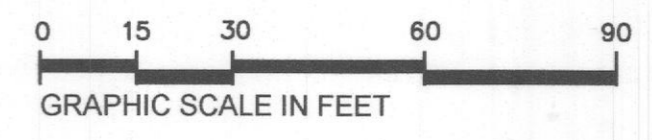


REVISIONS:

1	P&Z COMMENTS #1	12.01.20
2	SITE APPROVAL	04.09.21
3	SITE APPROVAL	05.03.21

01 FIBER FACILITY SITE PLAN  
SCALE: 1" = 30'-0"



**STANDARD SITE PLAN WORDING**  
City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

**SITE PLAN SIGNATURE BLOCK**

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Department of the City of Rockwall on the 13<sup>th</sup> day of May, 2021.

WITNESS OUR HANDS, this 14<sup>th</sup> day of May, 2021

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

**SITE LEGEND**

- FIRELANE PER CITY STANDARDS
- CONC WALK w/2% MAX CROSS SLOPE
- SPECIAL PAVING
- PARKING SPOT COUNTED

NOTE: ALL PAVING PER ROCKWALL CITY STANDARDS

2015 INTERNATIONAL BUILDING CODE (IBC) AND LOCAL CODE AMENDMENTS	
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	
2015 INTERNATIONAL FIRE CODE (IFC) AND LOCAL CODE AMENDMENTS	
2014 NATIONAL ELECTRIC CODE (NEC)	
2015 INTERNATIONAL MECHANICAL CODE (IMC)	
2015 INTERNATIONAL PLUMBING CODE (IPC)	
<b>IMPROVEMENT AREA</b>	
FIRST FLOOR OFFICE	4,000 SF
FIRST FLOOR LT. ASSEMBLY	30,320 SF
MEZZANINE LT. ASSEMBLY	8,000 SF
WAREHOUSE	13,440 SF
<b>TOTAL IMPROVEMENT AREA</b>	<b>55,760 SF</b>
PARKING REQUIRED - OFFICE (4,000 SF @ 1:300 SF)	= 13.3 SPACES
PARKING REQUIRED - FIBER ASSEMBLY (38,320 SF @ 1:500 SF)	= 76.64 SPACES
PARKING REQUIRED - WAREHOUSE (13,440 SF @ 1:1,000 SF)	= 13.44 SPACES
<b>TOTAL PARKING REQUIRED</b>	<b>102 SPACES</b>
<b>TOTAL REQUIRED ACCESSIBLE PARKING STALLS</b>	<b>4 SPACES</b>
<b>TOTAL PARKING PROVIDED</b>	<b>102 SPACES</b>
<b>TOTAL PROVIDED ACCESSIBLE PARKING STALLS</b>	<b>4 SPACES</b>
PROPOSED USE	OFFICE & FACTORY
TYPE OF CONSTRUCTION	TYPE IIB
SPRINKLER SYSTEM	ESFR
OCCUPANCY	GROUP B & F-1

MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C.



PROJECT NO: 20-205  
DATE: 04.09.2021  
DRAWN BY: DBC  
CHECKED BY: DDM  
SHEET: SITE PLAN

REVISIONS		
1	P&Z COMMENTS #1	12.01.20
2	SITE APPROVAL	04.09.21
3	SITE APPROVAL	05.03.21

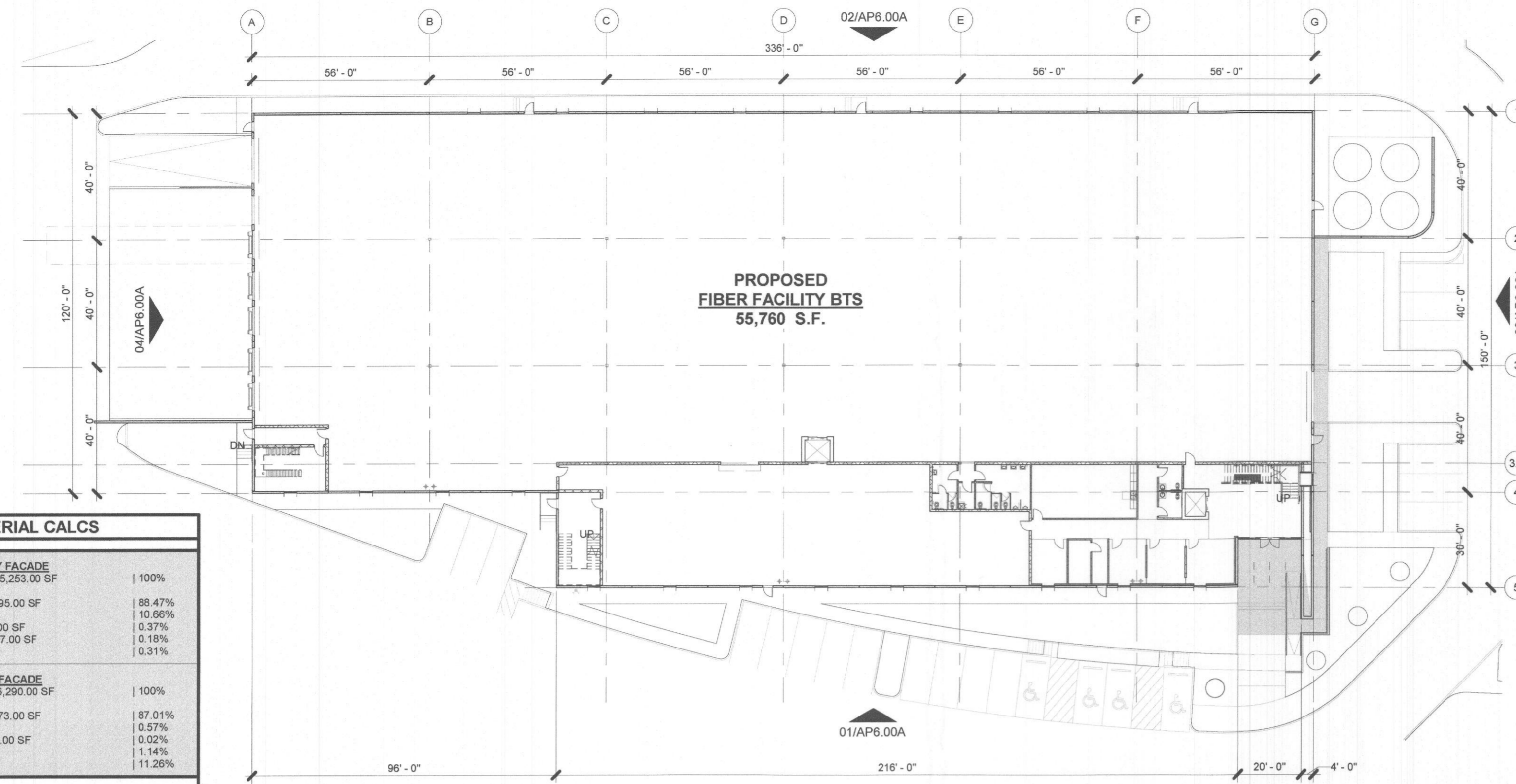
**CHANNELL CAMPUS IMPROVEMENTS**  
 ROCKWALL, TEXAS  
 1600 JUSTIN ROAD

MEINHARDT & ASSOCIATES  
 ARCHITECTS, P.L.L.C.  
5000 DALY ROAD  
 SUITE 100  
 DALLAS TEXAS 75244  
 972.960.9600



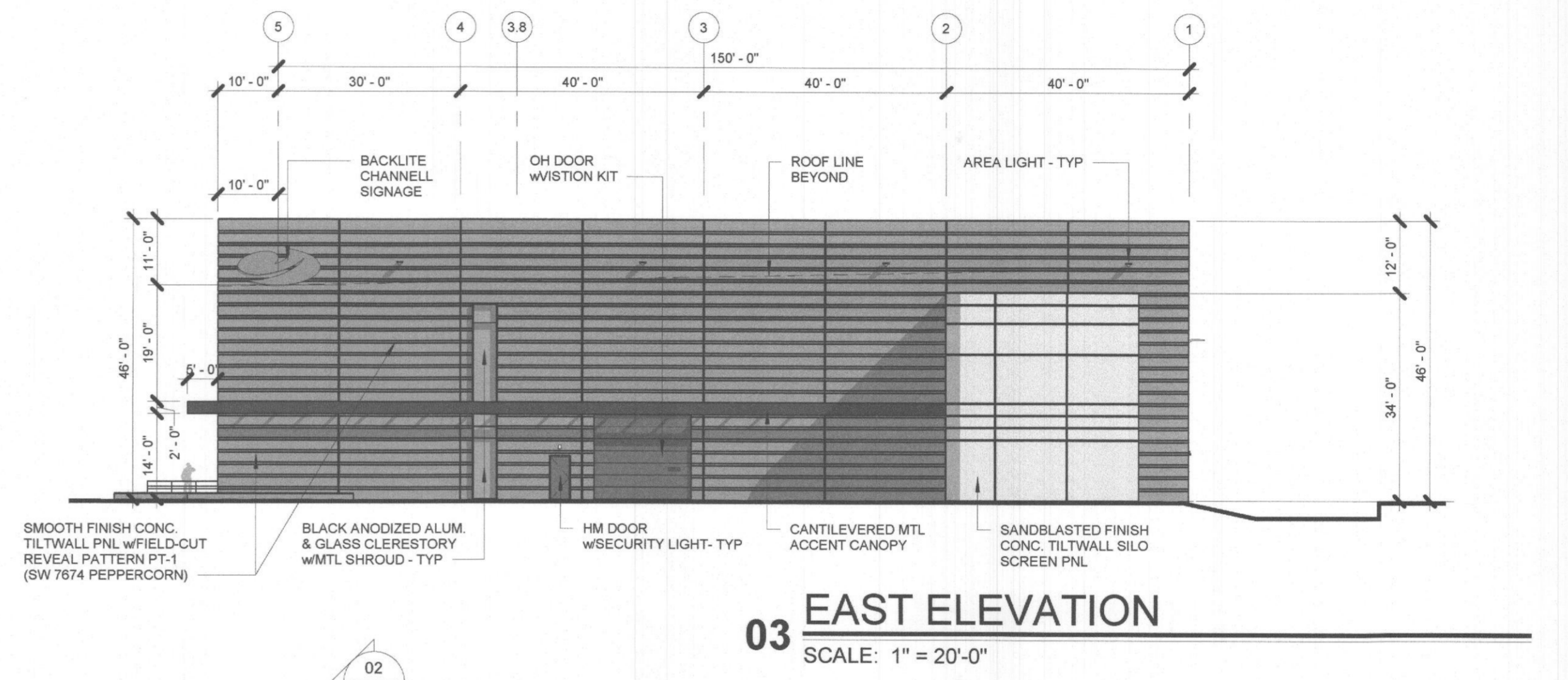
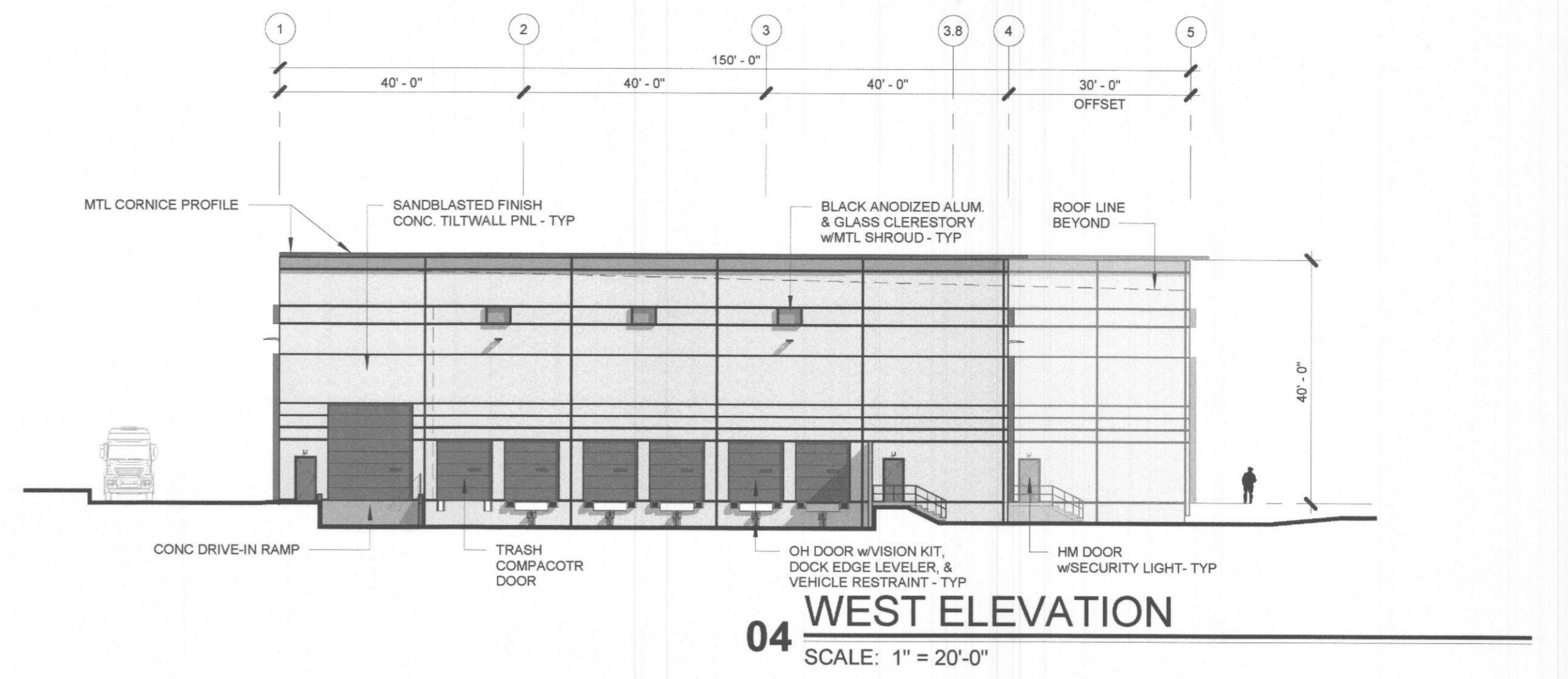
PROJECT NO: 20-205  
 DATE: 04.09.2021  
 DRAWN BY: DBC  
 CHECKED BY: DDM  
 SHEET: P&Z ELEVATIONS

**AP6.00A**

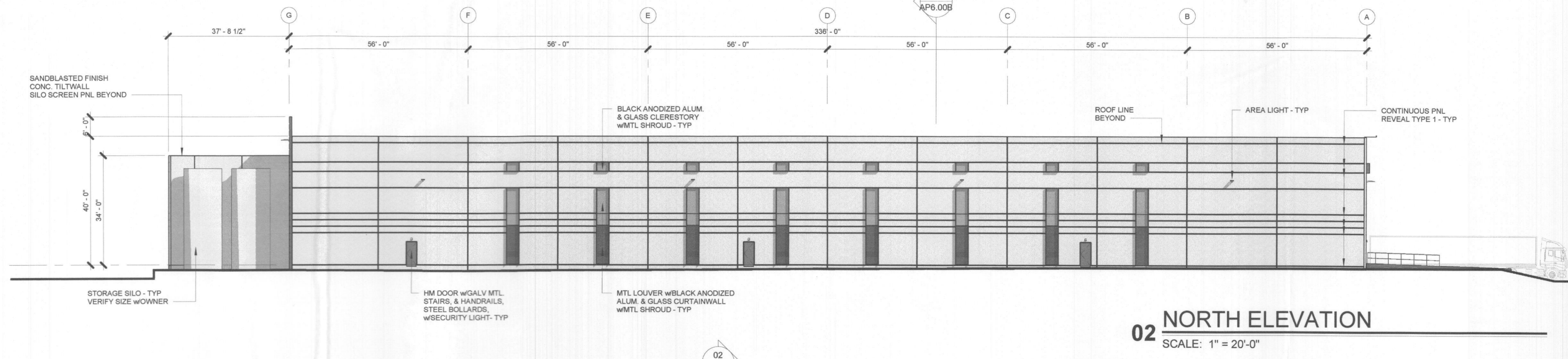


ELEVATION + MATERIAL CALCS	
<b>SOUTH ELEVATION - PRIMARY FACADE</b>	
TOTAL FACADE AREA = 15,253.00 SF	100%
• CONCRETE TILTWALL = 13,495.00 SF	88.47%
• GLASS = 1,626.00 SF	10.66%
• MTL ACCENT CANOPY = 57.00 SF	0.37%
• MTL WINDOW SHROUDS = 27.00 SF	0.18%
• HM DOORS = 48.00 SF	0.31%
<b>WEST ELEVATION - PRIMARY FACADE</b>	
TOTAL FACADE AREA = 6,290.00 SF	100%
• CONCRETE TILTWALL = 5,473.00 SF	87.01%
• GLASS = 38 SF	0.57%
• MTL WINDOW SHROUDS = 1.00 SF	0.02%
• HM DOORS = 72.00 SF	1.14%
• OH DOORS = 798.00 SF	11.26%
<b>NORTH ELEVATION</b>	
TOTAL FACADE AREA = 16,216.00 SF	100%
• CONCRETE TILTWALL = 15,371.00 SF	97.79%
• GLASS = 419.00 SF	2.58%
• MTL WINDOW SHROUDS = 17.00 SF	0.10%
• MTL LOUVERS = 337.00 SF	2.08%
• HM DOORS = 72.00 SF	0.44%
<b>EAST ELEVATION</b>	
TOTAL FACADE AREA = 4,935.00 SF	100%
• CONCRETE TILTWALL = 1,496.00 SF	74.80%
• GLASS = 118.00 SF	5.90%
• MTL ACCENT CANOPY = 170.00 SF	8.50%
• HM DOORS = 48.00 SF	2.40%
• OH DOORS = 168.00 SF	8.40%

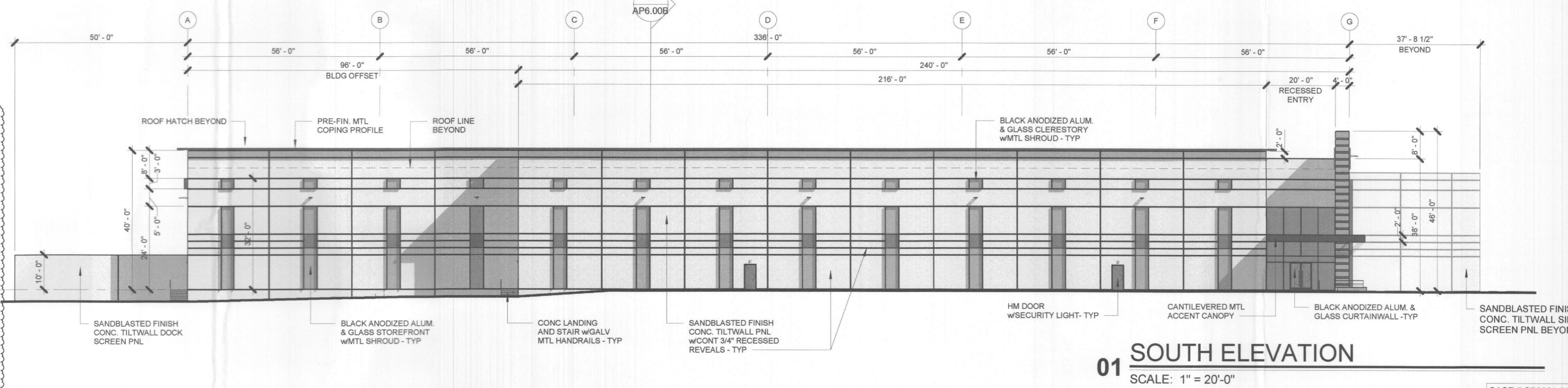
ARTICULATION CALCS	
<b>SOUTH ELEVATION - PRIMARY FACADE</b>	
1. WALL HEIGHT = 40'-0"	216'-0" PROVIDED
2. WALL LENGTH = 4 x 40'-0" = 160'-0" MAX	15'-0" PROVIDED
3. WALL PROJECTION = 25% X 40'-0" = 10'-0" MIN	20'-0" PROVIDED
4. ENTRY / ARCH ELEMENT LENGTH = 33% x 40'-0" = 13'-2 3/8" MIN	8'-0" PROVIDED
5. PROJECTION HEIGHT = 25% x 40'-0" = 10'-0" MIN	25'-0" PROVIDED
6. ENTRY / ARCH ELEMENT WIDTH = 2 x (25% x 40'-0") = 20'-0"	
<b>WEST ELEVATION - PRIMARY FACADE</b>	
1. WALL HEIGHT = 40'-0"	120'-0" PROVIDED
2. WALL LENGTH = 4 x 40'-0" = 160'-0" MAX	N/A
3. WALL PROJECTION = 25% X HEIGHT = N/A	N/A
4. ENTRY / ARCH ELEMENT LENGTH = 33% x LENGTH = N/A	N/A
5. PROJECTION HEIGHT = 25% x HEIGHT = N/A	N/A
6. ENTRY / ARCH ELEMENT WIDTH = 2 x (25% x H)	N/A
<b>NORTH ELEVATION - SECONDARY FACADE</b>	
1. WALL HEIGHT = 40'-0"	336'-0" PROVIDED
2. WALL LENGTH = 3 x 40'-0" = 120'-0" MAX	N/A
3. ENTRY / ARCH ELEMENT LENGTH = 15% x LENGTH = N/A	N/A
4. ENTRY / ARCH ELEMENT WIDTH = 15% x HEIGHT = N/A	N/A
5. PROJECTION HEIGHT = 15% x HEIGHT	N/A
<b>EAST ELEVATION - SECONDARY FACADE</b>	
1. WALL HEIGHT = 46'-0"	80'-0" PROVIDED
2. WALL LENGTH = 3 x 46'-0" = 138'-0" MAX	40'-0" PROVIDED
3. ENTRY / ARCH ELEMENT LENGTH = 15% x 80'-0" = 12'-0" MIN	42'-0" PROVIDED
4. ENTRY / ARCH ELEMENT WIDTH = 15% x 46'-0" = 6'-10 13/16" MIN	12'-0" PROVIDED
5. PROJECTION HEIGHT = 15% x 46'-0" = 6'-10 13/16" MIN	



**05 OVERALL SHELL FLOOR PLAN**  
SCALE: 1" = 30'-0"



**02 NORTH ELEVATION**  
SCALE: 1" = 20'-0"



**01 SOUTH ELEVATION**  
SCALE: 1" = 20'-0"

**STANDARD SITE PLAN WORDING**  
 City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Department of the City of Rockwall on the 13<sup>th</sup> day of May, 2021.

WITNESS OUR HANDS, this 14<sup>th</sup> day of May, 2021.

*N/A*  
 Planning & Zoning Commission, Chairman

*fillip*  
 Director of Planning and Zoning

4/29/2021 3:41:08 PM BIM 360//20205 - Channel Commercial Corporation/20205\_ARCH-CHANNELL FIBER FACILITY\_R20.rvt

CASE # SP2021-011

REVISIONS		
1	P&Z COMMENTS #1	12.01.20
2	SITE APPROVAL	04.09.21
3	SITE APPROVAL	05.03.21

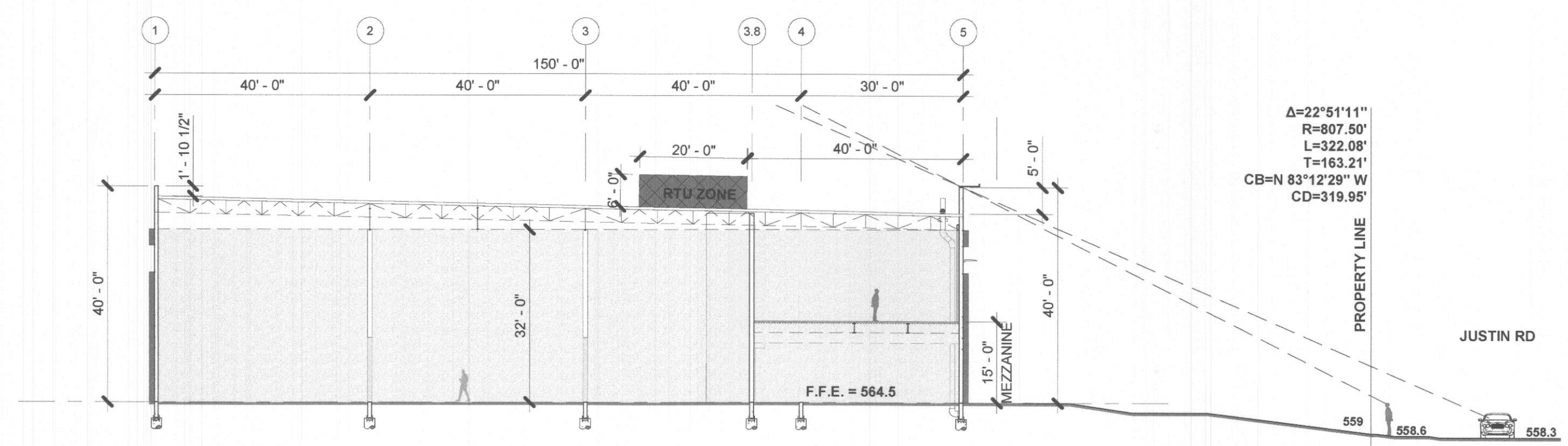
**CHANNELL CAMPUS IMPROVEMENTS**  
 ROCKWALL, TEXAS  
 1600 JUSTIN ROAD

  
**MEINHARDT & ASSOCIATES**  
 ARCHITECTS, P.L.L.C.  
1440 DALLAS PERINITY  
 SUITE 400  
 DALLAS TEXAS 75244  
 972-980-8800

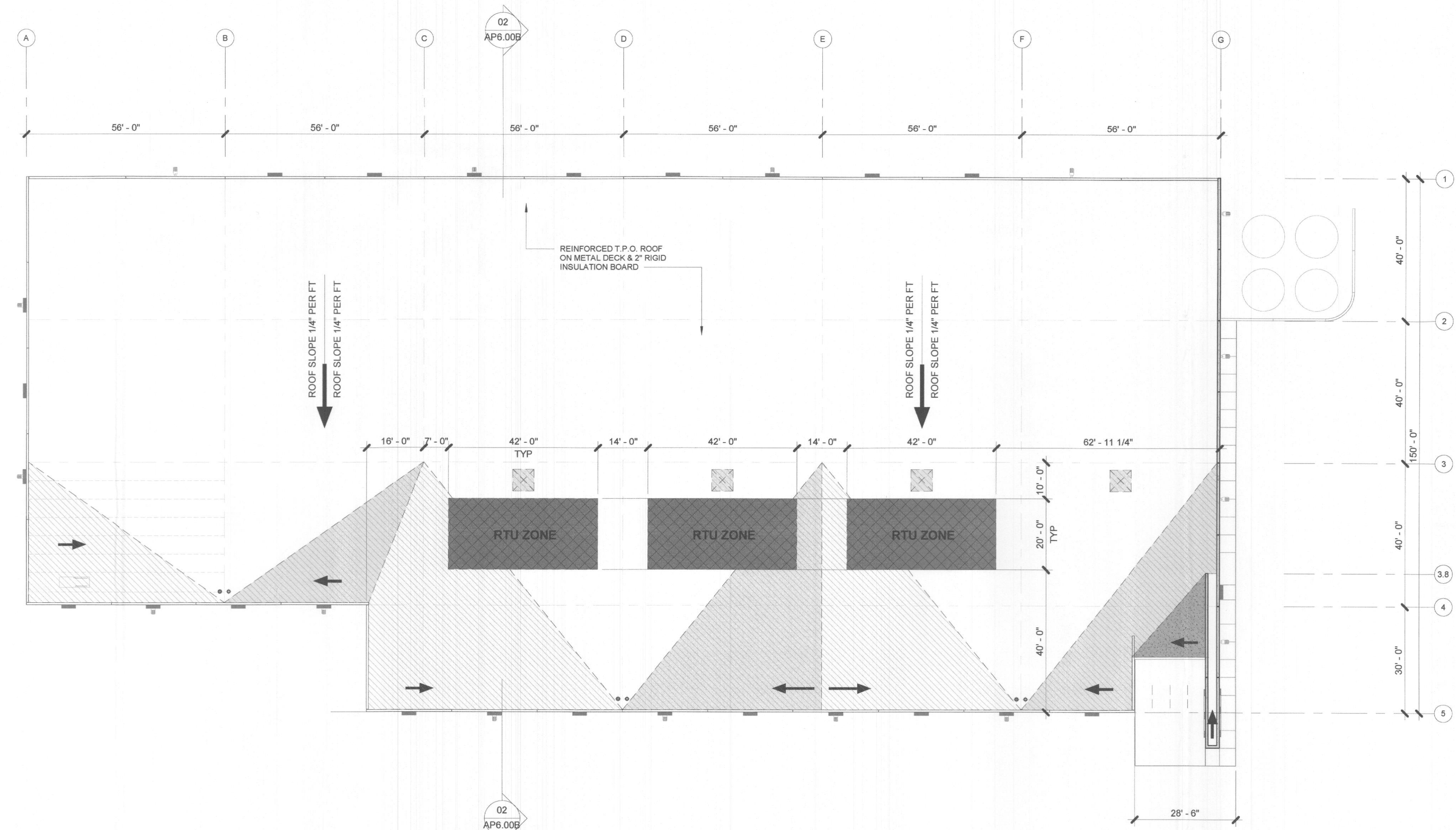


PROJECT NO: 20-205  
 DATE: 04.09.2021  
 DRAWN BY: DBC  
 CHECKED BY: DDM  
 SHEET: P&Z RTU DIAGRAMS

**AP6.00B**



**02 BUILDING SECTION**  
SCALE: 1" = 20'-0"



**01 OVERALL ROOF PLAN**  
SCALE: 1" = 20'-0"

CASE # SP2021-011

**STANDARD SITE PLAN WORDING**  
 City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

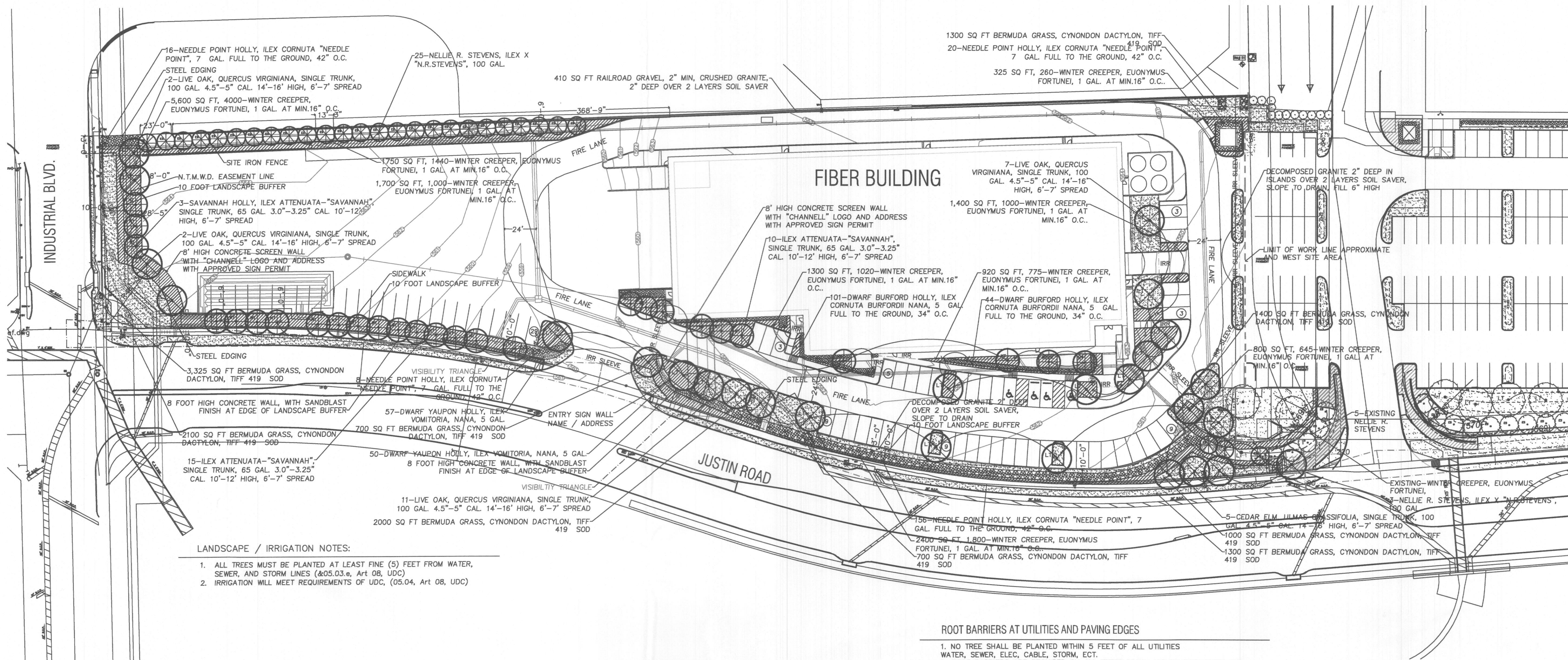
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WITNESS OUR HANDS, this 14<sup>th</sup> day of May, 2021

*N/A*  
 Planning & Zoning Commission, Chairman

*[Signature]*  
 Director of Planning and Zoning



- LANDSCAPE / IRRIGATION NOTES:**
1. ALL TREES MUST BE PLANTED AT LEAST FIVE (5) FEET FROM WATER, SEWER, AND STORM LINES (&05.03.e, Art 08, UDC)
  2. IRRIGATION WILL MEET REQUIREMENTS OF UDC, (05.04, Art 08, UDC)

- ROOT BARRIERS AT UTILITIES AND PAVING EDGES**
1. NO TREE SHALL BE PLANTED WITHIN 5 FEET OF ALL UTILITIES WATER, SEWER, ELEC, CABLE, STORM, ETC.
  2. ROOT BARRIERS ARE REQUIRED ON ALL TREES WITHIN UTILITY EASEMENTS AND AT EDGE OF PAVING WITHIN 5 FEET. PROVIDE ON ALL TREES SHOWN, UNLESS NOTED
  3. DEEP ROOT BARRIERS, 1-800-458-7668, INSTALL UB-48-2 PER SPECIFICATIONS AT EACH TREE ON SIDE OF PAVING OR UTILITY. INCLUDE 2" WIDE TRENCH OF 3/4" DRAIN GRAVEL ON OUT SIDE OF BARRIER, 24" DEEP. BARRIER TO EXTEND 1" ABOVE GRADE.

**CITY OF ROCKWALL LANDSCAPE STANDARDS, WEST SIDE LOT AREA**

TITLE DESIGN CRITERIA	REQUIRED	PROVIDED
SITE GROSS AREA - WEST SITE 4.147 ACRES		180,675 SQ. FT.
A. SCREENING OF SITE LOADING DOCKS	YES	8' HIGH WALL
B. ACCEPTABLE LANDSCAPE PLANT MATERIAL MINIMUM 4.0" CALIPER OR GREATER ON ALL REQUIRED TREES	YES	YES
C. PROTECTION OF ALL LANDSCAPE AREAS BY CONCRETE CURBS OR CURB STOPS	YES	YES
D. IRRIGATION REQUIREMENT, ALL REQUIRED NEW LANDSCAPE AREAS TO BE IRRIGATED WITH UNDER GROUND IRRIGATION SYSTEM	YES	YES
E. RIGHT OF WAY STREET LANDSCAPE BUFFER, AREA BETWEEN R.O.W. AND ROAD WAY SURFACES TO BE SEEDED.	YES	YES
H. STREET LANDSCAPE BUFFER REQUIRED IN BUFFER, (1) CANOPY AND (1) ACCENT TREE PER 50 FEET. INDUSTRIAL DRIVE - 142 LINEAR FT JUSTIN ROAD - 870 LINEAR FT	3 CANOPY TREE 3 ACCENT TREE 17 CANOPY TREE 17 ACCENT TREE	3 CANOPY TREE 3 ACCENT TREE (*)18 CANOPY TREE (1) 15 ACCENT TREE
I. PARKING LOT LANDSCAPING, MINIMUM 5% OF THE PARKING LOT SHALL BE LANDSCAPE AREA. ALL PARKING SPACES SHALL BE WITHIN 50 FEET OF A LARGE TREE, ADDED PARKING LOT TREES	YES	SEE (+) BELOW
J. SCREENING OF DUMPSTER AND WALLED BEHIND WALL WITH GATES, REQUIRED	YES	YES
K. REQUIRED LANDSCAPE AREA ON SITE. THE REQUIRED AREA FOR THE LOT IS 15% COMMERCIAL USES. SITE IS APPROX. SITE AREA = 180,675 SQ. FT.	27,101 SQ FT	29,580 SQ FT. 16.3%
L. PARKING LOTS SHALL PROVIDE 1 TREE PER 10 PARKING SPACES.	8 TREES	11 TREES

(\*) STREET TREES EXTEND INTO THE ADJACENT LANDSCAPE AREA BETWEEN STREET AND PARKING EDGE.  
(1) 2 SAVANNA HOLLY REMOVED DUE TO UNDER GROUND UTILITIES

**LANDSCAPE PLAN LEGEND**

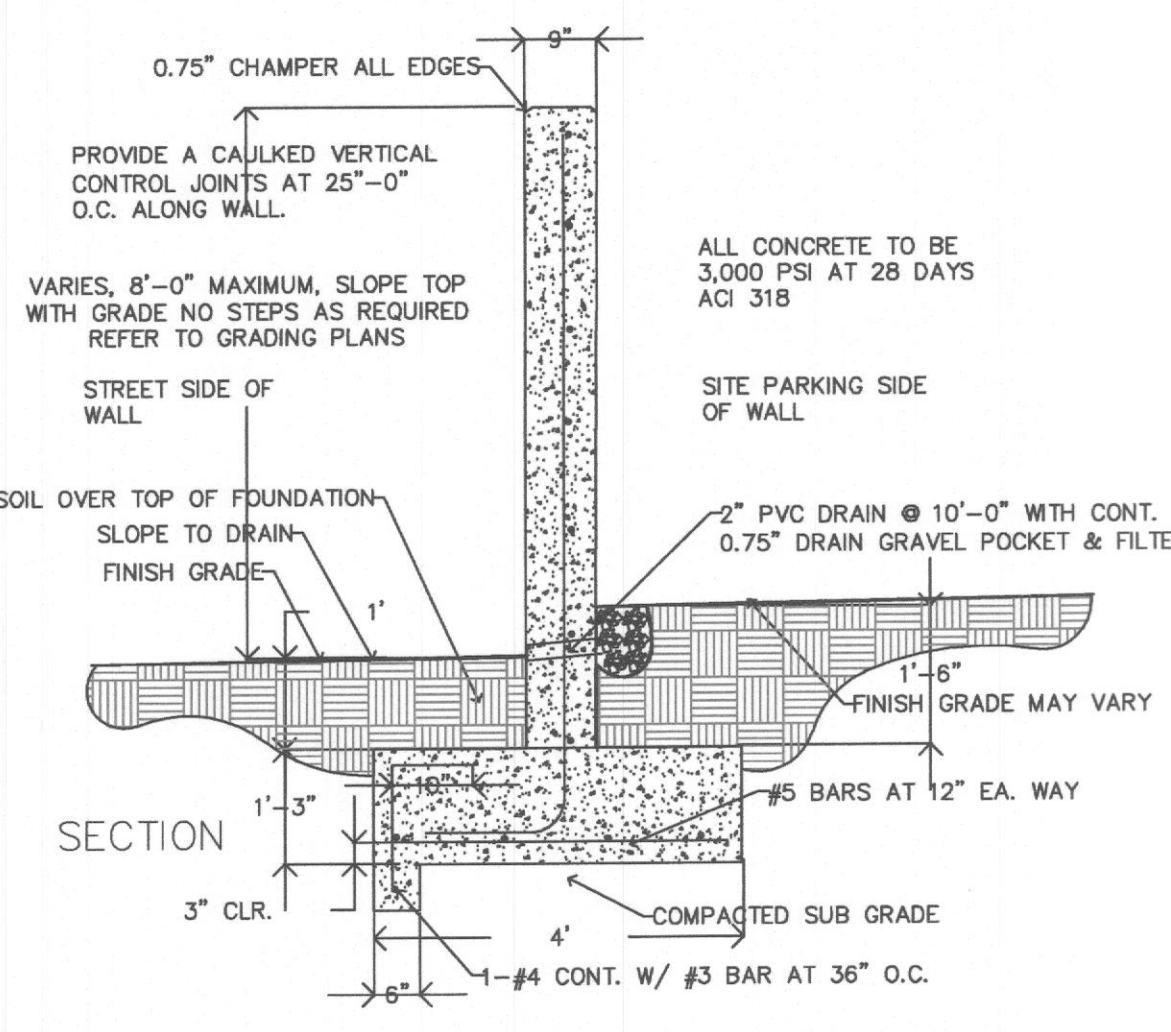
- CT-1 QUANTITY SYMBOL KEY TO PLANT LIST
- IRR SLEEVE IRRIGATION SLEEVE: IRRIGATION WATER SUPPLY 4", WIRES 2" OR AS NOTED ON PLAN

**LANDSCAPE TREE SYMBOLS**

- PROPOSED TREES: LARGE (LT), MEDIUM (MT), SMALL (ST), 12'-0" (12-0), 6'-0" (6-0)
- EXISTING TREES: LARGE (LT), MEDIUM (MT), SMALL (ST), 12'-0" (12-0), 6'-0" (6-0)
- EVERGREEN SCREENING SHRUBS, NELLIE R. STEVENS HOLLY, WITH 4" TREE RING AND 3" MULCH. INSTALL (2) TWO ADJUSTABLE BUBBLER ON EACH SHRUB
- EVERGREEN SHRUBS FOR SCREENING
- EVERGREEN SHRUBS SEE PLAN FOR SIZE AND TYPE

- EVERGREEN GROUND COVER WITH STEEL EDGING
- BERMUDA GRASS-ON SITE, ROLL TWO TIMES, SEE DETAILS
- 6" FILL

PARKING LOT ISLAND AND TRANSFORMERS, INSTALL DECOMPOSED GRANITE 3" DEEP WITH STEEL EDGING ON LANDSCAPE SIDES OF BED FILL ISLAND WITH SITE SOIL TO BACK OF CURB AND SLOPE UP INTO MIDDLE 6". INSTALL DECOMPOSED GRANITE TO SLOPE TO DRAIN OVER TOP OF CURB TO LOW SIDE



- NOTE:**
1. CONCRETE COLOR MIX TO BE APPROVED BY CLIENT
  2. STEP FOOTING AS REQUIRED IN 8' STEPS
  3. BACK FILL SOIL AFTER FORM WORK REMOVAL TO GRADES SHOWN.
  4. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS, FORM WORK, CONCRETE WASH OUT FROM SITE.
- SAND BLASTING NOTE:**
1. ALL EXPOSED SURFACES TO BE SAND BLASTED.
  2. SAMPLE TO BE APPROVED BY CLIENT.
  3. SAND BLAST SAND MAY BE USED ON LANDSCAPE BEDS. NO CLEAN UP EXCEPT ON PAVING SURFACES.

**STANDARD SITE PLAN WORDING**  
City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE**

**SITE PLAN SIGNATURE BLOCK**

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WITNESS OUR HANDS, this 14th day of May 2021

*N.A.*  
Planning & Zoning Commission, Chairman

*Bills*  
Director of Planning and Zoning

© 2020, T.H. PRITCHETT ASSOCIATES  
LANDSCAPE ARCHITECTS AND PLANNER

THESE DRAWINGS AND ANY SPECIFICATIONS PROVIDED WITHIN THESE DOCUMENTS, RELEASE, RESERVE SPECIFICALLY FOR THE USER IN WHOLE OR PART FOR ANY OTHER PURPOSES OR BY ANY OTHER PARTIES OTHER THAN THOSE UNDER CONTRACT OR WITH SPECIFIC WRITTEN PERMISSIONS FROM T.H. PRITCHETT & ASSOCIATES

REGISTERED LANDSCAPE ARCHITECT  
T.H. PRITCHETT  
2015  
STATE OF TEXAS

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T.H. PRITCHETT, R.L.A. NO. 2115 ON 04/10/2021

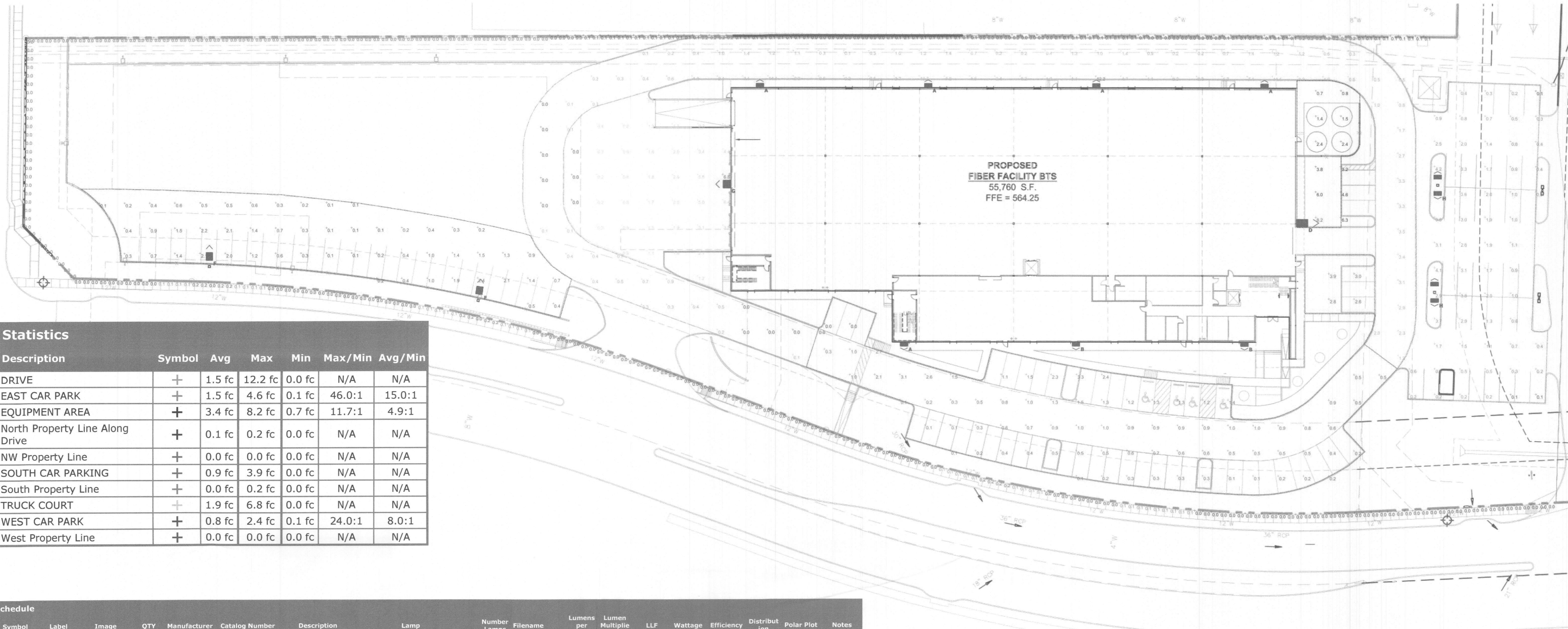
NO.	DATE	REVISION
LA-1	04/30/2021	REVISED PLANT COUNT PER CITY COMMENTS
LA-1	05/13/2021	RELOCATED AND REMOVED TREES PER CITY COMMENTS ADDED TREE ROOT BARRIER NOTE TO THE PLAN.

**FP T. H. Pritchett / Associates**  
LANDSCAPE ARCHITECTS 1218 CAMINO LAGO, IRVING, TEXAS 75039 972.866-3535

**ALTERNATE LANDSCAPE PLAN WEST**  
**CHANNELL COMMERCIAL CORP.**  
**WEST PARKING & STORAGE LAYOUT**  
**1700 JUSTIN ROAD**  
**CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
THP	THP	04/30/2021	1"=30'			LAW-1





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVE	+	1.5 fc	12.2 fc	0.0 fc	N/A	N/A
EAST CAR PARK	+	1.5 fc	4.6 fc	0.1 fc	46.0:1	15.0:1
EQUIPMENT AREA	+	3.4 fc	8.2 fc	0.7 fc	11.7:1	4.9:1
North Property Line Along Drive	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
NW Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
SOUTH CAR PARKING	+	0.9 fc	3.9 fc	0.0 fc	N/A	N/A
South Property Line	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
TRUCK COURT	+	1.9 fc	6.8 fc	0.0 fc	N/A	N/A
WEST CAR PARK	+	0.8 fc	2.4 fc	0.1 fc	24.0:1	8.0:1
West Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

Schedule																	
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Efficiency	Distribution	Polar Plot	Notes
⏏	A		5	Lithonia Lighting	RSX1 LED P1 40K AFR	RSX Area Fixture Size 1 P1 Lumen Package 4000K CCT Type AFR Distribution		1	RSX1_LED_P1_40K_AFR.ies	7111	1	0.96	51.34	100%	TYPE II, SHORT, BUG RATING: B1 - U0 - G1		
⏏	B		2	Lithonia Lighting	RSX1 LED P3 40K R4	RSX Area Fixture Size 1 P3 Lumen Package 4000K CCT Type R4 Distribution		1	RSX1_LED_P3_40K_R4.ies	14206	1	0.96	109.44	100%	TYPE IV, SHORT, BUG RATING: B2 - U0 - G2		
⏏	D		1	Lithonia Lighting	RSX3 LED P4 40K R4	RSX Area Fixture Size 3 P4 Lumen Package 4000K CCT Type R4 Distribution		1	RSX3_LED_P4_40K_R4.ies	40976	1	0.96	311.92	100%	TYPE IV, SHORT, BUG RATING: B3 - U0 - G5		
⏏	F		2	Lithonia Lighting	RSX1 LED P1 40K AFR HS	RSX Area Fixture Size 1 P1 Lumen Package 4000K CCT Type AFR Distribution with HS Shield		1	RSX1_LED_P1_40K_AFR_HS.ies	5630	1	0.96	51.3435	100%	TYPE II, SHORT, BUG RATING: B1 - U0 - G1	Max: 4371cd	
⏏	G		1	Lithonia Lighting	RSX2 LED P4 40K R4	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R4 Distribution		1	RSX2_LED_P4_40K_R4.ies	25328	1	0.96	189.54	100%	TYPE IV, SHORT, BUG RATING: B3 - U0 - G4		
⏏	H		2	Lithonia Lighting	RSX1 LED P1 40K AFR	RSX Area Fixture Size 1 P1 Lumen Package 4000K CCT Type AFR Distribution		1	RSX1_LED_P1_40K_AFR.ies	7111	1	0.96	102.68	100%	TYPE II, SHORT, BUG RATING: B1 - U0 - G1		

01 SITE PLAN - PHOTOMETRIC  
 SCALE: 1" = 60'-0"  
 0 30 60 120 180  
 GRAPHIC SCALE IN FEET

**STANDARD SITE PLAN WORDING**  
 City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

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*[Signature]*  
 Planning & Zoning Commission, Chairman

*[Signature]*  
 Director of Planning and Zoning

**CHANNELL CAMPUS IMPROVEMENTS**  
 ROCKWALL, TEXAS  
 1700 JUSTIN ROAD

**MEINHARDT & ASSOCIATES**  
 ARCHITECTS, P.L.L.C.  
MEMBER OF THE MEINHARDT GROUP  
 1400 DALLAS PARKWAY  
 SUITE 600  
 DALLAS TEXAS 75244  
 972.968.0888

PROJECT NO: 20-205  
 DATE: 05.03.2021  
 DRAWN BY: DBC  
 CHECKED BY: DDM  
 SHEET: SITE PLAN - PHOTOMETRIC

**A9.03-E**

CASE # SP2021-011