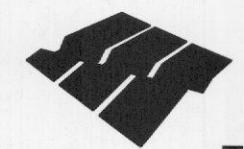


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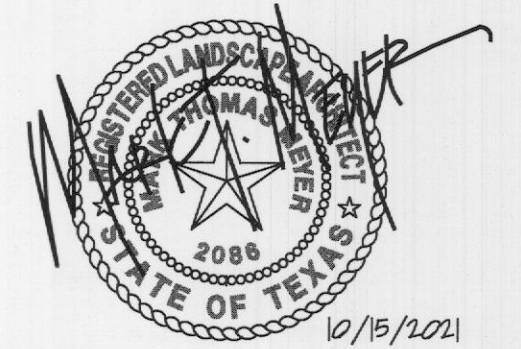
# SOMERSET PARK

Rockwall, Texas

# Sitework / Planting



**TBG**  
 landscape architects, planners & designers  
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 tbgpartners.com



CITY PROJECT NUMBER: SP2021-029  
 APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT  
 IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING  
 COMMISSION OF THE CITY OF ROCKWALL ON THE 23 DAY OF March, 2022.  
 WITNESS OUR HANDS, THIS 23 DAY OF March, 2022.  
 [Signature] PLANNING & ZONING COMMISSION, CHAIRMAN [Signature] DIRECTOR OF PLANNING AND ZONING.

project  
**Somerset  
 Phase 2**

ISSUE FOR PERMIT  
 Arcadia Realty Corp  
 Rockwall, TX

project number  
**D21053**

issue date  
 10/15/2021

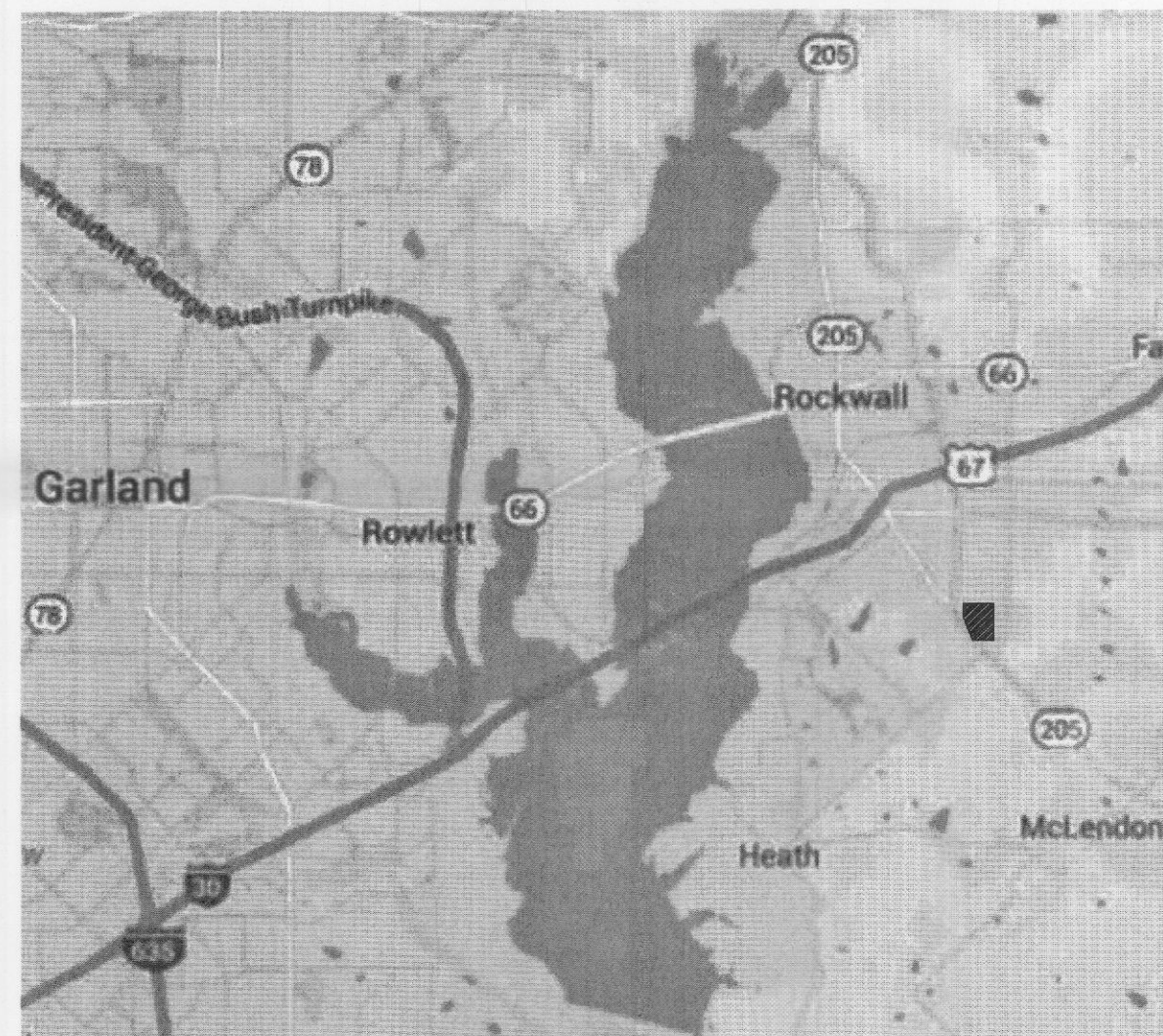
designed: JD, BD  
 drawn: BD, AC  
 reviewed: JD, MM

RE-SUBMITTAL 11 / 02 / 2021  
 RE-SUBMITTAL 11 / 04 / 2021  
 RE-SUBMITTAL 03 / 14 / 2022

sheet title  
**cover sheet**

sheet  
**LC 1.00**

## VICINITY MAP



## A PROJECT BY

**OWNER:**  
 Arcadia Realty

CONTACT: Will Gietema/ Katherine  
 Hamilton  
 Arcadia Lakes of Somerset Holdings, LLC  
 3500 Maple Ave., Suite 1165  
 Dallas, Texas 75219  
 O: 214.986.5024

**LANDSCAPE ARCHITECT:**  
 TBG PARTNERS

CONTACT: Jonathan Dunbar  
 2001 Bryan Street, Suite 1450  
 Dallas, Texas 75201  
 O: 214.744.0757

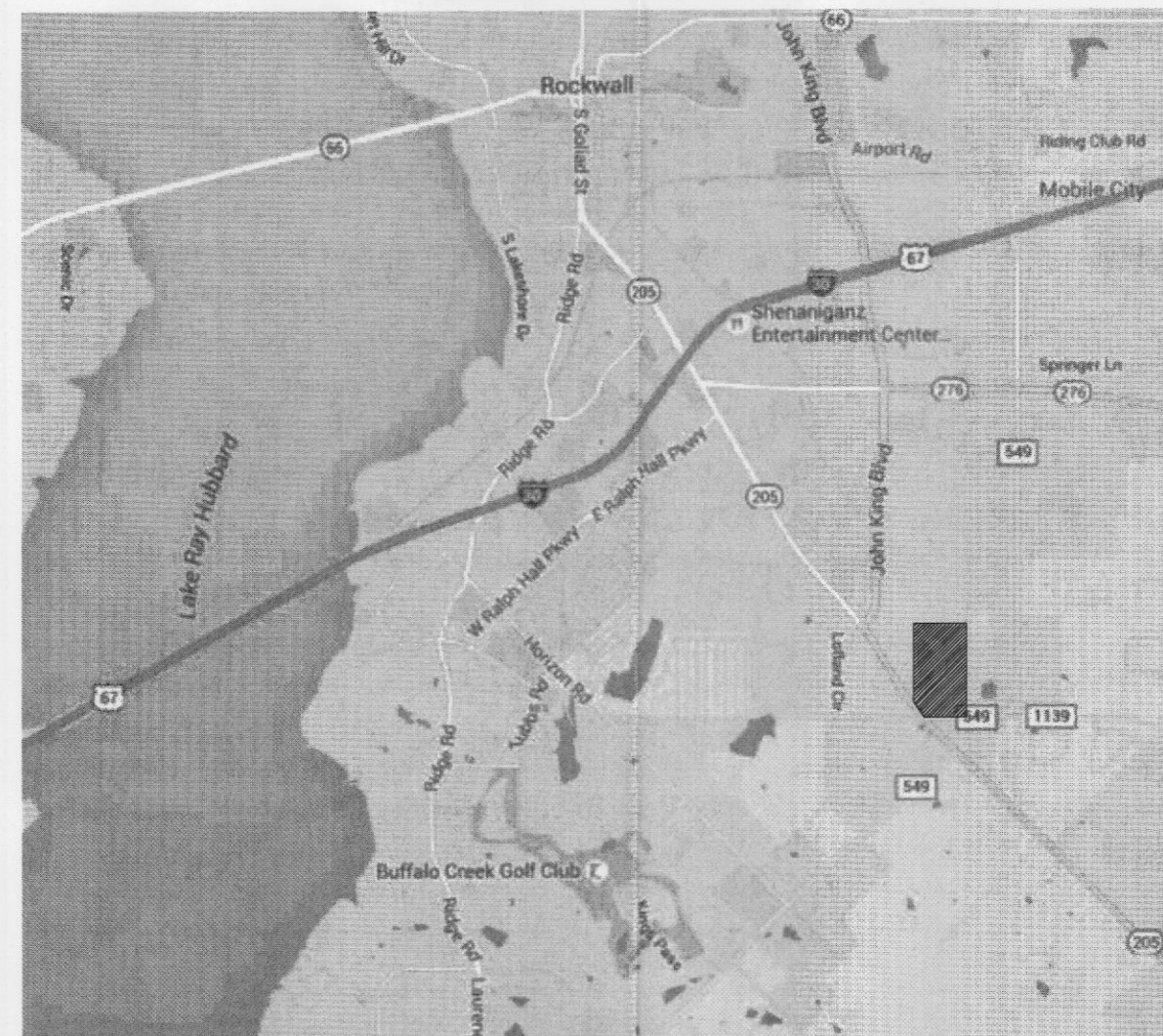
**CIVIL ENGINEER:**  
 Spiars Engineering & Surveying

CONTACT: Greg Helsel  
 765 Custer Road, Suite 100  
 Plano, TX 75075  
 O: 469.395.0529

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NOVEMBER 04, 2021	PERMIT	Planting Schedule	LP 2.02
NOVEMBER 04, 2021	PERMIT	Planting Enlargement	LP 3.01

## LOCATION MAP



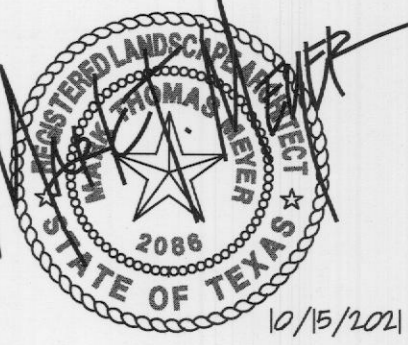


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# Somerset Phase 2

ISSUE FOR PERMIT

Arcadia Realty Corp  
Rockwall, TX

project number  
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issue date  
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designed: JD BD  
drawn: BD AC  
reviewed: JD MM

RE-SUBMITTAL 11/02/2021  
RE-SUBMITTAL 11/04/2021  
RE-SUBMITTAL 03/14/2022

## general notes

sheet  
**LC 1.01**

### PLANTING LEGEND

	<b>TREE CALLOUT</b>
Qs	SPECIES (REF. PLANT SCHEDULE)
	TREE QUANTITY
	<b>SHRUB CALLOUT</b>
Ri	SPECIES (REF. PLANT SCHEDULE)
	<b>VINE / GROUNDCOVER CALLOUT</b>
Ta	SPECIES (REF. PLANT SCHEDULE)
	<b>SEASONAL / PERENNIAL / GRASSES / AQUATICS CALLOUT</b>
Ms	SPECIES (REF. PLANT SCHEDULE)
	GRAVEL CALLOUT
	STEEL EDGE
	ROOT BARRIER

### GRADING LEGEND

	56.23	PROPOSED SPOT ELEVATION (BY LANDSCAPE ARCHITECT)
	852.31	PROPOSED SPOT ELEVATION (BY CIVIL ENGINEER)
TW		TOP OF WALL ELEVATION
BW		BOTTOM OF WALL ELEVATION
TS		TOP OF STAIR ELEVATION
BS		BOTTOM OF STAIR ELEVATION
TD		TOP OF DRAIN ELEVATION
HP		HIGH POINT ELEVATION
SHP		SWALE HIGH POINT ELEVATION
TC		TOP OF CURB ELEVATION
BC		BOTTOM OF CURB ELEVATION
	2%	PERCENT & DIRECTION OF SLOPE FLOWLINE ELEV. / CALLOUT
		POINT OF CONNECTION
		POT/HARDSCAPE DRAIN
		ATRIUM DRAIN
		DRAIN LINE CLEAN OUT
		EXISTING MINOR CONTOUR
		EXISTING MAJOR CONTOUR
	561	PROPOSED MINOR CONTOUR
	560	PROPOSED MAJOR CONTOUR
		SURFACE FLOW LINE (SWALE)
		GRADE BREAKLINE
		PERFORATED DRAIN LINE
		DRAIN LINE

### GENERAL LEGEND

SIM.	SIMILAR
P.O.B	POINT OF BEGINNING
P.O.T	POINT OF TANGENCY
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
PA	PLANTING AREA
BOC	BACK OF CURB
FOW	FACE OF WALL
CL	CENTERLINE CALLOUT
	POINT OF BEGINNING
	ALIGN ELEMENTS
	ALIGN ELEMENTS
	HARDSCAPE / MATERIAL CALLOUT
	DETAIL REFERENCE
3	DETAIL NUMBER
153.02	SHEET NUMBER
	SECTION REFERENCE
2	DETAIL NUMBER
LG 2.01	SHEET NUMBER
	ELEVATION REFERENCE
1	ELEVATION NUMBER
LS 2.03	SHEET NUMBER
	ENLARGEMENT REFERENCE
2	ENLARGEMENT NUMBER
LP 2.04	SHEET NUMBER
	ENLARGED AREA
	EXISTING TREE TO REMAIN
	LIMIT OF CONSTRUCTION LINE
	PROPERTY LINE
	SHEET MATCHLINE
	CENTERLINE

### SITWORK LEGEND

CJ	CONTROL JOINT
EJ	EXPANSION JOINT
	DIRECTION OF BROOM FINISH
	CONTROL JOINT SYMBOL
	EXPANSION JOINT SYMBOL

### LANDSCAPE PLANTING NOTES:

- THE CONTRACTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINAL GRADE. ALL SLOPES SHALL BE SMOOTH AND UNIFORM WITH A MAXIMUM SLOPE OF 3:1 UNLESS OTHERWISE NOTED. TIE INTO EXISTING ADJACENT GRADES SMOOTHLY AND FINE GRADE FOR POSITIVE DRAINAGE AND TO PREVENT WATER FROM STANDING. CUT SWALES TO DIRECT WATER AWAY FROM ALL STRUCTURES AND PROPERTY LINES, AND TOWARDS STORM SEWER INLETS. DO NOT DRAIN ANY WATER TOWARDS LOTS/EASEMENTS. THE FINAL LOCATION AND HEIGHT OF BERMS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- TREE PLANTING: REFERENCE SPECIFICATIONS AND DETAILS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION, (INCLUDING STAKING METHODS, PLANT PIT DIMENSIONS, AND BACKFILL REQUIREMENTS.) REFERENCE DETAILS FOR PROPER STAKING METHOD, STAKE SIZE AND COMPANY INFORMATION.  
  
BACKFILL ALL TREE PITS WITH SPECIFIED PLANTING MIX AND INCORPORATE 5 LBS OF 13-13-13 FERTILIZER PER CU. YD. OF MIX INTO ALL TREE PITS. ALL TREE WATER RETENTION BASINS SHALL RECEIVE MIN. 3" DEEP COMPOSTED HARDWOOD BARK MULCH TO WITHIN 1' OF THE TREE ROOT FLARE. 2" WITHIN 1' OF THE ROOT FLARE.
- MACHINE MOVE OR HAND DUG TREES: ALL TREES TO BE MACHINE MOVED OR HAND DUG DIRECTLY FROM SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO RELOCATION. COORDINATE TREE PRUNING TO BALANCE ROOT LOSS WITH LANDSCAPE ARCHITECT. TREES TO BE MECHANICALLY TRANSPLANTED USING TREE SPADE MUST ALLOW 9" OF ROOTBALL PER CALIPER INCH OF TREE.  
  
SET TREE STRAIGHT AND PLUMB, AND FILL ANY AIR SPACES AROUND TREE WITH SPECIFIED SAND OR SANDY LOAM TOPSOIL. WATER IN TO DISPLACE AIR POCKETS. INSTALL 3" HIGH WATER RETENTION BASIN PER SPECIFICATIONS WITH 2" DEEP COMPOSTED BARK MULCH AND WATER THE SPADED TREES THE DAY OF TRANSPLANTING.
- TREES SHALL BE LOCATED A MINIMUM OF 5' - 0" FROM WALLS, OVERHEADS, WALKS, EDGING, CURBS AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT MAY RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
- ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES. ALL MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LAWN INSTALLATION: PRIOR TO APPLICATION OF HYDROMULCH OR SOD, THE CONTRACTOR SHALL APPLY CONTACT HERBICIDE (RECOMMENDED MIXTURE OF IMAGE AND ROUNDUP) TO REMOVE ALL EXISTING WEEDS AS NECESSARY, AND SCARIFY EXISTING SOIL TO SPECIFIED DEPTHS. REMOVE ALL LUMPS, CLODS, TRASH AND STICKS GREATER THAN 1". FINE GRADE TO PROVIDE POSITIVE DRAINAGE AND SMOOTH LAWN AREAS AND CUT SWALES AS NECESSARY TO ENSURE NO PONDING OF WATER. FINISHED GRADE OF LAWN AND PLANTING BED AREAS TO BE MINIMUM 1/2" BELOW FINISHED GRADE OF ADJACENT PAVEMENT.
- ALL QUANTITIES ON THIS PLAN ARE FOR INFORMATION ONLY (PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED). IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE REMARKS.
- THE CONTRACTOR SHALL PROVIDE THE SOILS TESTING LAB SOIL SAMPLES. A MINIMUM OF TWO SAMPLES FROM EACH DIFFERENT SOIL AREA AND FROM EACH IMPORT SOIL SOURCE IS REQUIRED. VERIFY APPROPRIATE QUANTITY OF SAMPLES WITH THE LANDSCAPE ARCHITECT AND AGRONOMIST. SAMPLES SHALL THEN BE TESTED AND ANALYZED FOR AGRICULTURAL SUITABILITY AND FERTILITY BY AN ACCREDITED SOIL TESTING LABORATORY. ANALYSIS SHALL INCLUDE REVIEW AND COORDINATION WITH SPECIFICATIONS AND RECOMMENDATIONS FOR SOIL PREPARATION AND BACKFILL MIX. SUBMIT SOILS ANALYSES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PREPARATION. THIS REQUIREMENT APPLIES TO ALL SOILS AND CONDITIONS WITHIN THIS PROJECT INCLUDING IMPORT SOILS, AND ON GRADE SOILS. REFER TO SPECIFICATIONS.
- THE CONTRACTOR SHALL APPLY RECOMMENDED PRE-EMERGENT HERBICIDE FOR PREVENTION OF NUTGRASS AND WEEDS UPON ESTABLISHMENT OF BERMUDA LAWN APPROXIMATELY ONE MONTH AFTER HYDROMULCH APPLICATION. FERTILIZE AT SPECIFIED RATES MONTHLY DURING 90 DAY MAINTENANCE PERIOD.

### GENERAL SITEWORK NOTES:

- THE CONTRACTOR SHALL BE FAMILIAR WITH EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, SMALL PIPES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO BODILY INJURY AND/OR DAMAGE TO OWNER'S PROPERTY OR SAID UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES BEFORE EXCAVATION.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF UTILITIES PRIOR TO ANY EXCAVATION. EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL HAND DIG PLANTING PITS AND HAND RAKE LAWN AREAS AS REQUIRED.
- ALL CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH HIS SUBCONTRACTORS TO ACCOMPLISH HIS SCOPE OF WORK. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS PRIOR TO FABRICATION AND/OR PURCHASE OF ANY MATERIAL. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. ALL CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR.
- ANY REQUIRED CHANGES TO THE DRAWINGS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND THE OWNER FOR APPROVAL.
- THE CONTRACTOR SHALL COORDINATE THE STORAGE OF MATERIALS, PARKING OF VEHICLES AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK VEHICLES UNDER THE CANOPY OF EXISTING TREES.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES & CODE REQUIREMENTS. REQUIRED PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE UNIT PRICES BASED UPON THE QUANTITIES SHOWN WITHIN THE DOCUMENTS. FIELD CONDITIONS MAY REVISE ACTUAL LOCATION, INCREASING OR DECREASING THE EXTENT OF WORK PERFORMED. CHANGES TO THE EXTENT OF WORK RESULTING IN AN INCREASE OR DECREASE WILL BE BASED ON UNIT PRICES AND PERFORMED SUBJECT TO APPROVAL OF THE OWNER AND THE LANDSCAPE ARCHITECT IN THE FORM OF A CHANGE ORDER.
- UNIT PRICES SHALL NOT ONLY INCLUDE THE COST OF THE ITEM BUT ALSO ALL LABOR, EQUIPMENT, AND OTHER MATERIALS (I.E. BACKFILL MIX, MULCH, STEEL EDGING, ETC.) ASSOCIATED WITH AND NECESSARY TO DELIVER THE ITEM COMPLETE AS DOCUMENTED IN THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND NOTED ON THE DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVAL OF TRASH AND REPAIR OF HAZARDOUS CONDITIONS (I.E. TOOLS, OPEN HOLES, ETC.) ON A DAILY BASIS BY END OF WORK DAY.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN UP THE PROJECT SITE OF ALL TRASH, SCRAPS, BRICK, ROCKS, MORTAR, ETC. REPAIR ALL DAMAGE TO FINISH GRADE INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS OR ANY SETTLING OR EROSION OCCURRING PRIOR TO COMPLETION.

CITY PROJECT NUMBER: SP2021-029

APPROVED:  
I HERBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 23 DAY OF March, 2022.

WITNESS OUR HANDS, THIS 23 DAY OF March, 2022.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING.

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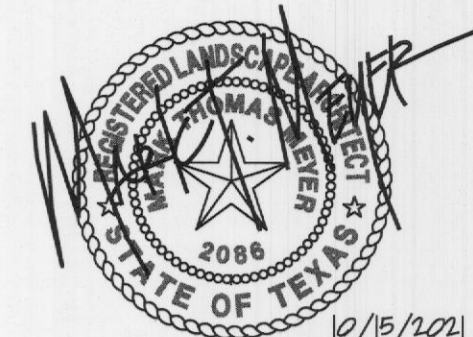


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 DIRECTOR OF PLANNING AND ZONING.

MATERIALS SCHEDULE					
<b>CONCRETE</b>					
KEY	DESCRIPTION /MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
C.1	STANDARD GRAY CONCRETE	GRAY	MEDIUM BROOM		
C.2	CONCRETE PAVING STANDARD GRAY CONCRETE @ POOL	GRAY	ROCK SALT FINISH		CONTRACTOR TO PROVIDE MOCK-UP FOR FINAL APPROVAL BY OWNERSHIP AND LANDSCAPE ARCHITECT. REF. SPECIFICATION FOR MOCK-UP SIZE REF. PLANS FOR LAYOUT.
<b>DRAINAGE</b>					
KEY	DESCRIPTION /MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
D.1	DECK DRAIN NDS 12" FLAT SQUARE CAST IRON HINGED GRATE			COMPANY: NDS PHONE: 1 (800) 726-1990	REF. TO LANDSCAPE GRADING PLANS
<b>EDGING</b>					
KEY	DESCRIPTION /MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
E.1	3/4" X 4" STEEL EDGING	BLACK	POWDERCOAT	COMPANY: J.D. RUSSELL CONTACT: 270.826.7008	OR APPROVED EQUAL
<b>FENCING</b>					
KEY	DESCRIPTION /MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
F.1	4' HEIGHT POOL FENCE COMPLIANT WITH TEXAS POOL CODE				
<b>LIGHTING</b>					
KEY	DESCRIPTION /MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
L.1	BOLLARD LIGHT	BLACK	FACTORY	N/A	LOCATION AS PER PLANS AT BASE OF TREES OR BACK OF THE WALL. CONTRACTOR TO SUBMIT CUT SHEET FOR APPROVAL; WRAP STRING LIGHTS TO 12' HT IN TREE.
<b>POOL</b>					
KEY	DESCRIPTION /MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
PL.1	PRECAST POOL COPING	TBD	TBD		EASE ALL EXPOSED EDGES AT COPING OVERHANG; COLOR & FINISH TO MATCH C.6 CAST STONE CAP
PL.2	POOL TILE	TBD			
PL.3	WARNING STRIP TILE NON- SLIP TILE	TBD			
PL.4	6" DEPTH MARKER & 6" NO DIVING TILE	WHITE W/BLACK LETTERING	NON-SLIP		
PL.5	POOL PLASTER	TBD			
PL.6	POOL HANDRAIL - 1-1/2" DIA. TUBE STAINLESS STEEL	BRUSHED STAINLESS STEEL	#4 FINISH		
PL.7	POOL LIFT				

project  
**Somerset  
Phase 2**

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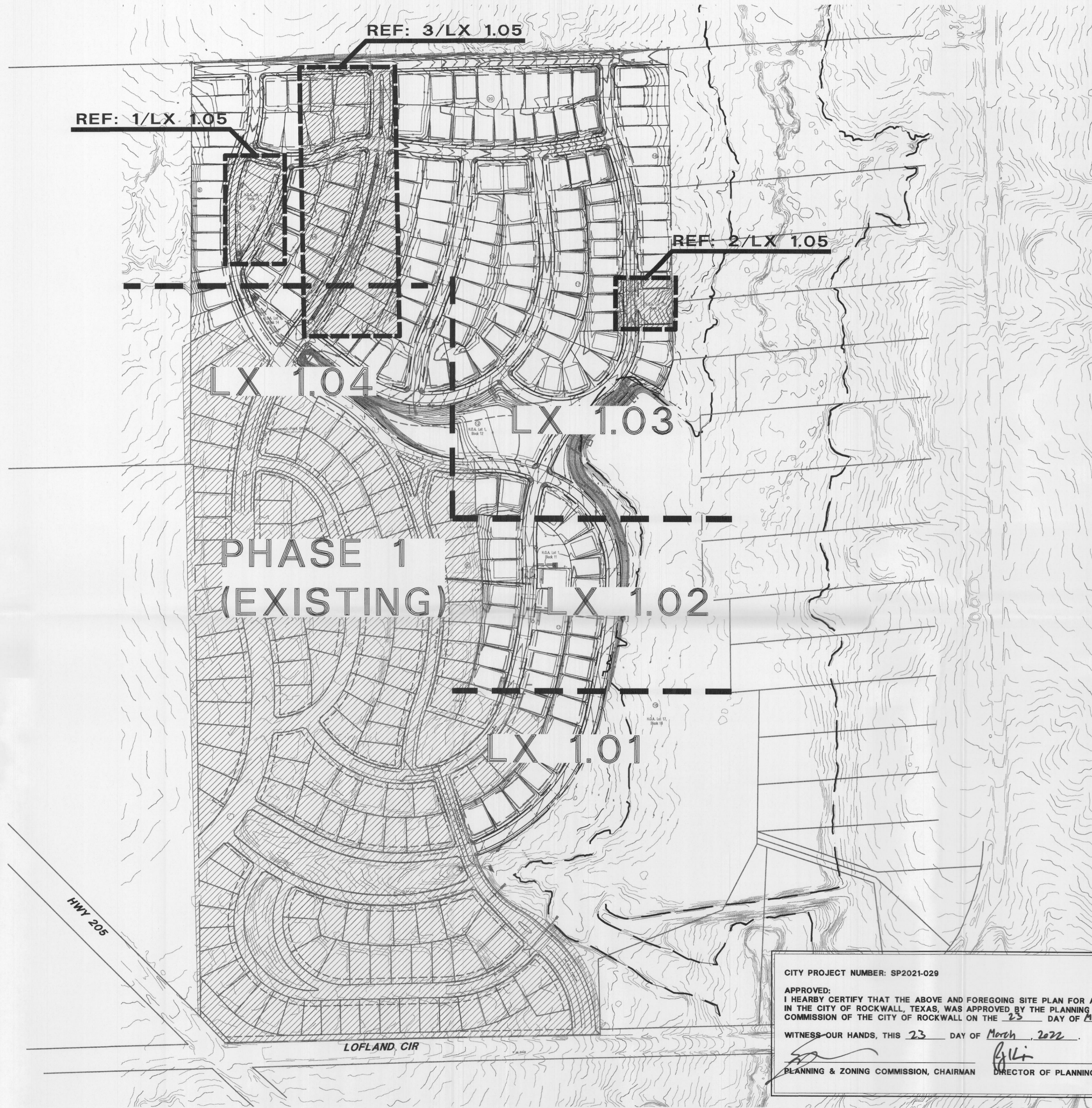
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RE-SUBMITTAL 03 / 14 /2022

sheet title  
**material  
schedule**

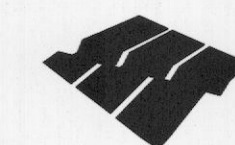
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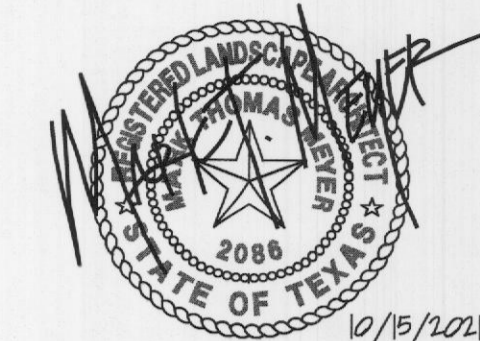
**1** Keymap  
Plan

0 100 200 400  
SCALE: 1"=200' NORTH



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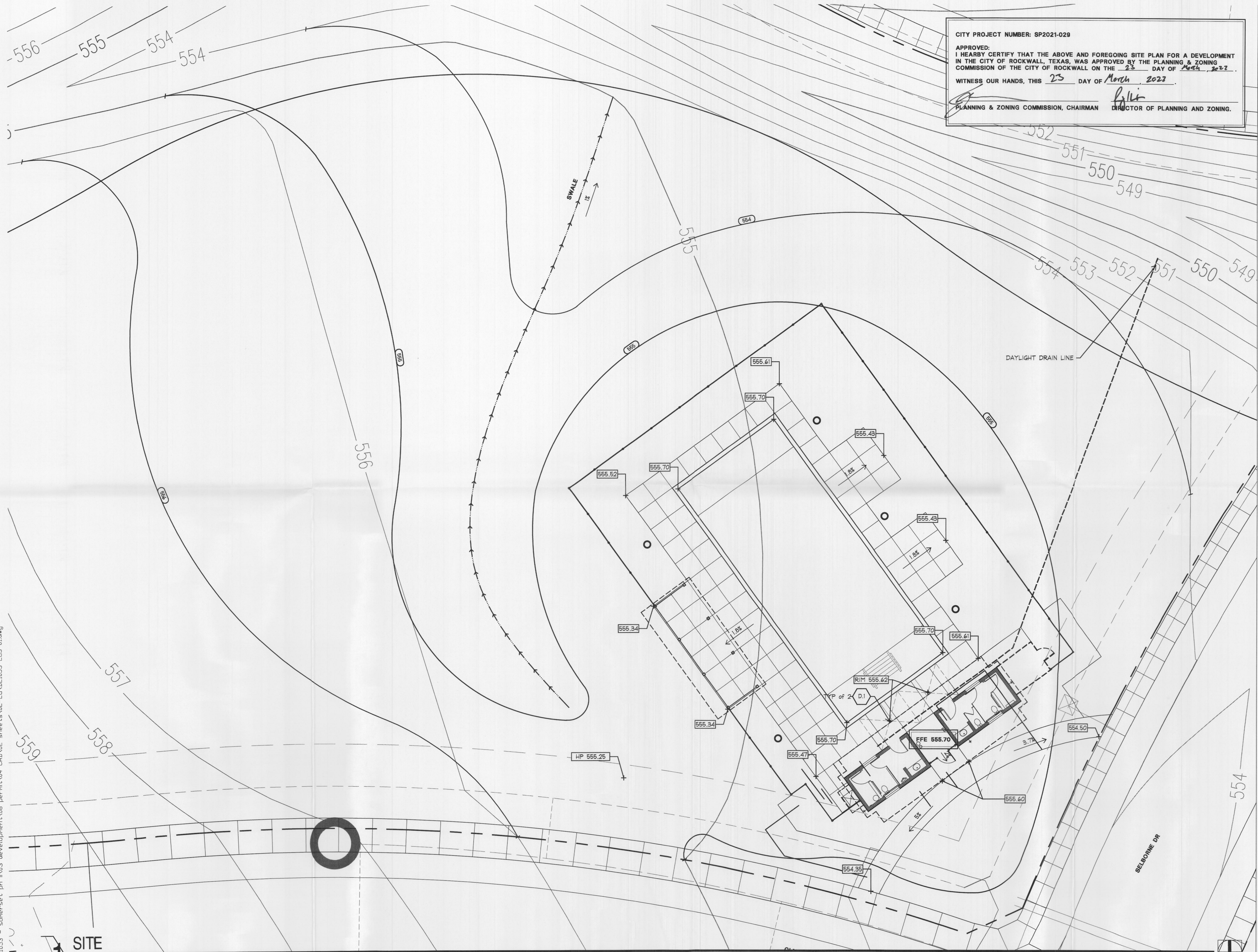
issue date  
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designed: JD BD  
drawn: BD AC  
reviewed: JD MM

RE-SUBMITTAL 11/02/2021  
RE-SUBMITTAL 11/04/2021  
RE-SUBMITTAL 03/14/2022

sheet title  
**keymap**

sheet  
**LC 1.03**



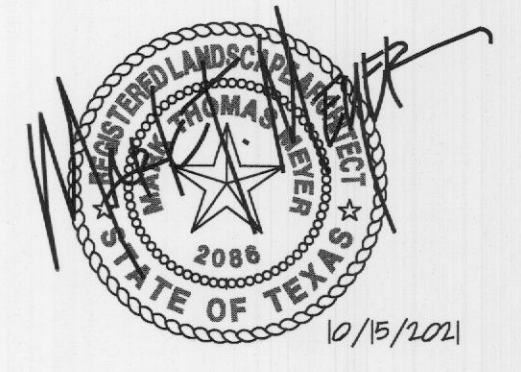
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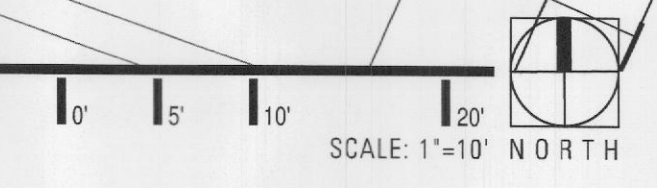
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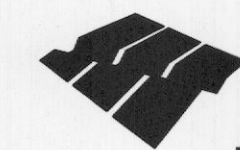
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**grading  
 enlargement**

sheet  
**LG 3.01**

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**SITE**



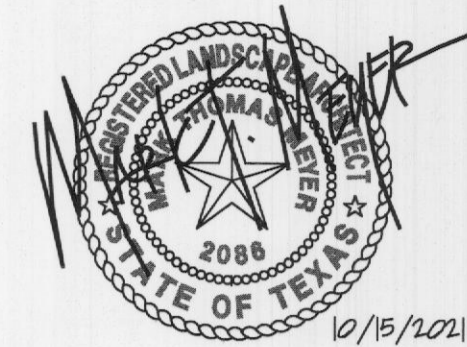


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project  
**Somerset  
Phase 2**

ISSUE FOR PERMIT

Arcadia Reality Corp  
Rockwall, TX

project number  
**D21053**

issue date  
10/15/2021

designed: JD BD  
drawn: BD AC  
reviewed: JD, MM

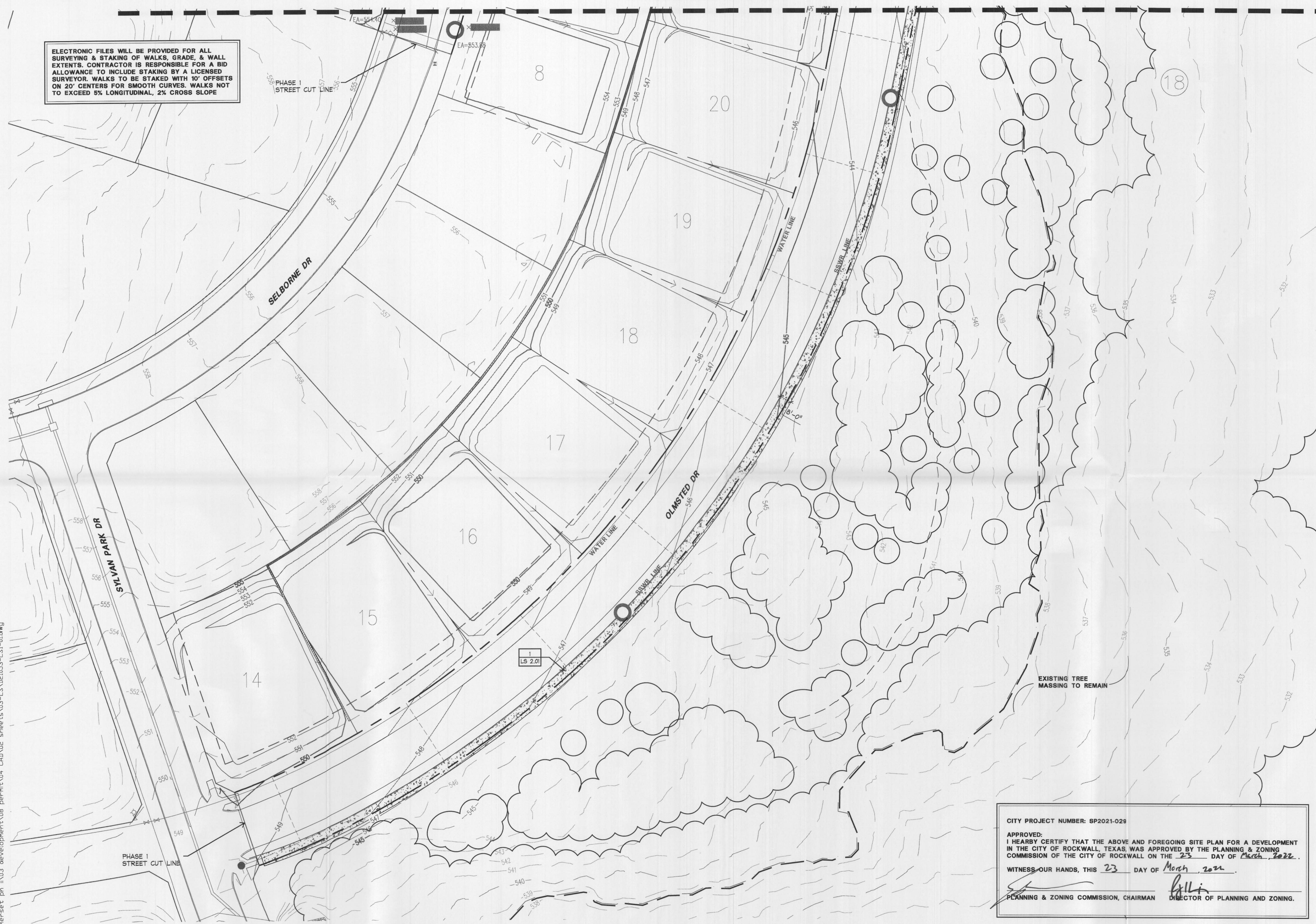
RE-SUBMITTAL 11 / 02 / 2021  
RE-SUBMITTAL 11 / 04 / 2021  
RE-SUBMITTAL 03 / 14 / 2022

sheet title  
**sitework plan**

sheet  
**LS 1.01**

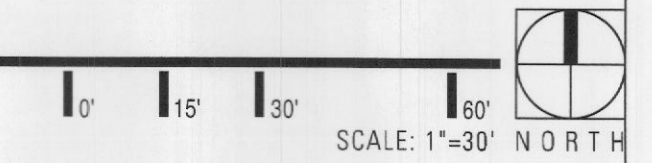
MATCHLINE: REF. 1/LS1.02

ELECTRONIC FILES WILL BE PROVIDED FOR ALL SURVEYING & STAKING OF WALKS, GRADE, & WALL EXTENTS. CONTRACTOR IS RESPONSIBLE FOR A BID ALLOWANCE TO INCLUDE STAKING BY A LICENSED SURVEYOR. WALKS TO BE STAKED WITH 10' OFFSETS ON 20' CENTERS FOR SMOOTH CURVES. WALKS NOT TO EXCEED 5% LONGITUDINAL, 2% CROSS SLOPE



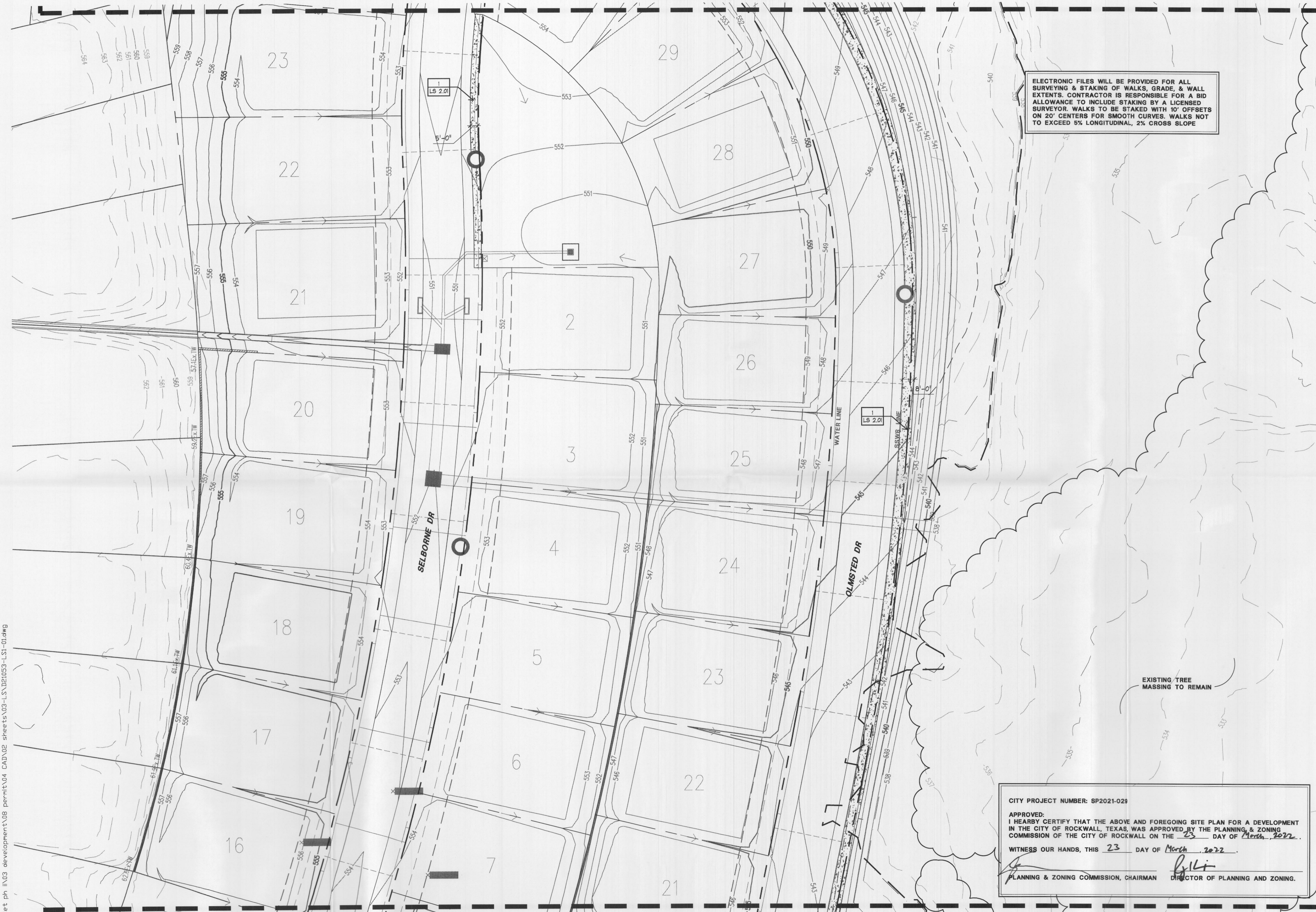
CITY PROJECT NUMBER: SP2021-028  
APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 23 DAY OF March, 2022.  
WITNESS OUR HANDS, THIS 23 DAY OF March, 2022.  
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING.

1 Site  
Plan



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MATCHLINE: REF. 1/LS1.03

MATCHLINE: REF. 1/LS1.01

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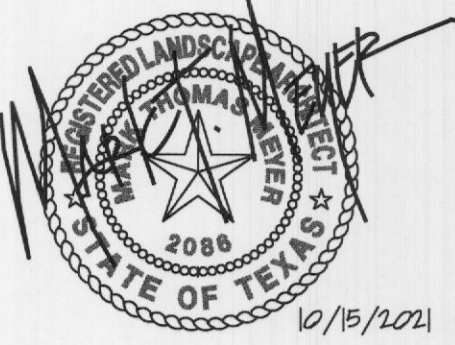
EXISTING TREE MASSING TO REMAIN

1 Site Plan

SCALE: 1"=30' NORTH



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**D21053**

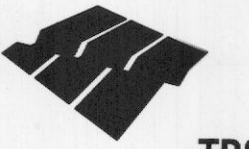
issue date  
10/15/2021

designed: JD BD  
drawn: BD AC  
reviewed: JD, MM

RE-SUBMITTAL 11/02/2021  
RE-SUBMITTAL 11/04/2021  
RE-SUBMITTAL 03/14/2022

sheet title  
**sitework plan**

sheet  
**LS 1.02**

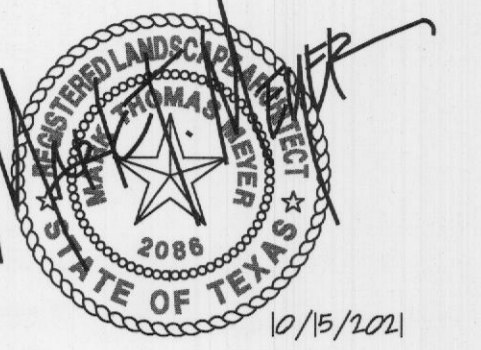


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issue date  
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drawn: BD AC  
reviewed: JD, MM

RE-SUBMITTAL 11 / 02 /2021  
RE-SUBMITTAL 11 / 04 /2021  
RE-SUBMITTAL 03 / 14 /2022

sheet title  
**sitework plan**

sheet  
**LS 1.03**

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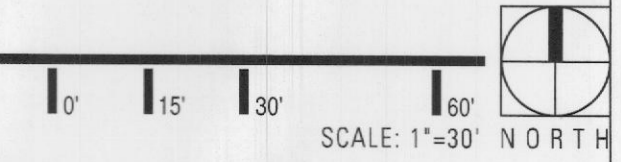
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MATCHLINE: REF. 1/LS1.02

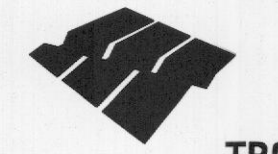
CITY PROJECT NUMBER: SP2021-029  
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*[Signature]*  
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING.

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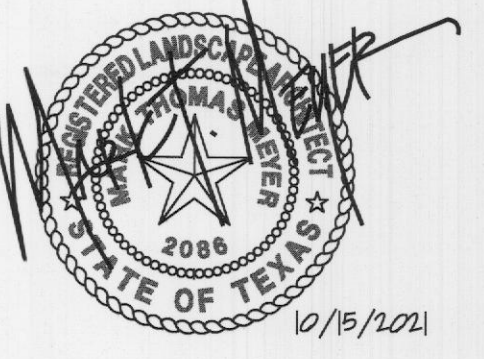
1 Site  
Plan



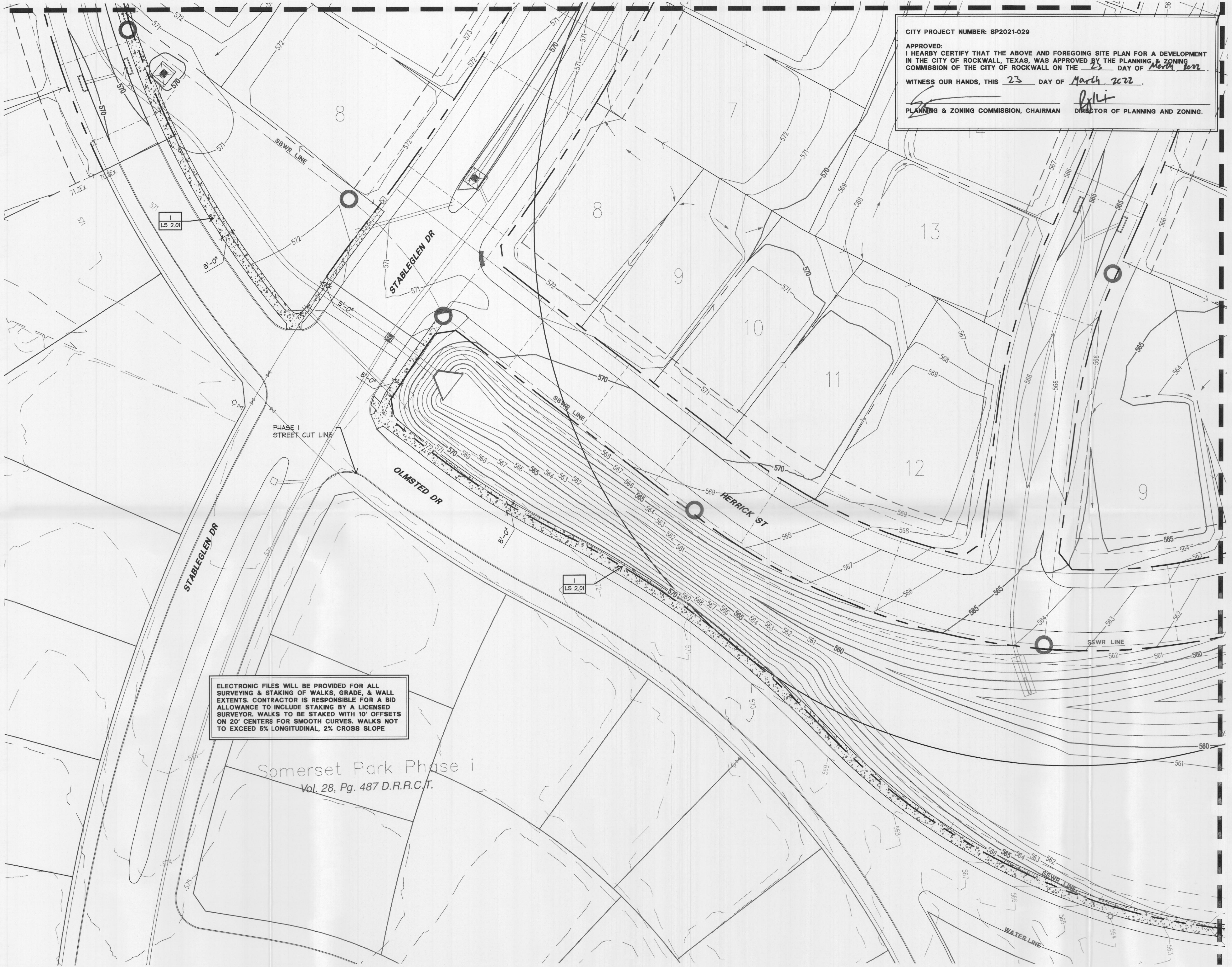




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Somerset Park Phase I  
Vol. 28, Pg. 487 D.R.R.C.T.

MATCHLINE: REF. 1/LS 1.03

project  
**Somerset  
Phase 2**

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Arcadia Realty Corp  
Rockwall, TX

project number  
**D21053**

issue date  
10/15/2021

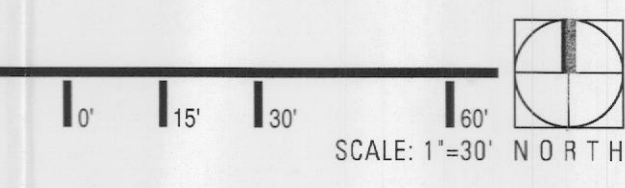
designed: JD BD  
drawn: BD AC  
reviewed: JD, MM

RE-SUBMITTAL 11 / 02 / 2021  
RE-SUBMITTAL 11 / 04 / 2021  
RE-SUBMITTAL 03 / 14 / 2022

sheet title  
**sitework plan**

sheet  
**LS 1.04**

1 Site  
Plan



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PLANNING & ZONING COMMISSION, CHAIRMAN

*[Signature]*  
DIRECTOR OF PLANNING AND ZONING.

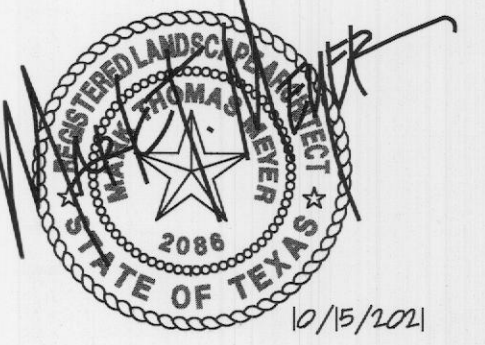


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project  
**Somerset  
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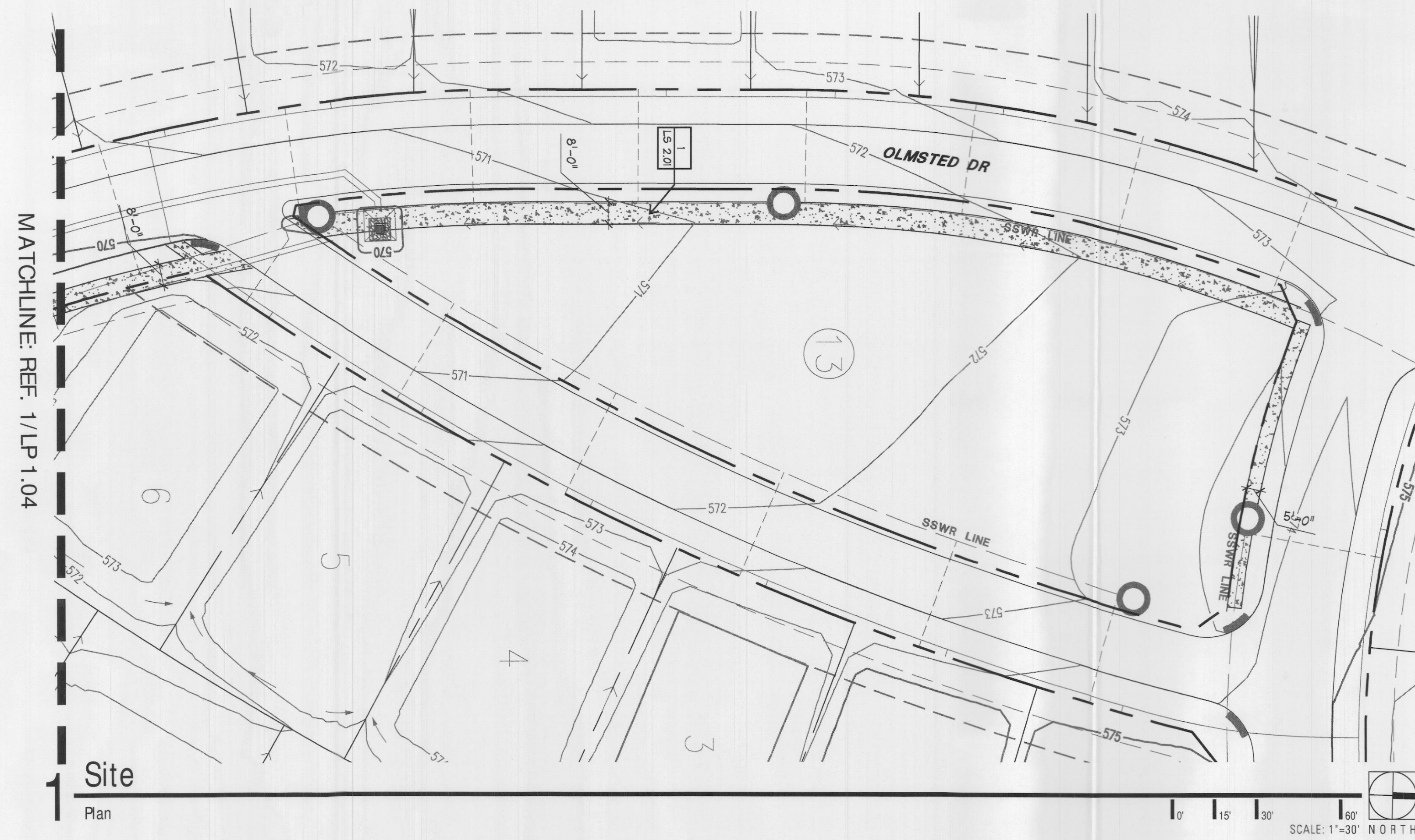
issue date  
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drawn: BD AC  
reviewed: JD, MM

RE-SUBMITTAL 11 / 02 /2021  
RE-SUBMITTAL 11 / 04 /2021  
RE-SUBMITTAL 03 / 14 /2022

sheet title  
**sitework plan**

sheet  
**LS 1.05**



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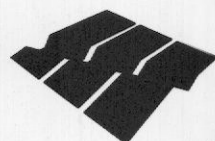
CITY PROJECT NUMBER: SP2021-029

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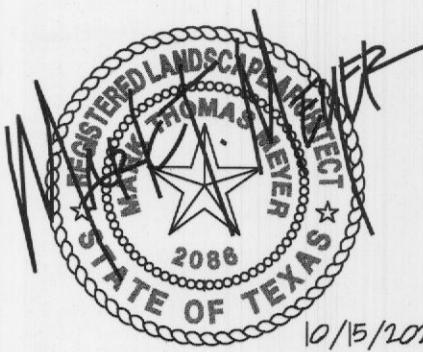
*[Signature]*  
 PLANNING & ZONING COMMISSION, CHAIRMAN

*[Signature]*  
 DIRECTOR OF PLANNING AND ZONING.



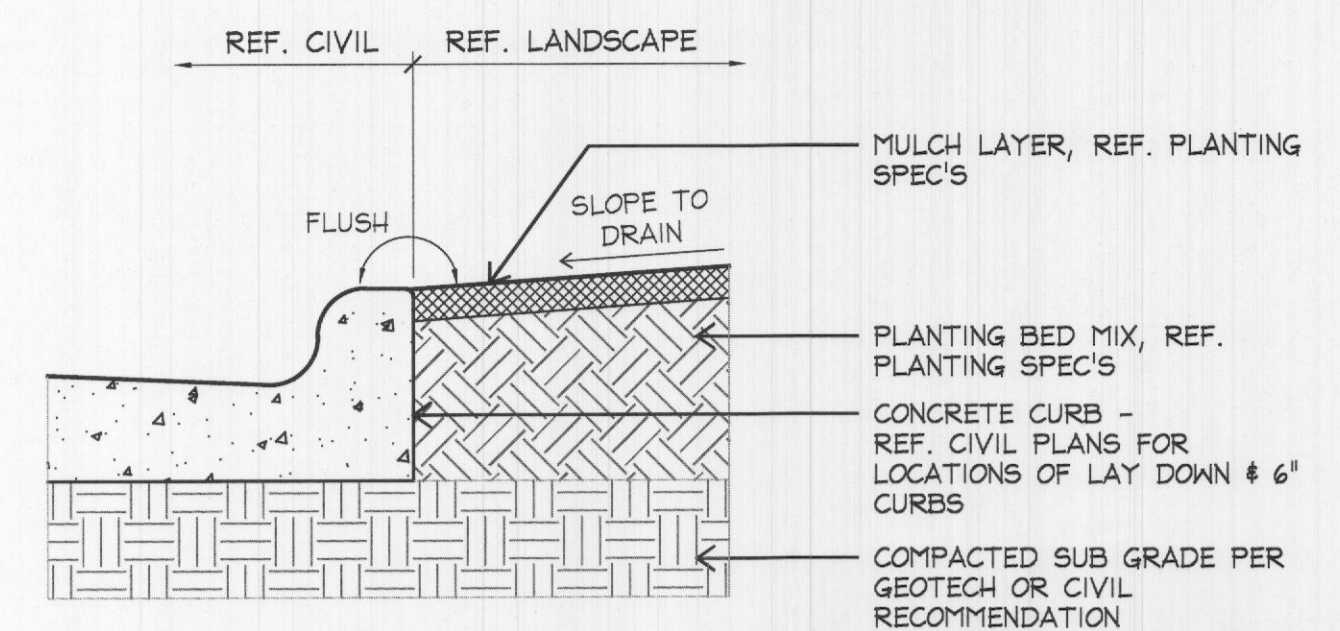
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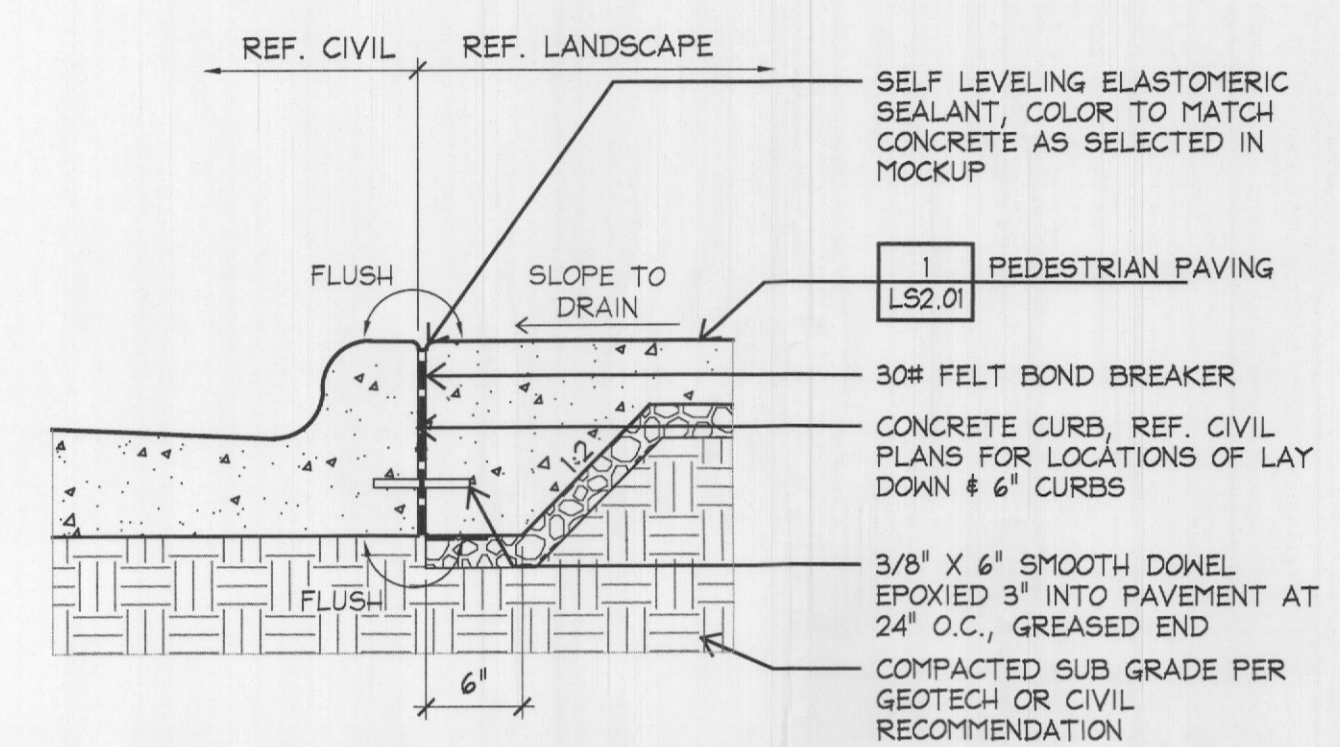
### 7 PLANTING AT BACK OF CURB

SECTION SCALE: 1"=1'-0"



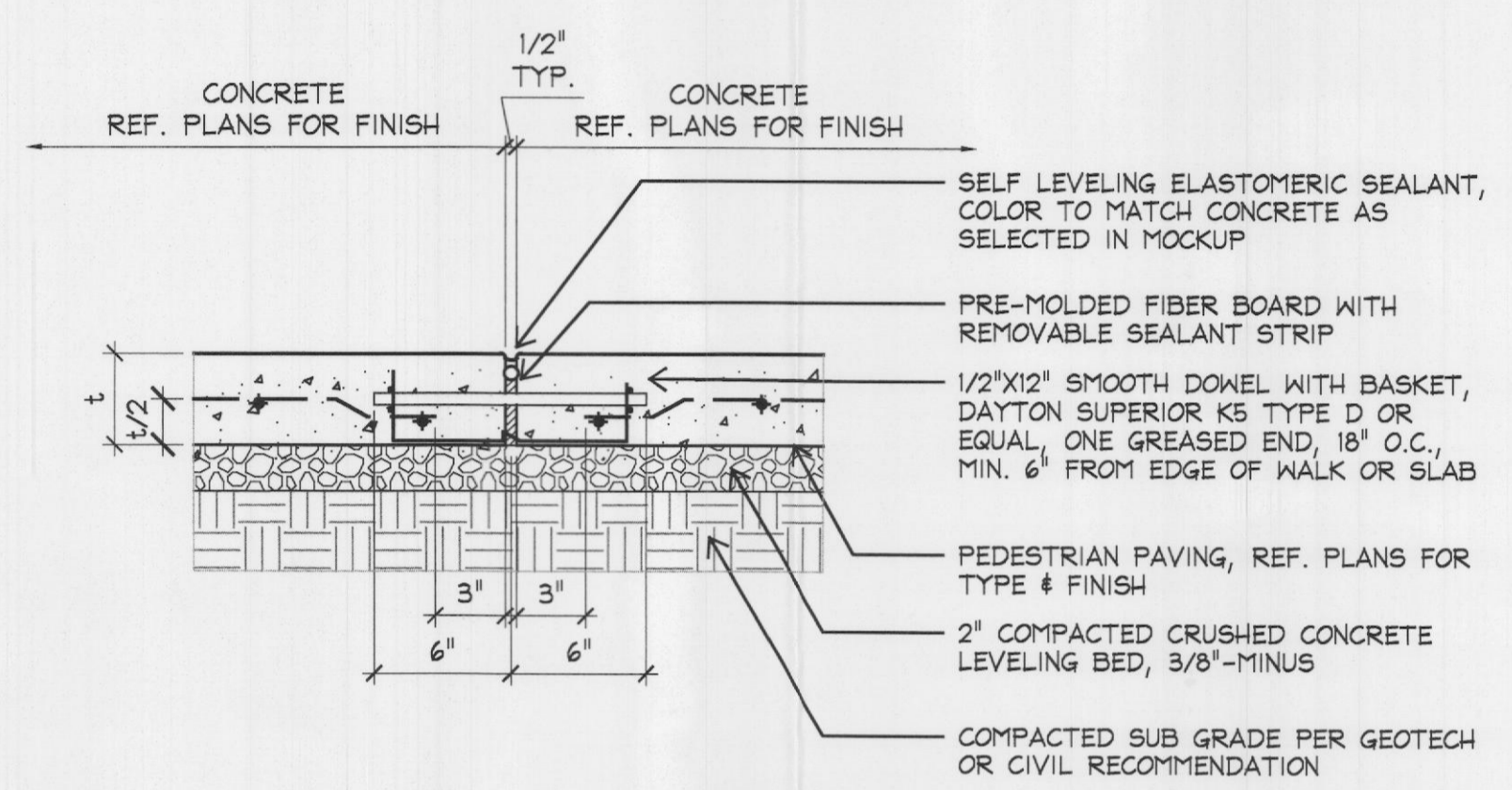
### 6 CONCRETE AT BACK OF CURB

SECTION SCALE: 1"=1'-0"



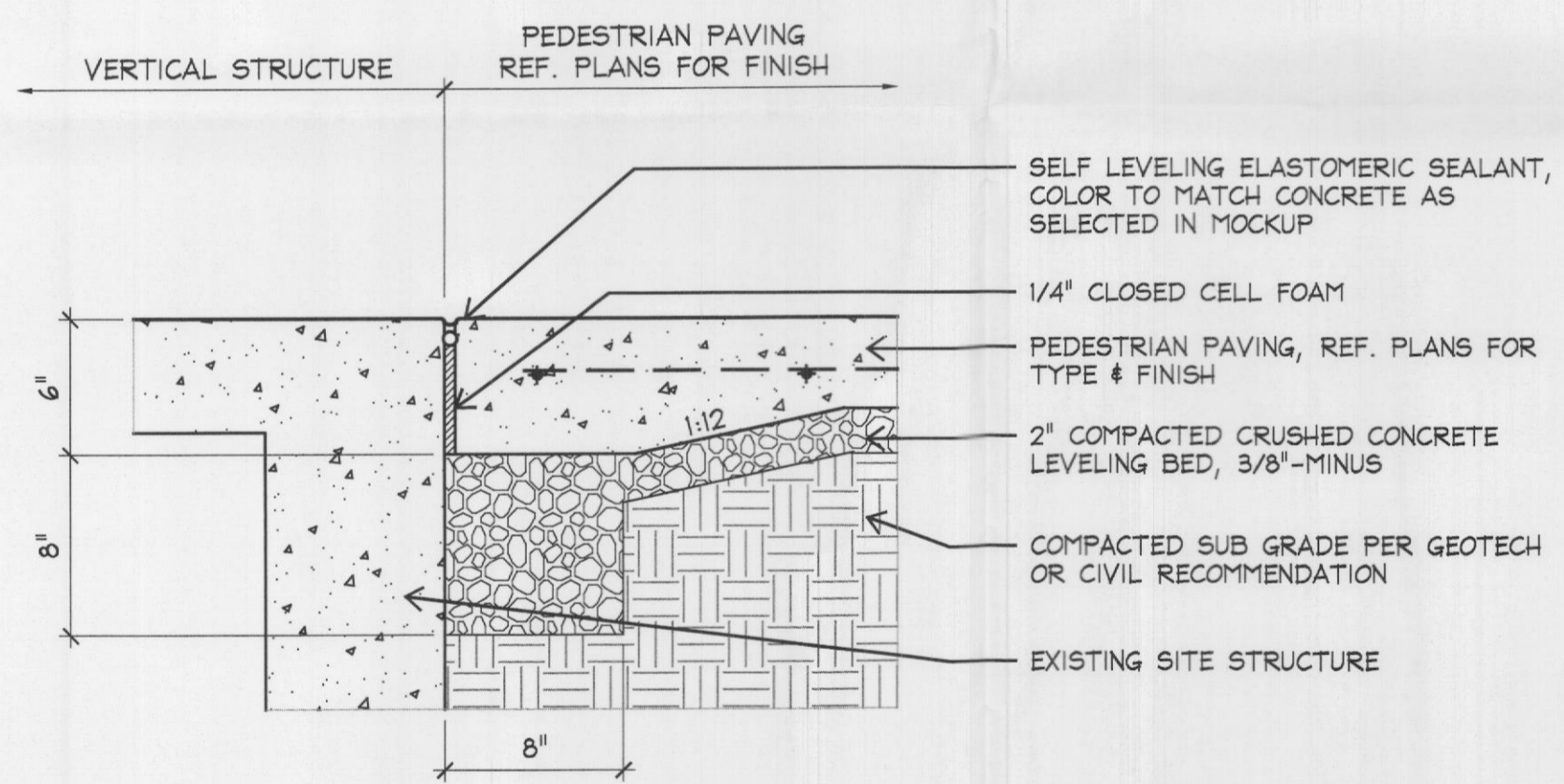
### 3 EXPANSION JOINT

SECTION SCALE: 1-1/2"=1'-0"



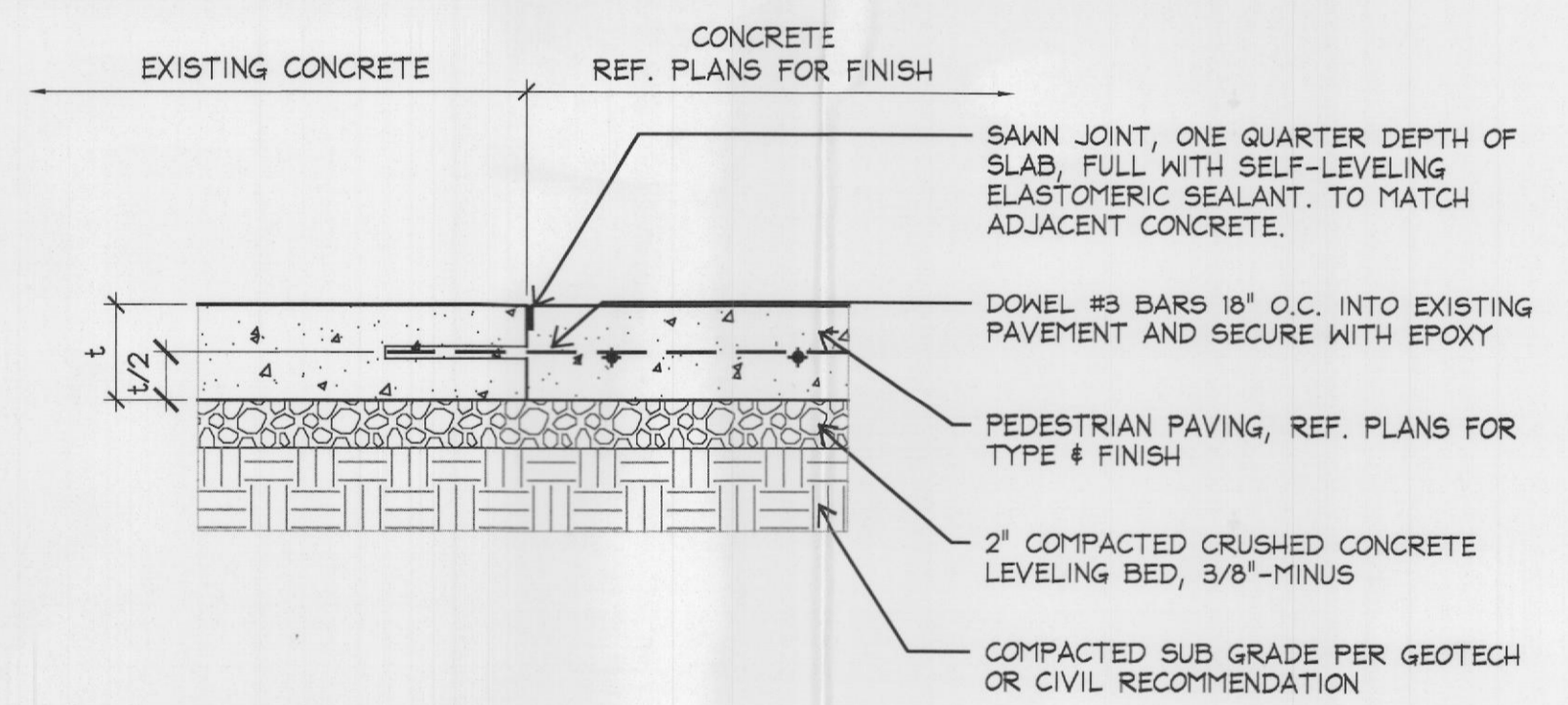
### 5 ISOLATION JOINT

SECTION SCALE: 1-1/2"=1'-0"



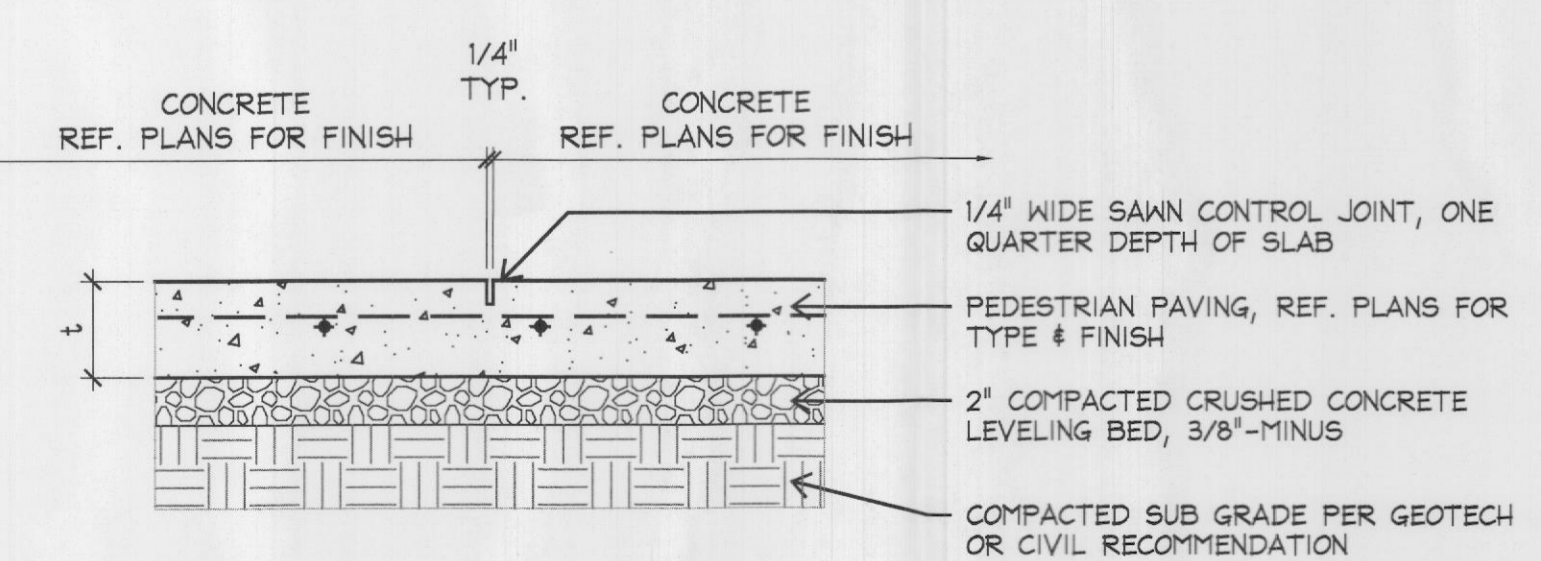
### 2 COLD JOINT

SECTION SCALE: 1-1/2"=1'-0"



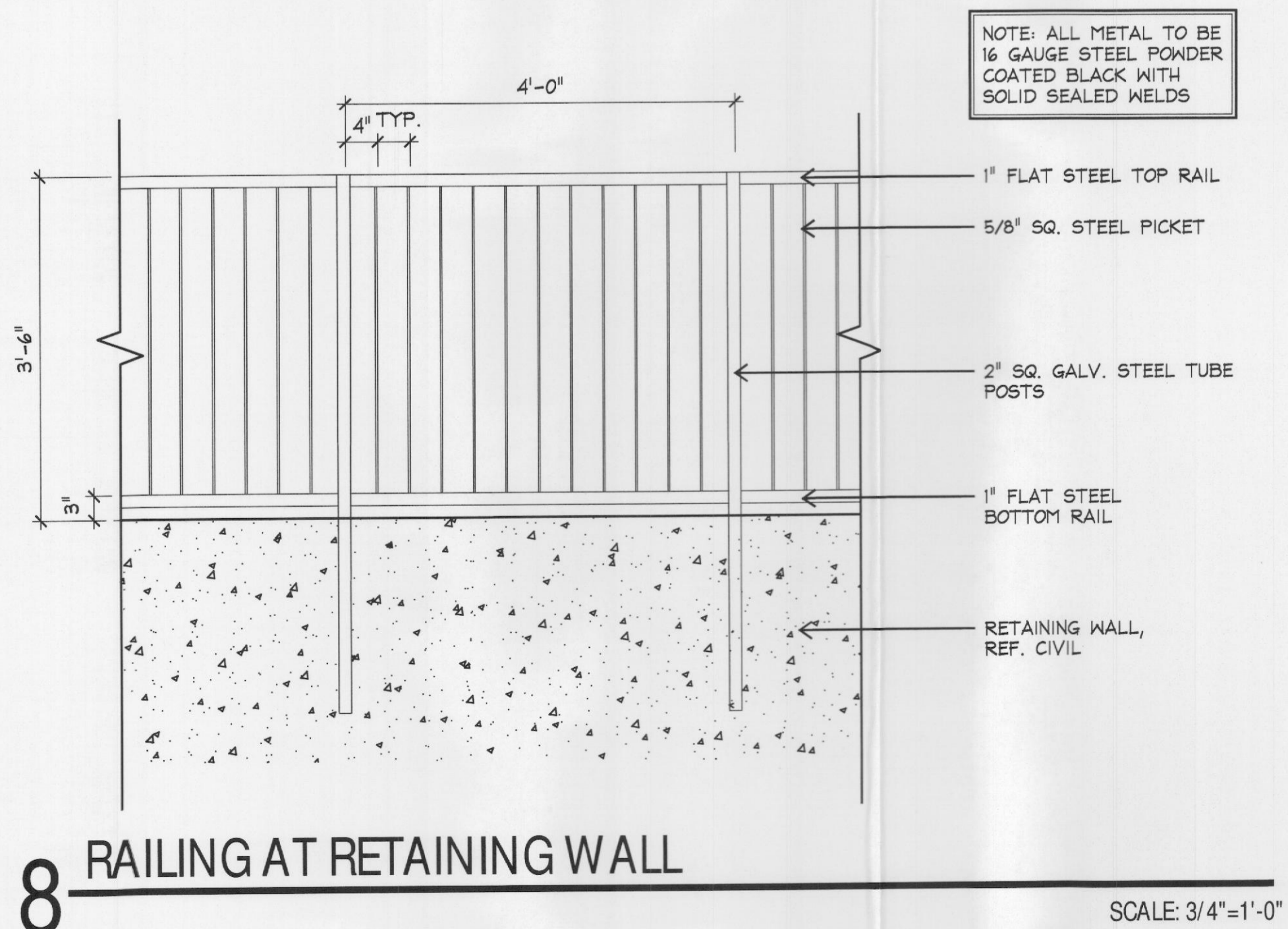
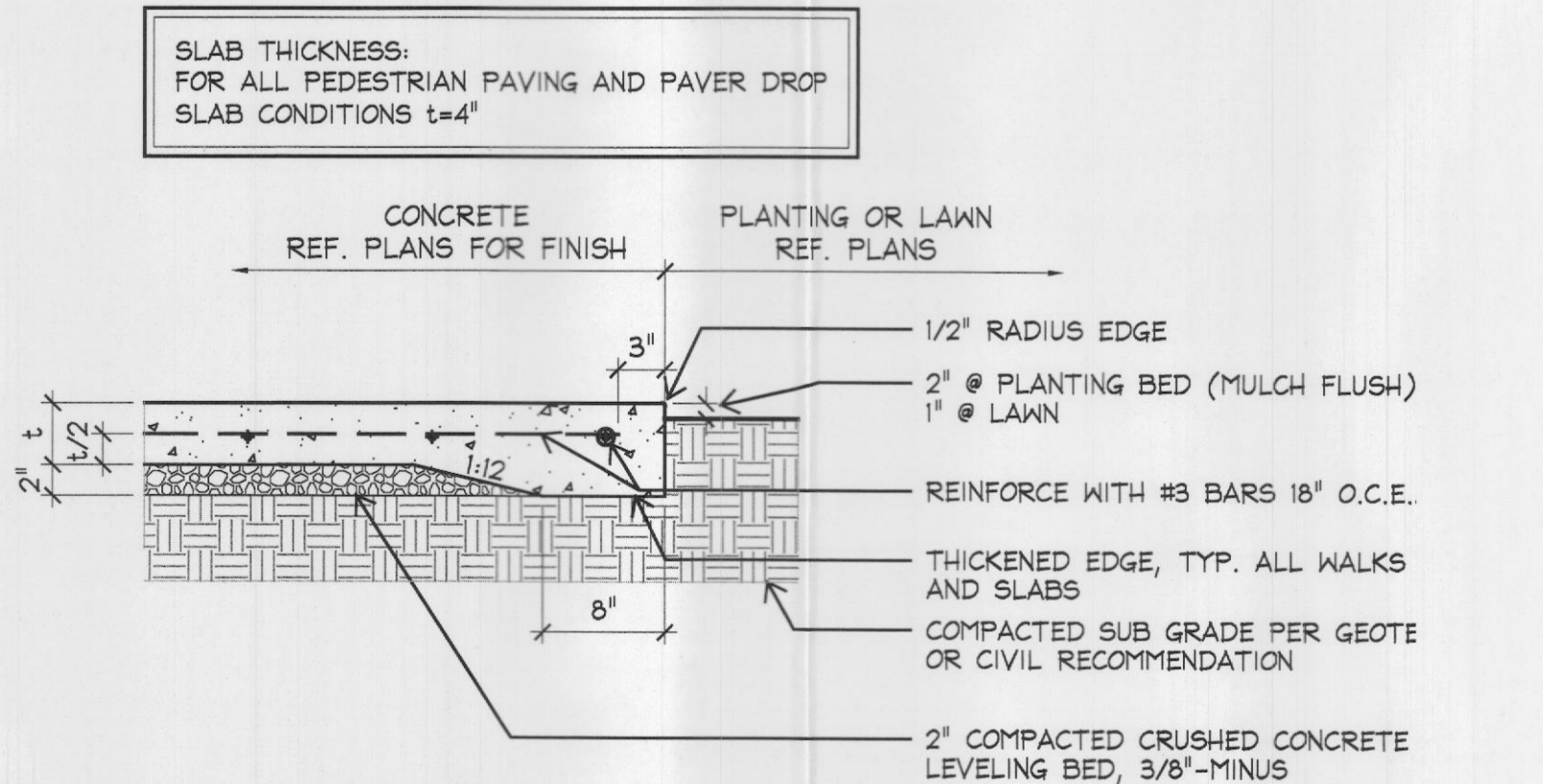
### 4 CONTROL JOINT

SECTION SCALE: 1-1/2"=1'-0"



### 1 SIDEWALK DETAIL

SECTION SCALE: 1"=1'-0"



### 8 RAILING AT RETAINING WALL

SCALE: 3/4"=1'-0"

## Somerset Phase 2

ISSUE FOR PERMIT

Arcadia Reality Corp  
Rockwall, TX

project number  
**D21053**

issue date  
10/15/2021

designed: JD BD  
 drawn: BD AC  
 reviewed: JD MM

RE-SUBMITTAL 11/02/2021  
 RE-SUBMITTAL 11/04/2021  
 RE-SUBMITTAL 03/14/2022

## Sheet title Sitework details

sheet  
**LS 2.01**

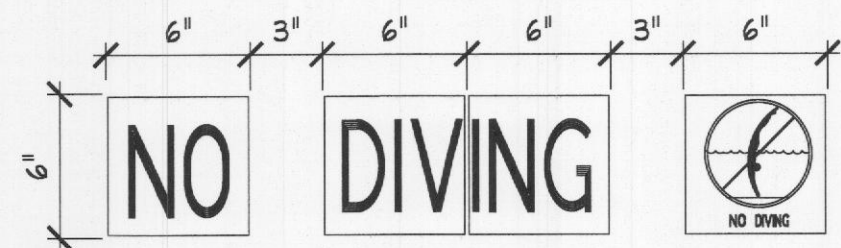
**NOTE:**

SWIMMING POOL DETAILS PROVIDED FOR DESIGN INTENT ONLY. POOL CONTRACTOR TO SUBMIT ENGINEERED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF DESIGN OR LAYOUT CONFLICTS. CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS.

TILE TO BE FLUSH AT EDGE CONDITIONS W/ EVEN GROUT SPACING BETWEEN TILES. TILE PLACED ON THE SLOPE TO LAY OVER TILE PLACED ON VERTICAL WALL AS NOT TO REVEAL ANY ROUGH TILE EDGES. TILE ON SLOPE MUST BE FLUSH WITH TILE ON VERTICAL WALLS.

POOL MEP, LIGHTING, SHELL DESIGN & ENGINEERING BY POOL CONTRACTOR.

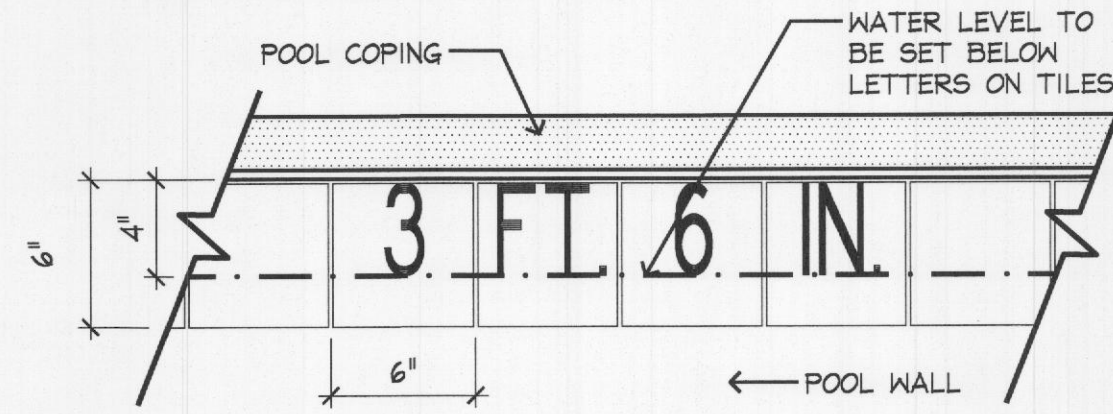
NOTE:  
NON-SLIP TILE REQUIRED ON ALL DECK SURFACES



"NO DIVING" MARKERS 6" X 6" GLAZED CERAMIC TILE SET INTO CONCRETE POOL DECK. QUANTITY AND LOCATION REQUIRED TO MEET ALL APPLICABLE CODES. INTEGRAL COLORS FOR LETTERS



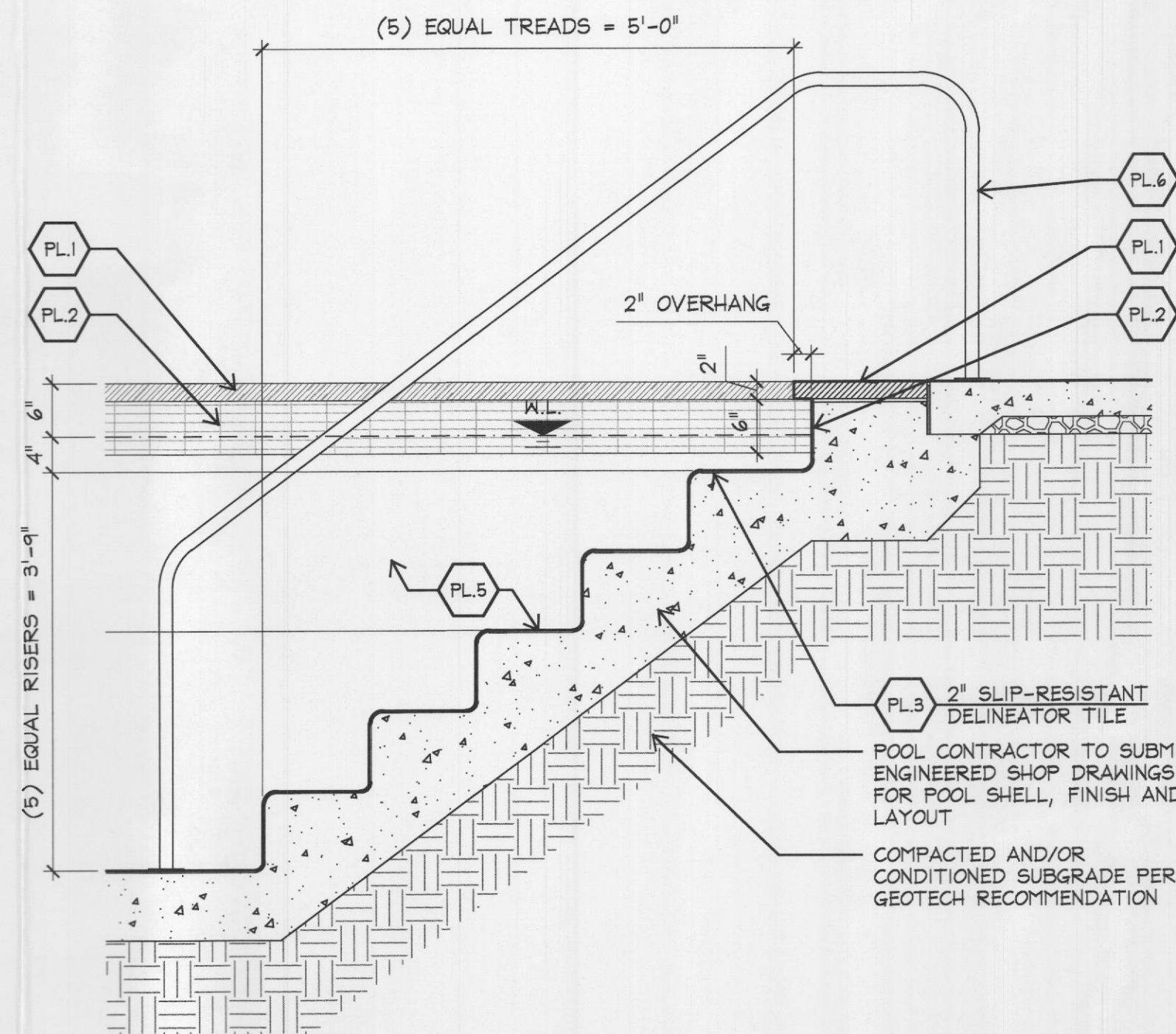
DEPTH MARKERS 6" X 6" GLAZED CERAMIC TILE SET INTO CONCRETE POOL DECK. QUANTITY AND LOCATION REQUIRED TO MEET ALL APPLICABLE CODES. INTEGRAL COLORS FOR LETTERS



DEPTH MARKER IN VERTICAL WALL OF POOL AT WATERLINE TILE. QUANTITY AND LOCATION REQUIRED TO MEET ALL APPLICABLE CODES. INTEGRAL COLORS FOR LETTERS

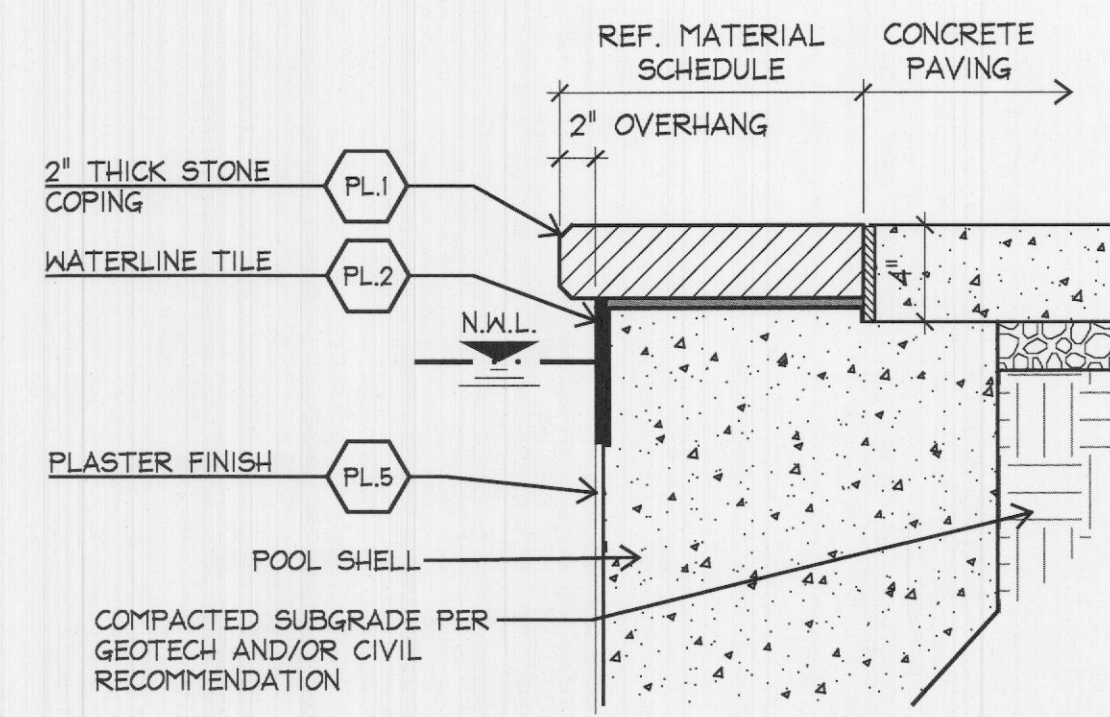
**5 POOL SIGNATURE, TYP**  
SECTION

SCALE: 1-1/2"=1'-0"



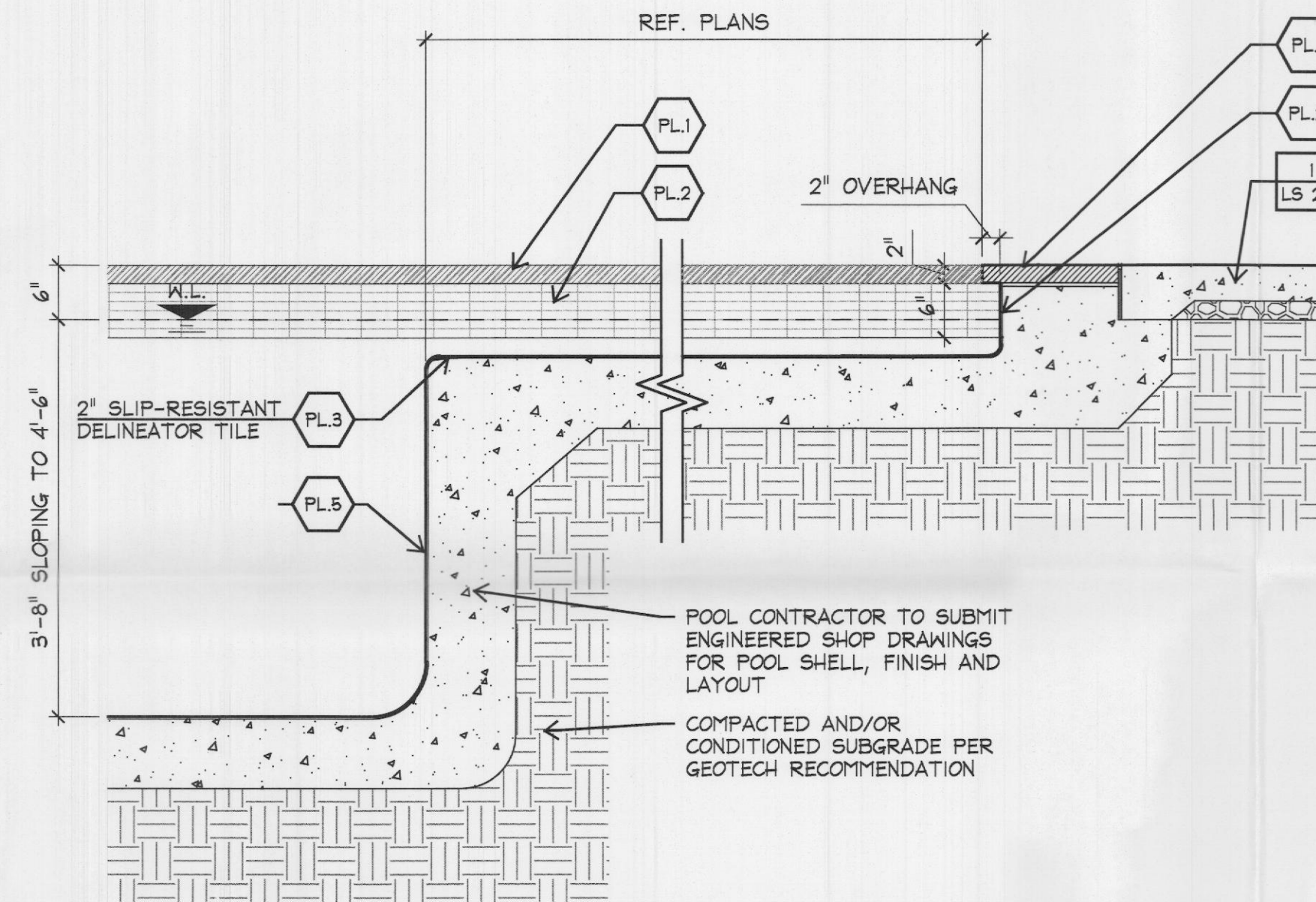
**4 POOL STEPS, TYP**  
SECTION

SCALE: 1"=1'-0"



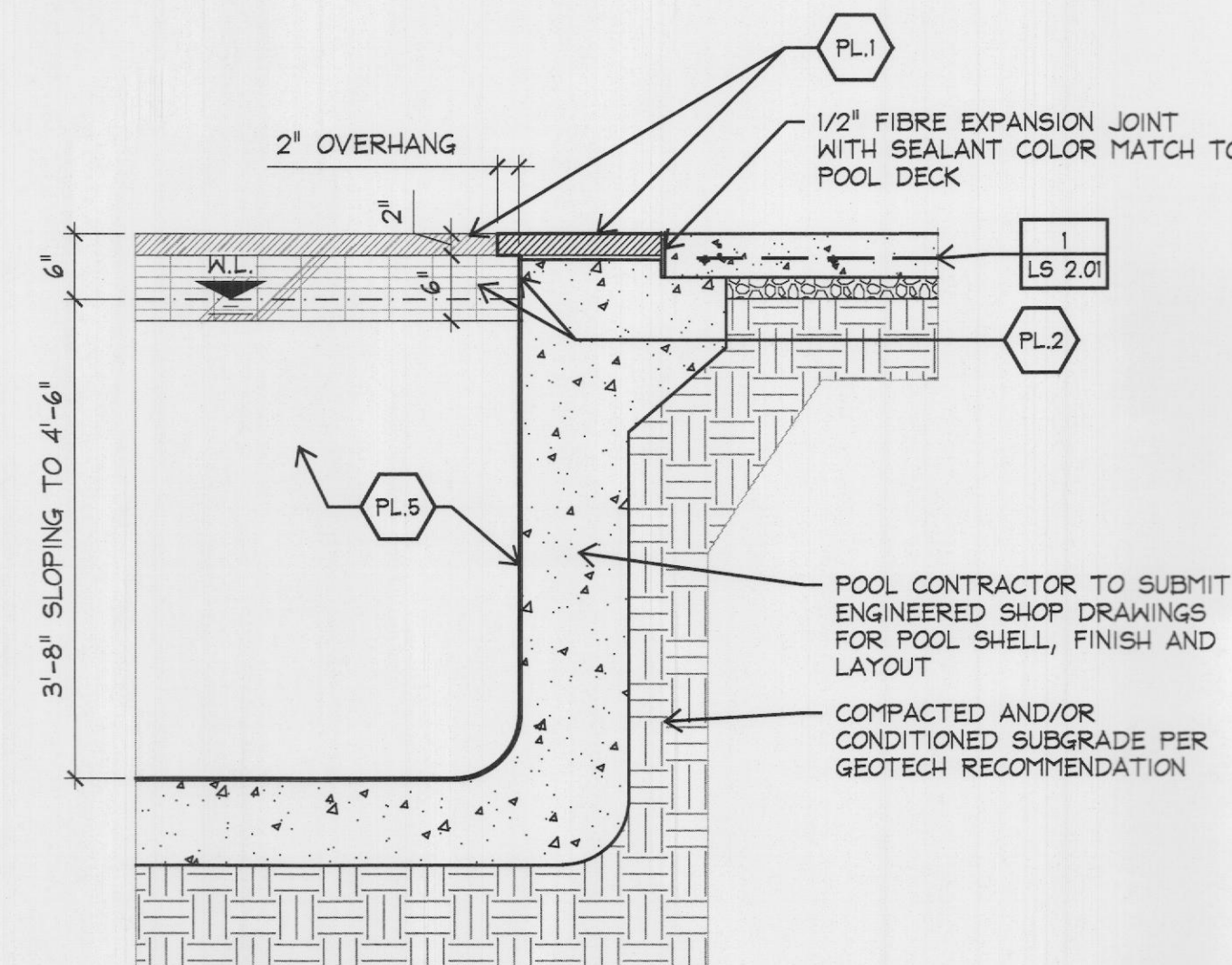
**3 POOL COPING EDGE, TYP**  
SECTION

SCALE: 1-1/2"=1'-0"



**2 POOL SUN SHELF, TYP**  
SECTION

SCALE: 1-1/2"=1'-0"



**1 POOL WALL, TYP**  
SECTION

SCALE: 1"=1'-0"

CITY PROJECT NUMBER: SP2021-029

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DIRECTOR OF PLANNING AND ZONING.

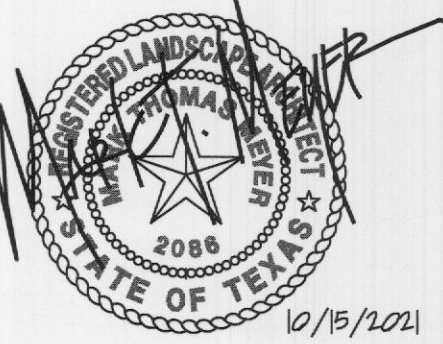


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reviewed: JD MM

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sheet title  
**Sitework  
details**

sheet  
**LS 2.02**

CITY PROJECT NUMBER: SP2021-029

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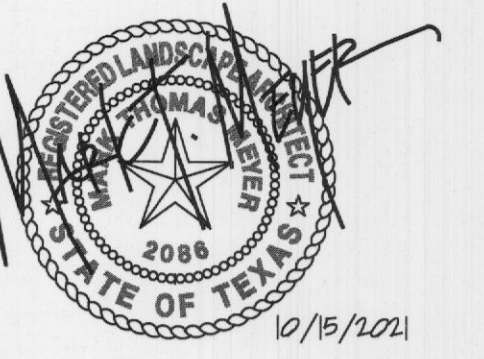


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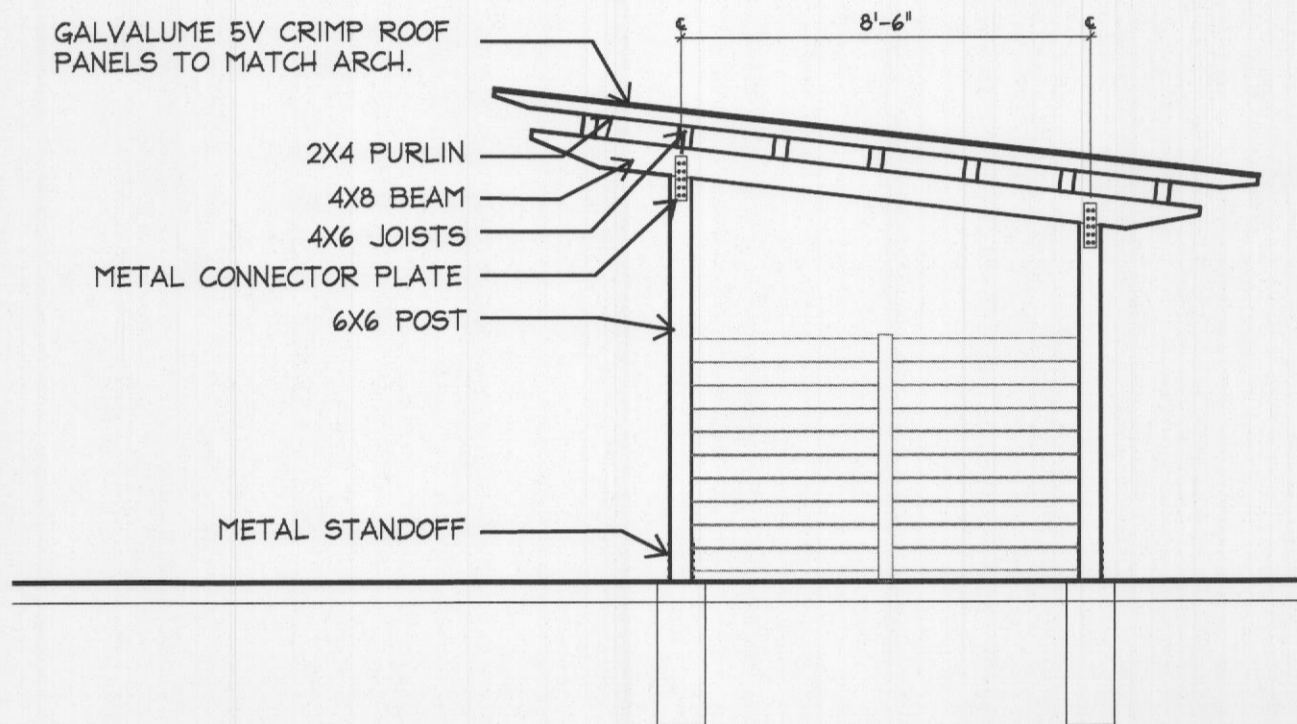
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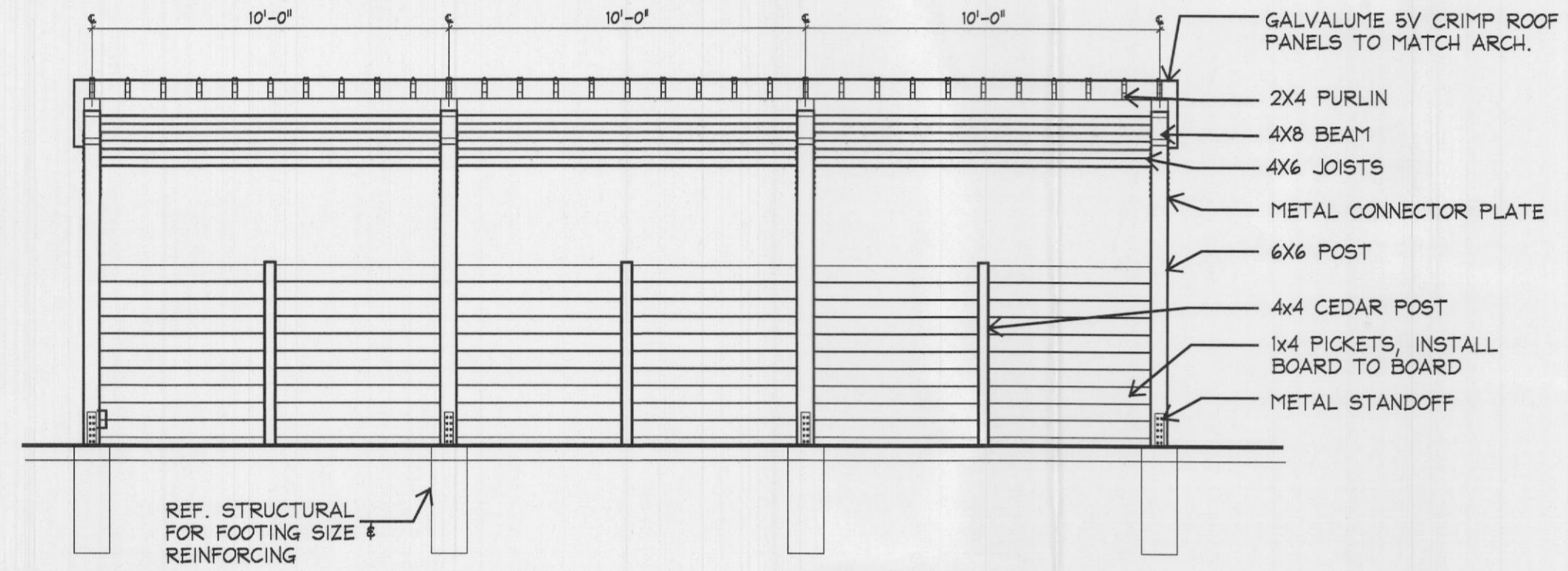


NOTE:  
 ALL WOOD TO BE DOUGLAS FIR #2 OR  
 BETTER.  
 ALL WOOD TO RECEIVE STAIN AS SELECTED  
 IN MOCKUP.  
 ALL EXTERIOR PLATES, FASTENERS &  
 METAL TO BE GALVANIZED.



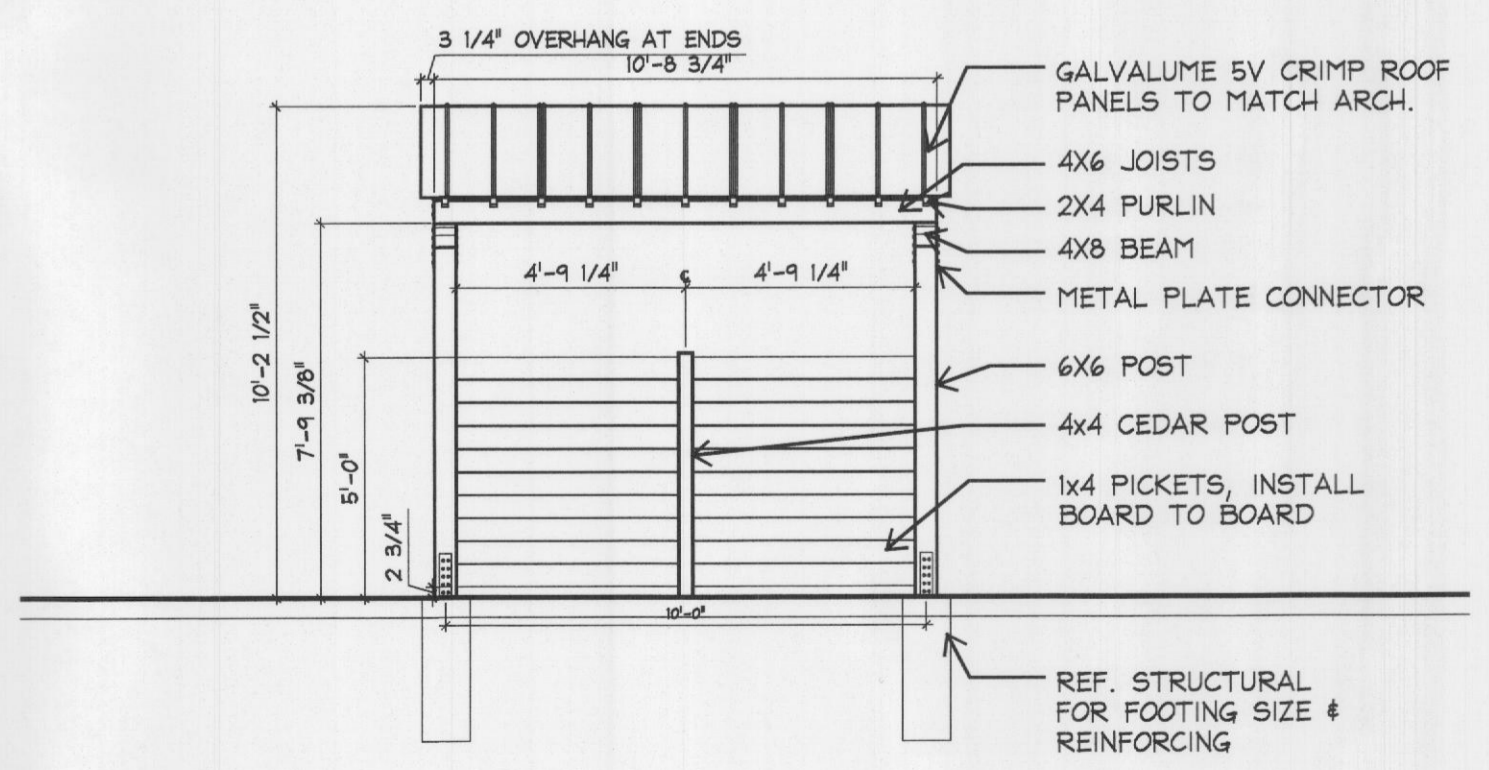
**SIDE ELEVATION**  
 SCALE: 1/4"=1'-0"

NOTE:  
 WOOD PICKETS TO BE #1 GRADE ROUGH  
 CEDAR, TYP.  
 STAIN w/ TWO (2) COATS BEHR  
 SEMI-TRANSPARENT STAIN, COLOR TBS

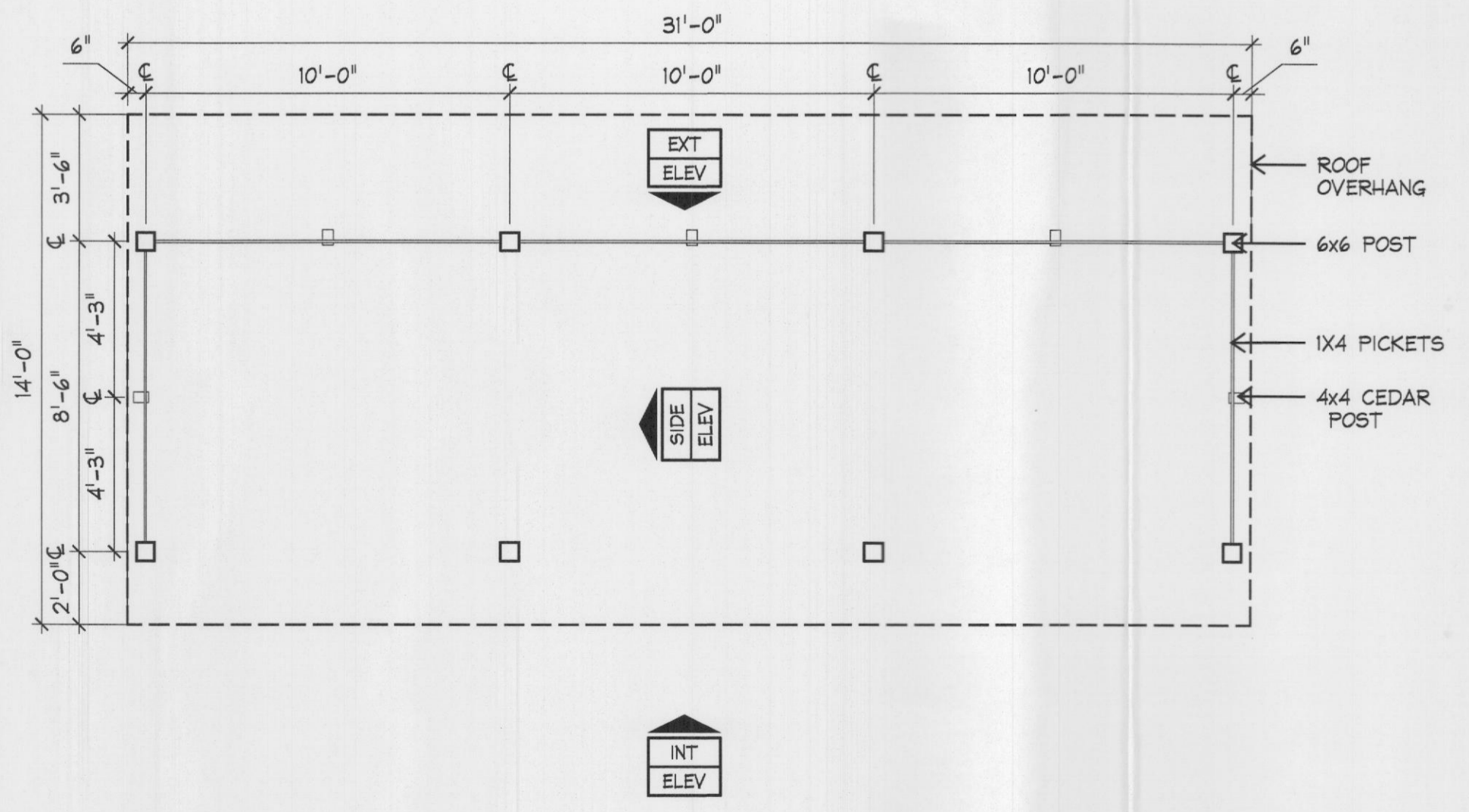


**INTERNAL ELEVATION**  
 SCALE: 1/4"=1'-0"

NOTE:  
 WOOD PICKETS TO BE #1 GRADE ROUGH  
 CEDAR, TYP.  
 STAIN w/ TWO (2) COATS BEHR  
 SEMI-TRANSPARENT STAIN, COLOR TBS



**EXTERNAL ELEVATION**  
 SCALE: 1/4"=1'-0"



**PLAN**  
 SCALE: 1/4"=1'-0"

**CABANA**

AS SHOWN

SCALE: 1/4"=1'-0"

project  
**Somerset  
 Phase 2**

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 Rockwall, TX

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 RE-SUBMITTAL 03 / 14 / 2022

sheet title  
**Sitework  
 details**

sheet  
**LS 2.03**

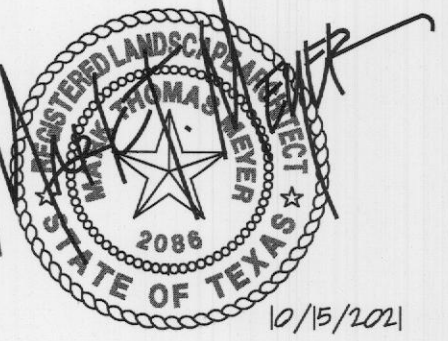


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Rockwall, TX

project number  
**D21053**

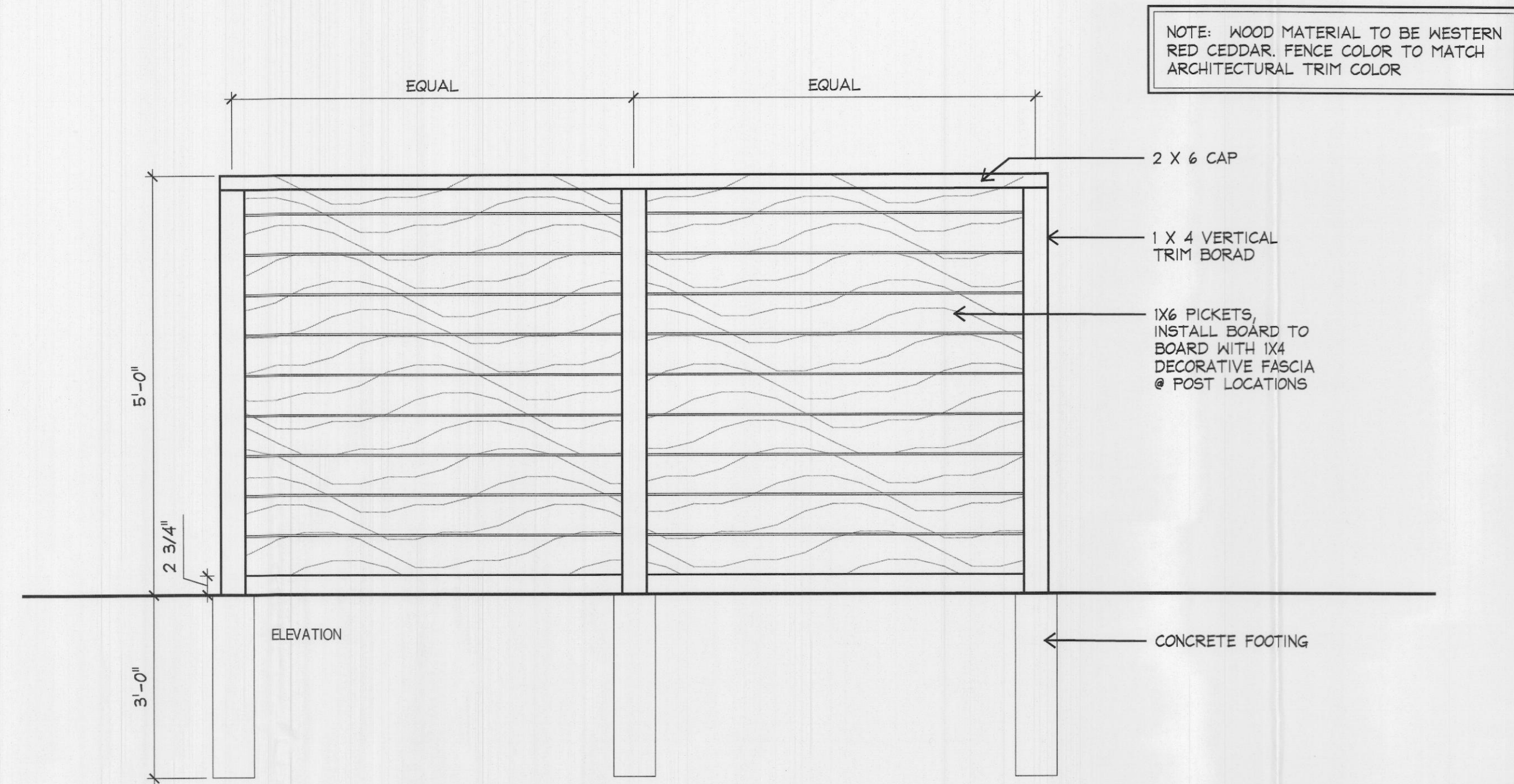
issue date  
10/15/2021

designed:JD BD  
drawn: BD AC  
reviewed:JD MM

RE-SUBMITTAL 11 / 02 /2021  
RE-SUBMITTAL 11 / 04 /2021  
RE-SUBMITTAL 03 / 14 /2022

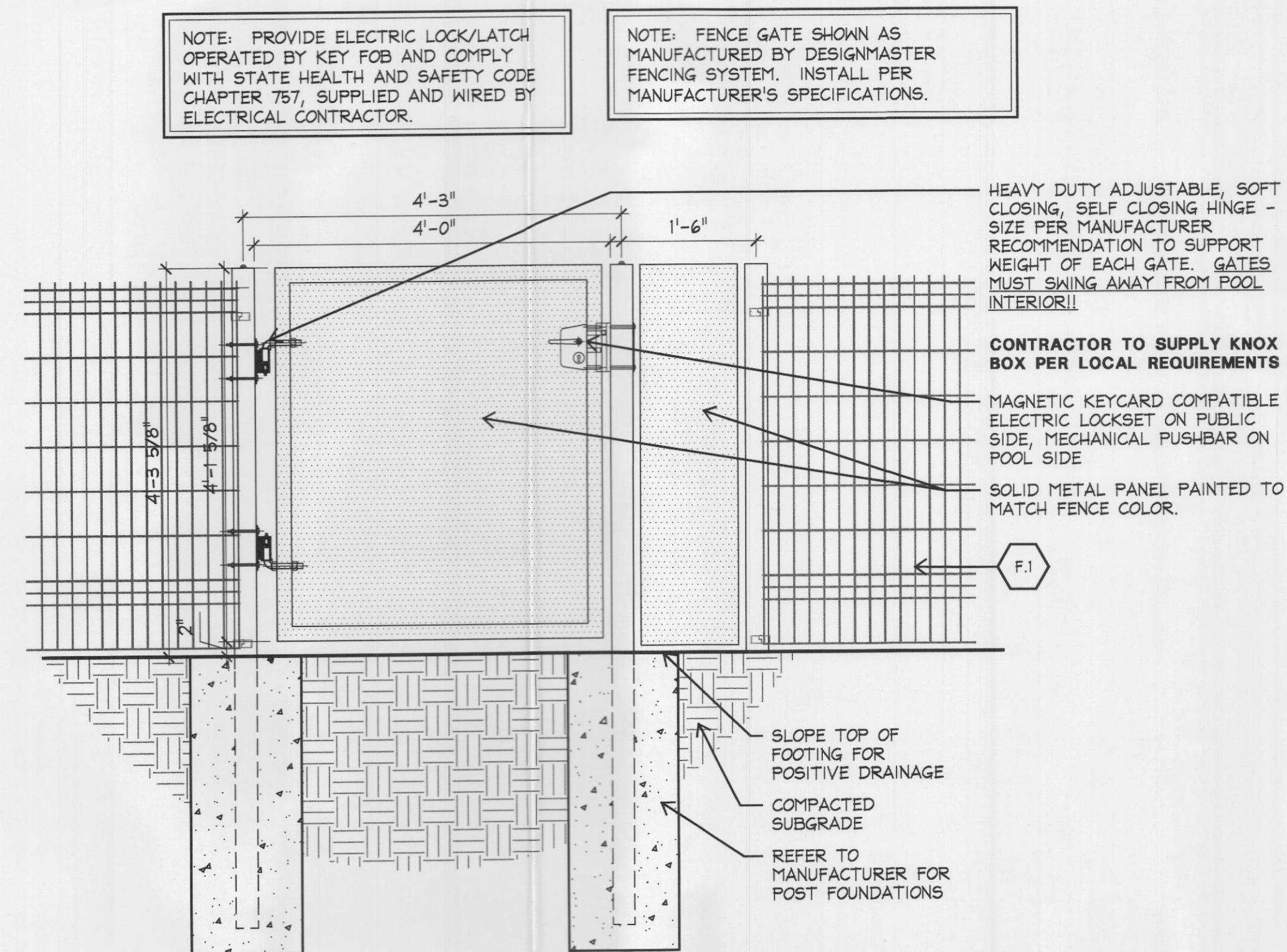
sheet title  
**Sitework  
details**

sheet  
**LS 2.04**



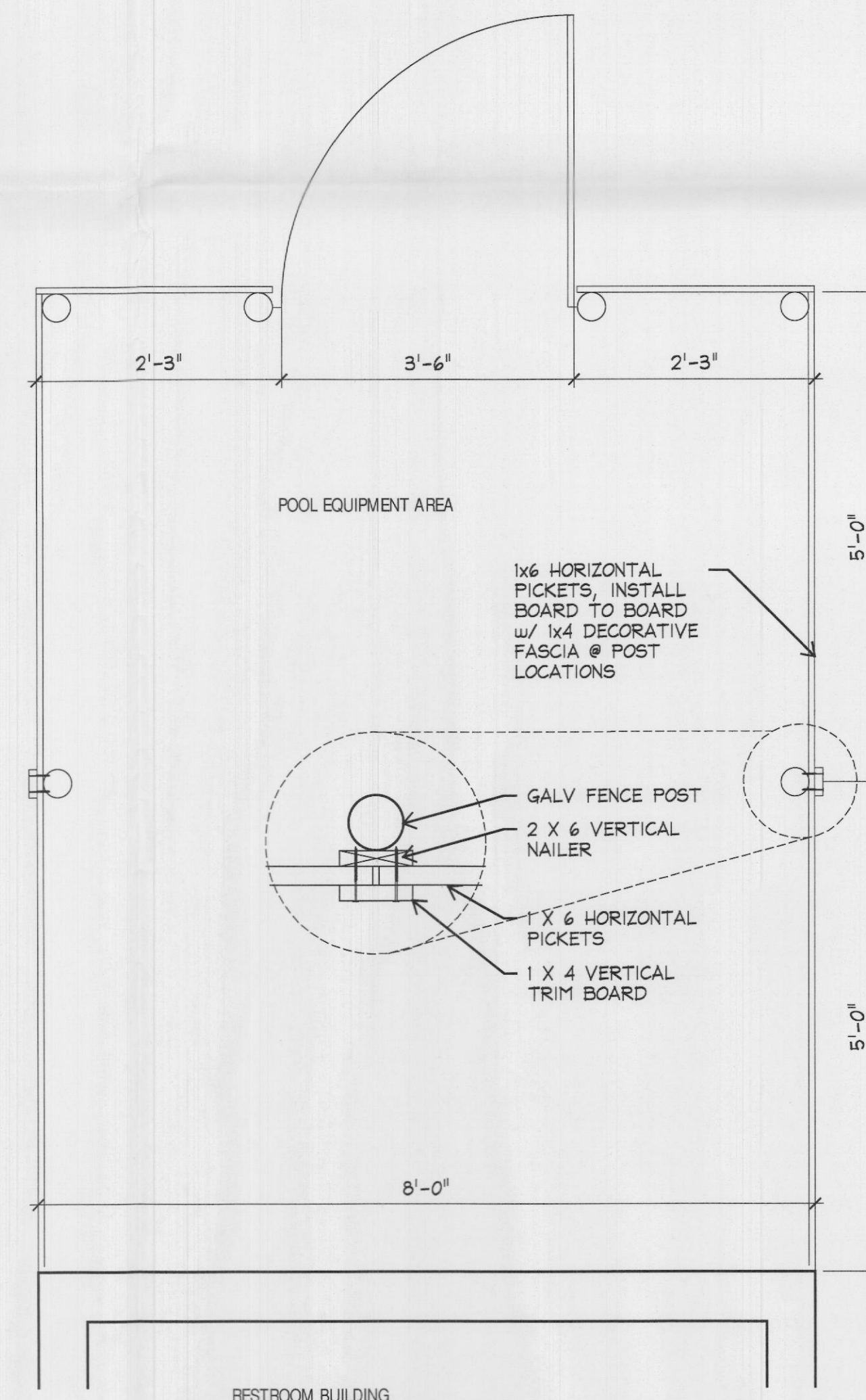
**2 POOL EQUIPM ENT - SCREEN FENCE**  
ELEVATION

SCALE: 3/4"=1'-0"



**3 POOL ENTRY DOOR**  
ELEVATION

SCALE: 3/4"=1'-0"



**1 POOL EQUIPM ENT - SCREEN FENCE**  
PLAN

SCALE: 3/4"=1'-0"

CITY PROJECT NUMBER: SP2021-028

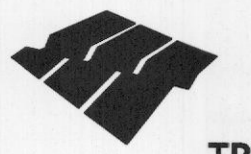
APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 23 DAY OF Feb, 2022.

WITNESS OUR HANDS, THIS 23 DAY OF Month, 2022.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING.

P:\D21053 - somerset ph 1\03 development\08 permit\04 CAD\02 sheets\03-LS\021053-LS2-01.dwg

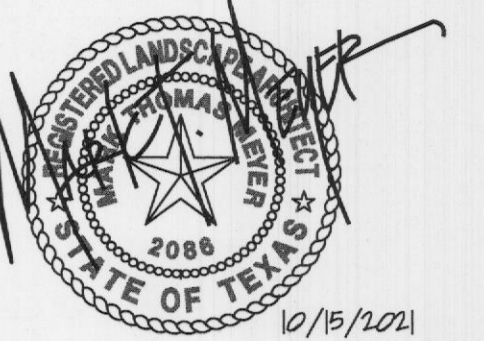


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project  
**Somerset  
Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp  
Rockwall, TX

project number  
**D21053**

issue date  
10/15/2021

designed: JD BD  
drawn: BD AC  
reviewed: JD, MM

RE-SUBMITTAL 11 / 02 / 2021  
RE-SUBMITTAL 11 / 04 / 2021  
RE-SUBMITTAL 03 / 14 / 2022

sheet title  
**sitework plan**

sheet  
**LS 3.01**

CITY PROJECT NUMBER: SP2021-029

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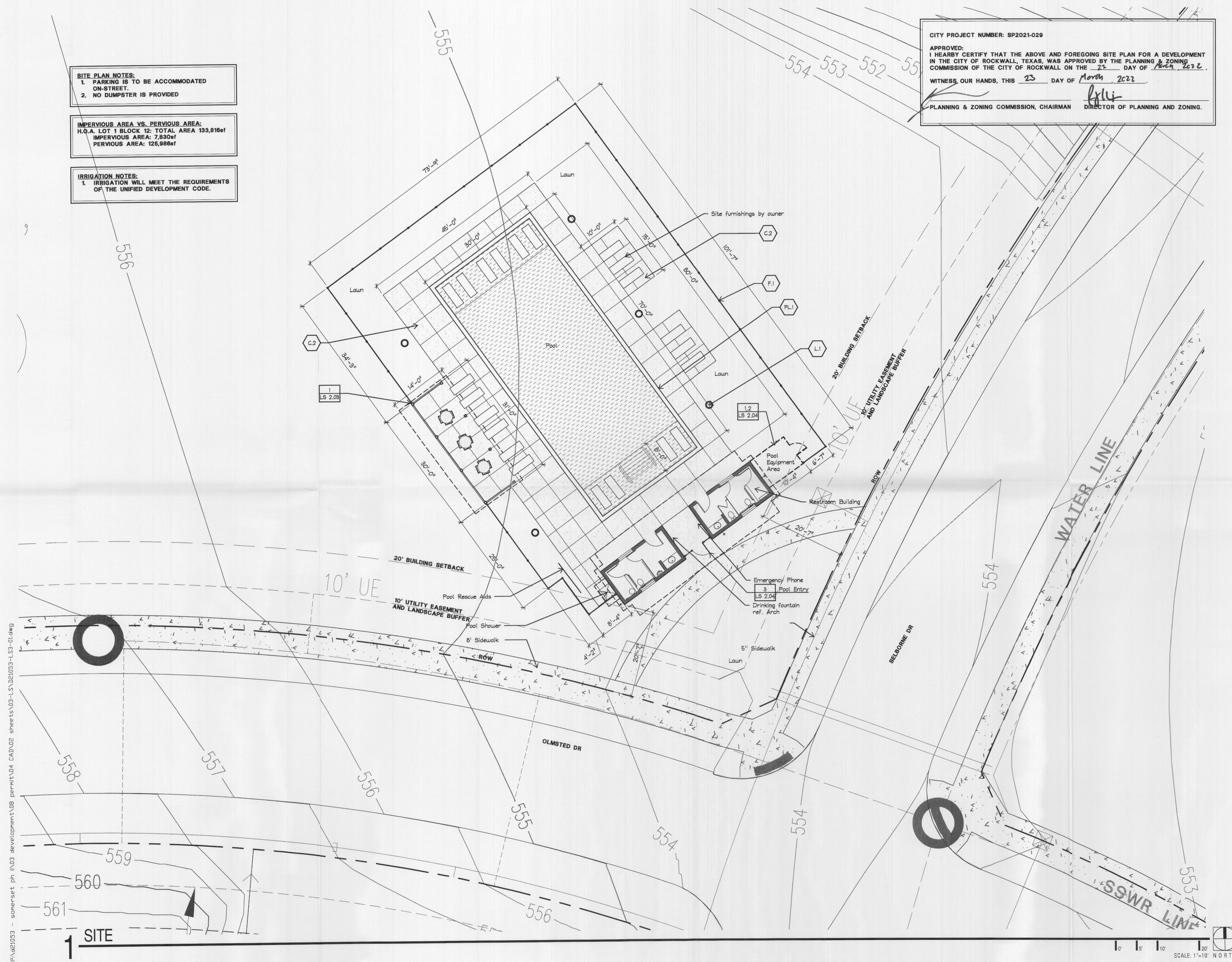
WITNESS OUR HANDS, THIS 23<sup>rd</sup> DAY OF March, 2022.

PLANNING & ZONING COMMISSION, CHAIRMAN *[Signature]* DIRECTOR OF PLANNING AND ZONING.

**SITE PLAN NOTES:**  
1. PARKING IS TO BE ACCOMMODATED ON-STREET.  
2. NO DUMPSTER IS PROVIDED

**IMPERVIOUS AREA VS. PERVIOUS AREA:**  
H.O.A. LOT 1 BLOCK 12: TOTAL AREA 133,816sf  
IMPERVIOUS AREA: 7,830sf  
PERVIOUS AREA: 125,986sf

**IRRIGATION NOTES:**  
1. IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.



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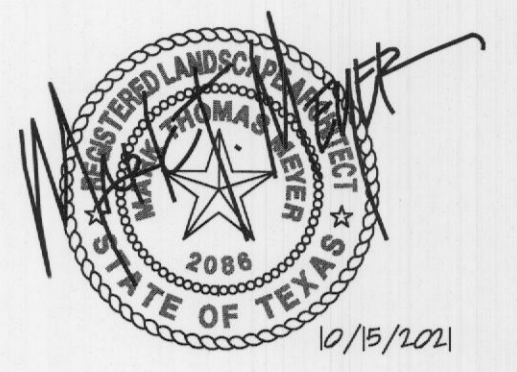
1 SITE

SCALE: 1"=10' N O R T H

MATCHLINE: REF. 1/LP 1.02



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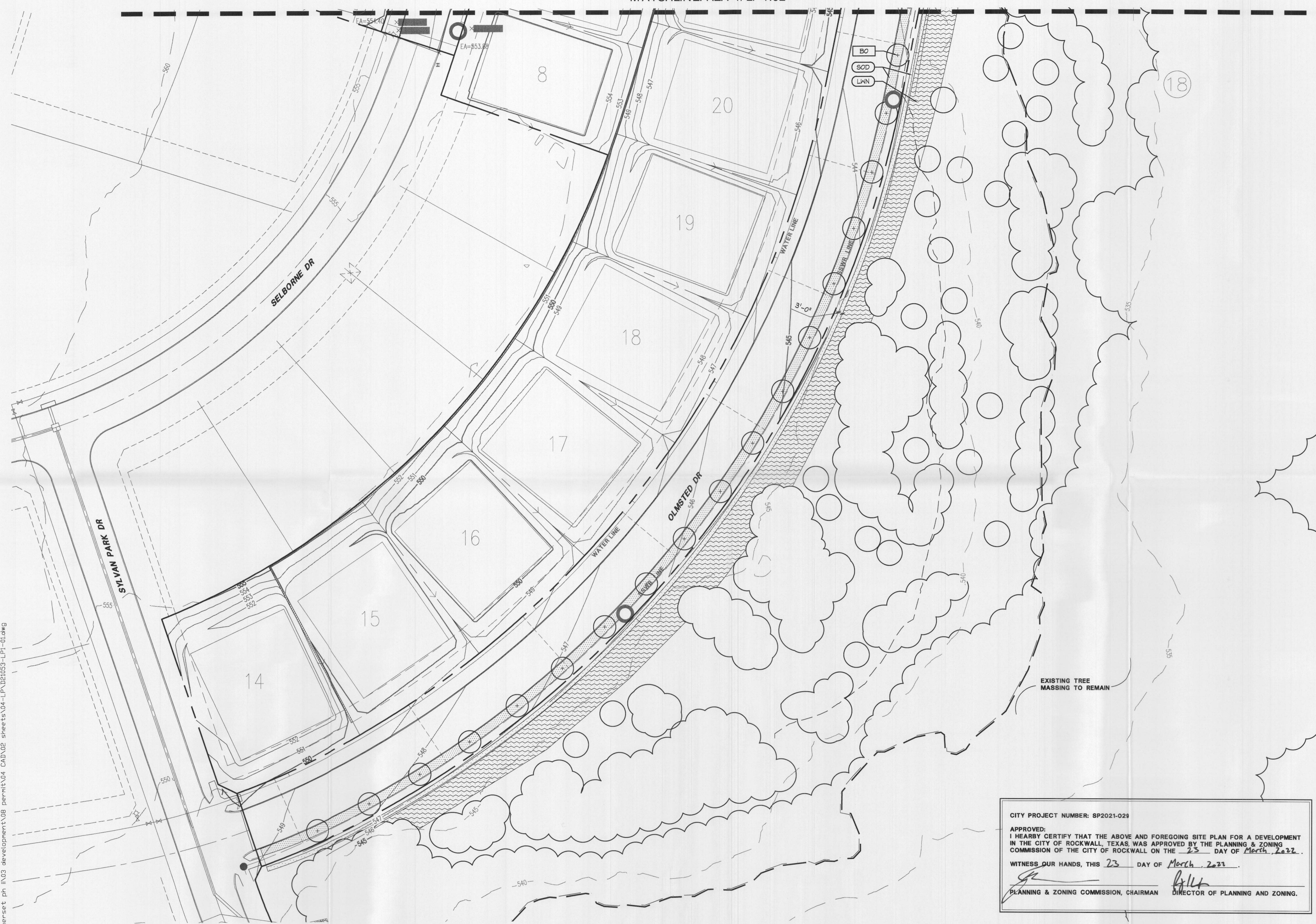
issue date  
10/15/2021

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drawn: BD AC  
reviewed: JD, MM

RE-SUBMITTAL 11/02/2021  
RE-SUBMITTAL 11/04/2021  
RE-SUBMITTAL 03/14/2022

sheet title  
**planting plan**

sheet  
**LP 1.01**



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*[Signature]* *[Signature]*  
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING.

EXISTING TREE  
MASSING TO REMAIN

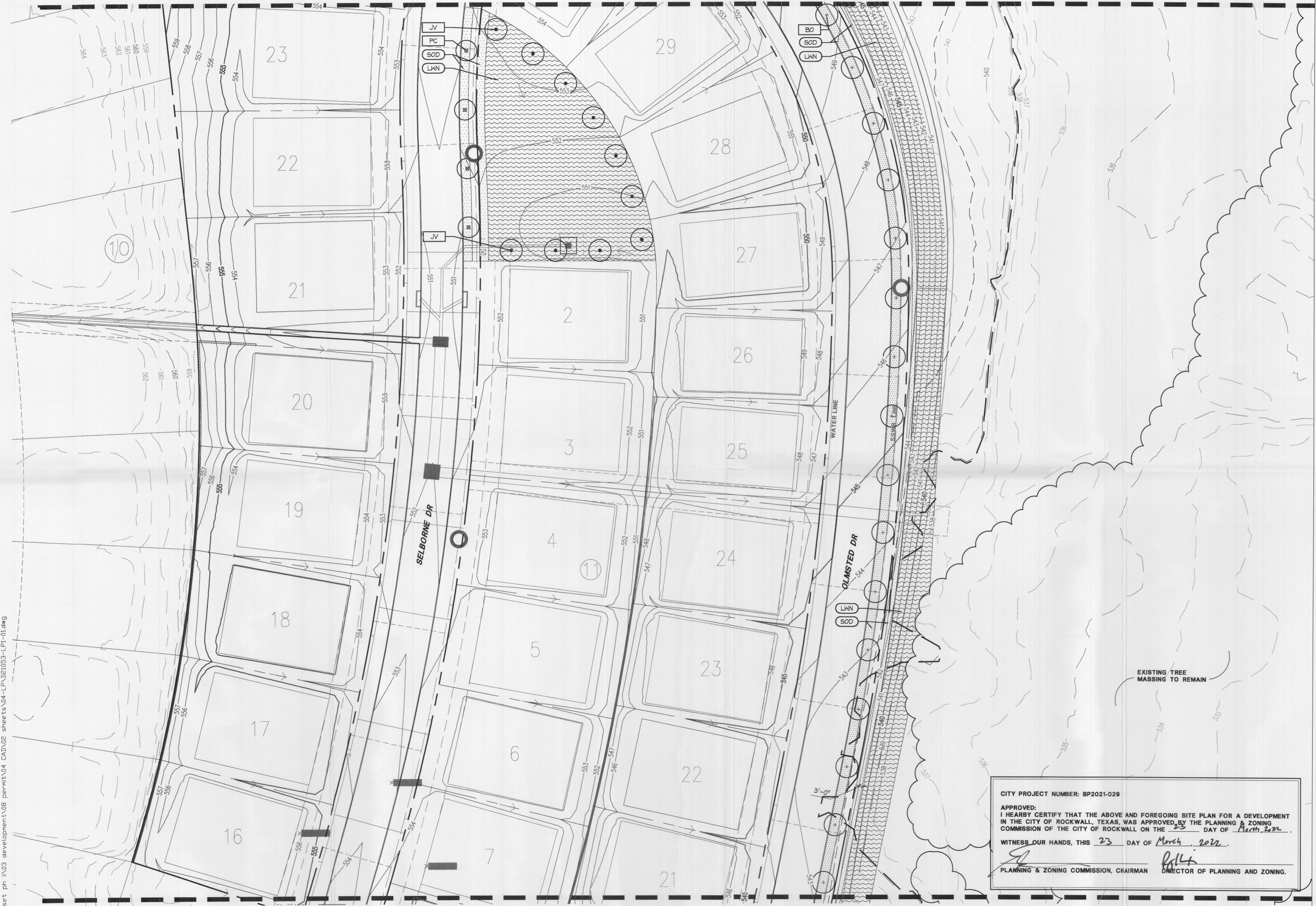
**1** Site  
Plan

0' 10' 20' 40'  
SCALE: 1"=20'  
N O R T H

P:\d21053 - somerset ph i\03 development\08 permit\04 CAD\02 sheets\04-LP\021053-LP1-01.dwg



MATCHLINE: REF. 1/LP 1.03



P:\d21053 - somerset ph 1103 development\08 permit\04 CAD\02 sheets\04-LP-D21053-LP1-01.dwg

1 Site Plan

MATCHLINE: REF. 1/LP 1.01

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*[Signature]*  
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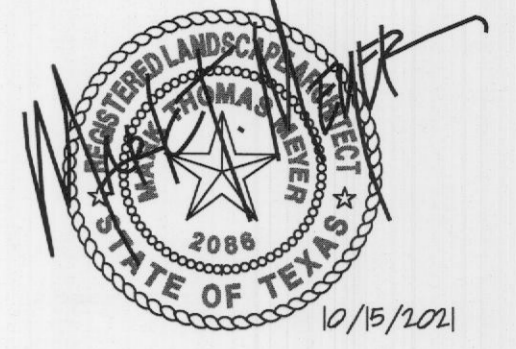
*[Signature]*  
 DIRECTOR OF PLANNING AND ZONING.

EXISTING TREE MASSING TO REMAIN

SCALE: 1"=30' N O R T H



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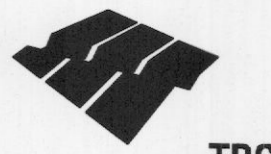
issue date  
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designed: JD BD  
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reviewed: JD, MM

RE-SUBMITTAL 11/02/2021  
RE-SUBMITTAL 11/04/2021  
RE-SUBMITTAL 03/14/2022

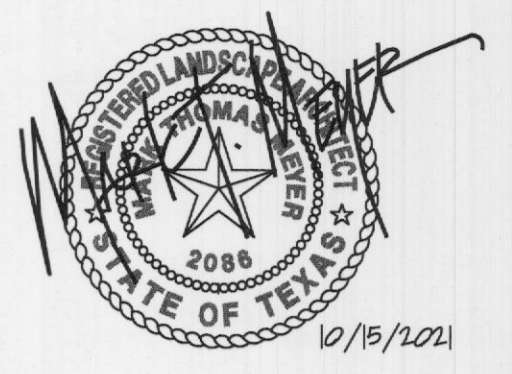
sheet title  
**planting plan**

sheet  
**LP 1.02**



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RE-SUBMITTAL 11 / 04 / 2021  
RE-SUBMITTAL 03 / 14 / 2022

sheet title  
**planting plan**

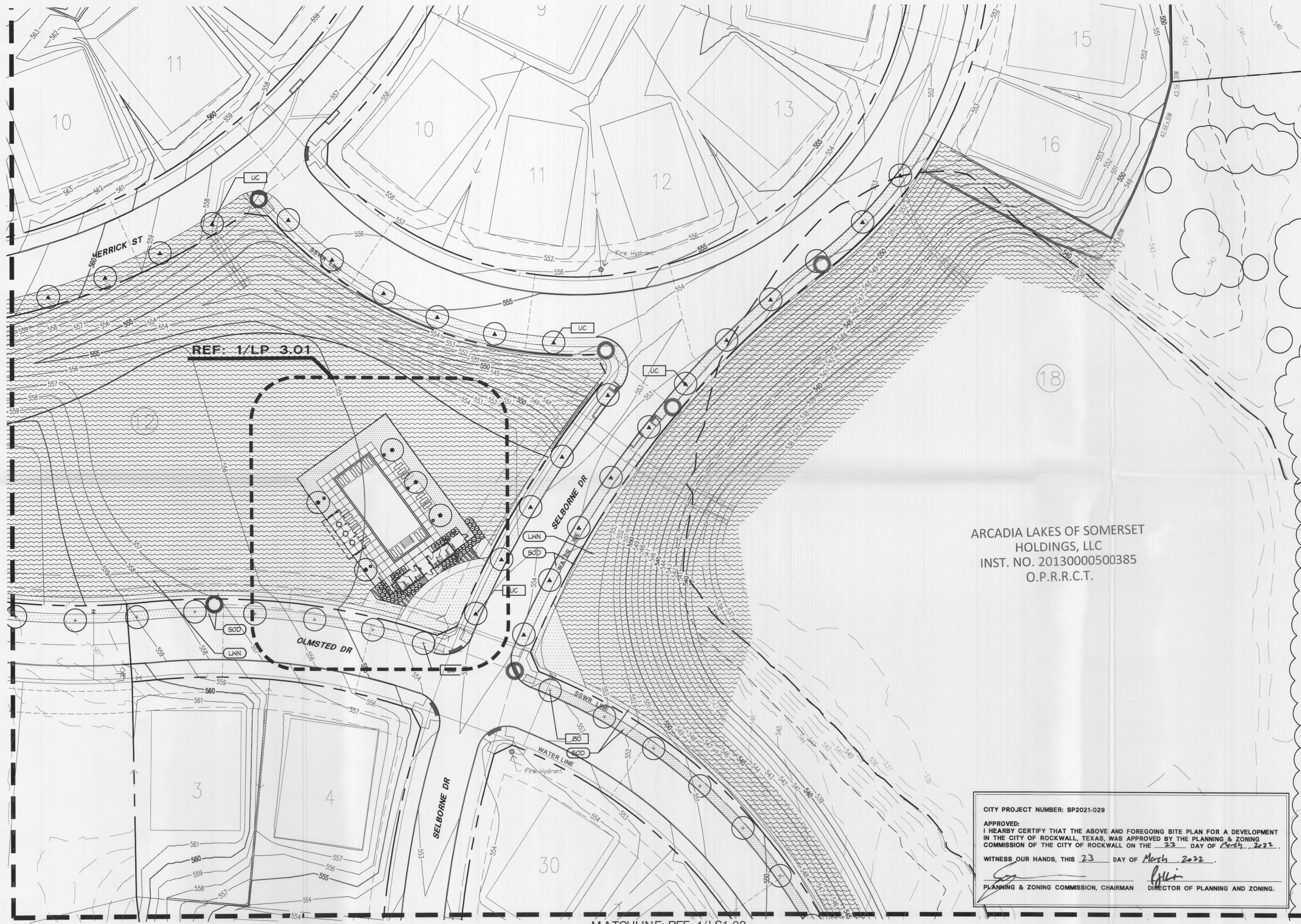
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MATCHLINE: REF. 1/LS1.04

MATCHLINE: REF. 1/LS1.02

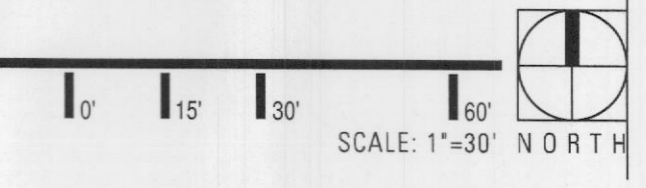
ARCADIA LAKES OF SOMERSET  
HOLDINGS, LLC  
INST. NO. 20130000500385  
O.P.R.R.C.T.

CITY PROJECT NUMBER: SP2021-029  
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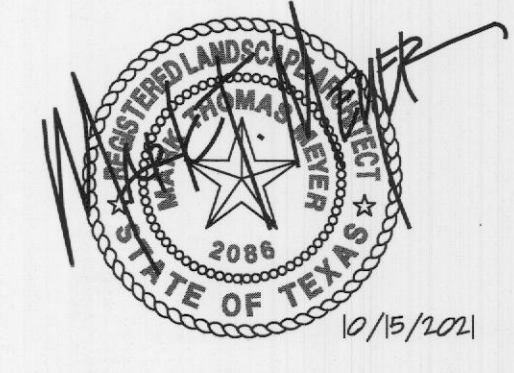
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1 Site  
Plan





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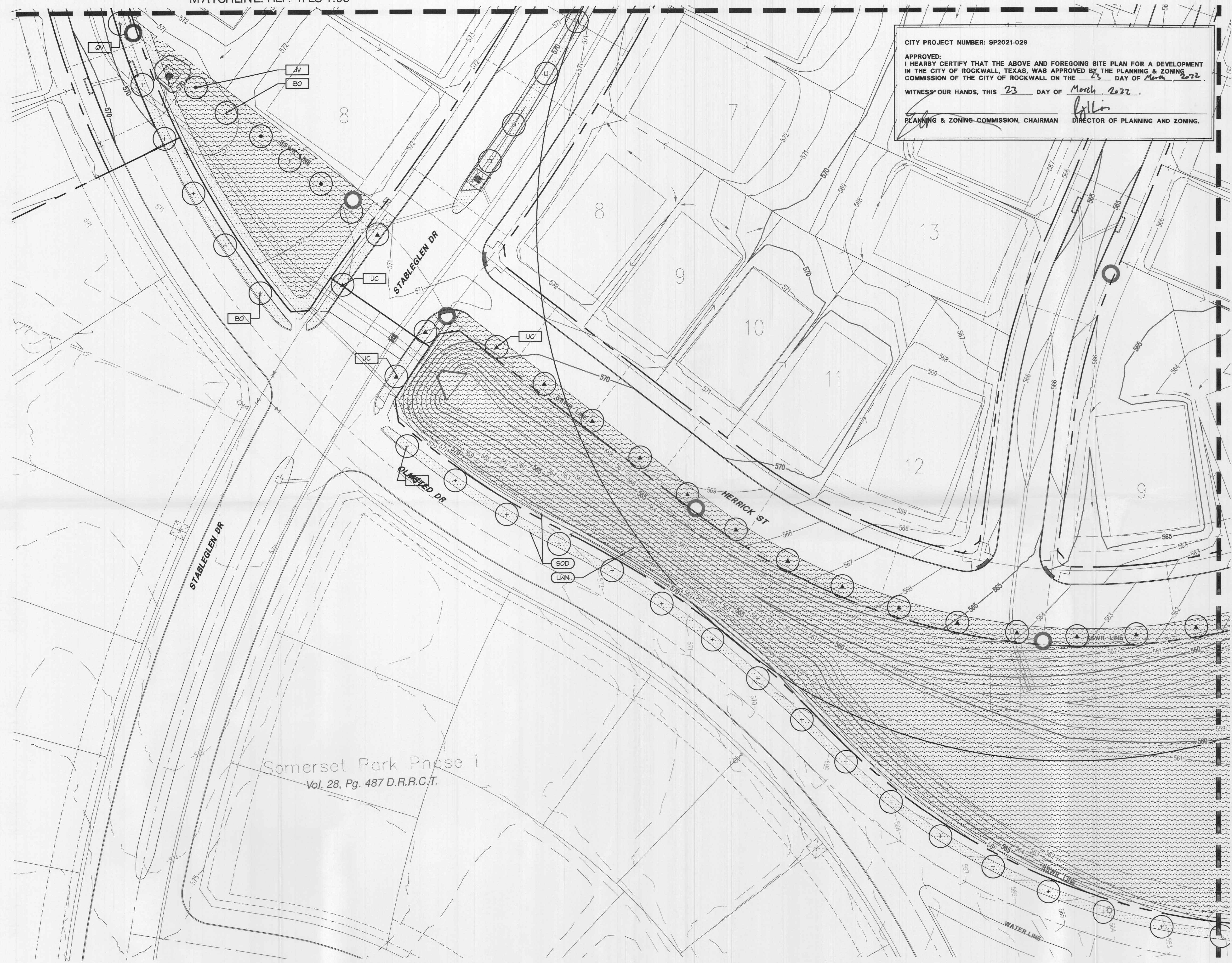
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 RE-SUBMITTAL 11 / 04 / 2021  
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sheet title  
**planting plan**

sheet  
**LP 1.04**

MATCHLINE: REF. 1/LS 1.05

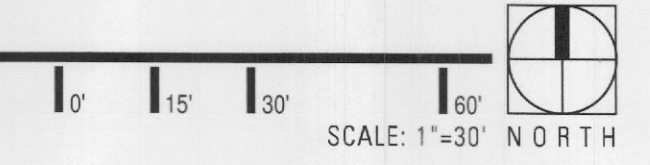
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 [Signature]  
 PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING.



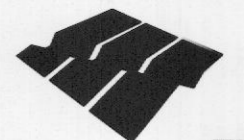
Somerset Park Phase 2  
 Vol. 28, Pg. 487 D.R.R.C.T.

MATCHLINE: REF. 1/LS 1.03

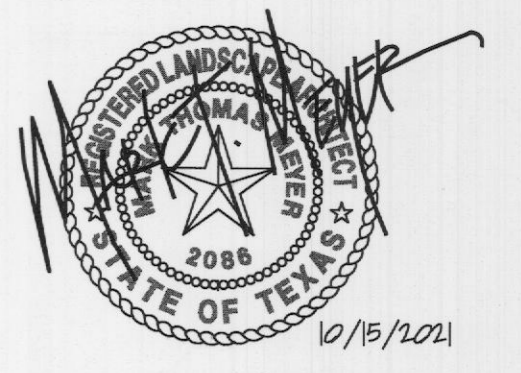
**1** Site  
 Plan



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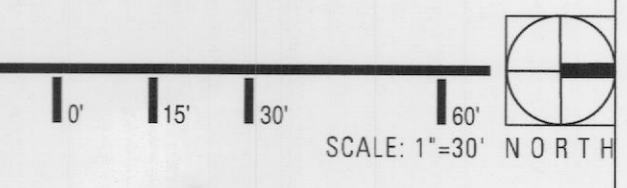
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**3** Site  
Plan



project  
**Somerset  
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**D21053**

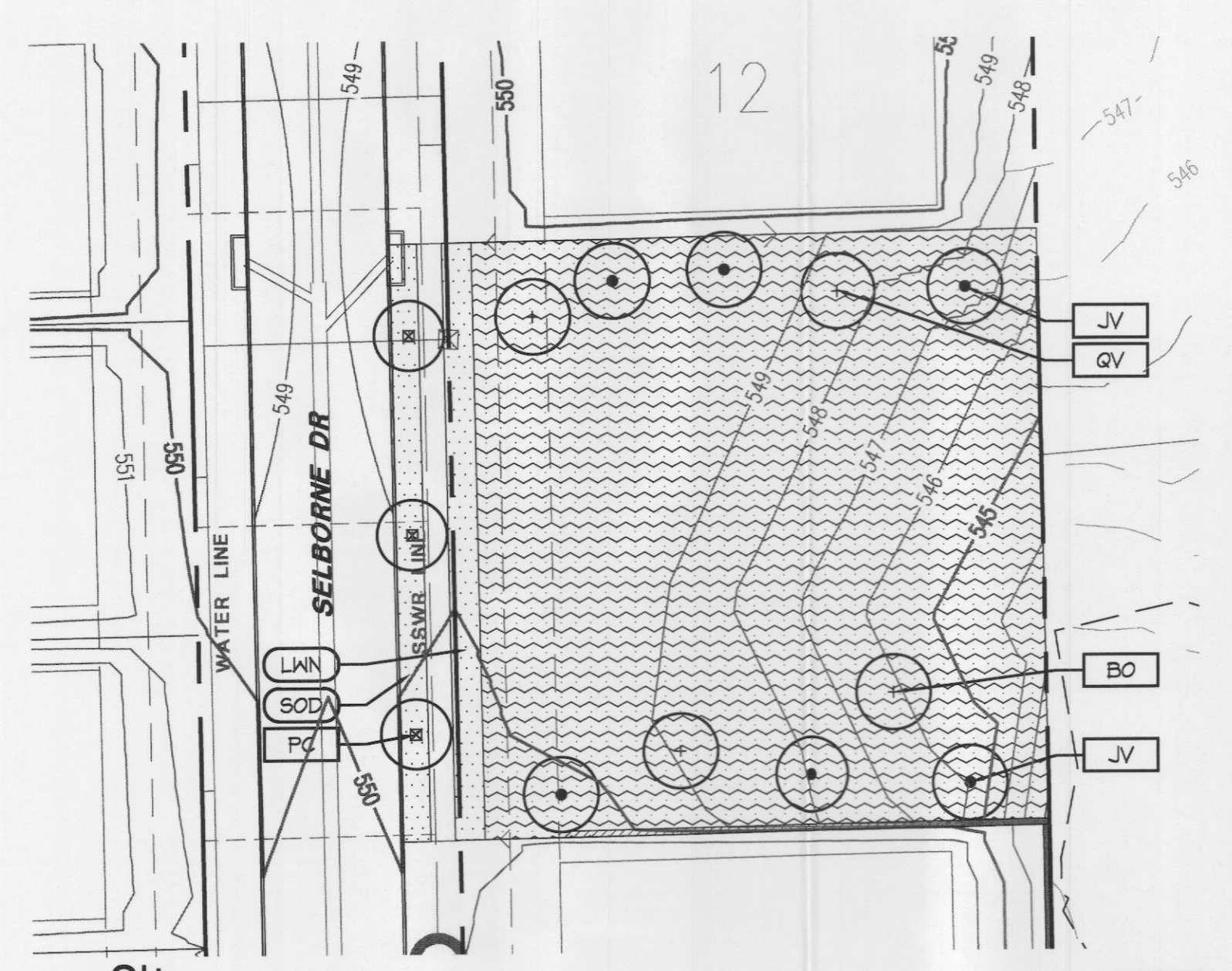
issue date  
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designed: JD, BD  
 drawn: BD, AC  
 reviewed: JD, MM

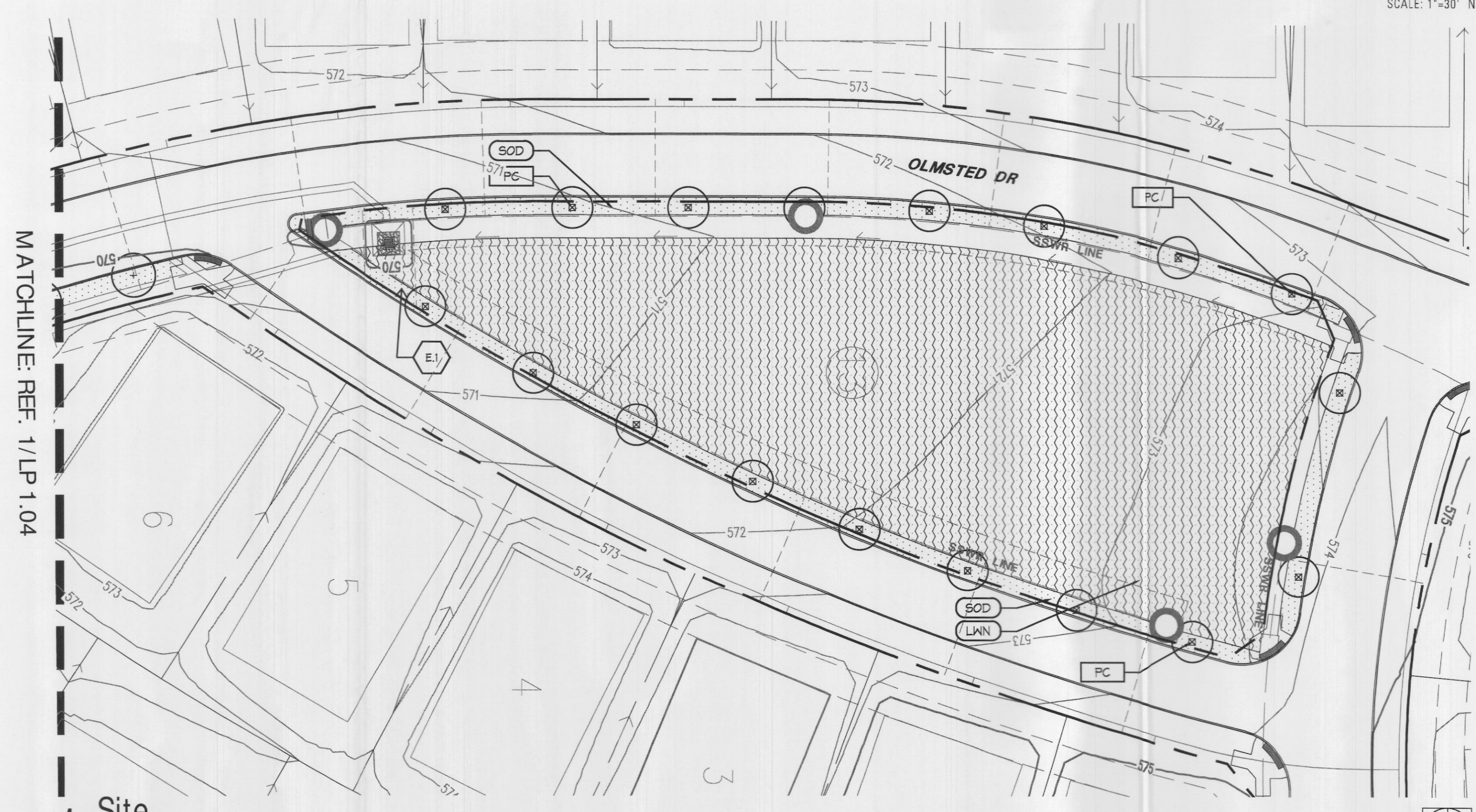
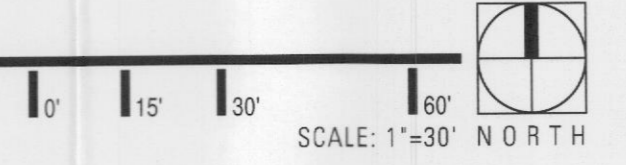
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 RE-SUBMITTAL 03/14/2022

sheet title  
**planting plan**

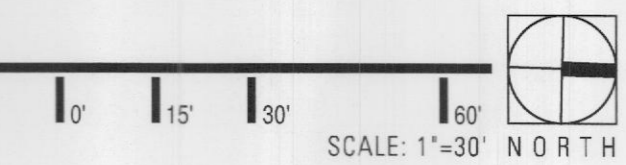
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**LP 1.05**



**2** Site  
Plan



**1** Site  
Plan



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P:\021053 - somerset ph \03 development\08 permit\04 CAD\02 sheets\04-LP\021053-LP2-01.dwg

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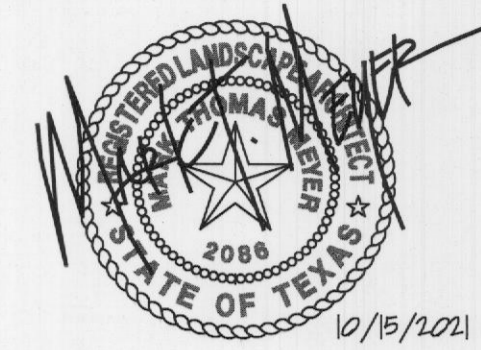
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*[Signature]*  
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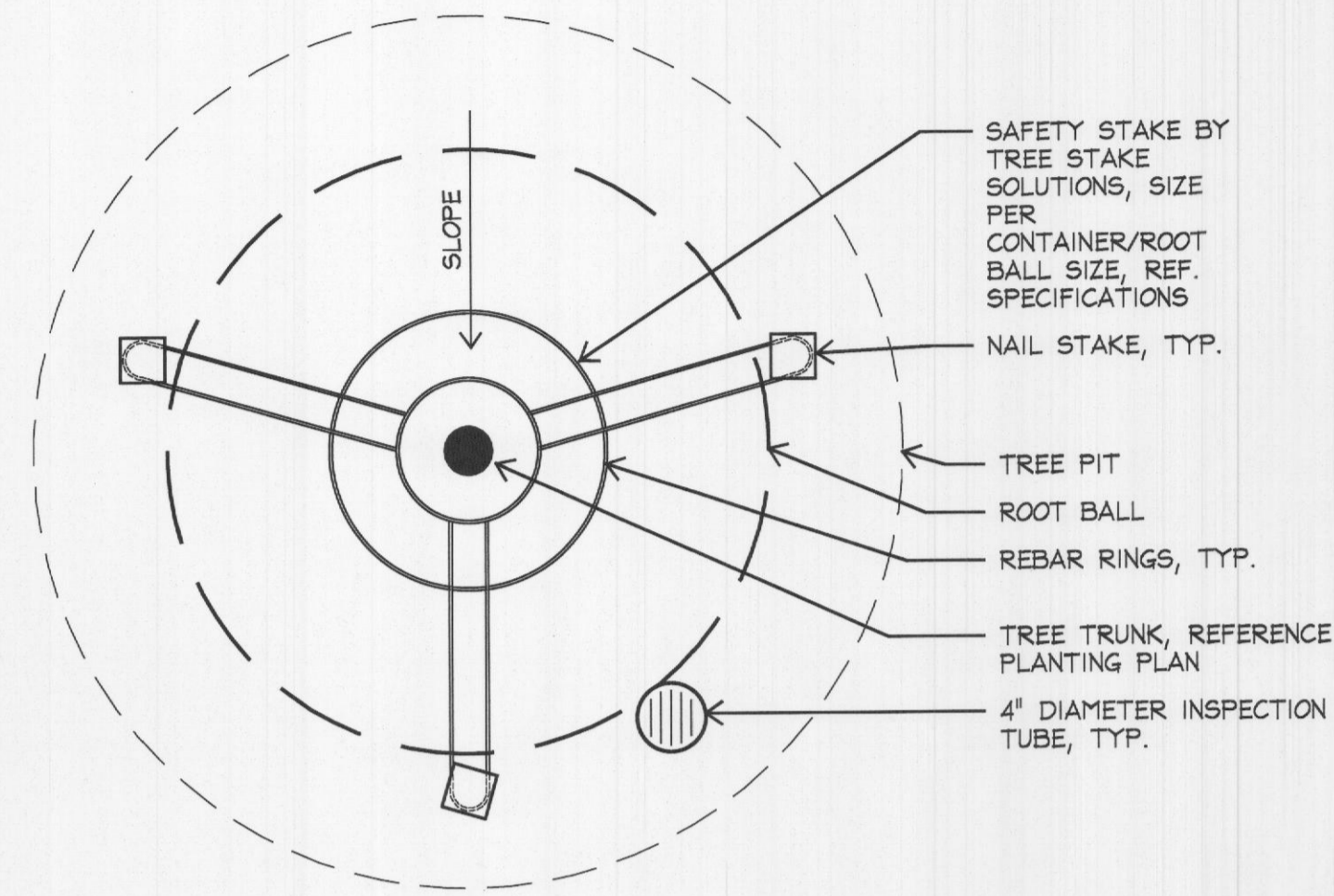
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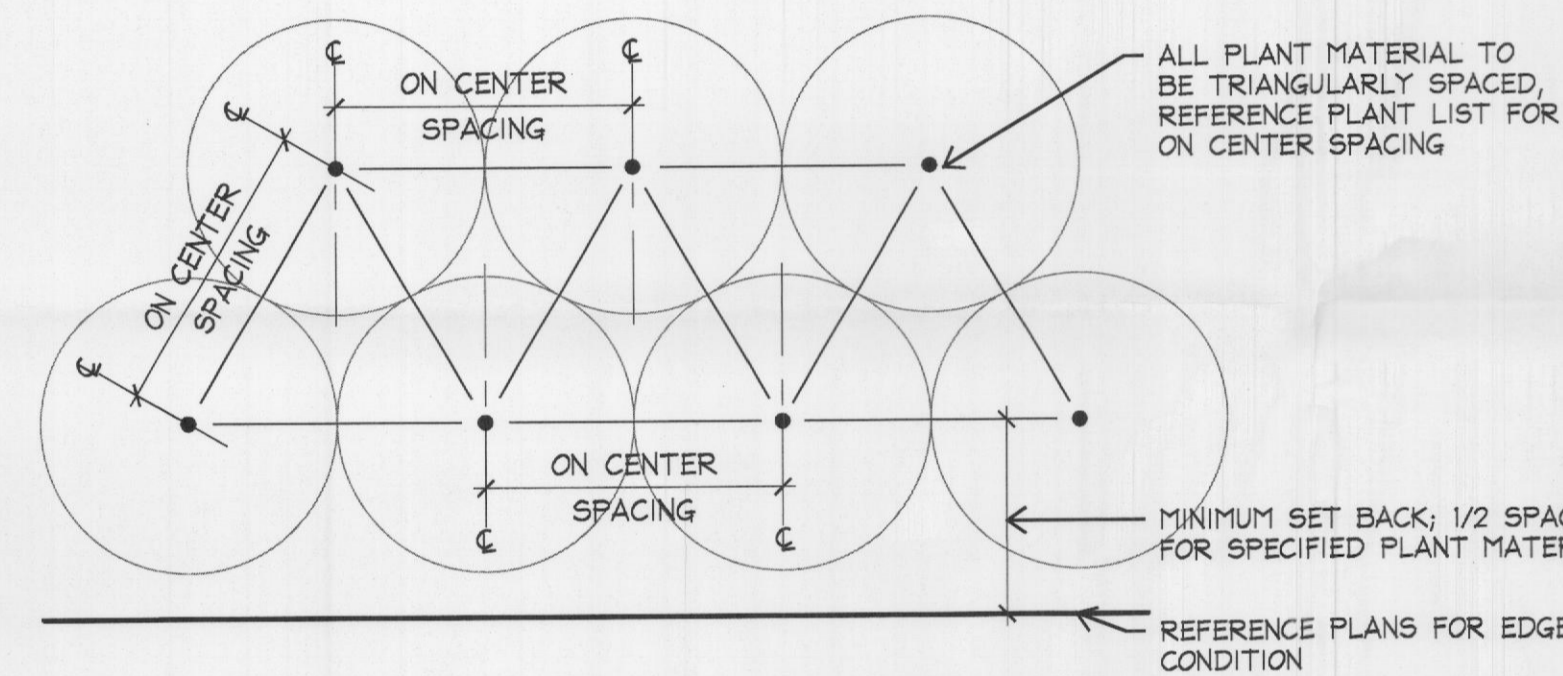
RE-SUBMITTAL 11 / 02 / 2021  
RE-SUBMITTAL 11 / 04 / 2021  
RE-SUBMITTAL 03 / 14 / 2022

sheet title  
**planting  
details**

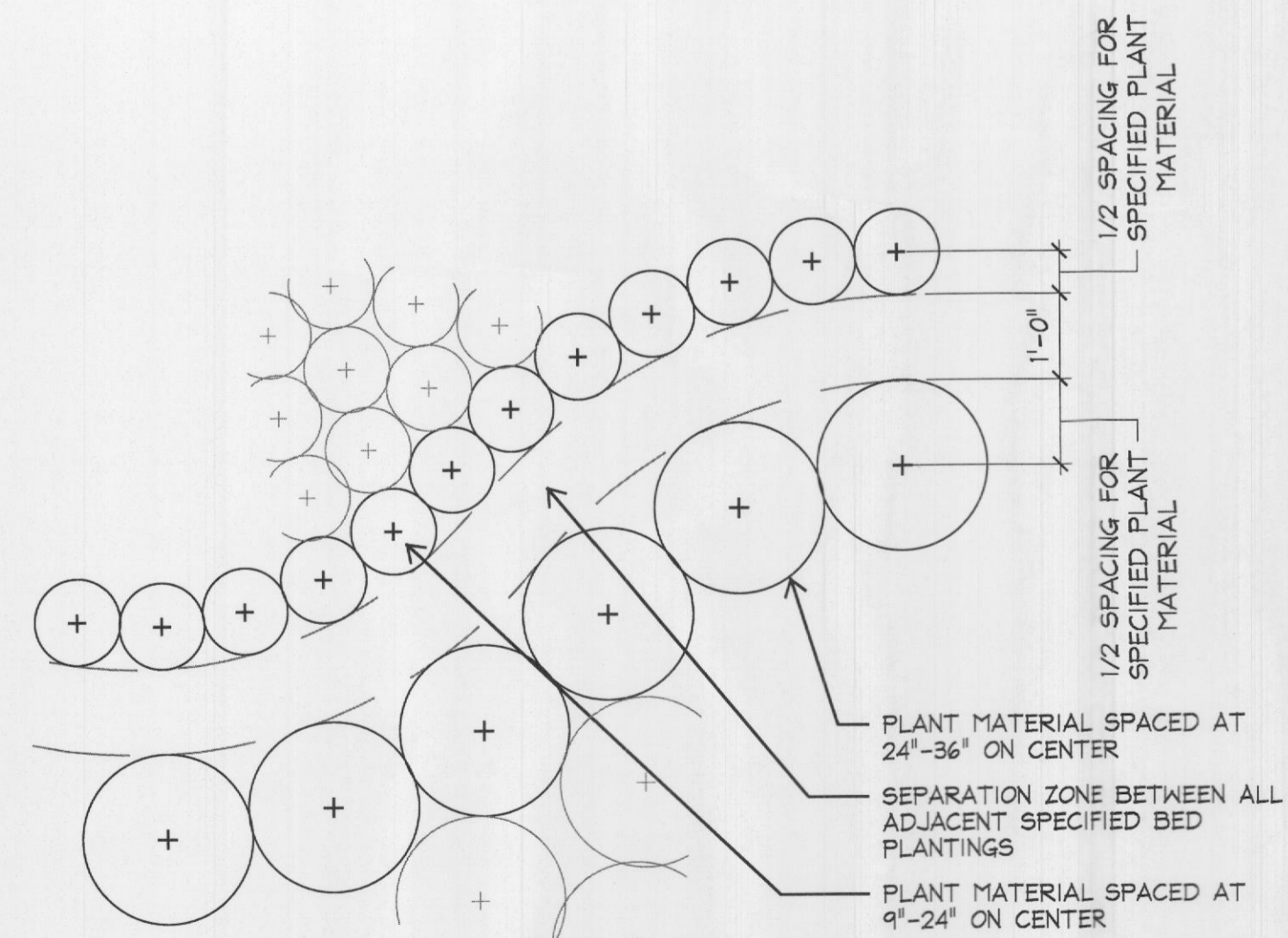
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**LP 2.01**



**5** TYPICAL TREE STAKING  
PLAN NOT TO SCALE

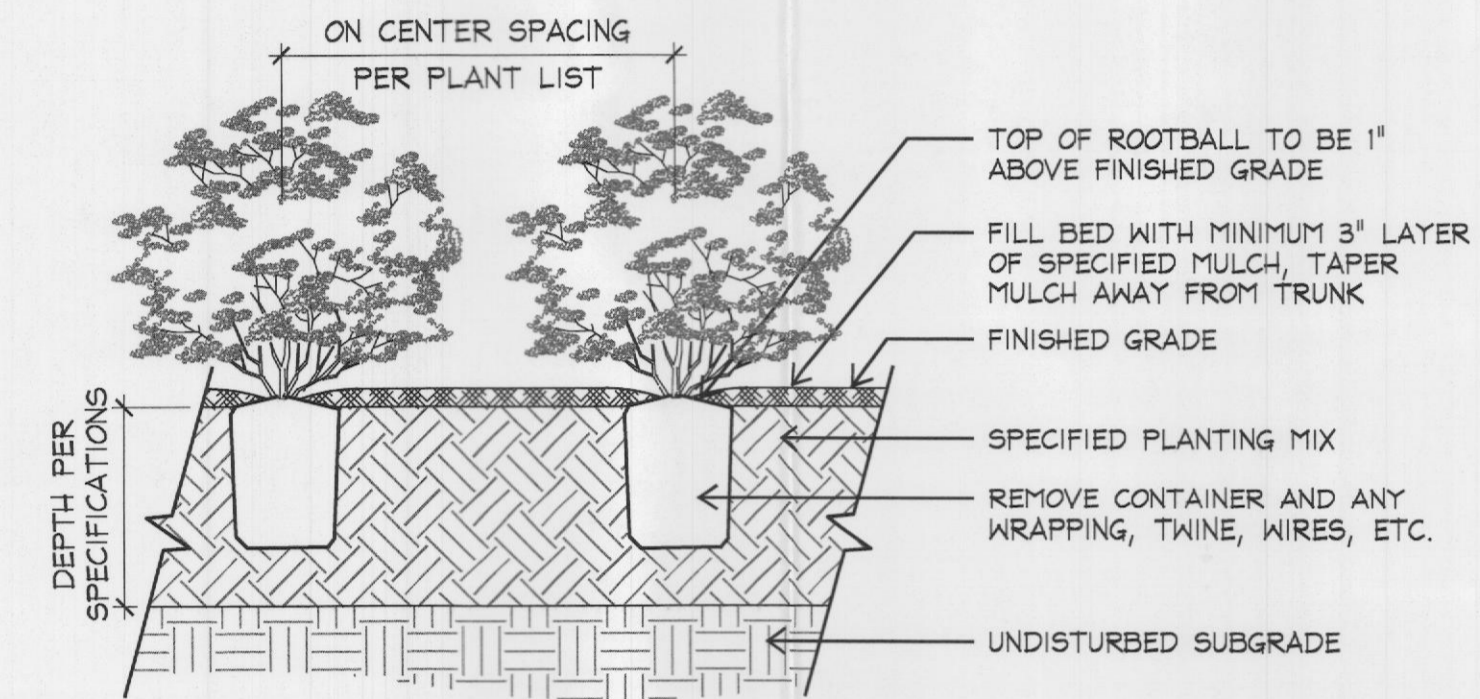


**4** PLANT SPACING DIAGRAM  
PLAN NOT TO SCALE

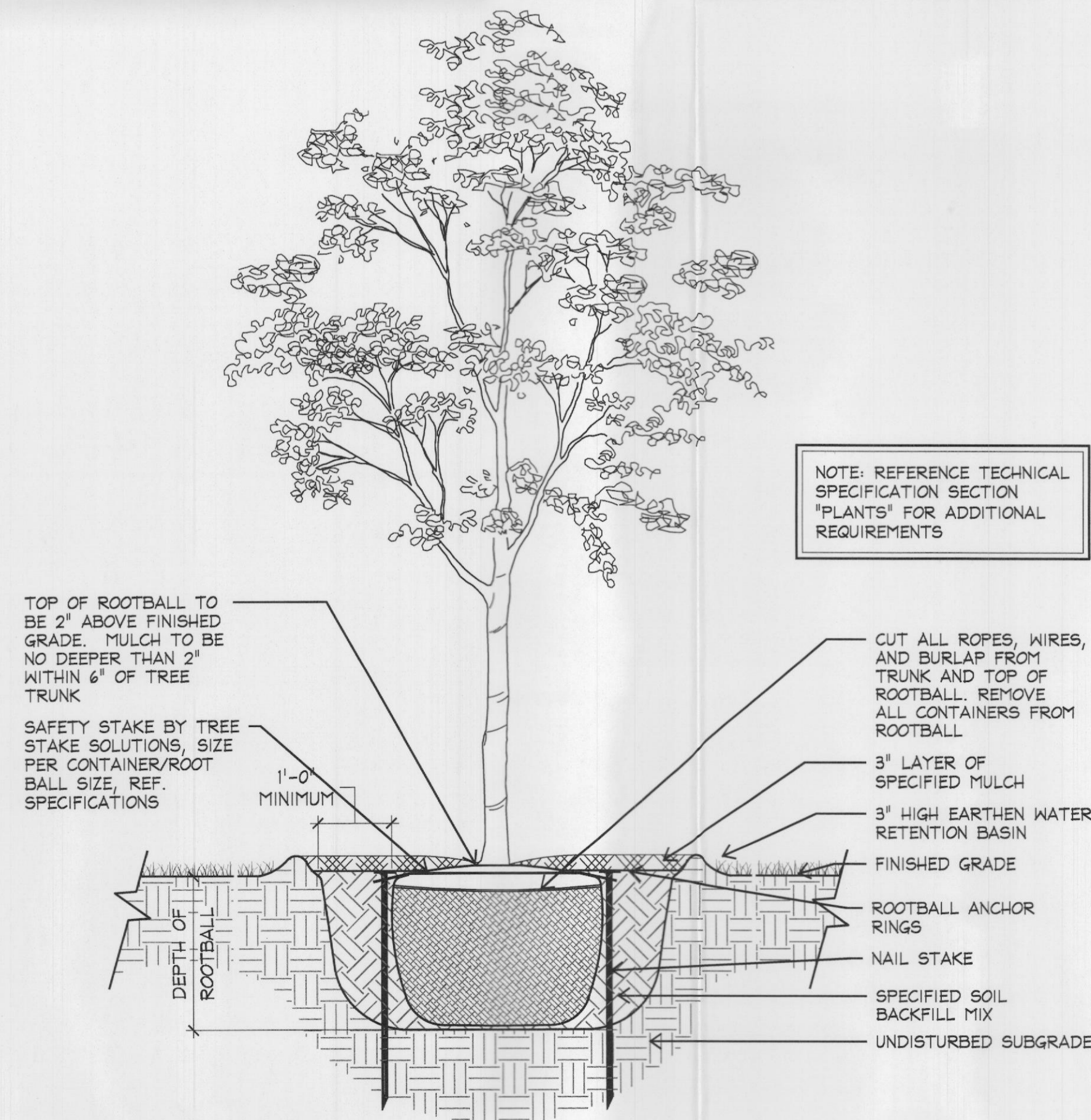


NOTE:  
THIS DETAIL IS DRAWN TO SHOW THE INTENDED PLANTING LAYOUT OF ADJACENT SHRUB BEDS ALONG CURVES. CONTRACTOR TO PLANT ALL PERIMETER OF BED AREAS AS SHOWN AND THEN PLANT THE REMAINDER OF THE BED TRIANGULARLY AT THE SPECIFIED SPACING.

**3** CURVED BED LAYOUT  
PLAN NOT TO SCALE



**2** SHRUB BED PLANTING  
SECTIONS NOT TO SCALE



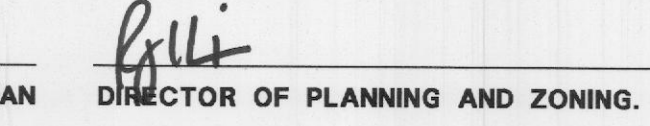
**1** TREE PLANTING - STANDARD TRUNK  
SECTION NOT TO SCALE

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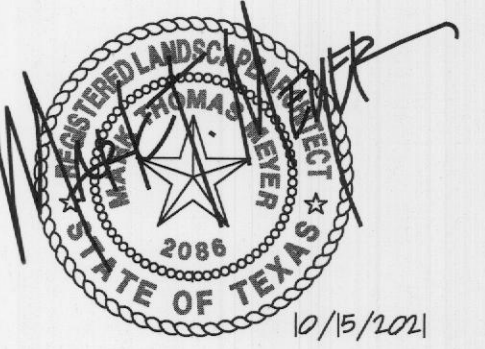


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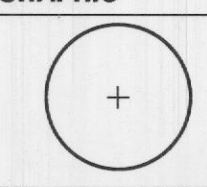
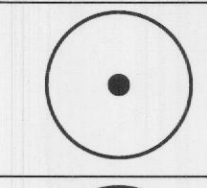
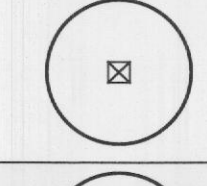
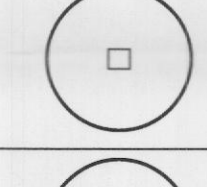




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**TREE MITIGATION:**  
TOTAL REPLACEMENT TREES = 174 @ 4" CAL = 696"

**IRRIGATION NOTES:**  
1. IRRIGATION WILL MEET THE REQUIREMENTS  
OF THE UNIFIED DEVELOPMENT CODE.

**PLANT LIST**

SHADE TREES						
QTY	GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
76		BO	BUR OAK	QUERCUS MACROCARPA	4" CAL.	SINGLE TRUNK. UPRIGHT. UNIFORM.
19		JV	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	----	----
25		PC	CHINESE PISTACHE	PISTACHIA CHINENSIS	4" CAL.	SINGLE TRUNK. UPRIGHT. UNIFORM.
21		TD	BALD CYPRESS	TAXODIUM DISTICHUM	4" CAL.	SINGLE TRUNK. UPRIGHT. UNIFORM.
44		UC	CEDAR ELM	ULMUS CRASSIFOLIA	4" CAL.	SINGLE TRUNK. UPRIGHT. UNIFORM.
6		UP	LACEBARK ELM	ULMUS PARVIFOLIA	4" CAL.	None
SHRUBS, ORNAMENTAL GRASSES, AND VINES						
QTY	GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
		MBA	ADAGIO MISCANTHUS	MISCANTHUS SINENSIS 'ADAGIO'	5 GAL @40" OC	None
PERENNIALS, GROUNDCOVERS, AND ANNUALS						
QTY	GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
25		LNG	NEW GOLD LANTANA	LANTANA X 'NEW GOLD'	5 GAL. 24" O.C.	DENSE. UNIFORM.
40		SG	LIPSTICK AUTUMN SAGE	SALVIA GREGGII 'LIPSTICK'	5 GAL. 24" O.C.	DENSE. UNIFORM.
TURF GRASS AND SEED MIXES						
QTY	GRAPHIC	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
82408		LHN	COMMON BERMUDA	CYNODON DACTYLON	HYDROSEED	HYDROSEED
22494		SOD	COMMON BERMUDA	CYNODON DACTYLON	SOD	SOD

project  
**Somerset  
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reviewed: JD MM

RE-SUBMITTAL 11 / 02 /2021  
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RE-SUBMITTAL 03 / 14 /2022

sheet title  
**planting  
schedule**

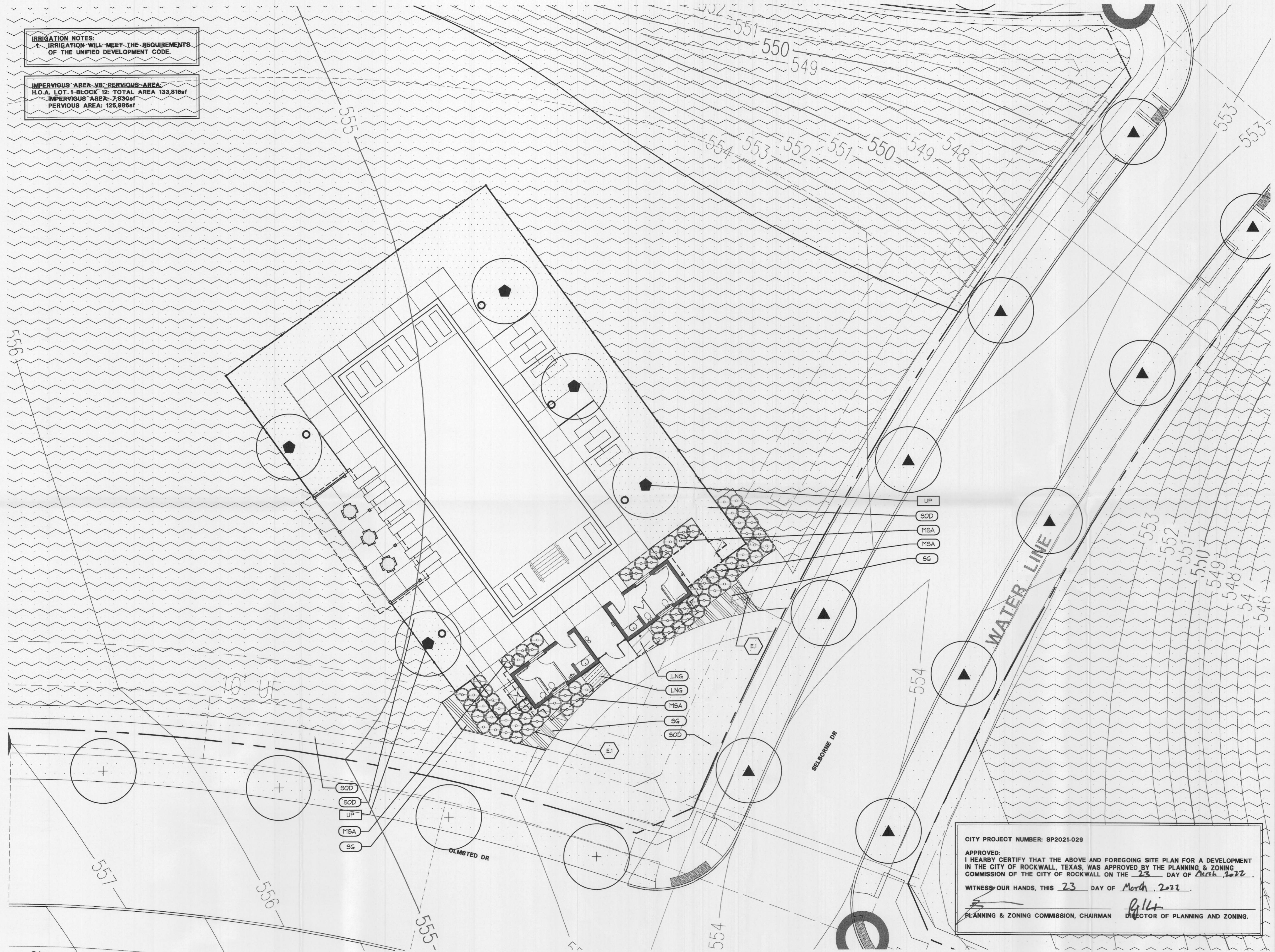
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**LP 2.02**

**1** Planting Schedule

SCALE: AS SHOWN 

**IRRIGATION NOTES:**  
 1. IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.

**IMPERVIOUS AREA VS. PERVIOUS AREA:**  
 H.O.A. LOT 1-BLOCK 12: TOTAL AREA 133,816sf  
 IMPERVIOUS AREA: 7,830sf  
 PERVIOUS AREA: 125,986sf

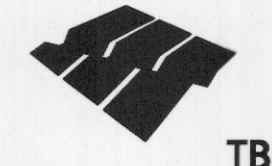


CITY PROJECT NUMBER: SP2021-029  
 APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 23 DAY OF March 2022.  
 WITNESS OUR HANDS, THIS 23 DAY OF March 2022.  
 PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING.

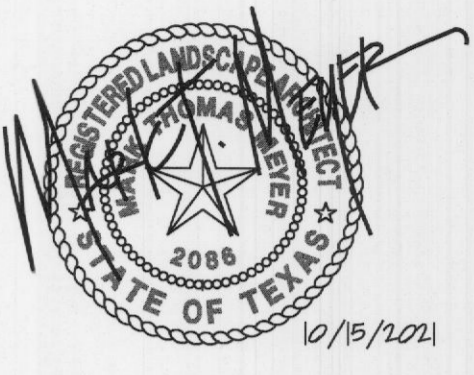
1 Site Plan

SCALE: 1"=10' NORTH

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project  
**Somerset  
 Phase 2**

ISSUE FOR PERMIT  
 Arcadia Realty Corp  
 Rockwall, TX

project number  
**D21053**

issue date  
 10/15/2021

designed: JD BD  
 drawn: BD AC  
 reviewed: JD, MM

RE-SUBMITTAL 11 / 02 / 2021  
 RE-SUBMITTAL 11 / 04 / 2021  
 RE-SUBMITTAL 03 / 14 / 2022

sheet title  
**planting plan**

sheet  
**LP 3.01**