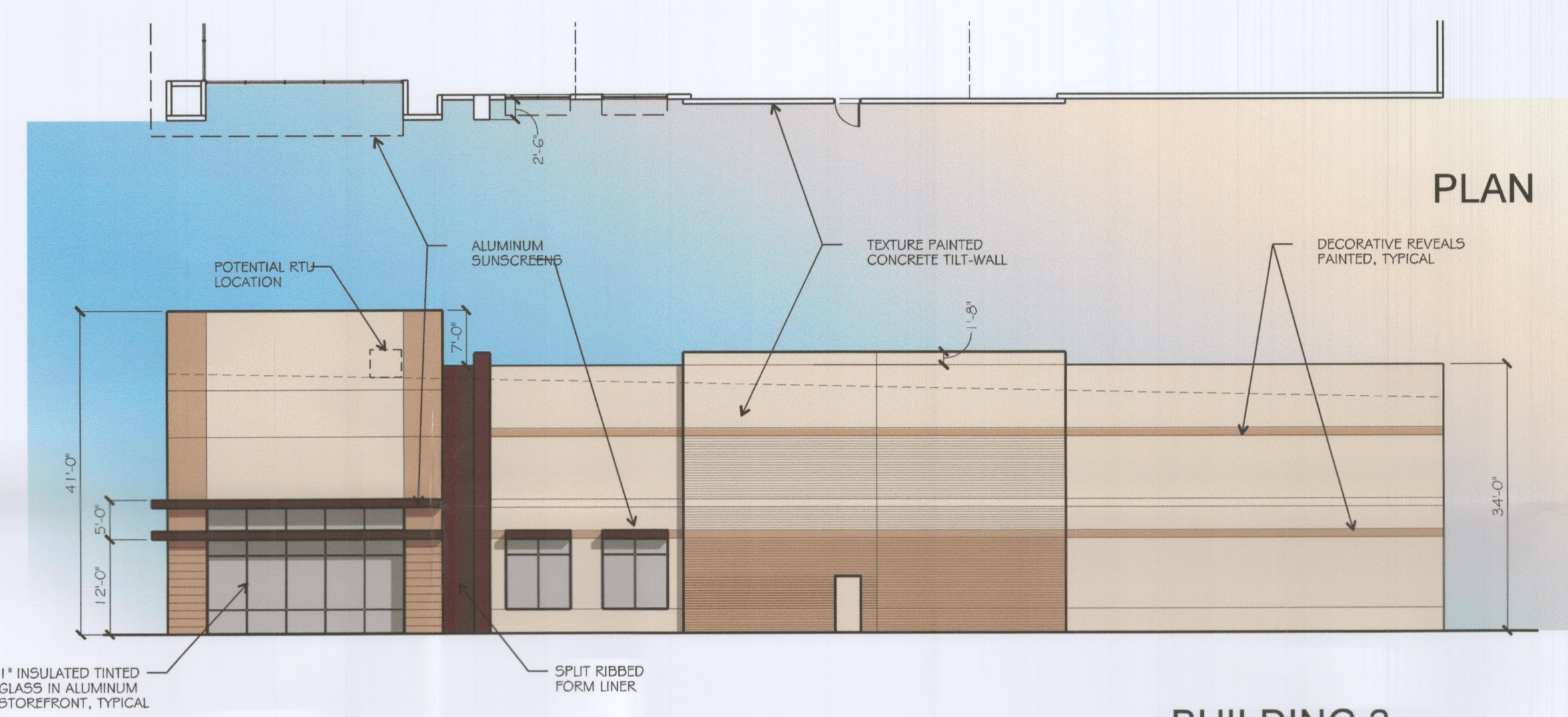
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PLAN

MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	71.17 %
% DOORS	28.83 %

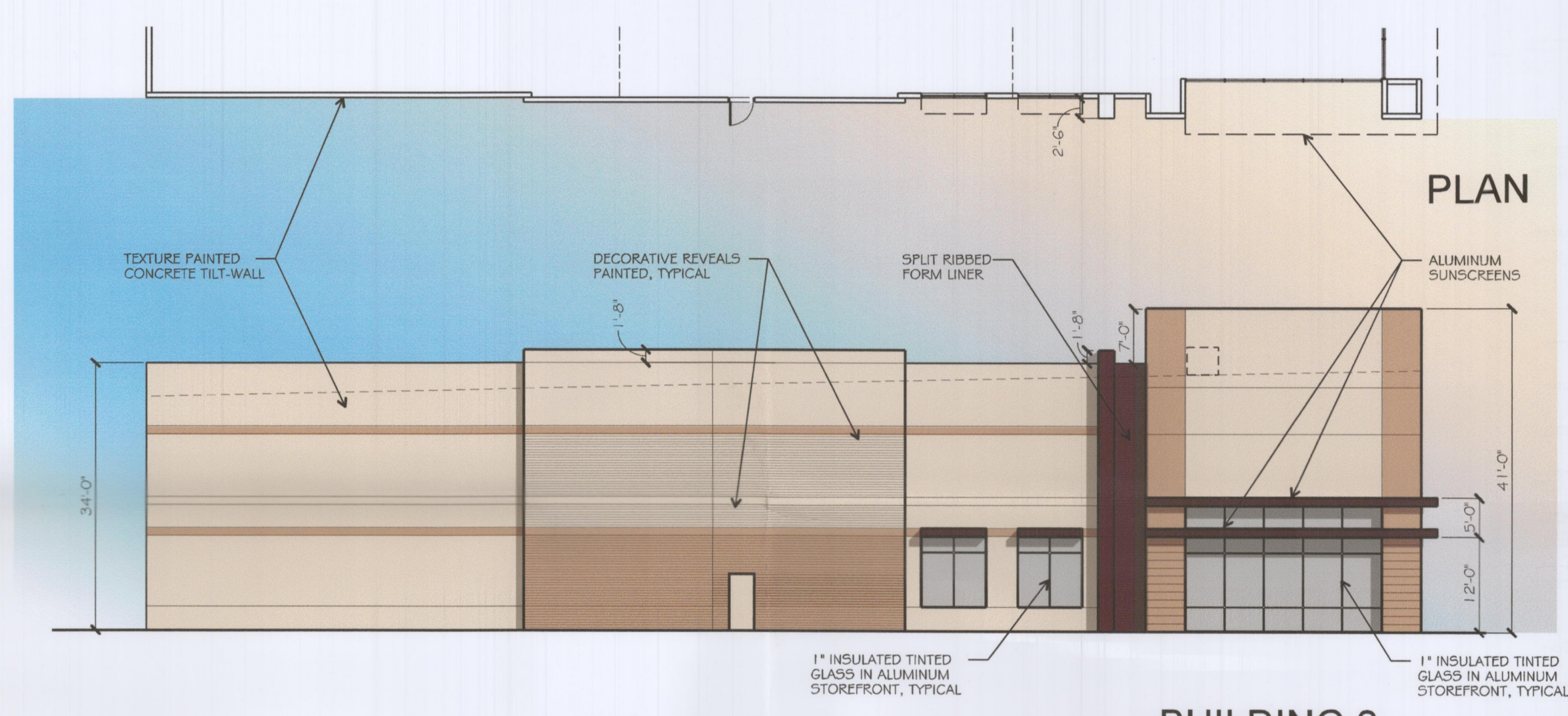
**4** BUILDING 2 NORTH ELEVATION  
SCALE: 1/16" = 1'-0"



PLAN

MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	86.99 %
% RIB FORMLINER	2.38 %
% GLASS	9.07 %
% ALUMINUM SUNSCREENS	1.56 %

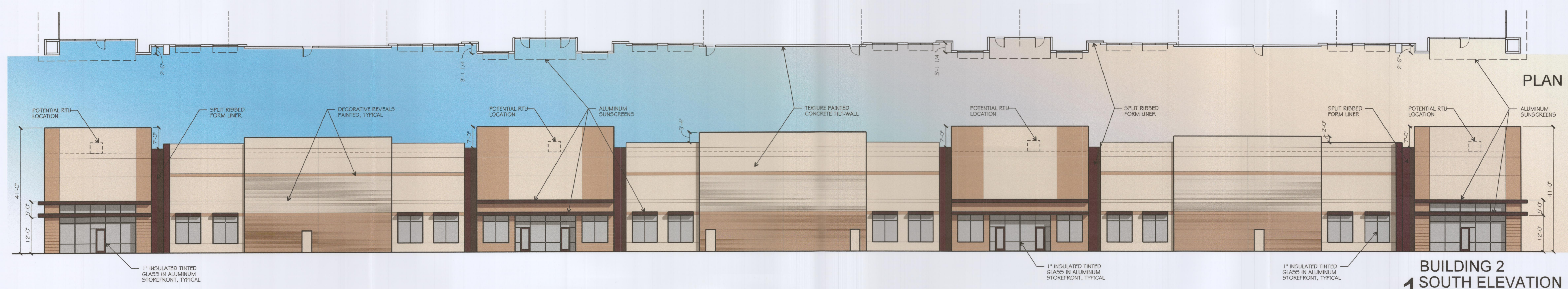
**3** BUILDING 2 EAST ELEVATION  
SCALE: 1/16" = 1'-0"



PLAN

MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	86.99 %
% RIB FORMLINER	2.38 %
% GLASS	9.07 %
% ALUMINUM SUNSCREENS	1.56 %

**2** BUILDING 2 WEST ELEVATION  
SCALE: 1/16" = 1'-0"



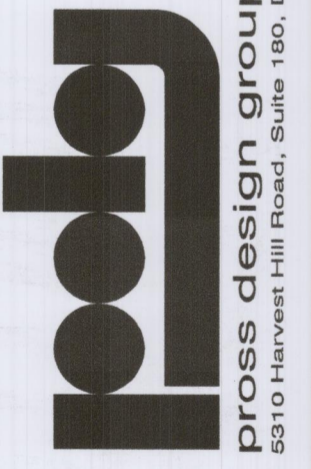
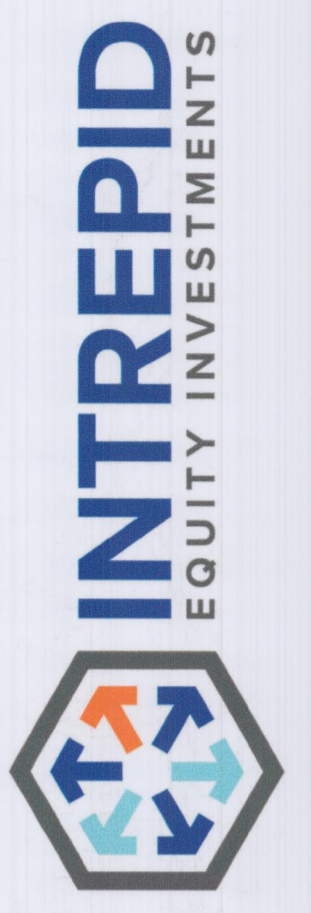
PLAN

PAINT SCHEDULE	
[Color swatch]	FIELD - SW 7011 NATURAL CHOICE
[Color swatch]	ACCENT 1 - SW7038 TONY TAUPE
[Color swatch]	ACCENT 2 - SW 7027 HICKORY SMOKE

MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	79.59 %
% RIB FORMLINER	2.38 %
% GLASS	13.50 %
% ALUMINUM SUNSCREENS	4.53 %

SITE PLAN SIGNATURE  
APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL, TEXAS ON THE 16 DAY OF February 2022.  
WITNESS OUR HANDS THIS 16 DAY OF February 2022.  
PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING AND ZONING

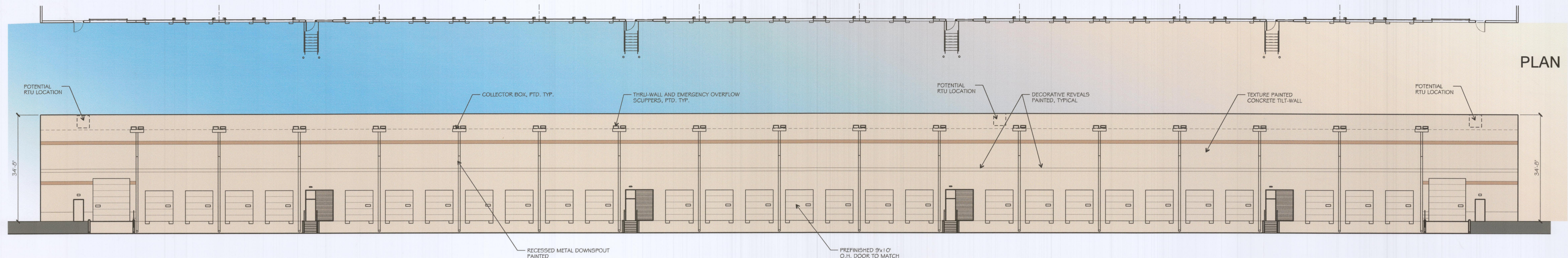
**1** BUILDING 2 SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"



INTREPID ROCKWALL  
ROCKWALL, TEXAS

job no 2145  
sheet A3.1

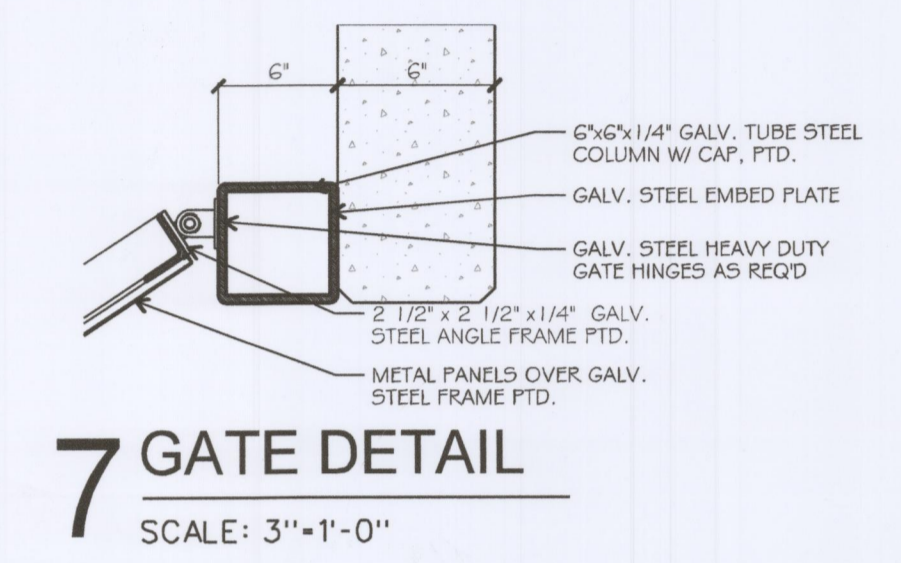
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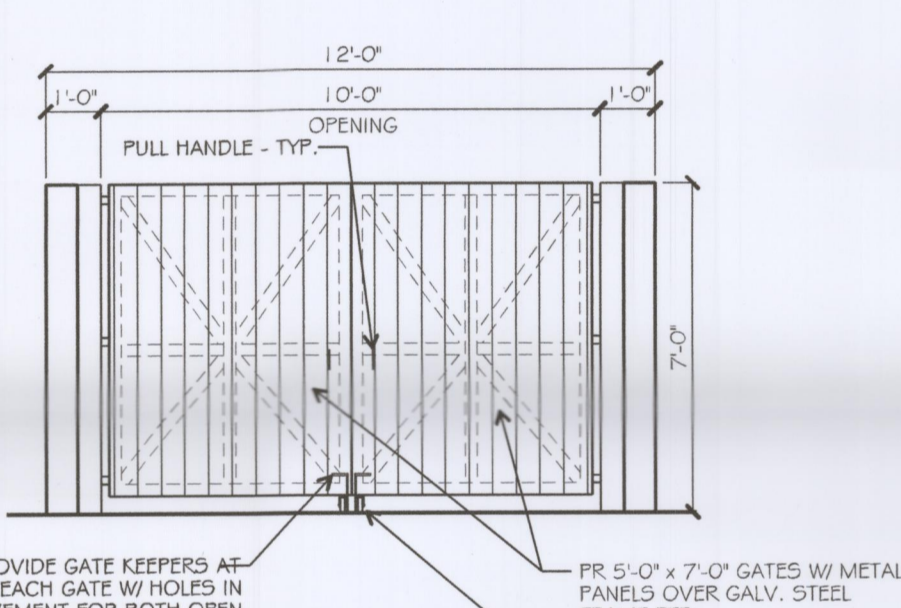
PLAN

**4 BUILDING 1 SOUTH ELEVATION**  
SCALE: 1/16"=1'-0"

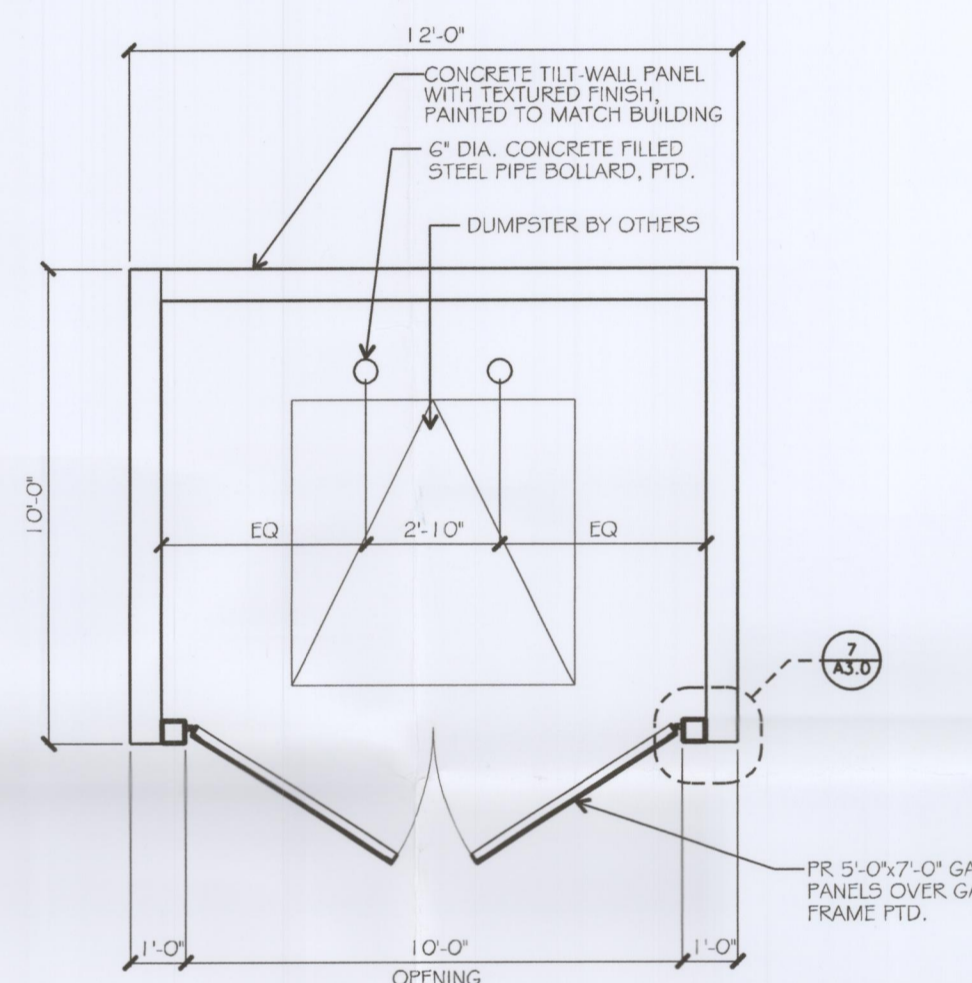
MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	71.17 %
% DOORS	28.83 %



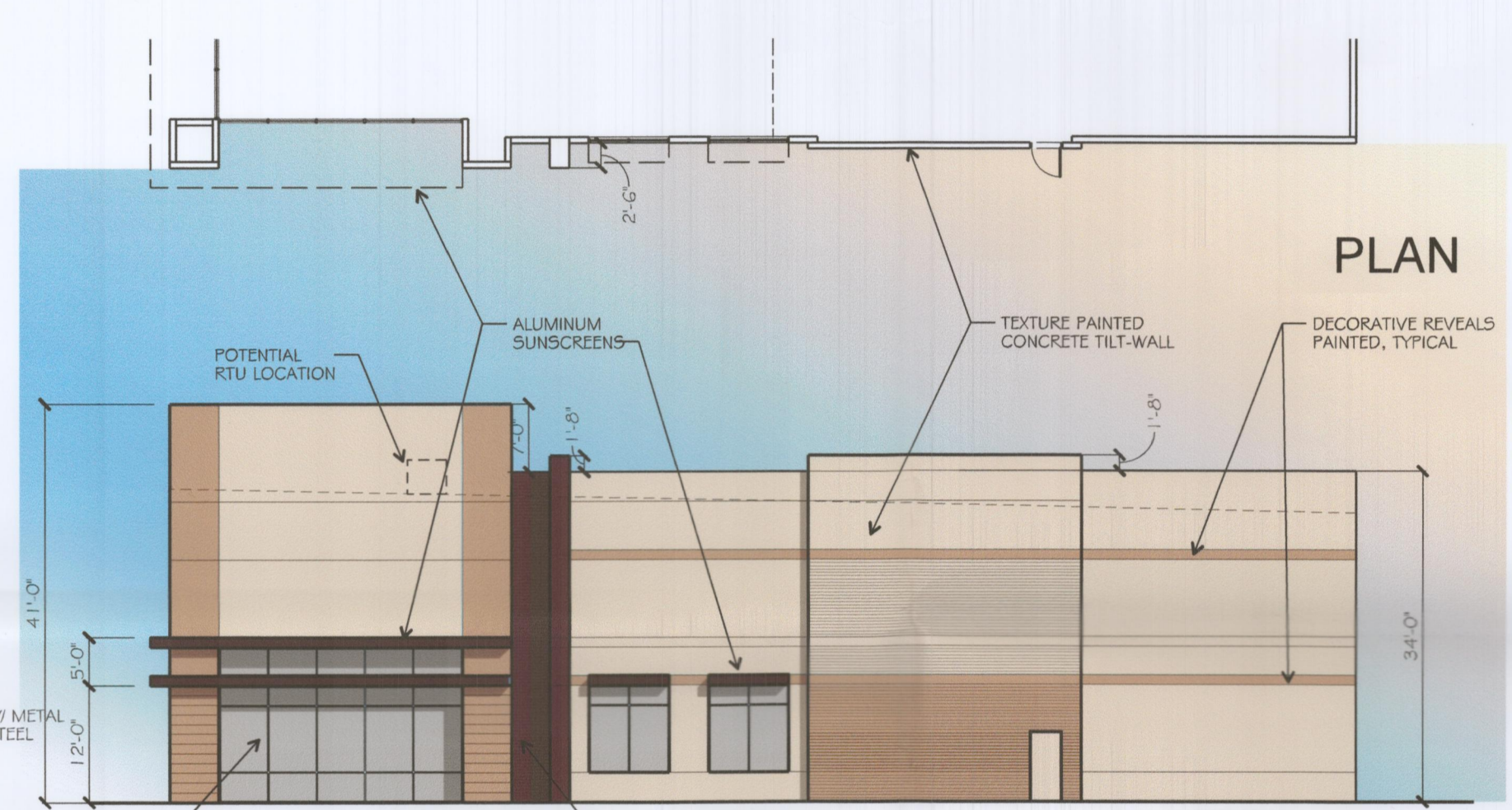
**7 GATE DETAIL**  
SCALE: 3"=1'-0"



**6 DUMPSTER ENCLOSURE ELEVATION**  
SCALE: 1/4"=1'-0"



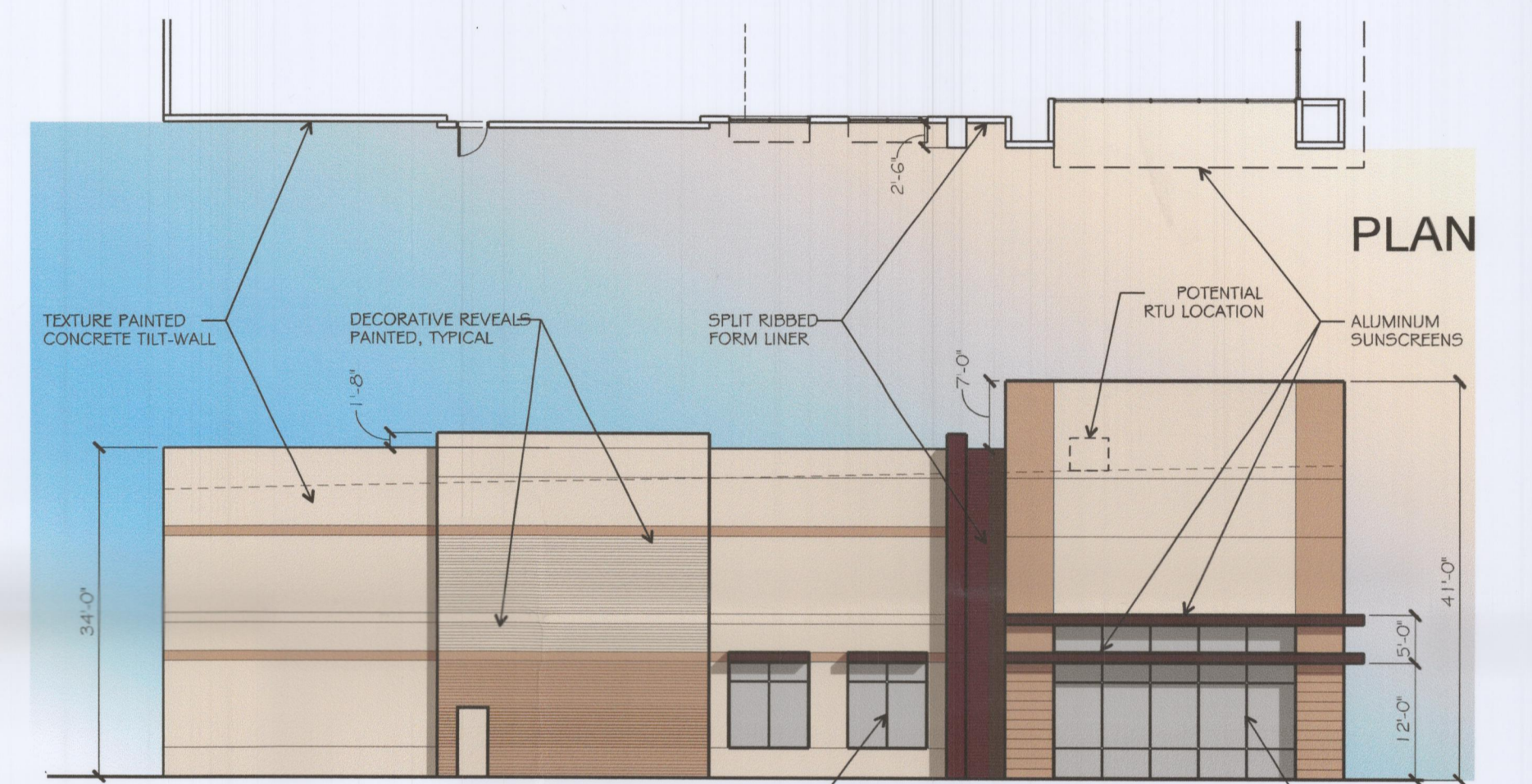
**5 DUMPSTER ENCLOSURE PLAN**  
SCALE: 1/4"=1'-0"



PLAN

**3 BUILDING 1 WEST ELEVATION**  
SCALE: 1/16"=1'-0"

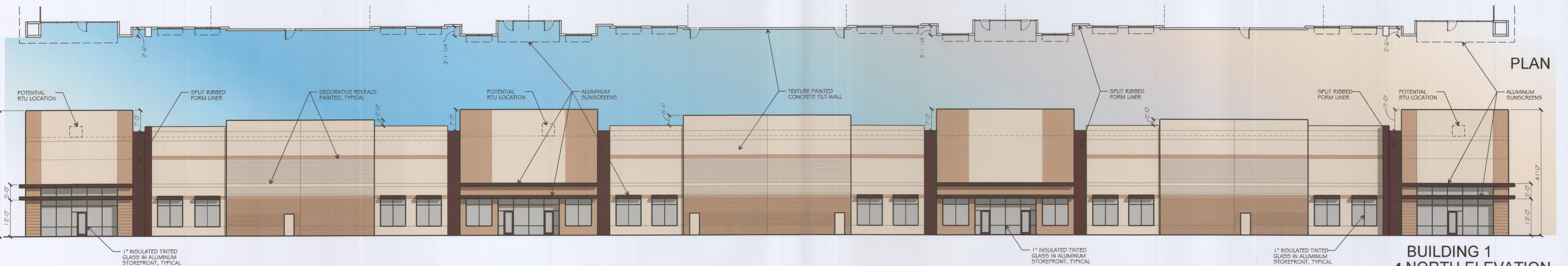
MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	82.9 %
% RIB FORMLINER	3.72 %
% GLASS	12.8 %
% ALUMINUM SUNSCREENS	.58 %



PLAN

**2 BUILDING 1 EAST ELEVATION**  
SCALE: 1/16"=1'-0"

MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	82.9 %
% RIB FORMLINER	3.72 %
% GLASS	12.8 %
% ALUMINUM SUNSCREENS	.58 %



PLAN

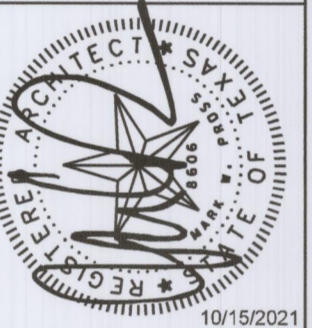
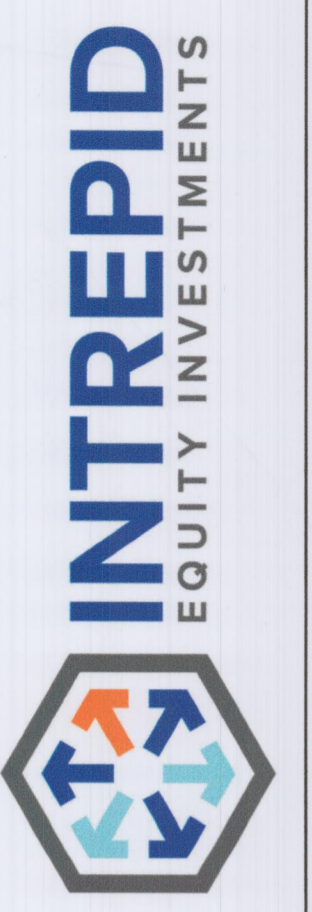
**1 BUILDING 1 NORTH ELEVATION**  
SCALE: 1/16"=1'-0"

PAINT SCHEDULE	
<span style="display:inline-block; width:15px; height:10px; background-color:#d9ead3;"></span>	FIELD - SW 7011 NATURAL CHOICE
<span style="display:inline-block; width:15px; height:10px; background-color:#f4cccc;"></span>	ACCENT 1 - SW7038 TONY TAUPE
<span style="display:inline-block; width:15px; height:10px; background-color:#f4b084;"></span>	ACCENT 2 - SW 7027 HICKORY SMOKE

MATERIALS %	
% TEXTURED CONCRETE WALL PANEL	79.59 %
% RIB FORMLINER	2.38 %
% GLASS	13.50 %
% ALUMINUM SUNSCREENS	4.53 %

SITE PLAN SIGNATURE  
APPROVED: \_\_\_\_\_  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 16 DAY OF May, 2022.  
WITNESS OUR HANDS, THIS 16 DAY OF May, 2022.  
\_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

drawn:  
checked:  
ROBERT PROSS  
DATE  
10/15/2021



**pross design group, inc.** incorporated  
9510 Harvest Hill Road, Suite 100, Dallas, Texas 75246, 97277931400

**INTREPID ROCKWALL**  
ROCKWALL, TEXAS

job no  
2145  
sheet  
A3.0

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts	Lum. Lumens
	11	W	Single	0.900	WW-EM-BZ	17.2	189.2	613
	5	SA	Single	0.900	LEDEPK250W40K3-T3	240.1	1200.5	23887
	16	SW	Single	0.900	LEDEPK250W40K3-T4	250.019	4000.304	36290
	9	SW1	Single	0.900	LEDEPK250W40K3-T3	253	2277	34033
	3	SW2	Single	0.900	LEDEPK100W40K3-T3	100.13	300.39	1500

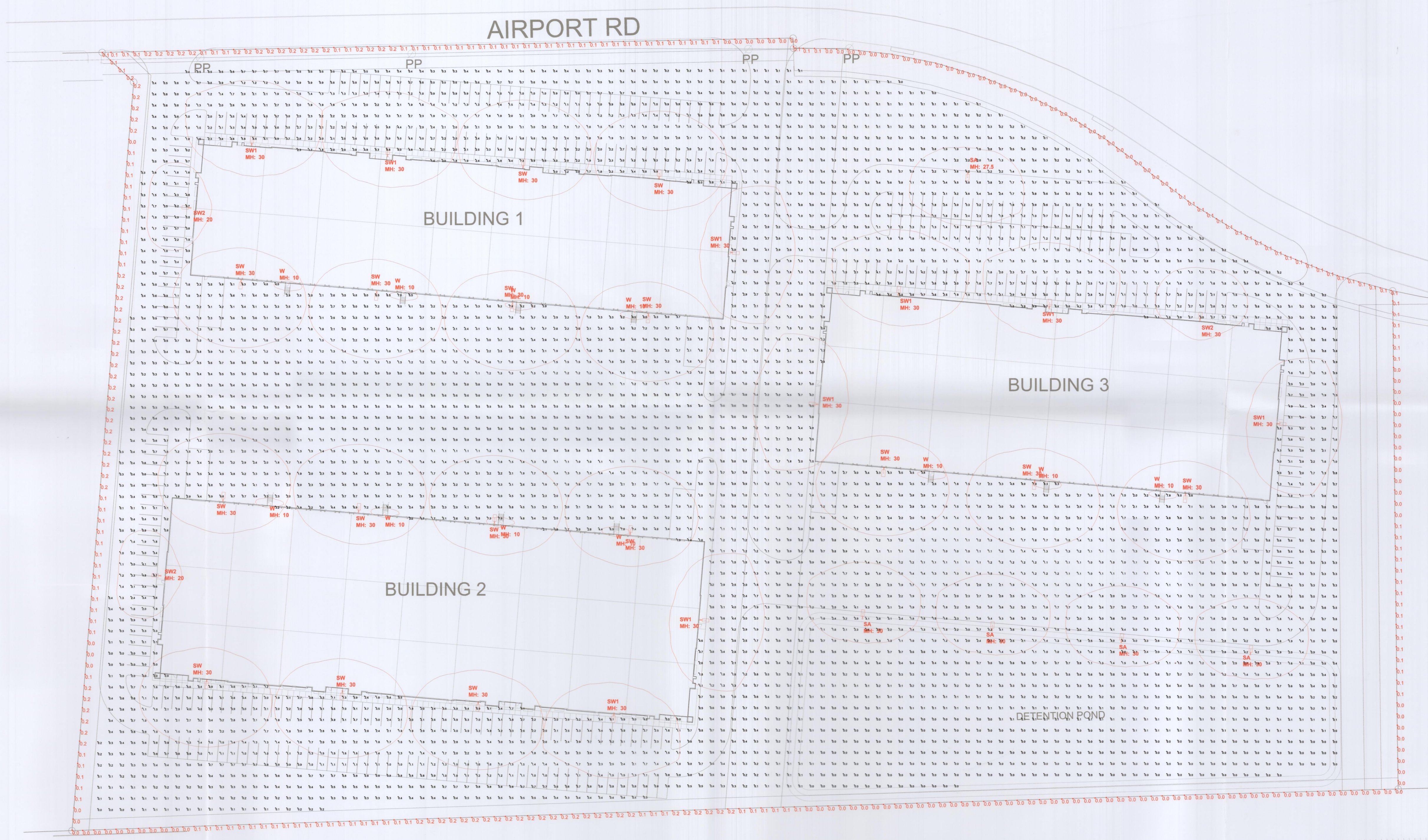
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PSDc/L	PSDc/Tb	Cal HI
PROPERTY LINE		luminaire	Fc	0.08	0.2	0.0	N.A.	N.A.	10	N.A.
SITE CAL PTS		luminaire	Fc	1.54	9.2	0.0	N.A.	N.A.	10	0

**GENERAL NOTES**

-THIS CALCULATION IS BASED ON AN OPEN AREA, OBJECTS AND OBSTRUCTIONS WITHIN THIS AREA WILL AFFECT FINAL LIGHTING LEVELS.

-THE CALCULATED FOOTCANDLE LEVELS INDICATE LUMINAIRE PERFORMANCE BASED ON THE INFORMATION PROVIDED TO TEXAS LIGHTING SALES, INC. WE MAKE NO CLAIMS OF COMPLIANCE WITH ANY LOCAL OR STATE LIGHTING CODES.

-CALCULATIONS ARE PROVIDED USING INDUSTRY RECOGNIZED SOFTWARE AND ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. INPUT DATA FOR THE CALCULATIONS CORRESPONDS TO THE INFORMATION PROVIDED TO US (ASSUMPTIONS MAY BE MADE FOR INFORMATION THAT IS NOT PROVIDED). IT IS THE RESPONSIBILITY OF THOSE USING THIS SERVICE TO VERIFY OUR INPUT DATA IS CONSISTENT WITH EXPECTED FIELD CONDITIONS. RESULTS OF THE LIGHTING CALCULATIONS ACCURATELY REFLECT THE INPUT DATA, HOWEVER, ACTUAL LIGHTING LEVELS WILL VARY DEPENDING ON FIELD CONDITIONS SUCH AS ROOM CHARACTERISTICS, TEMPERATURE, VOLTAGE AND LAMP/BALLAST OUTPUT AND OTHER FACTORS. CALCULATIONS ARE ALSO SUBJECT TO THE LIMITATIONS OF THE SOFTWARE. DUE TO THE ABOVE CONSIDERATIONS, TEXAS LIGHTING SALES CANNOT GUARANTEE THAT ACTUAL LIGHT LEVELS MEASURED IN THE FIELD WILL MATCH OUR INITIAL CALCULATIONS.



**SITE LIGHTING PHOTOMETRIC PLAN**  
SCALE: 1" = 40'-0"

SITE PLAN SIGNATURE

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 16 DAY OF May, 2022.

WITNESS OUR HANDS, THIS 16 DAY OF May 2022

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**TEXAS LIGHTING SOLUTIONS**

831 WEST EULESS BLVD, SUITE 15  
EULESS, TEXAS 76040  
TEL: 972-567-9300

CLIENT: PROSS DESIGN GROUP

TXLS CONSULTANT: JOSEPH JEFFERY

NO.	REVISION	DATE

SCALE: 1" = 40'-0"  
SHEET SIZE 30" X 42"

JOB NAME:  
**INTREPID WARHOUSE**

JOB LOCATION:  
**ROCKWALL, TX**

**NORTH**

Approved and sealed under the contract, including the professional seal and title. All work performed hereon is subject to the terms and conditions of the contract and shall not constitute an offer of service or any other representation made by Texas Lighting Solutions, Inc.

Page Number: 1  
Date: 10/28/2021