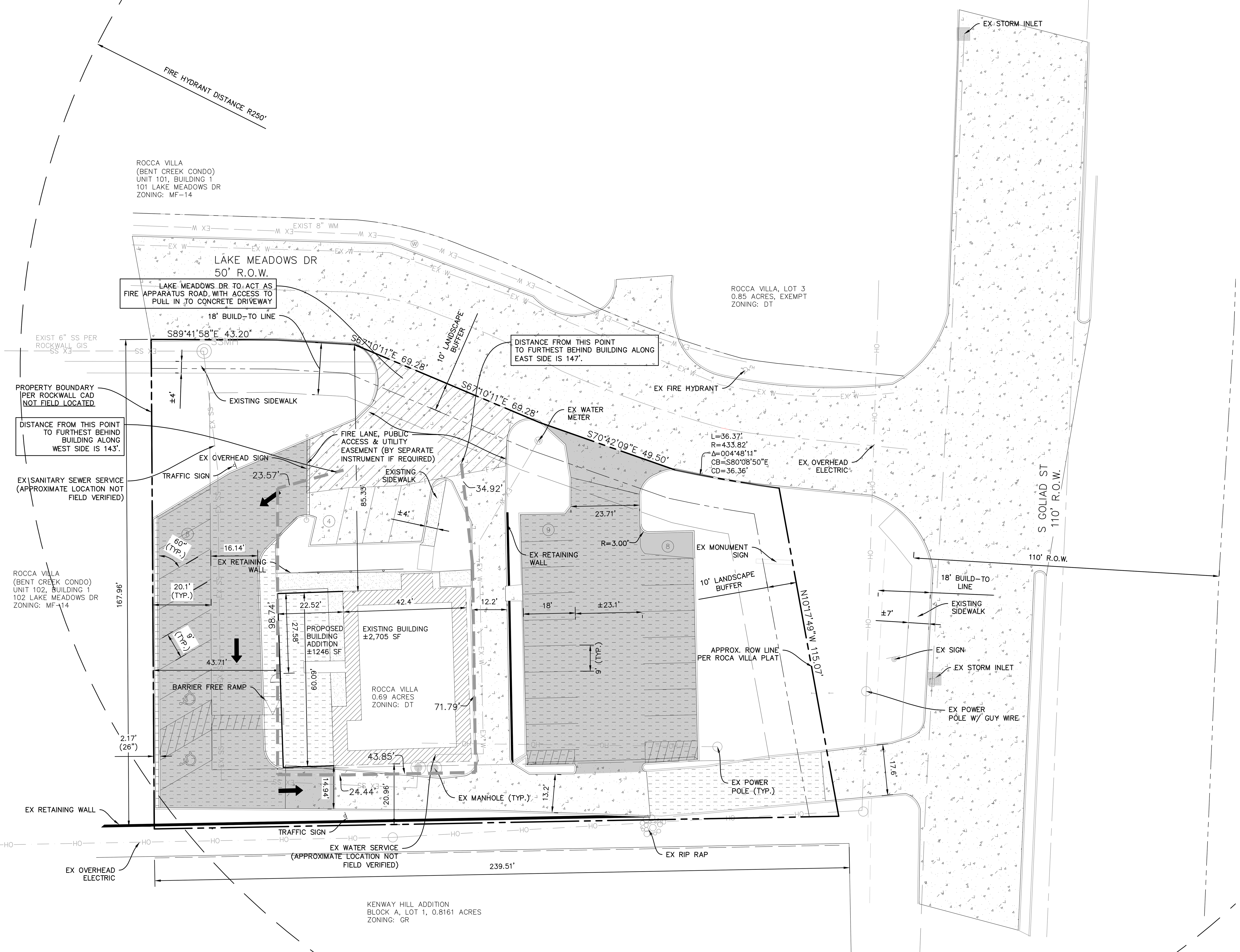
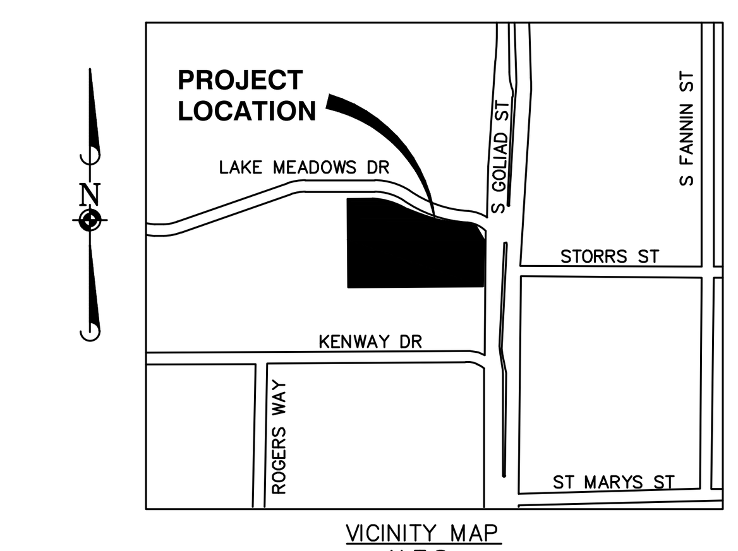
NOTES

1. NO EXISTING OR PROPOSED FENCES.
2. NO UTILITY EQUIPMENT PAD/GROUND OR ROOF MOUNTED.
3. NO EXISTING OR PROPOSED DUMPSTER.
4. FIRE HYDRANT DISTANCE IS LESS THAN 400' FROM BUILDING EXTERIOR, R=250' SHOWN TO FIT ON SITE PLAN.



N

0 10 20 40
SCALE: 1"=20'



VICINITY MAP
N.T.S.

LEGEND

8	DOUBLE CLEANOUT
◉	SANITARY MANHOLE
□	JUNCTION BOX
▭	CURB INLET
▩	GRATE INLET
	FDC
	FIRE HYDRANT
	BARRIER FREE RAMP
——F——	FIRE LANE

SITE DATA TABLE

EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
BUILDING AREA	
EXISTING BUILDING	2,705 SF
ADDITION	1,246 SF
PROPOSED BUILDING	3,951 SF
PARKING	
PARKING REQUIRED	1/200 SF 15 STANDARD STALLS 1 ACCESSIBLE STALL
PARKING PROVIDED	29 STANDARD STALLS 2 ACCESSIBLE STALLS

NOTE: PROPERTY IS CURRENTLY PLATTED

PAVING LEGEND

▩	EXISTING ASPHALT TO BE MILLED PER TXDOT SPEC ITEM 358.4.4 AND OVERLAID PER TXDOT SPEC ITEM 340.
▨	LOOP IN ACCESS TO ASSIST LAKE MEADOWS DRIVE AS FIRE APPARATUS TO ATTAIN 150' HOSE LAY DISTANCE (EXISTING CONCRETE)

NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
2. ALL CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.
3. REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SLEEVES CROSSING PAVED AREAS.
4. REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND DUMPSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.
5. FIRELANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY DETAIL AND SPECIFICATIONS FOR EXACT LOCATION.

OWNER
DR. STAN LOWRANCE
ROCKWALL ROTARY FOUNDATION
408 S. GOLIAD STREET
ROCKWALL, TEXAS 75087

DEVELOPER
DR. STAN LOWRANCE
ROCKWALL ROTARY FOUNDATION
408 S. GOLIAD STREET
ROCKWALL, TEXAS 75087

ENGINEER
MANHARD CONSULTING
12225 GREENVILLE AVE STE 1000
DALLAS, TEXAS 75243
972.972.4250 PH
JESSE CONRAD, P.E

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the day of , .

WITNESS OUR HANDS, this day of , .

Planning & Zoning Commission, Chairman ***Director of Planning and Zoning***

CASE NUMBER: 2021-013

SITE PLAN

408. S GOLIAD STREET - 0.69 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ROCCA VILLA

REVISION LOG	DATE:	DESIGN: AR
05/03/2021 – REVISION #1 PER 1ST CITY COMMENTS	04/16/2021	DRAWN: AV
05/04/2021 – REVISION #2 PER 1ST CITY COMMENTS		CHECKED: JC
07/26/2021 – REVISION #3 PER BUILDING FOOTPRINT UPDATE		

DATE	REVISIONS	DRAWN BY

Manhard™ CONSULTING
12225 Greenville Avenue, Suite 1000, Dallas, TX 75243 ph:972.972.4250 manhard.com
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers
Construction Managers | Environmental Scientists | Landscape Architects | Planners
Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

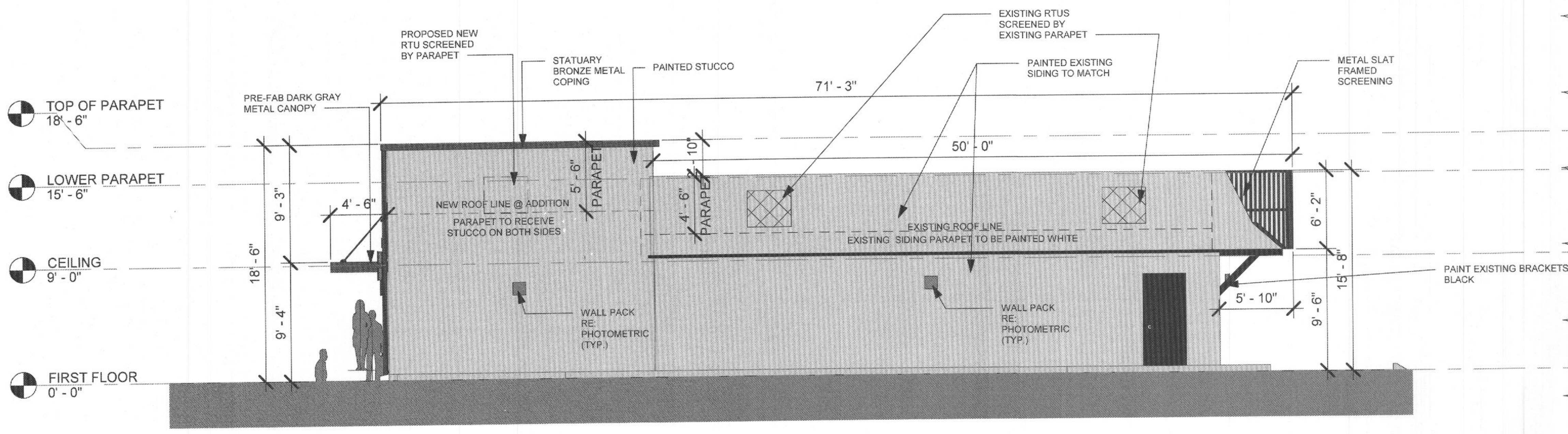
ROCKWALL ROTARY CLUB
408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SITE PLAN

FOR INTERIM REVIEW ONLY
THIS DOCUMENT IS NOT ISSUED FOR CONSTRUCTION OR PERMITTING PURPOSES
JASON T. PYKA, P.E.
TEXAS P.E. No. 124800
ISSUED THIS DATE: 07/26/2021

PROJ. MGR.: JTP
PROJ. ASSOC.: AAR
DRAWN BY: ANV
DATE: 07/26/2021

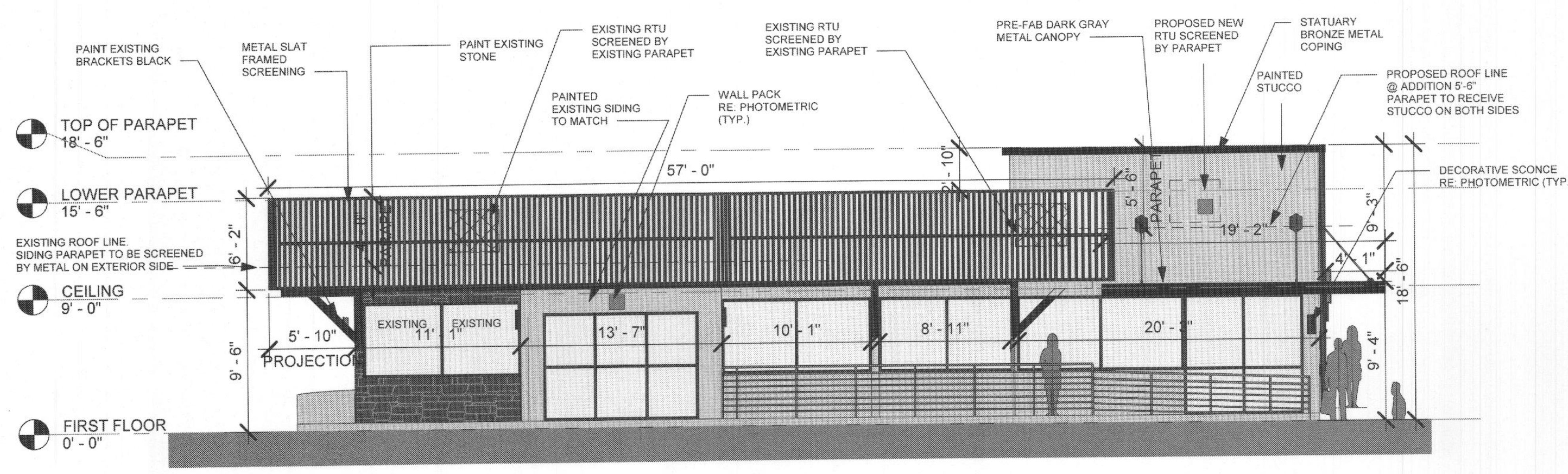
SHEET
C1.0

PENDING


TOP OF PARAPET
18' - 6"
LOWER PARAPET
15' - 6"
CEILING
9' - 0"
FIRST FLOOR
0' - 0"
PROPOSED NEW RTU SCREENED BY PARAPET
PRE-FAB DARK GRAY METAL CANOPY
STATUARY BRONZE METAL COPING
PAINTED STUCCO
EXISTING RTUS SCREENED BY EXISTING PARAPET
PAINTED EXISTING SIDING TO MATCH
METAL SLAT FRAMED SCREENING
71' - 3"
50' - 0"
NEW ROOF LINE @ ADDITION
PARAPET TO RECEIVE STUCCO ON BOTH SIDES
EXISTING ROOF LINE
EXISTING SIDING PARAPET TO BE PAINTED WHITE
WALL PACK RE: PHOTOMETRIC (TYP.)
PAINT EXISTING BRACKETS BLACK
PARAPET

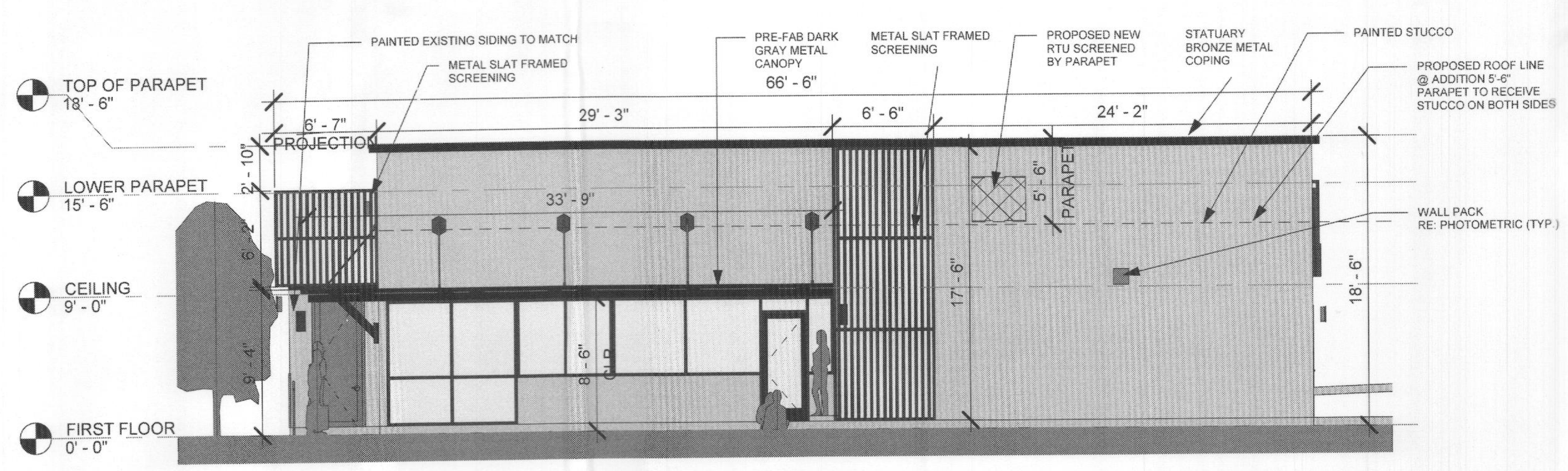
EXTERIOR ELEVATION - SOUTH 4

1/8" = 1'-0"


TOP OF PARAPET
18' - 6"
LOWER PARAPET
15' - 6"
EXISTING ROOF LINE SIDING PARAPET TO BE SCREENED BY METAL ON EXTERIOR SIDE
CEILING
9' - 0"
FIRST FLOOR
0' - 0"
PAINT EXISTING BRACKETS BLACK
METAL SLAT FRAMED SCREENING
PAINT EXISTING STONE
EXISTING RTU SCREENED BY EXISTING PARAPET
PAINTED EXISTING SIDING TO MATCH
WALL PACK RE: PHOTOMETRIC (TYP.)
PRE-FAB DARK GRAY METAL CANOPY
PROPOSED NEW RTU SCREENED BY PARAPET
STATUARY BRONZE METAL COPING
PAINTED STUCCO
PROPOSED ROOF LINE @ ADDITION 5'-6" PARAPET TO RECEIVE STUCCO ON BOTH SIDES
DECORATIVE SCONCE RE: PHOTOMETRIC (TYP.)
57' - 0"
PROJECTION
PARAPET

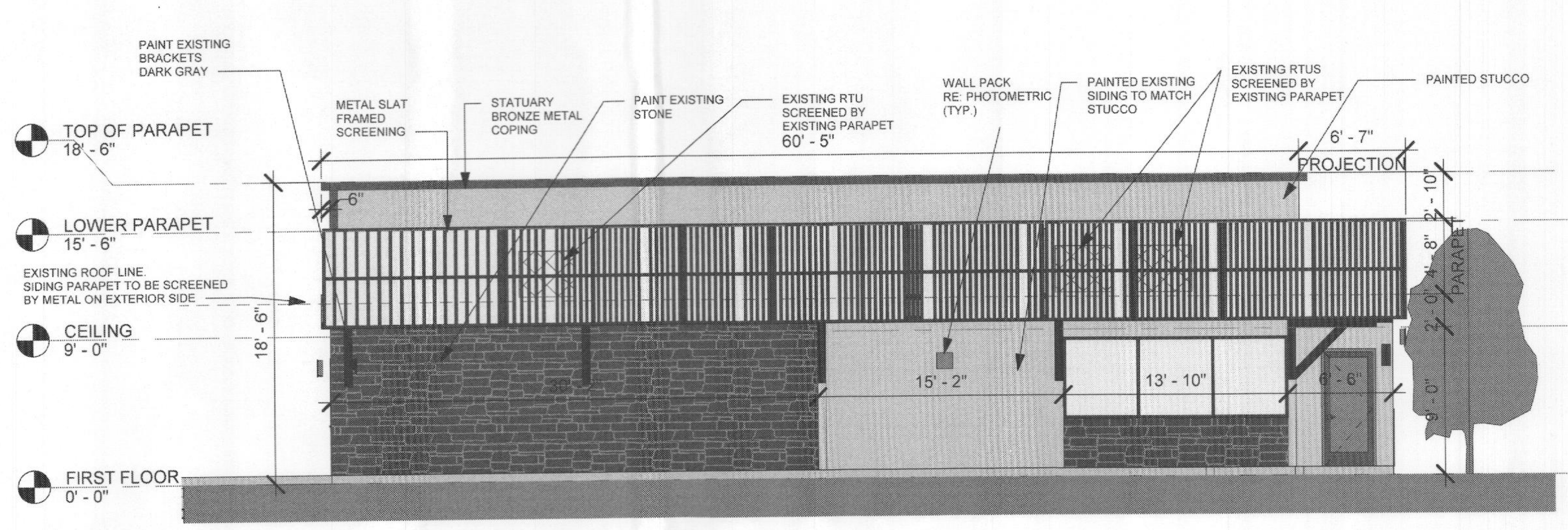
EXTERIOR ELEVATION - NORTH 3

FACES R.O.W. LAKE MEADOWS DRIVE 1/8" = 1'-0"


TOP OF PARAPET
18' - 6"
LOWER PARAPET
15' - 6"
CEILING
9' - 0"
FIRST FLOOR
0' - 0"
PAINTED EXISTING SIDING TO MATCH
METAL SLAT FRAMED SCREENING
PRE-FAB DARK GRAY METAL CANOPY
PROPOSED NEW RTU SCREENED BY PARAPET
STATUARY BRONZE METAL COPING
PAINTED STUCCO
PROPOSED ROOF LINE @ ADDITION 5'-6" PARAPET TO RECEIVE STUCCO ON BOTH SIDES
WALL PACK RE: PHOTOMETRIC (TYP.)
66' - 6"
29' - 3"
6' - 6"
24' - 2"
33' - 9"
PROJECTION
PARAPET

EXTERIOR ELEVATION - WEST 2

1/8" = 1'-0"


TOP OF PARAPET
18' - 6"
LOWER PARAPET
15' - 6"
EXISTING ROOF LINE SIDING PARAPET TO BE SCREENED BY METAL ON EXTERIOR SIDE
CEILING
9' - 0"
FIRST FLOOR
0' - 0"
PAINT EXISTING BRACKETS DARK GRAY
METAL SLAT FRAMED SCREENING
STATUARY BRONZE METAL COPING
PAINT EXISTING STONE
EXISTING RTU SCREENED BY EXISTING PARAPET
WALL PACK RE: PHOTOMETRIC (TYP.)
PAINTED EXISTING SIDING TO MATCH STUCCO
EXISTING RTUS SCREENED BY EXISTING PARAPET
PAINTED STUCCO
60' - 5"
6' - 7"
PROJECTION
15' - 2"
13' - 10"
PARAPET

EXTERIOR ELEVATION - EAST 1

FACES R.O.W. S GOLIAD ST. 1/8" = 1'-0"

SOUTH ELEVATION-SECONDARY FACADE		
NEW METAL COPING	22.53 SF	1.9%
NEW METAL CANOPY	3.56 SF	1.7%
NEW PAINTED STUCCO	373.5 SF	33%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	22.75 SF	1.9%
EXISTING SIDING-PAINTED	670.73 SF	61%
TOTAL	1098.54 SF	100%

NORTH ELEVATION-PRIMARY FACADE		
NEW METAL COPING	10.53 SF	1.1%
NEW METAL CANOPY	15.14 SF	1.6%
NEW PAINTED STUCCO	176.3 SF	20.9%
EXISTING WOOD BRACKETS- PAINTED	9.15 SF	1.2%
NEW METAL SLAT SCREENING	350.92 SF	41.9%
EXISTING SIDING-PAINTED	140.69 SF	16.9%
EXISTING STONE-PAINTED	44.62 SF	5.2%
EXISTING GLAZING	52.46 SF	6.1%
NEW GLAZING	42.76 SF	5.1%
TOTAL	842.57 SF	100%

WEST ELEVATION-SECONDARY FACADE		
NEW METAL COPING	30.46 SF	2.6%
NEW METAL CANOPY	26.72 SF	2.3%
NEW PAINTED STUCCO	718.77 SF	62%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	155.87 SF	13.4%
EXISTING SIDING-PAINTED	24.39 SF	2.1%
NEW GLAZING	204.78 SF	17.1%
TOTAL	1,166.46 SF	100%

EAST ELEVATION-PRIMARY FACADE		
NEW METAL COPING	30.46 SF	2.6%
NEW PAINTED STUCCO	170.46 SF	14.1%
EXISTING WOOD BRACKETS-PAINTED	22.81 SF	2%
NEW METAL SLAT SCREENING	410.48 SF	34%
EXISTING SIDING-PAINTED	185.24 SF	15.3%
EXISTING STONE-PAINTED	317.38 SF	26.3%
EXISTING GLAZING	69.17 SF	5.7%
TOTAL	1206 SF	100%

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11 day of May, 2021.

WITNESS OUR HANDS, this 11 day of May, 2021.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

MATERIAL INDEX

Statuary Bronze	METAL COPING COLOR: STATUARY BRONZE FINISH: MATTE
	EXTRUDECK METAL CANOPY COLOR: DARK GREY FINISH: MATTE
	PAINTED STUCCO COLOR: WHITE DOVE FINISH: MATTE
	PAINTED EXISTING BRACKETS COLOR: BLACK FINISH: MATTE
	ALUMINUM SLAT SCREEN COLOR: WALNUT FINISH: MATTE
	EXISTING SIDING - PAINTED TO MATCH STUCCO COLOR: WHITE DOVE FINISH: MATTE
	EXISTING STONE - PAINTED COLOR: EVENING DOVE FINISH: MATTE

CASE NUMBER: SP2021-013

METHOD architecture
1919 MCKINNEY AVE, SUITE 2011
DALLAS, TEXAS 75201
(469) 640 - 6331

REVISIONS:
1 05-04-21 SITE SUBMISSION REV. 1

TBAE
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION - REGISTERED ARCHITECT

ROTARY CLUB
ROCKWALL
408 S GOLIAD ST.
ROCKWALL, TX 75087

PM: DH DE: AJ
PROJECT:
MB205016
SHEET:
A3.01
BUILDING ELEVATIONS

PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.

C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
H. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING:
a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
iv. IRON SULPHATE - 2 LBS. PER CU. YD.
5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCHING NEAR EXISTING TREES:
a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
a. 1"-2" TREES — TWO STAKES PER TREE
b. 2-1/2"-4" TREES — THREE STAKES PER TREE
c. TREES OVER 4" CALIPER — GUY AS NEEDED
d. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
e. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

F. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

G. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

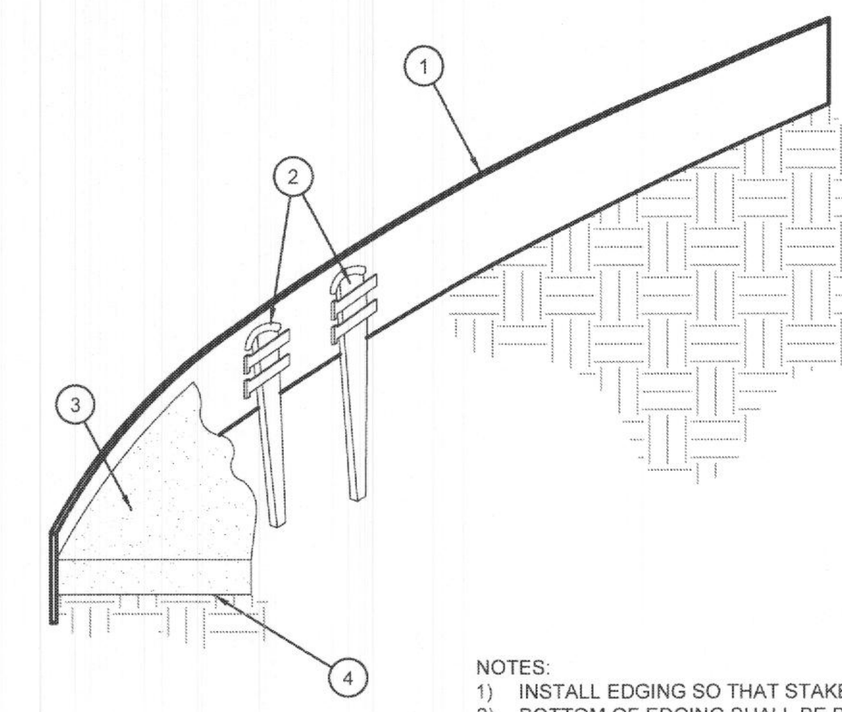
H. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

I. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

J. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES,REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

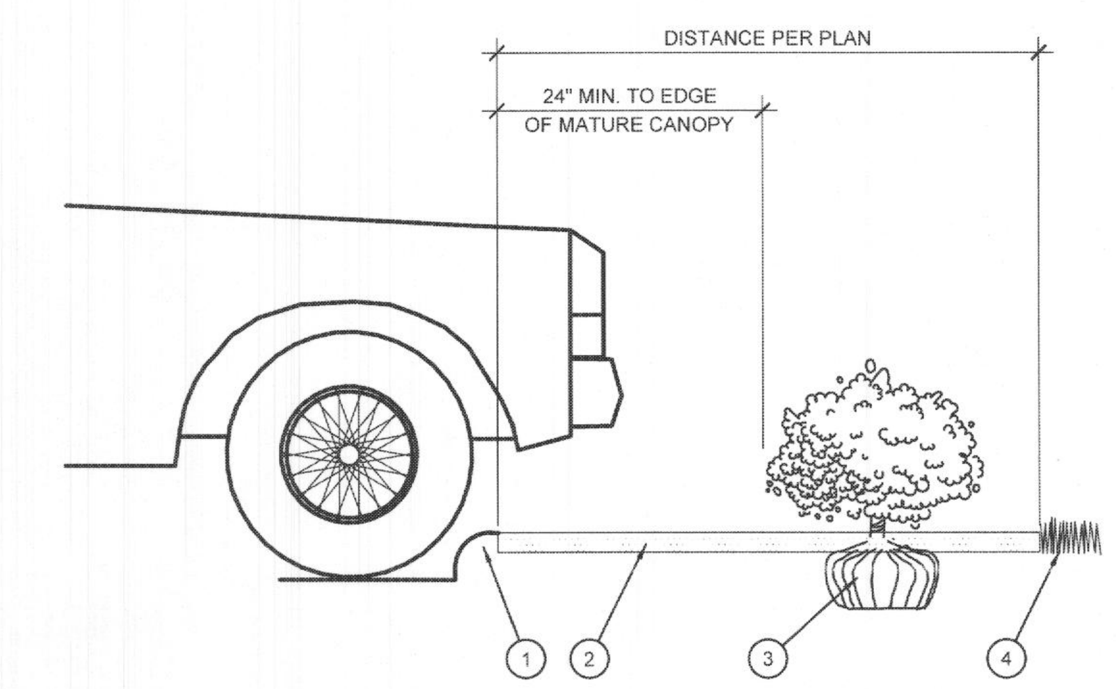
L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

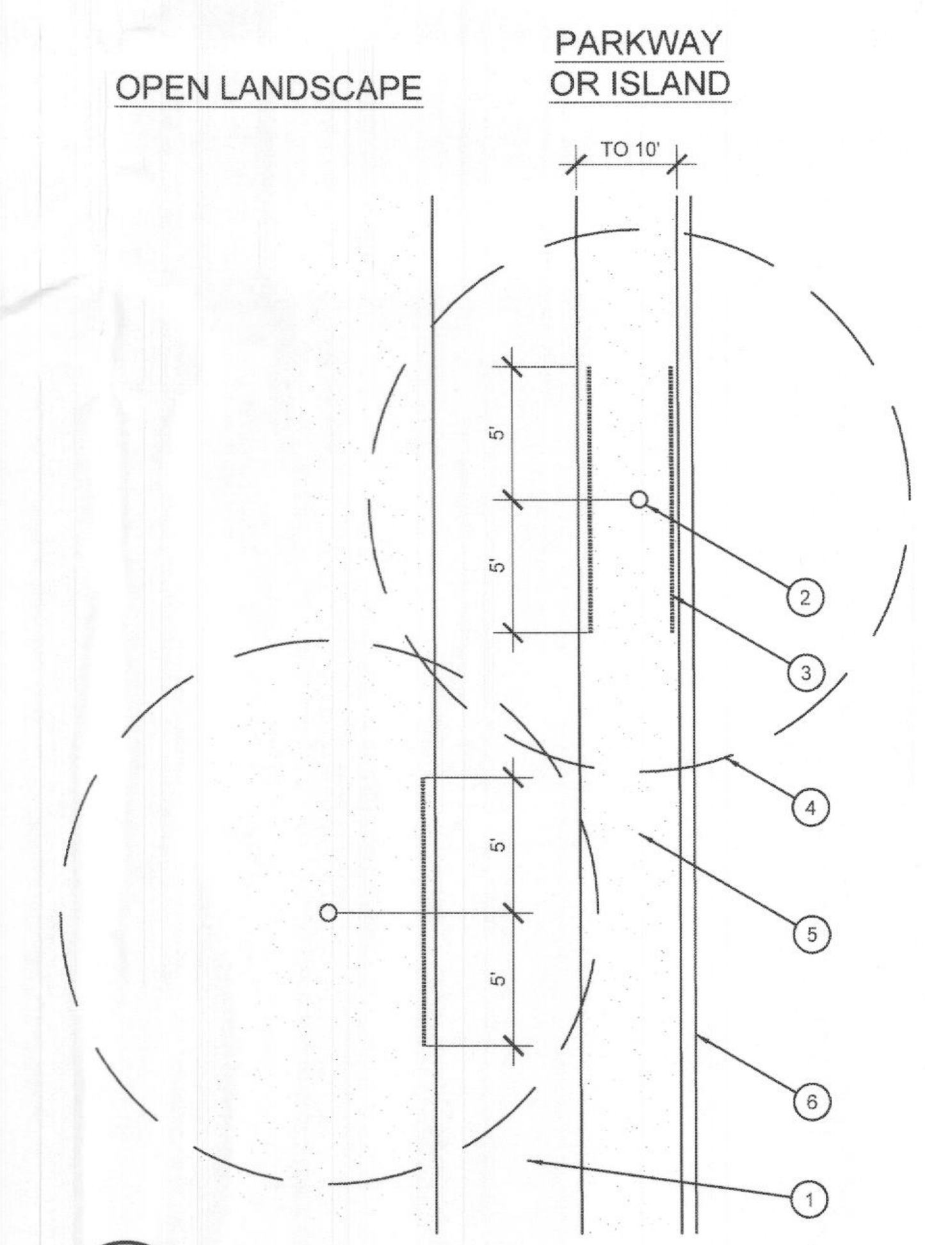
NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D — STEEL EDGING
SCALE: NOT TO SCALE



1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

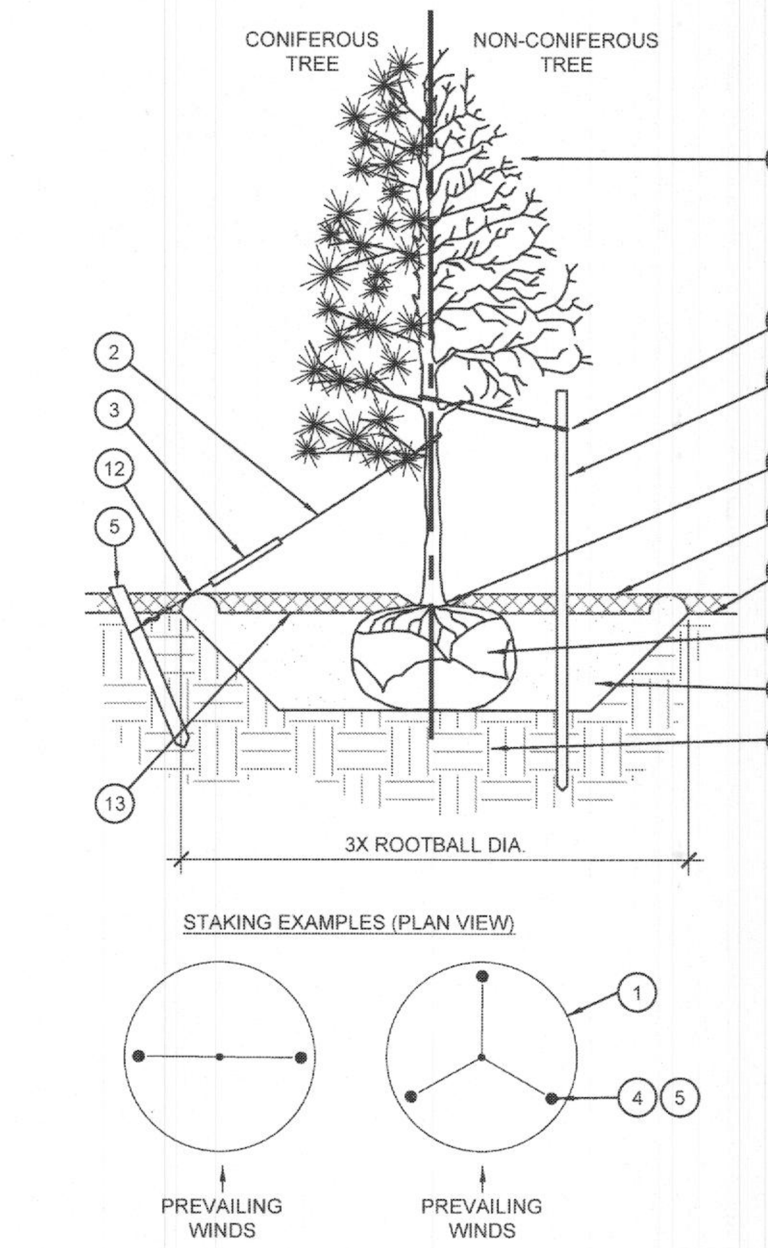
E — PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



1. TYPICAL WALKWAY OR PAVING
2. TREE TRUNK
3. LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
4. TREE CANOPY
5. TYPICAL PLANTING AREA
6. TYPICAL CURB AND GUTTER

NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

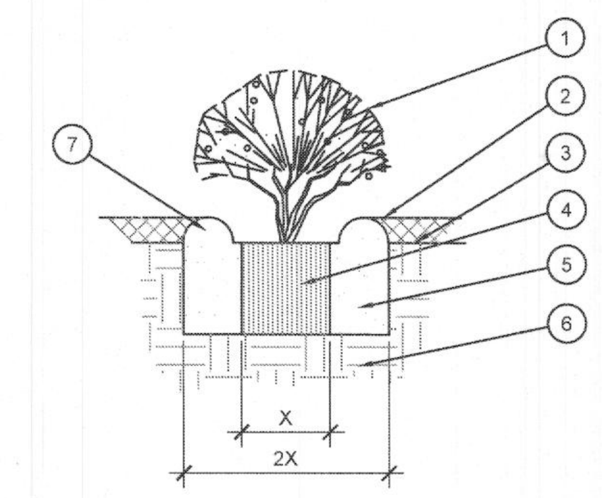
F — ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



1. TREE CANOPY.
2. CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.
13. FINISH GRADE.

NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A — TREE PLANTING
SCALE: NOT TO SCALE



1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.

B — SHRUB AND PERENNIAL PLANTING
SCALE: NTS

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11 day of May, 2021.

WITNESS OUR HANDS, this 11 day of May, 2021.

Planning & Zoning Commission, Chairman — Director of Planning and Zoning

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT — DARCY R BRANDON — 3423 — STATE OF TEXAS
05/11/2021

Owner: Rockwall Rotary Foundation, 408 S. Goliad Street, Rockwall, TX 75086

Project Name: Rockwall Rotary Foundation, 408 S. Goliad Street, Rockwall, TX 75086

Landscape Planting Details & Specs.

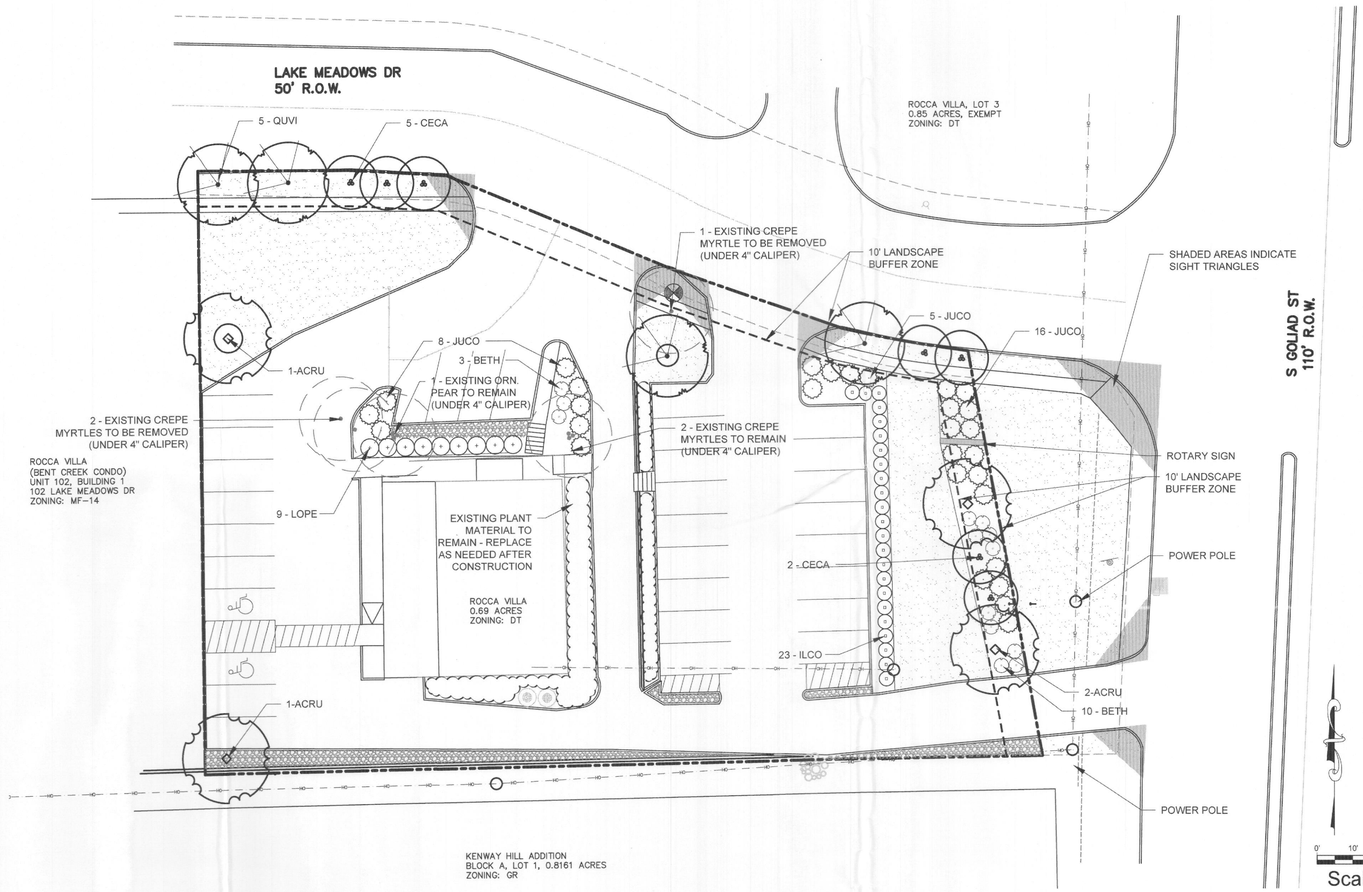
Date	Comment

Project Number	SP2021-013
Date	05/05/2021
Drawn By	DB
Checked By	DB/RM

LP-2

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
   a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
   b. **NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
   c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



0' 10' 20' 40'

Scale 1" = 20'

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
TREES					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	7	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	4	CANOPY TREE

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.

SHRUBS					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	13	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BUFORD HOLLY	5 gallon	23	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	29	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	9	
TURF AND SEED					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	- - -	
	2"-4" Texas River Cobble, 3" Deep, Lay over permeable landscape fabric				

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM O F 1" IN HEIGHT AS DETERMINED BY THE CITY.

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL	
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
S. GOLIAD ST. - ±116' STREET FRONTAGE:	2 CANOPY TREES, 2 ACCENT TREES REQUIRED 2 MAPLE (CANOPY), 2 REDBUD (ACCENT) PROVIDED
LAKE MEADOWS DR. ±225' STREET FRONTAGE:	5 CANOPY TREES, 5 ACCENT TREES REQUIRED 4 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED UNABLE TO MEET CANOPY REQ. DUE TO SITE CONSTRAINTS
05.02 LANDSCAPE SCREENING	
REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING	HOLLY SHRUBS PLANTED ALONG PARKING SPACES
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT	
TOTAL SITE AREA:	±35,301 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	±7,060 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±10,769 SF (30%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.
PROPOSED PARKING AREA:	±11,824 SF
REQ. PARKING LOT LANDSCAPING:	±591 SF
PROPOSED PARKING LOT LANDSCAPING;	±750 SF (6.3%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED). IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11 day of May, 2021.

WITNESS OUR HANDS, this 11 day of May, 2021.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
DARCY R. BRANNON
3423
STATE OF TEXAS

05/11/2021

Owner
Rockwall Rotary Foundation
408 S. Goliad Street
Rockwall, TX 75086

Project Name
Rockwall Rotary Foundation
408 S. Goliad Street
Rockwall, TX 75086

Landscape Planting Plan

Date	Comment

Project Number	SP2021-013
Date	05/05/2021
Drawn By	DB
Checked By	DB/RM

LP-1

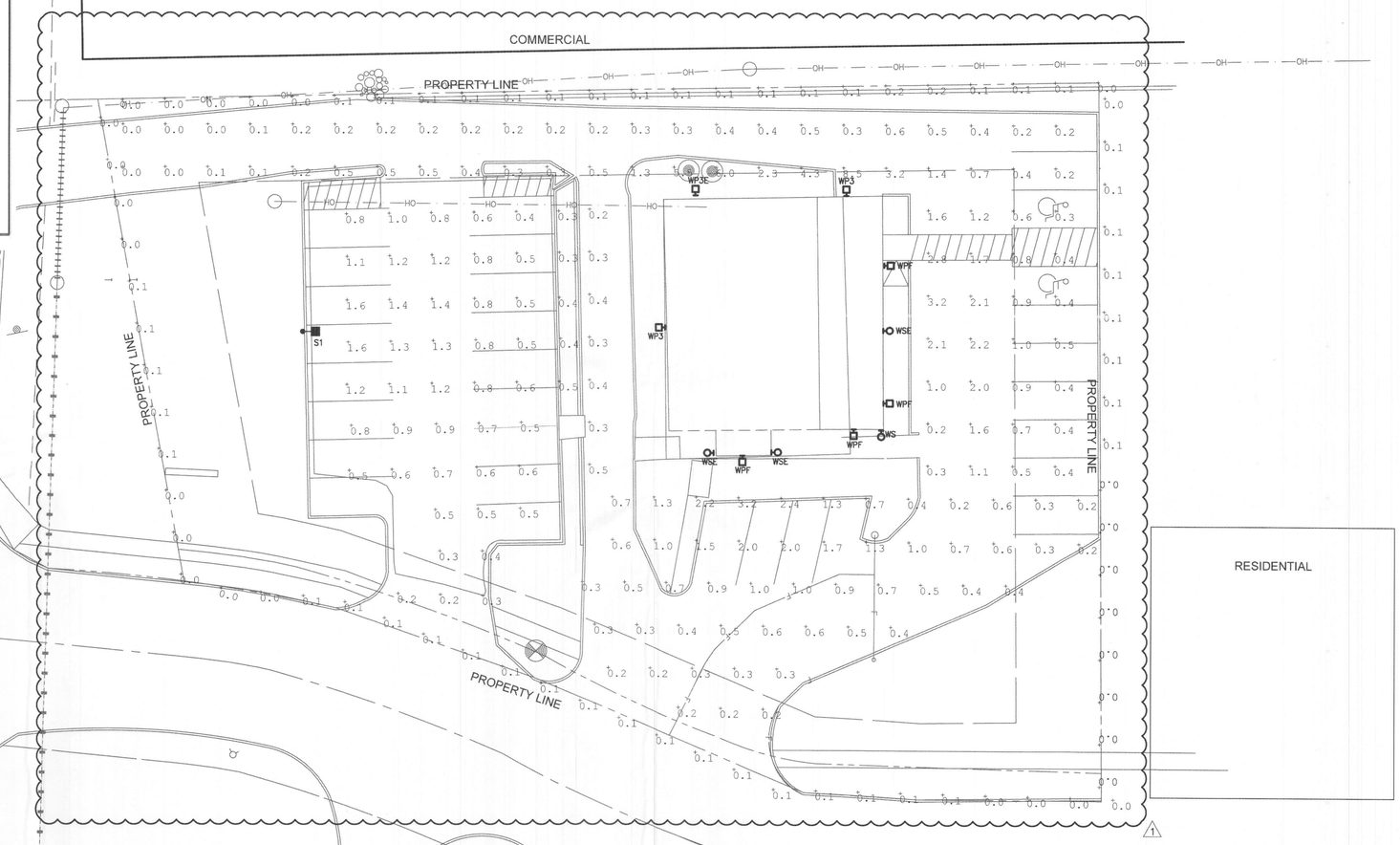
SITE DATA TABLE

EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
BUILDING AREA	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
PARKING	
PARKING REQUIRED	1/200 SF 15 STANDARD STALLS 1 ACCESSIBLE STALLS
PARKING PROVIDED	29 STANDARD SPACES 2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED

EXTERIOR LIGHTING SCHEDULE

FIXTURE TAG	DESCRIPTION:	MANUFACTURER	MODEL NUMBER	NO:	LAMPING TYPE W	LAMPING TYPE L	VOLTAGE	MOUNTING	FINISH	NOTES:
WP3 (WP3E)	LED Exterior Wall Pack	HE Williams	VWPH-L30-740-T3-BLK-CGL-DIM-UNV WP3E = "EM/10WC"	1	36W 4000K	3327L 70CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 7.5' AFF
WPF	LED Exterior Wall Pack	HE Williams	VWPH-L60-740-TFT-BLK-CGL-DIM-UNV	1	69W 4000K	5688L 70CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 14' AFF UON
WS (WSE)	LED Exterior Wall Sconce	Bega	66516 WSE=PROVIDE 90 MIN EM INVERTER	1	21W 4000K	1047L 85CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 6' AFF
S1	LED Pole Light	Lithonia	DSX1 LED P1 40K TFTM MVOLT NLTAIR2 HS SSS20-4C-DM19-DBLXD	1	54W 4000K	8963L 85CRI	120V	Pole	Black	MOUNT AT 20' AFF



STATISTICS					
AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE/PARKING	1.0	8.5	0.2	5.0	43

NORTH

1 SITE PLAN – PHOTOMETRIC
SCALE: 1/16" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 11 day of May, 2021.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

SIMS | ENGINEERING, LLC
13700 PRESTON ROAD | SUITE 660 #164
DALLAS, TEXAS 75230 | 214.295.9578
WWW.SIMSENG.COM | REG.# 20578

METHOD architecture
1919 MCKINNEY AVE, SUITE 2011
DALLAS, TEXAS 75201
(469) 640 - 6331

05-03-21	COMMENT RESPONSE

STATE OF TEXAS
ANNE LAUREN WHITE
126876
LICENSED PROFESSIONAL ENGINEER
05-05-21

ROTARY CLUB
ROCKWALL
408 S GOLIAD ST.
ROCKWALL, TX 75087

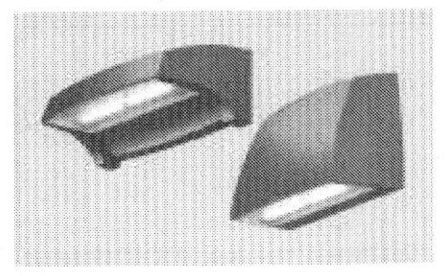
PM: DR:

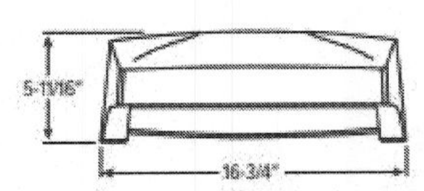
PROJECT:
MB205016

SHEET:
E1.2
SITE PLAN
PHOTOMETRIC

VWP LED Voltaire Architectural Wall Pack

Williams





VWPH Front View
Weight: 15 lbs

CATALOG #:

TYPE:

PROJECT:

FEATURES

- Designed to illuminate sidewalks, entryways, perimeters or facades
- Intended for use in both uplight and downlight applications
- Savings of up to 80% energy compared to HID systems
- Blends seamlessly with a variety of architectural styles
- Made Right Here® in the USA

SPECIFICATIONS

- HOUSING – Die-cast aluminum enclosure.
- THERMAL MANAGEMENT – Integral die-cast aluminum heatsink and LED assembly provide passive thermal management. Rated -30°C to 40°C ambient operating temperature (-20°C to 40°C with EM/10WC; 0°C to 39°C with EM/4W).
- OPTICAL SYSTEM – Precision, injection-molded, refractive acrylic lensing produces standard IES distributions.
- LED ASSEMBLY – ANSI 3000K, 4000K, or 5000K CCT, minimum 70 CRI LEDs.
- LED DRIVER – 0-10V dimming.
- ELECTRICAL – 120-277, 347, and 480 VAC input range; 50-60Hz; power factor >.90; THD <20% at full load. FCC Class A compliant. 10kA/10kV surge protection standard. Quick-disconnect wiring provided. L70 >50,000 hours per IES TM-21.
- FINISH – Super durable polyester powder coat bonded to phosphate-free, multi-stage pretreated metal, meets and exceeds AAMA 2604 specifications for outdoor durability.
- MOUNTING – Surface mounts directly over a 4" maximum outlet box. Must be anchored to adequate structure that can safely support fixture weight (VWPH = 15 lbs, VWPV = 23 lbs).
- LISTINGS –
  - cCSAus certified as luminaire suitable for wet locations.
  - DesignLights Consortium qualified

ORDERING EXAMPLE: VWP H - L30/740 - T3 - DBZ - SDGL - OPTIONS - DIM - UNV

ORDERING INFO

SERIES	TYPE	LUMENS [1]	CRI	CCT	DISTRIBUTION [2]
VWP	H Horizontal V Vertical	L30 3,000lm L60 6,000lm	7 70	30 3000K 40 4000K 50 5000K	T3 Type III TFT Type forward throw

FINISH OPTIONS [3]

- BLK Black (RAL #9004)
- DBZ Dark bronze
- DBR Medium bronze
- GRAY Standard grey
- SLV Satin aluminum (RAL #9006)
- WHT White (RAL #9003)

SHIELDING

- SDGL Micro-prismatic tempered glass lens
- CGL Clear tempered glass lens

OPTIONS

- EM/4W 4-watt integral emergency LED driver [4]
- SF Single fuse [5]
- DF Double fuse [6]
- PC Factory-installed button-style photocell [7]
- HSGX Empty housing extension used to match units with EM, OCC, or conduit entry options.
- TP Tamper-resistant Torx head screws [8]

CONTROL

- DIM Dimming driver prewired for 0-10V controls

VOLTAGE

- 120 120V
- 208 208V
- 240 240V
- 277 277V
- UNV 120-277V
- 347 347V [14]
- 480 480V [15]

CONDUIT ENTRY [9]

- CR Right side conduit entry [10]
- CL Left side conduit entry [11]
- CD Dual conduit entry

VWPH ONLY

- EM/10WC 10-watt emergency LED driver [12]
- OCCWS FSP-311-L_ Factory-installed occupancy sensor [13]

ACCESSORIES

TPTX-25 TOOL Tamper-resistant tool for Torx head screws. [16]

VWP LED Voltaire Architectural Wall Pack

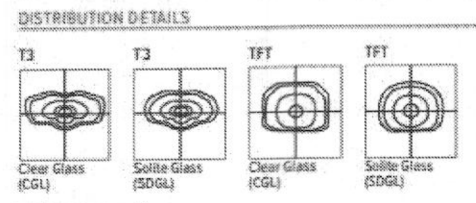
FIXTURE PERFORMANCE DATA

	LED PACKAGE	DISTRIBUTION	WATTAGE	CCT	CLEAR GLASS (CGL) DELIVERED LUMENS	CLEAR GLASS (CGL) EFFICACY (lm/W)	SOLITE GLASS (SDGL) DELIVERED LUMENS	SOLITE GLASS (SDGL) EFFICACY (lm/W)	BUG RATINGS
VWPH	L30	T3	36	3000	3174	88.2	2963	82.3	B1-U0-G1
				4000	3327	92.4	3106	86.3	
				5000	3438	95.5	3209	89.1	
		TFT		3000	2713	75.4	2533	70.4	B1-U0-G1
				4000	2844	79.0	2655	73.8	
				5000	2939	81.6	2743	76.2	
	L60	T3	70	3000	5933	84.8	5887	84.1	B1-U0-G1
				4000	6611	94.4	6172	88.2	
				5000	6831	97.6	6376	91.1	
		TFT		3000	5470	78.1	5065	72.4	B2-U0-G1
				4000	5688	81.3	5309	75.8	
				5000	5876	83.9	5486	78.4	
VWPV	L30	T3	36	3000	3115	86.5	2908	80.8	B1-U0-G1
				4000	3403	94.5	3177	88.3	
				5000	3385	94.0	3160	87.8	
		TFT		3000	2840	78.9	2651	73.6	B2-U0-G1
				4000	3103	86.2	2896	80.4	
				5000	3086	85.7	2881	80.0	
	L60	T3	70	3000	6171	88.2	5813	83.0	B2-U0-G2
				4000	6804	97.2	6351	90.7	
				5000	6767	96.7	6317	90.2	
		TFT		3000	5822	83.2	5126	73.2	B3-U0-G1
				4000	5999	85.7	5600	80.0	
				5000	5967	85.2	5570	79.6	

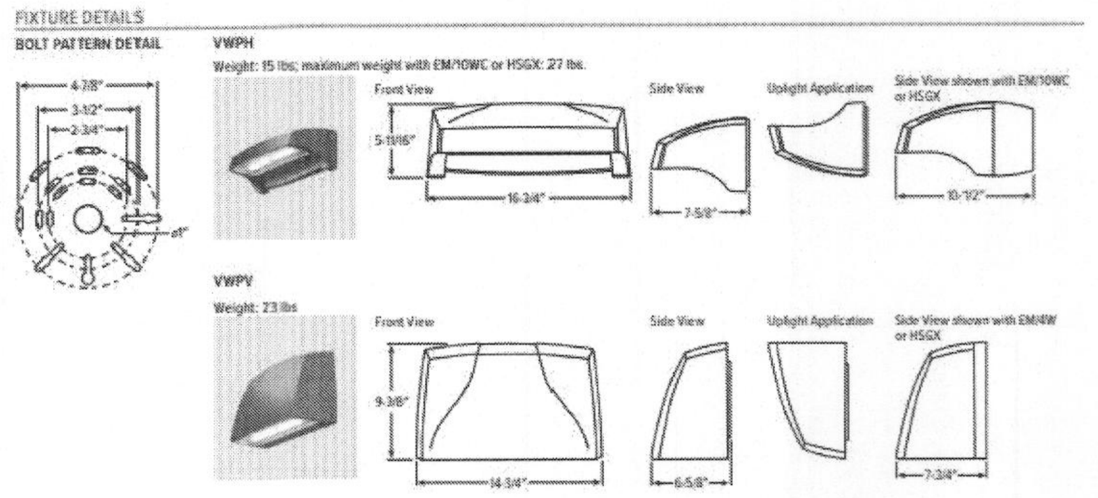
- Photometrics tested in accordance with IESNA LM-79. Results shown are based on 25°C ambient temperature.
- Wattage shown is average for 120V through 277 input.

using extension when specified with conduit
ture depth. Conduit entry provided with 1/2"
hread and plug. Increases fixture height.
e supplied by others. Left and right when
d fixture.
viewed from behind fixture.
viewed from behind fixture.
ncludes housing extension increases fixture
tly; not available with CR and CD options. See
DETAILS.
xtension (increases fixture depth), must
age 3 for OCCUPANCY SENSOR DETAILS.
transformer.
transformer.
tool must be ordered separately. Please
required per project.

DISTRIBUTION DETAILS



FIXTURE DETAILS



Wall luminaire - two-sided narrow beam light distribution **BEGA**

Type:
BEGA Product:
Project:
Modified:

Application
LED wall mounted luminaire with light emission on two sides. The narrow beam light distribution of the luminaire is identical in both directions. Arranged individually or in groups, they are great design elements for a host of lighting applications.

Materials
Luminaire housing and faceplates constructed of extruded and die-cast marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy
Clear safety glass
Reflectors made of pure anodized aluminum
High temperature silicone gaskets
Mechanically captive stainless steel fasteners
Stainless steel helicoils

NRTL listed to North American Standards, suitable for wet locations
Protection class IP 65
Weight: 7.5 lbs

Electrical

Operating voltage	120-277VAC
Minimum start temperature	-40° C
LED module wattage	15.8 W
System wattage	21.0 W
Controllability	0-10V dimmable
Color rendering index	Ra > 80
Luminaire lumens	1,047 lumens (3000K)
LED service life (L70)	60,000 hours

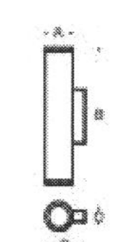
LED color temperature
☐ 4000K - Product number + **K4**
☐ 3500K - Product number + **K35**
☐ 3000K - Product number + **K3**
☐ 2700K - Product number + **K27**
☐ Amber - Product number + **AMB**

Wildlife friendly amber LED - Optional
Luminaire is optionally available with a narrow bandwidth, amber LED source (585-600nm) approved by the FWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

LED module wattage	18.0 W (Amber)
System wattage	22.5 W (Amber)
Luminaire lumens	384 lumens (Amber)

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.
Available colors ☐ Black (BLK) ☐ White (WHT) ☐ RAL:
☐ Bronze (BRZ) ☐ Silver (SLV) ☐ CUS:

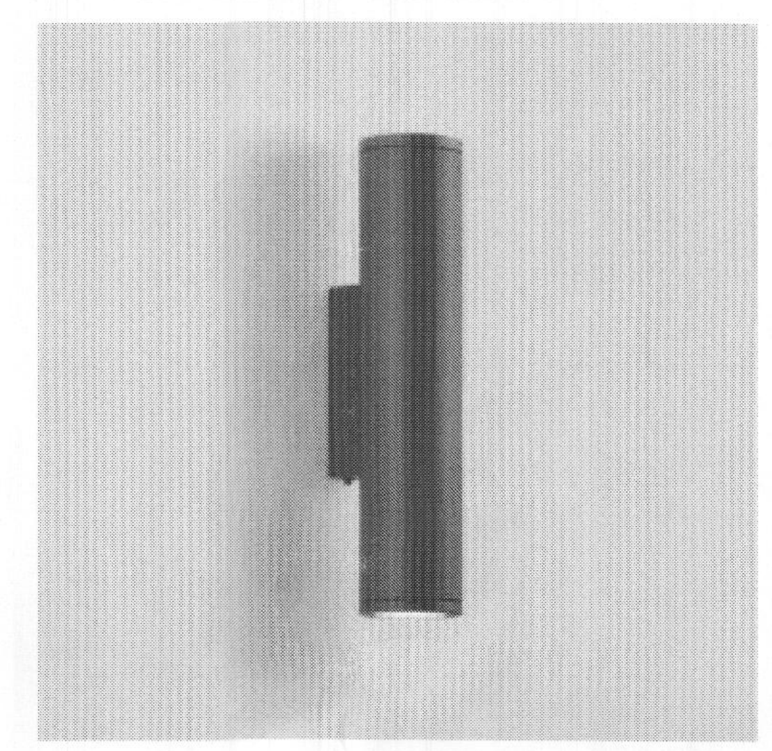


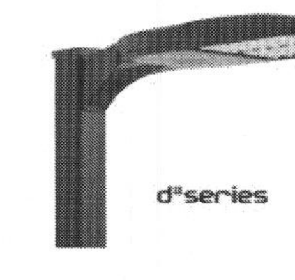
Wall luminaire - two-sided narrow beam light distribution

	LED	β	A	B	C	D	Required wiring box
66 516	15.8 W	20°	4 3/4	19 5/8	6 3/8	1 5/8	**19 537**

β = Beam angle

Available Accessories
☐ **79 547** Surface mounted wiring box
See individual accessory spec sheet for details.



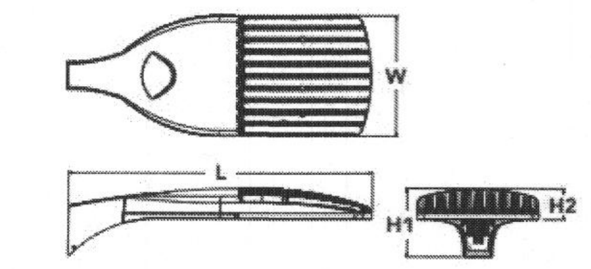


D-Series Size 1
LED Area Luminaire

Catalog Number
Notes
Type

Specifications

EPA:	1.01 ft²
Length:	33"
Width:	13"
Height H1:	7-1/2"
Height H2:	3-1/2"
Weight (max):	27 lbs



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED

Series	LEDs	Color temperature	Distribution		Voltage	Mounting
DSX1 LED	**Forward optics** P1 P4 [1] P7 [1] P2 P5 [1] P8 P3 P6 [1] P9 [1] **Rotated optics** P10 [1] P12 [1] P11 [1] P13 [1,2]	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium	T5VS Type V very short [3] T5S Type V short [3] T5M Type V medium [3] T5W Type V wide [3] BLC Backlight control [4] LCCO Left corner cutoff [4] RCCO Right corner cutoff [4]	MVOLT [5] XVOLT (277V-480V) [6,7,8] 120 [9] 208 [9] 240 [9] 277 [9] 347 [9] 480 [9]	**Shipped included** SPA Square pole mounting RPA Round pole mounting [6] WBA Wall bracket [3] SPUMBA Square pole universal mounting adaptor [11] RPUMBA Round pole universal mounting adaptor [3] **Shipped separately** KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) [12]

Control options		Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled [13] PIRHN Network, high/low motion/ambient sensor [14] PER NEMA twist-lock receptacle only (controls ordered separate) [15] PER5 Five-pin receptacle only (controls ordered separate) [15,16] PER7 Seven-pin receptacle only (controls ordered separate) [15,16]	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc [20,21] PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc [20,21] PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc [20,21] PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height,	**Shipped installed** HS House-side shield [22] SF Single fuse (120, 277, 347V) [8] DF Double fuse (208, 240, 480V) [8] L90 Left rotated optics [2] R90 Right rotated optics [2]	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

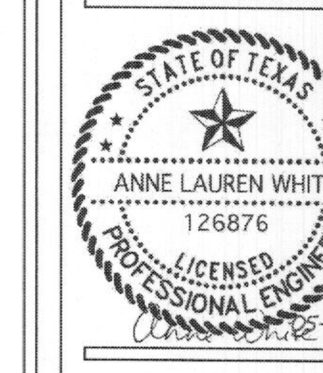
Forward Optics

LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K Lumens	30K B	30K U	30K G	30K LPW	40K Lumens	40K B	40K U	40K G	40K LPW	50K Lumens	50K B	50K U	50K G	50K LPW
30	530	P1	54W	T1S	6,457	2	0	2	120	6,956	2	0	2	129	7,044	2	0	2	130
				T2S	6,450	2	0	2	119	6,949	2	0	2	129	7,037	2	0	2	130
				T2M	6,483	1	0	1	120	6,984	2	0	2	129	7,073	2	0	2	131
				T3S	6,279	2	0	2	116	6,764	2	0	2	125	6,850	2	0	2	127
				T3M	6,468	1	0	2	120	6,967	1	0	2	129	7,056	1	0	2	131
				T4M	6,327	1	0	2	117	6,816	1	0	2	126	6,902	1	0	2	128
				TFTM	6,464	1	0	2	120	6,963	1	0	2	129	7,051	1	0	2	131
				T5VS	6,722	2	0	0	124	7,242	3	0	0	134	7,334	3	0	0	136
				T5S	6,728	2	0	1	125	7,248	2	0	1	134	7,340	2	0	1	136
				T5M	6,711	3	0	1	124	7,229	3	0	1	134	7,321	3	0	2	136
				T5W	6,667	3	0	2	123	7,182	3	0	2	133	7,273	3	0	2	135
				BLC	5,299	1	0	1	98	5,709	1	0	2	106	5,781	1	0	2	107
				LCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80
				RCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80
30	700	P2	70W	T1S	8,249	2	0	2	118	8,886	2	0	2	127	8,999	2	0	3	129
				T2S	8,240	2	0	2	118	8,877	2	0	2	127	8,989	2	0	2	128
				T2M	8,283	2	0	2	118	8,923	2	0	3	127	9,036	2	0	2	129
				T3S	8,021	2	0	2	115	8,641	2	0	2	123	8,751	2	0	2	125
				T3M	8,263	2	0	2	118	8,901	2	0	2	127	9,014	2	0	2	129
				T4M	8,083	2	0	2	115	8,708	2	0	2	124	8,818	2	0	2	126
				TFTM	8,257	2	0	2	118	8,896	2	0	2	127	9,008	2	0	2	129
				T5VS	8,588	3	0	0	123	9,252	3	0	0	132	9,369	3	0	0	134
				T5S	8,595	3	0	1	123	9,259	3	0	1	132	9,376	3	0	1	134
				T5M	8,573	3	0	2	122	9,236	3	0	2	132	9,353	3	0	2	134
				T5W	8,517	3	0	2	122	9,175	4	0	2	131	9,291	4	0	2	133
				BLC	6,770	1	0	2	97	7,293	1	0	2	104	7,386	1	0	2	106
				LCCO	5,038	1	0	2	72	5,427	1	0	2	78	5,496	1	0	2	79
				RCCO	5,038	1	0	2	72	5,427	1	0	2	78	5,496	1	0	2	79
30	1050	P3	102W	T1S	11,661	2	0	2	114	12,562	3	0	3	123	12,721	3	0	3	125
				T2S	11,648	2	0	2	114	12,548	3	0	3	123	12,707	3	0	3	125
				T2M	11,708	2	0	2	115	12,613	2	0	2	124	12,773	2	0	2	125
				T3S	11,339	2	0	2	111	12,215	3	0	3	120	12,370	3	0	3	121
				T3M	11,680	2	0	2	115	12,582	2	0	2	123	12,742	2	0	2	125
				T4M	11,426	2	0	3	112	12,309	2	0	3	121	12,465	2	0	3	122
				TFTM	11,673	2	0	2	114	12,575	2	0	3	123	12,734	2	0	3	125
				T5VS	12,140	3	0	1	119	13,078	3	0	1	128	13,244	3	0	1	130
				T5S	12,150	3	0	1	119	13,089	3	0	1	128	13,254	3	0	1	130
				T5M	12,119	4	0	2	119	13,056	4	0	2	128	13,221	4	0	2	130
				T5W	12,040	4	0	3	118	12,970	4	0	3	127	13,134	4	0	3	129
				BLC	9,570	1	0	2	94	10,310	1	0	2	101	10,440	1	0	2	102
				LCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76
				RCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76
30	1250	P4	125W	T1S	13,435	3	0	3	107	14,473	3	0	3	116	14,657	3	0	3	117
				T2S	13,421	3	0	3	107	14,458	3	0	3	116	14,641	3	0	3	117
				T2M	13,490	2	0	2	108	14,532	3	0	3	116	14,716	3	0	3	118
				T3S	13,064	3	0	3	105	14,074	3	0	3	113	14,252	3	0	3	114
				T3M	13,457	2	0	2	108	14,497	2	0	2	116	14,681	2	0	2	117
				T4M	13,165	2	0	3	105	14,182	2	0	3	113	14,362	2	0	3	115
				TFTM	13,449	2	0	3	108	14,488	2	0	3	116	14,672	2	0	3	117
				T5VS	13,987	4	0	1	112	15,068	4	0	1	121	15,259	4	0	1	122
				T5S	13,999	3	0	1	112	15,080	3	0	1	121	15,271	3	0	1	122
				T5M	13,963	4	0	2	112	15,042	4	0	2	120	15,233	4	0	2	122
				T5W	13,872	4	0	3	111	14,944	4	0	3	120	15,133	4	0	3	121
				BLC	11,027	1	0	2	88	11,879	1	0	2	95	12,029	1	0	2	96
				LCCO	8,205	1	0	3	66	8,839	1	0	3	71	8,951	1	0	3	72
				RCCO	8,205	1	0	3	66	8,839	1	0	3	71	8,951	1	0	3	72
30	1400	P5	138W	T1S	14,679	3	0	3	106	15,814	3	0	3	115	16,014	3	0	3	116
				T2S	14,664	3	0	3	106	15,797	3	0	3	114	15,997	3	0	3	116
				T2M	14,739	3	0	3	107	15,878	3	0	3	115	16,079	3	0	3	117
				T3S	14,274	3	0	3	103	15,377	3	0	3	111	15,572	3	0	3	113
				T3M	14,704	2	0	3	107	15,840	3	0	3	115	16,040	3	0	3	116
				T4M	14,384	2	0	3	104	15,496	3	0	3	112	15,692	3	0	3	114
				TFTM	14,695	2	0	3	106	15,830	3	0	3	115	16,030	3	0	3	116
				T5VS	15,283	4	0	1	111	16,464	4	0	1	119	16,672	4	0	1	121
				T5S	15,295	3	0	1	111	16,477	4	0	1	119	16,686	4	0	1	121
				T5M	15,257	4	0	2	111	16,435	4	0	2	119	16,644	4	0	2	121
				T5W	15,157	4	0	3	110	16,328	4	0	3	118	16,534	4	0	3	120
				BLC	12,048	1	0	2	87	12,979	1	0	2	94	13,143	1	0	2	95
				LCCO	8,965	1	0	3	65	9,657	1	0	3	70	9,780	1	0	3	71
				RCCO	8,965	1	0	3	65	9,657	1	0	3	70	9,780	1	0	3	71

SIMS | ENGINEERING, LLC
11700 PRESTON ROAD | SUITE 660 #194
DALLAS, TEXAS 75230 | 214.295.9571
WWW.SIMSENG.COM | REG.# 10571

METHOD architecture
1919 MCKINNEY AVE, SUITE 2011
DALLAS, TEXAS 75201
(469) 640 - 6331

1	05-03-21	COMMENT RESPONSE

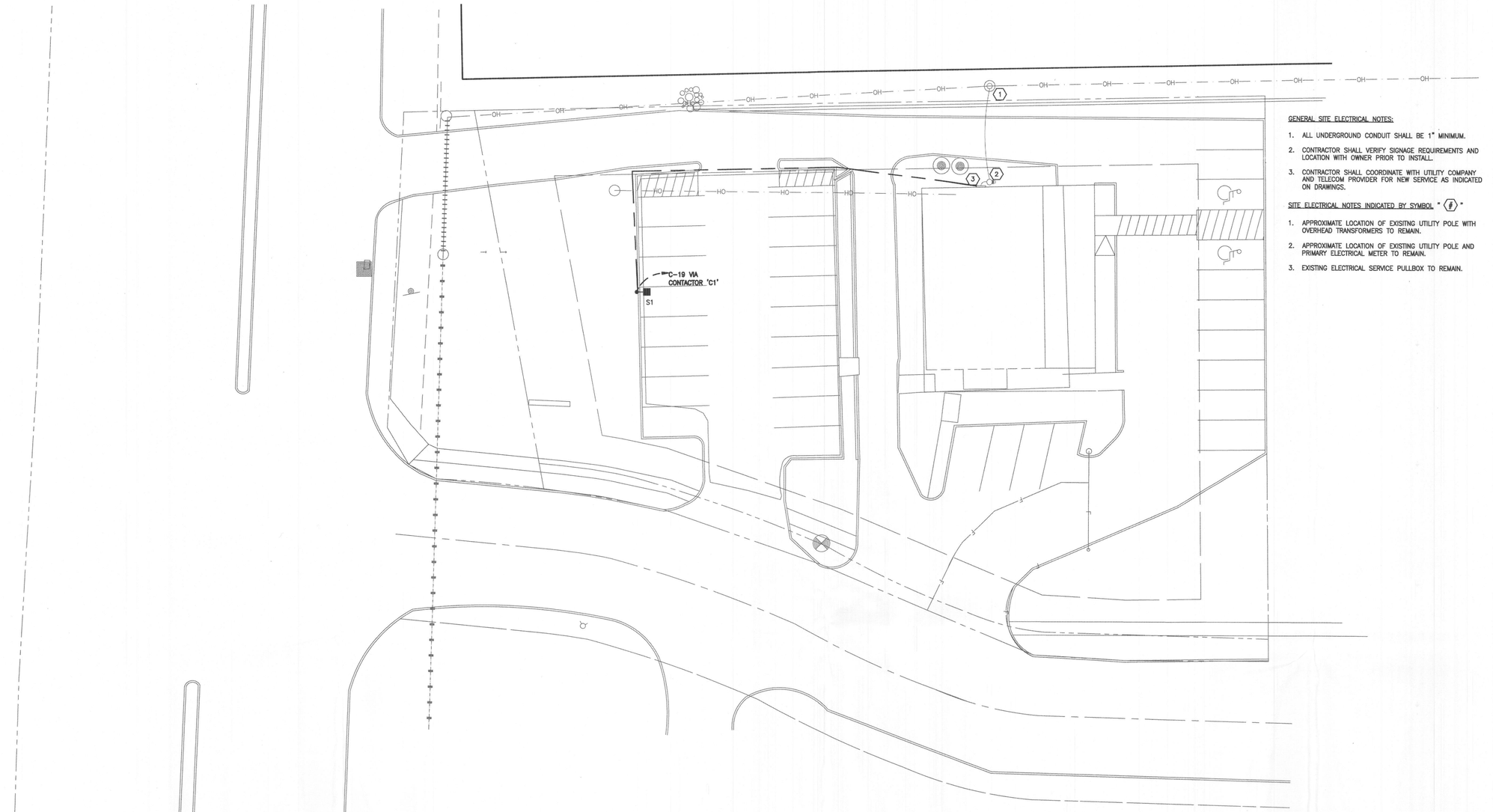


ROTARY CLUB
ROCKWALL
408 S GOLIAD ST.
ROCKWALL, TX 75087

PM: DR:

PROJECT:
MB205016

SHEET:
E1.3 1
LIGHTING CUTSHEETS



GENERAL SITE ELECTRICAL NOTES:

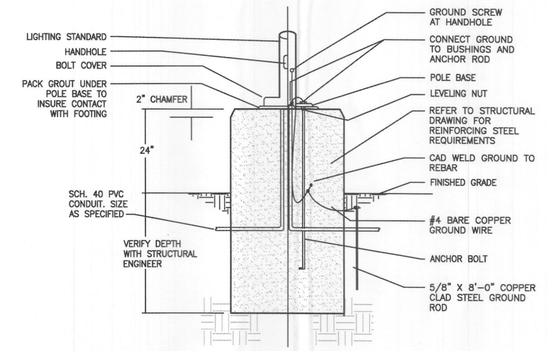
1. ALL UNDERGROUND CONDUIT SHALL BE 1" MINIMUM.
2. CONTRACTOR SHALL VERIFY SIGNAGE REQUIREMENTS AND LOCATION WITH OWNER PRIOR TO INSTALL.
3. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY AND TELECOM PROVIDER FOR NEW SERVICE AS INDICATED ON DRAWINGS.

SITE ELECTRICAL NOTES INDICATED BY SYMBOL " (#) "

1. APPROXIMATE LOCATION OF EXISITNG UTILITY POLE WITH OVERHEAD TRANSFORMERS TO REMAIN.
2. APPROXIMATE LOCATION OF EXISTING UTILITY POLE AND PRIMARY ELECTRICAL METER TO REMAIN.
3. EXISTING ELECTRICAL SERVICE PULLBOX TO REMAIN.

NORTH

1 SITE PLAN – ELECTRICAL
SCALE: 1/16" = 1'-0"



2 POLE BASE DETAIL
SCALE: NONE

SIMS | ENGINEERING, LLC
11700 PRESTON ROAD | SUITE 660 #104
DALLAS, TEXAS 75230 | 214.295.5571
WWW.SIMSENG.COM | REG.# 10574

METHOD architecture
1919 MCKINNEY AVE, SUITE 2011
DALLAS, TEXAS 75201
(469) 640 - 6331

1	05-03-21 COMMENT RESPONSE

STATE OF TEXAS
ANNE LAUREN WHITE
126876
LICENSED PROFESSIONAL ENGINEER
05-03-21

ROTARY CLUB
ROCKWALL
408 S GOLIAD ST.
ROCKWALL, TX 75087

PM: DR:

PROJECT:
MB205016

SHEET
E1.1
SITE PLAN ELECTRICAL
1