

| SITE DATA SUMMARY | |
|--|--|
| ZONING | COMMERCIAL (C) |
| TRACT INFO | EXISTING TRACTS: TRACT 1 STRUCTURED REA - ROCKWALL LAND, LLC 20.49 ACRES ± (892,663 SQ FT ±) TRACT 2 STRUCTURED REA - ROCKWALL LAND, LLC 31.44 ACRES ± (1,369,360 SQ FT ±) |
| PROP. LOT AREA | PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LAND, LLC LOT PHASE I: 6.38 ACRES ± (277,793 SQ. FT. ±) |
| PROP. USE ON PROP. LOT PHASE I | SPORTS COMPLEX |
| PROPOSED BUILDING AREA | 87,155 SF ± |
| BUILDING COVERAGE | 31.37% |
| BUILDING HEIGHT | 1 STORY |
| MINIMUM REQUIRED PARKING | PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF) 56 PUBLIC RECREATION CLUB: 3/GAME COURT 42 SYMML 1/200 SF (7,000 SF) 35 MEDICAL OFFICE: 1/200 SF (10,900 SF) 54 187 |
| MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING | 7 |
| TOTAL PARKING PROVIDED | TOTAL STANDARD (9'x20') 218 HANDICAP-ACCESSIBLE 7 225 |

- NOTE:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL RADII WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
 3. ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.

ONSITE PAVEMENT SHALL BE:

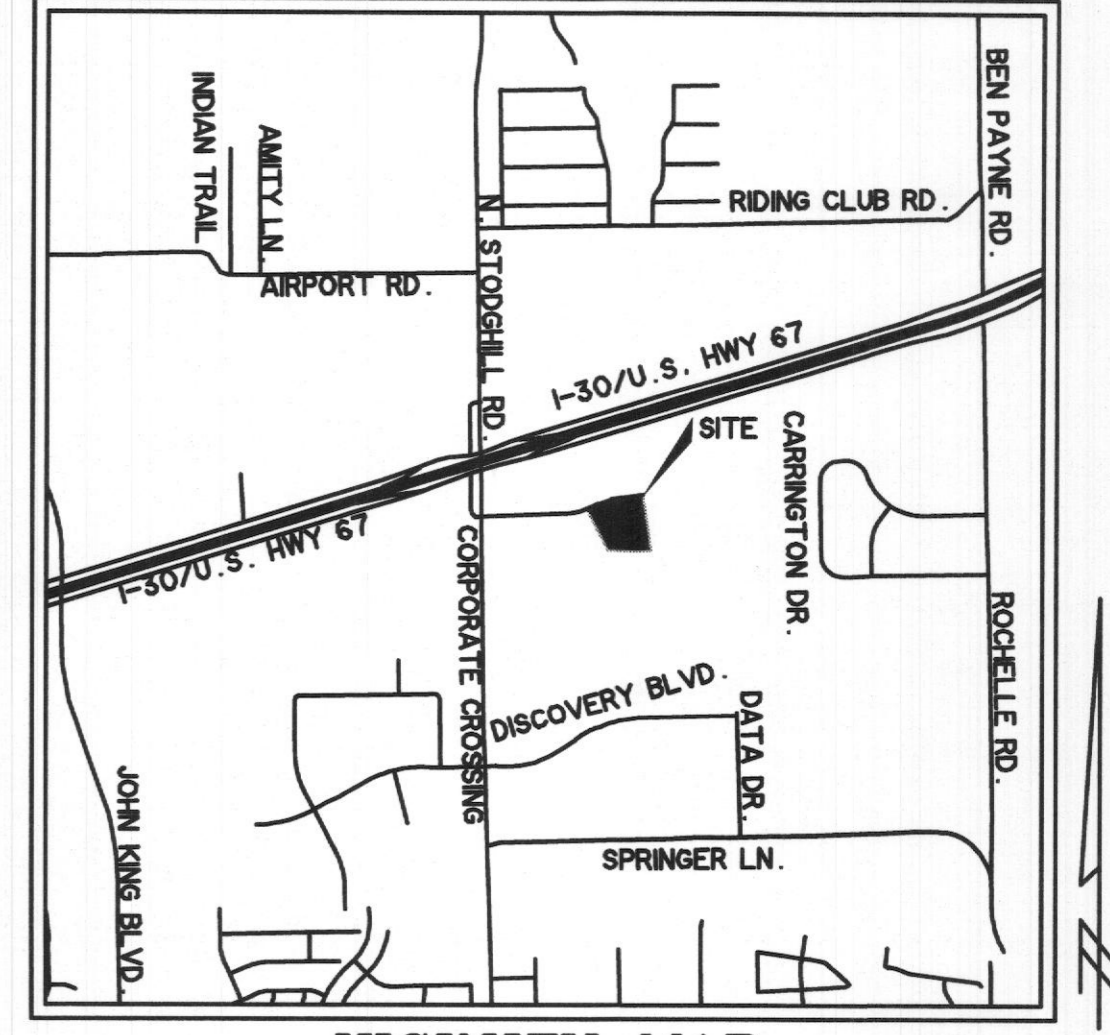
PARKING: 5' CONCRETE PAVEMENT
 FIRE LANE: 6' CONCRETE PAVEMENT
 DUMPSTER: 7' CONCRETE PAVEMENT

4. BUILDING IS PARALLEL & PERPENDICULAR TO WEST PROPERTY LINE.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
6. ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB.
7. ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND SCREENED AS PER UDC.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14th DAY OF May, 2021.

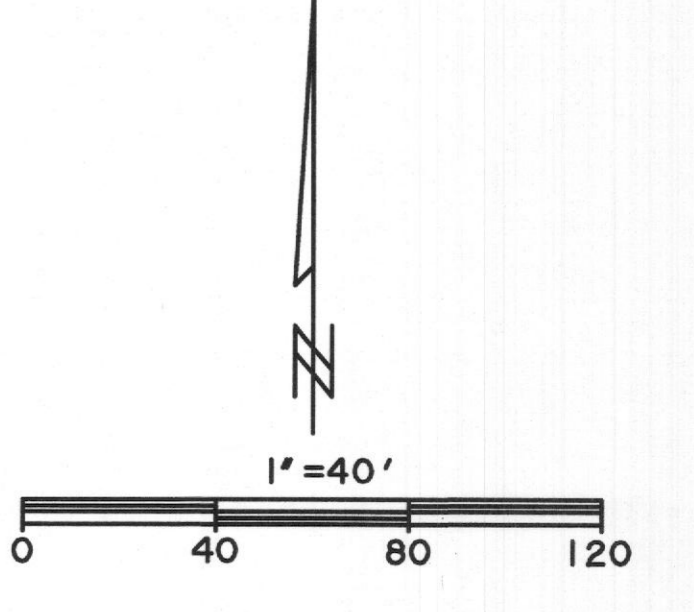
WITNESS OUR HANDS, THIS 14th of May, 2021.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



VICINITY MAP
NOT TO SCALE

| LEGEND | |
|--------|--|
| SSMH ⊙ | EXISTING SANITARY SEWER MANHOLE |
| SSCO ○ | EXISTING SANITARY SEWER CLEANOUT |
| FH ⊕ | EXISTING FIRE HYDRANT |
| WM ⊕ | EXISTING WATER METER |
| WM □ | EXISTING WATER VAULT |
| -W- | EXISTING WATER LINE |
| -SS- | EXISTING SANITARY SEWER LINE |
| -W- | PROPOSED WATER LINE |
| -SS- | PROPOSED SANITARY SEWER LINE |
| -SD- | PROPOSED STORM DRAIN LINE |
| - - - | PHASE I PARCEL BOUNDARY |
| - - - | PROPERTY BOUNDARY |
| - - - | PROPOSED WATER EASEMENT |
| - - - | PROPOSED FIRE LANE |
| - - - | BUILDING SETBACK |
| BFR | BARRIER FREE RAMP |
| ▨ | PROP. SIDEWALK |
| ▨ | PROP. PUBLIC ACCESS & UTILITY EASEMENT |



SITE PLAN FITSPORTSLIFE PHASE I

SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS

PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
Prepared By/Or Under Direct Supervision Of
Randy Eardley, P.E.
Texas Registration No. 104897 On Date Shown Below.

§ 3.3- Minimum requirements.

Latest version.

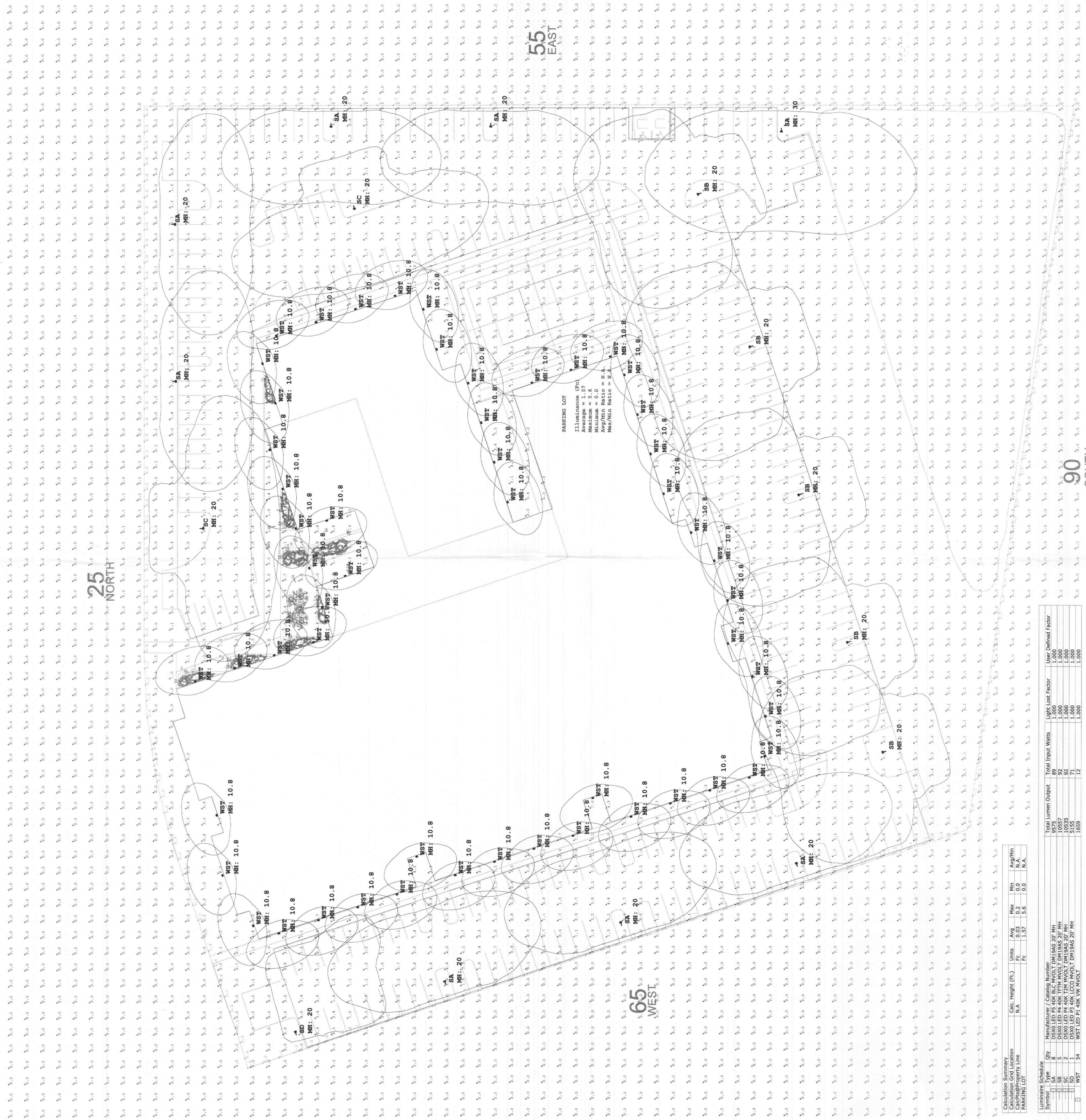
- A. **Glare.** In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. This applies to refractory lenses which extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
- B. **Light at residential property line.** The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one footcandle. For planned shopping centers or other commercial developments that contain more than one lot, the planning and zoning commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development.

(Ord. No. 10-14, § 51, 7-6-2010)

D. **Height.** No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [Unified Development] Code.

(Ord. No. 06-14, 4-17-2006)

E. **Building and pole mounted lighting.** All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



ILLUMINATION (FOOT CANDLE) = 0.2
 MAXIMUM = 2.6
 AVERAGE = 0.5
 MINIMUM = 0.1
 MIN/MAX RATIO = 0.1/2.6

Calculation Summary

| Calculation Item | Units | Value | Min | Max |
|------------------|-------|-------|-----|-----|
| CSC Height (ft) | ft | 1.57 | 0.0 | 0.0 |
| FC | fc | 1.57 | 0.0 | 0.0 |

Luminaire Schedule

| Symbol | Qty | Manufacturer / Catalog Number | Watts | Height | Watt/ftm | Beam Spread | Beam Diameter | Beam Angle | Beam Spread | Beam Diameter | Beam Angle |
|--------|-----|---|-------|--------|----------|-------------|---------------|------------|-------------|---------------|------------|
| SW | 8 | OSRAM LED P4 40W BLC WOLV DM19A2 20' MH | 40 | 20 | 2.0 | 0.9 | 1.5 | 3.1 | 1.5 | 3.1 | 30 |
| SB | 5 | OSRAM LED P4 40W BLC WOLV DM19A2 20' MH | 40 | 20 | 2.0 | 0.9 | 1.5 | 3.1 | 1.5 | 3.1 | 30 |
| SD | 1 | OSRAM LED P4 40W BLC WOLV DM19A2 20' MH | 40 | 20 | 2.0 | 0.9 | 1.5 | 3.1 | 1.5 | 3.1 | 30 |
| ST | 1 | OSRAM LED P4 40W BLC WOLV DM19A2 20' MH | 40 | 20 | 2.0 | 0.9 | 1.5 | 3.1 | 1.5 | 3.1 | 30 |
| WS | 54 | WST LED P1 40W WOLV | 40 | 20 | 2.0 | 0.9 | 1.5 | 3.1 | 1.5 | 3.1 | 30 |

| Symbol | Qty | Watts | Height | Watt/ftm | Beam Spread | Beam Diameter | Beam Angle | Beam Spread | Beam Diameter | Beam Angle |
|--------|-----|-------|--------|----------|-------------|---------------|------------|-------------|---------------|------------|
| WS | 99 | 99 | 99 | 99 | 99 | 99 | 99 | 99 | 99 | 99 |
| SB | 92 | 92 | 92 | 92 | 92 | 92 | 92 | 92 | 92 | 92 |
| SD | 21 | 21 | 21 | 21 | 21 | 21 | 21 | 21 | 21 | 21 |
| ST | 12 | 12 | 12 | 12 | 12 | 12 | 12 | 12 | 12 | 12 |

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF MAY 2021.

WITNESSE OUR HANDS, THIS 14 OF MAY 2021.

[Signature]

PLANNING & ZONING COMMISSION, CHAIRMAN

PLANNING & ZONING COMMISSION, CHAIRMAN

SP2021-010

Architectural Lighting Alliance
 11117 State Street, Suite 102
 Dallas, Texas 75243
 www.a-la.com

08/18/21

PROJECT: PORT ROCKWALL
 SCALE: 1" = 20'
 DATE: 08/18/21
 DRAWING: PLANNING & ZONING

3.3. Minimum requirements.

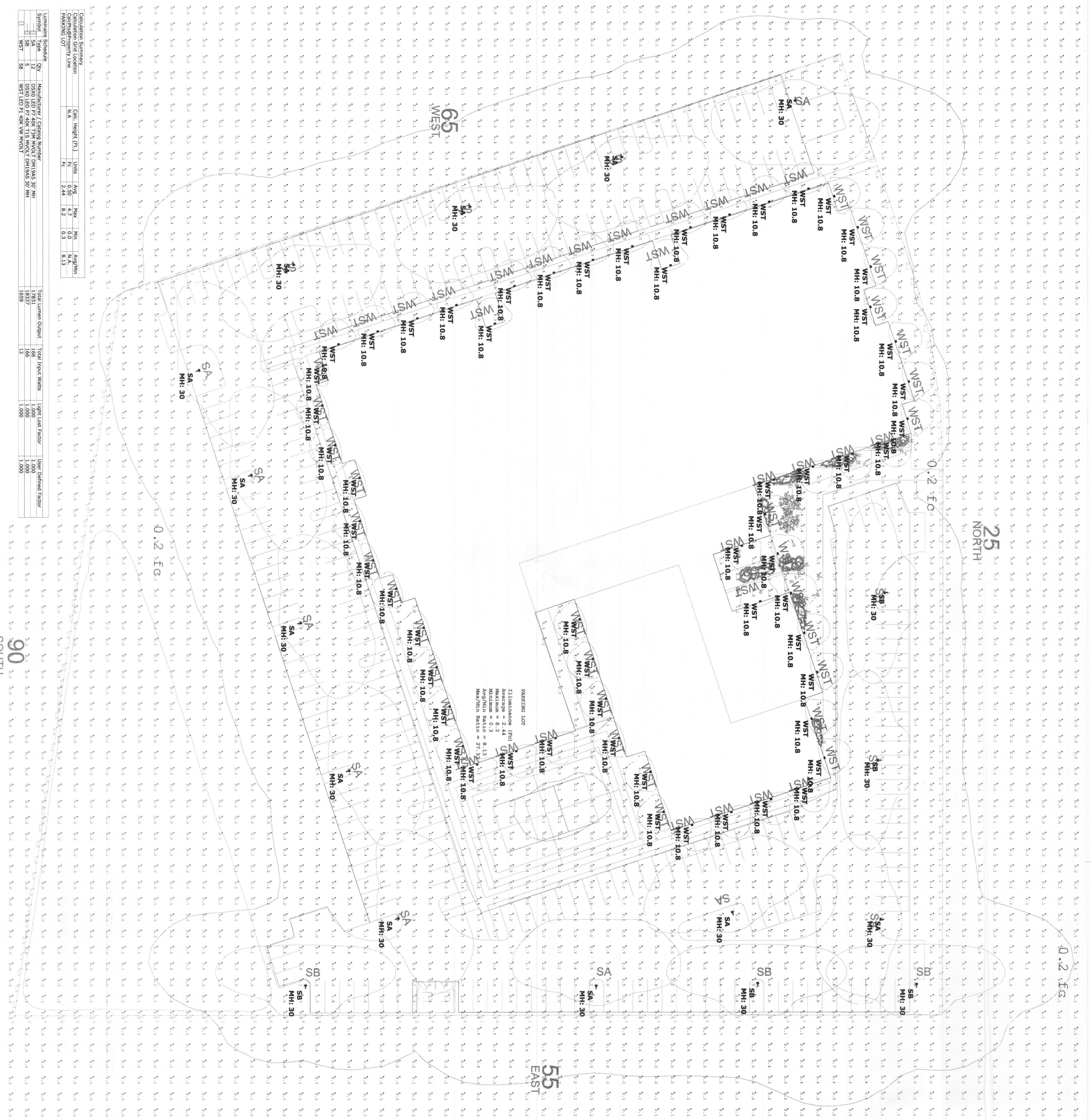
Latest version.

- A. Glare. In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. This applies to refractory lenses which extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
- B. Light at residential property line. The allowable maximum light intensity measured at the property line of a residentially zoned lot shall be 0.2 of one footcandle.
- C. Light at nonresidential property line. The allowable maximum light intensity measured at the property line of any nonresidentially zoned lot shall be 0.2 of one footcandle. For planned shopping centers or other commercial developments that contain more than one lot, the planning and zoning commission may consider lighting plans that are intended to increase lighting efficiency and reduce the number of overall light fixtures, but result in light spillover across common lot lines within the same development. However, in no case shall light levels exceed 0.2 FC at the property lines adjacent to the street and/or along the perimeter of the development.

(Ord. No. 10-14, § 51, 76-2010)

- D. Height. No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District as specified in article V of this [United Development] Code (Ord. No. 06-14, 4-17-2006)

- E. Building and pole mounted lighting. All building and pole mounted luminaires exceeding 15 watts shall be directed down with either a partial cut-off or full cut-off source. See lighting exhibits A and B.



| Calculation Summary | | Exc. Height (ft) | Length | Area | Vol. | Wt. | Av. Wt./ft |
|---------------------|--|------------------|--------|------|------|------|------------|
| Parking Lot | | N.A. | 0.0 | 4.4 | 0.0 | N/A | N/A |
| Building Footprint | | 2.44 | 8.2 | 20.0 | 0.3 | 8.13 | |

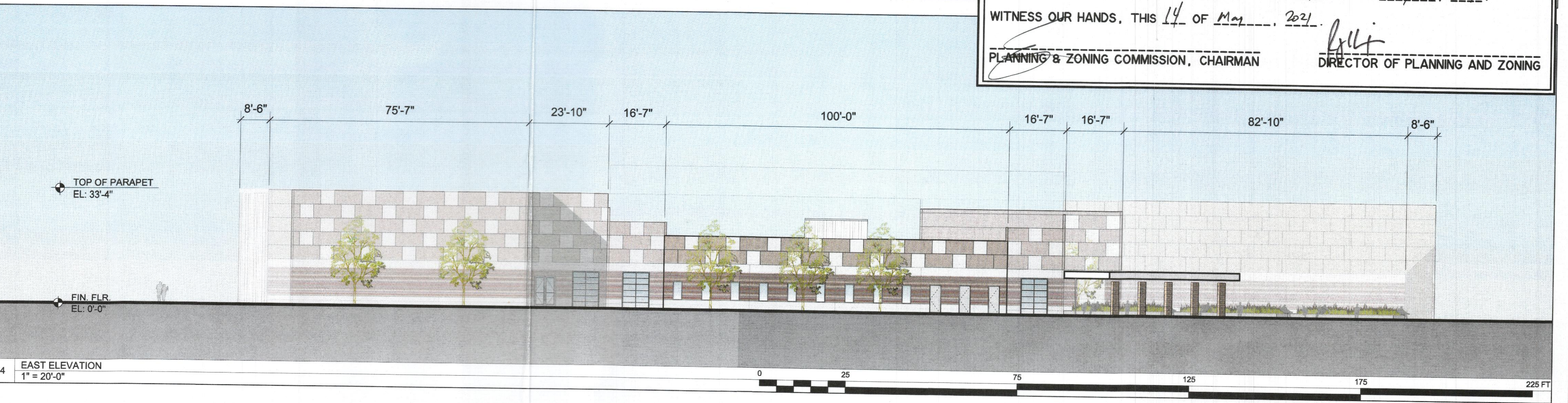
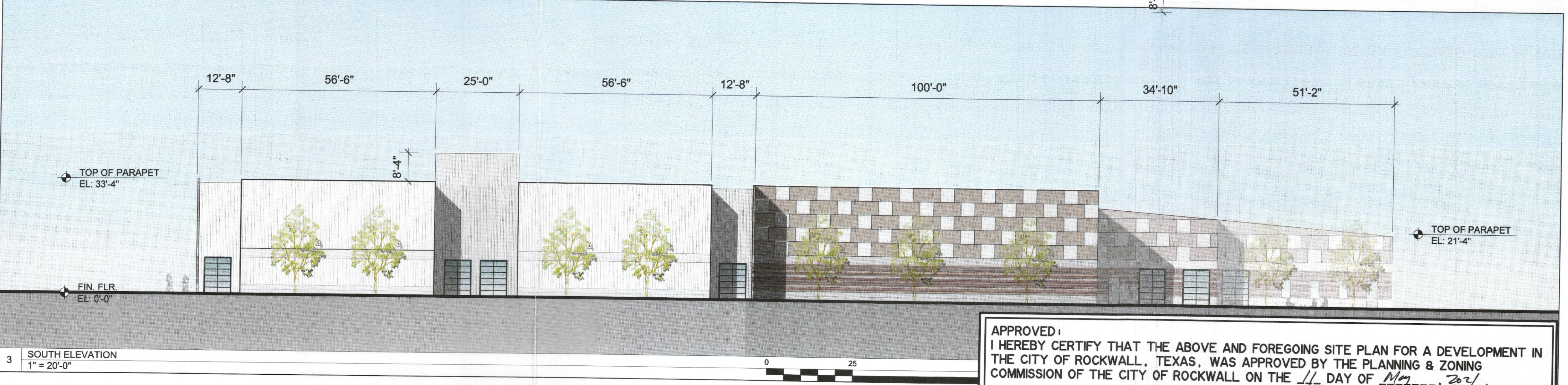
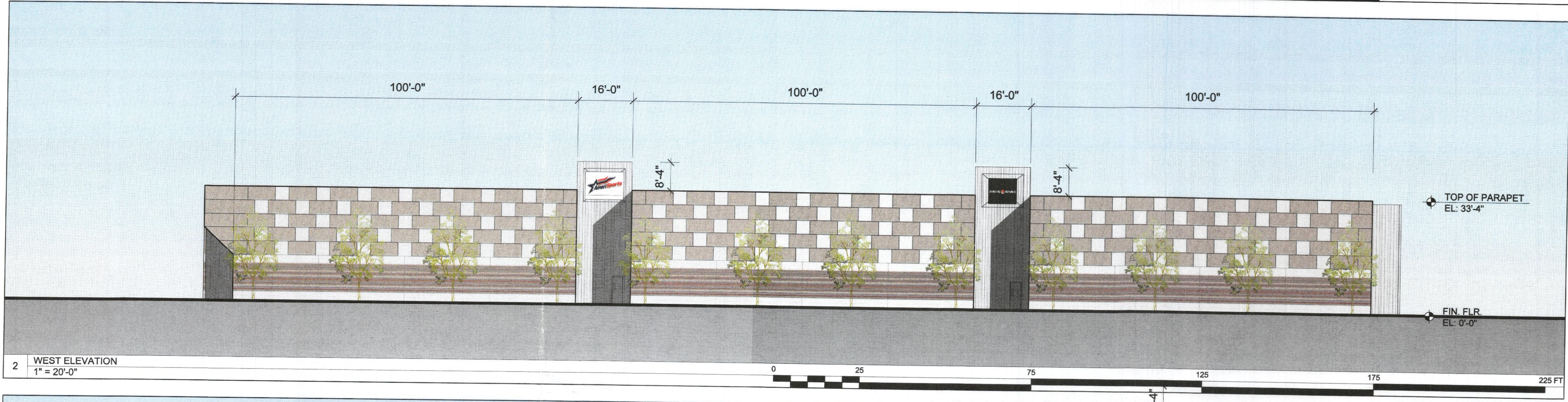
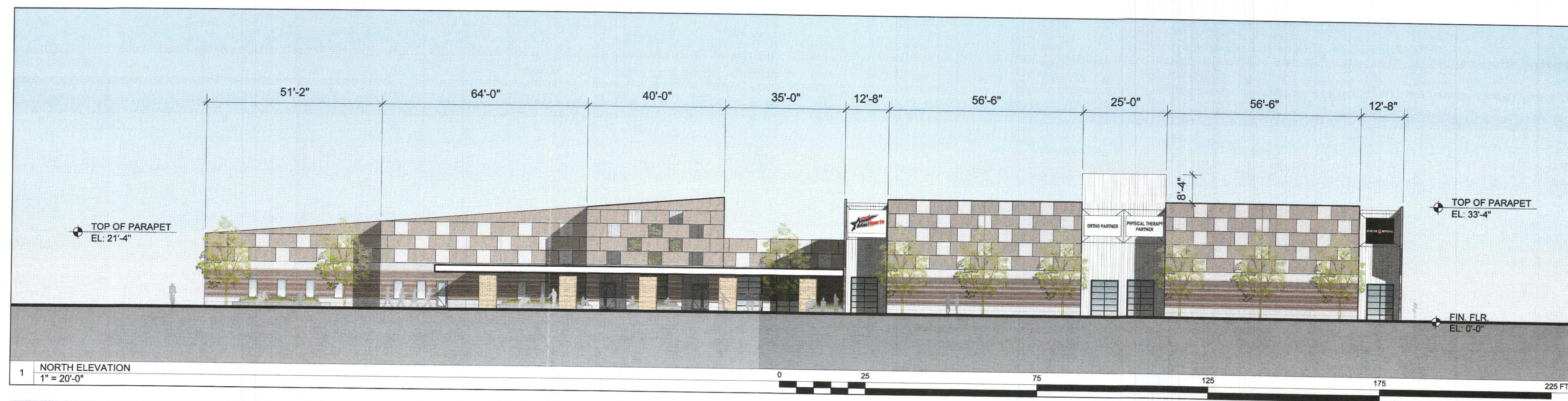
| Luminaire Schedule | | Manufacturer / Catalog Number | Total Lumens Output | Total Input Watts | Light Loss Factor | Used Output Factor |
|--------------------|----|---|---------------------|-------------------|-------------------|--------------------|
| SA | 1 | OSRAM LED P 40K T34 AVALON DM19A5 30 MH | 17937 | 166 | 1.000 | 1.000 |
| WST | 5 | WST LED P 40K T34 AVALON DM19A5 30 MH | 18337 | 166 | 1.000 | 1.000 |
| SA | 36 | WST LED P 40K T34 AVALON DM19A5 30 MH | 680132 | 12 | 1.000 | 1.000 |

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, is in accordance with the rules and regulations of the Planning and Zoning Commission of the City of Rockwall on the 11 day of May, 2021.

WITNESSE OUR HANDS, THIS 11th day of May, 2021.

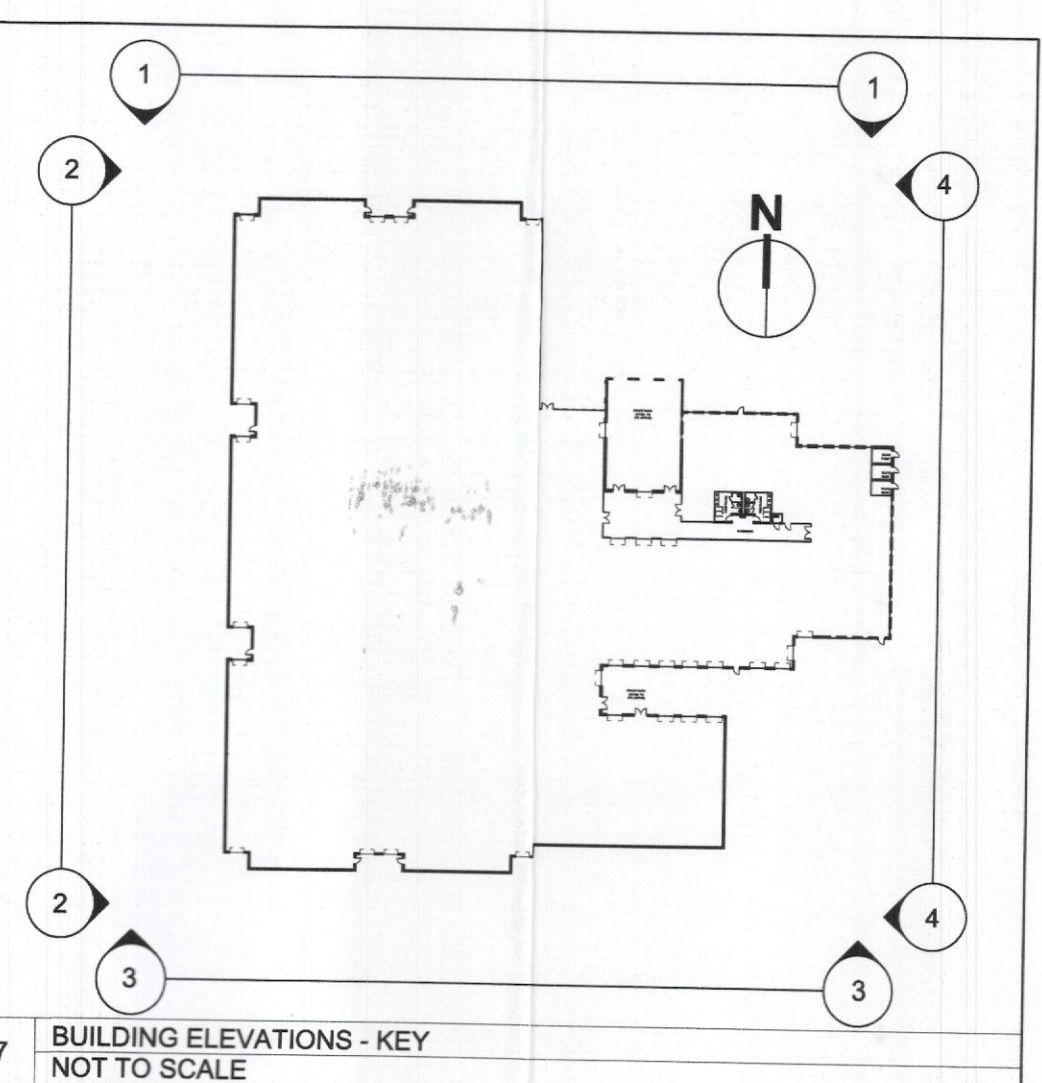
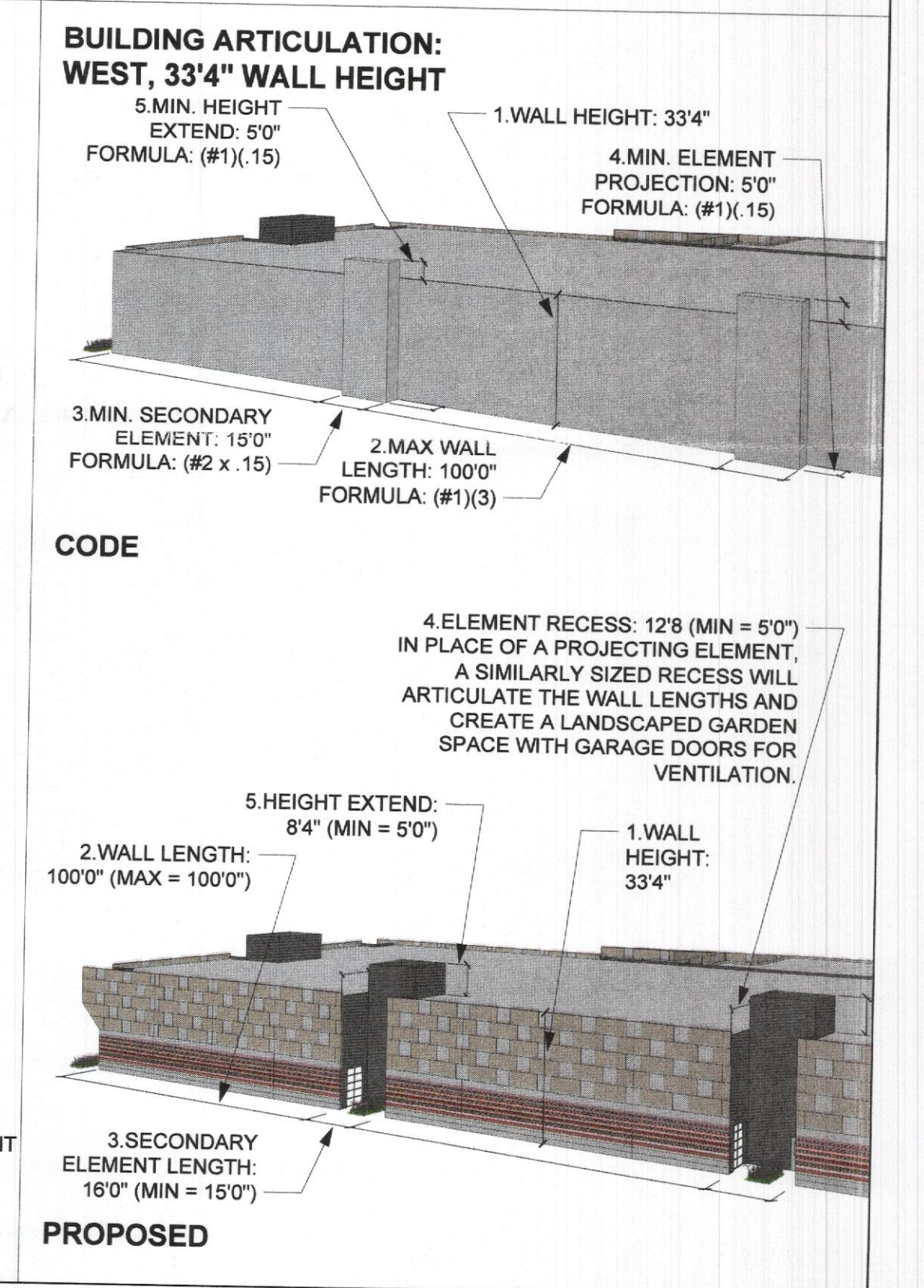
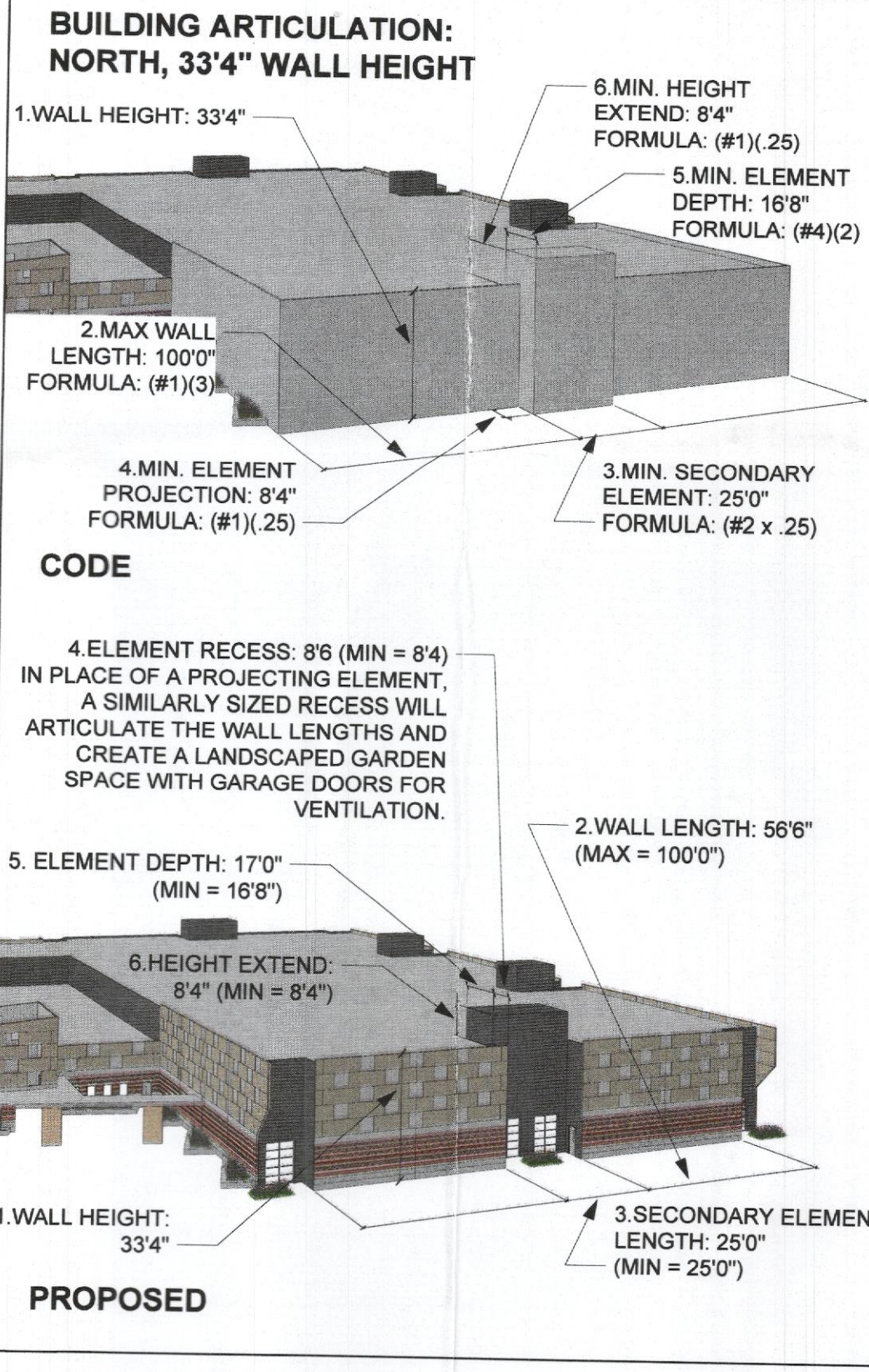
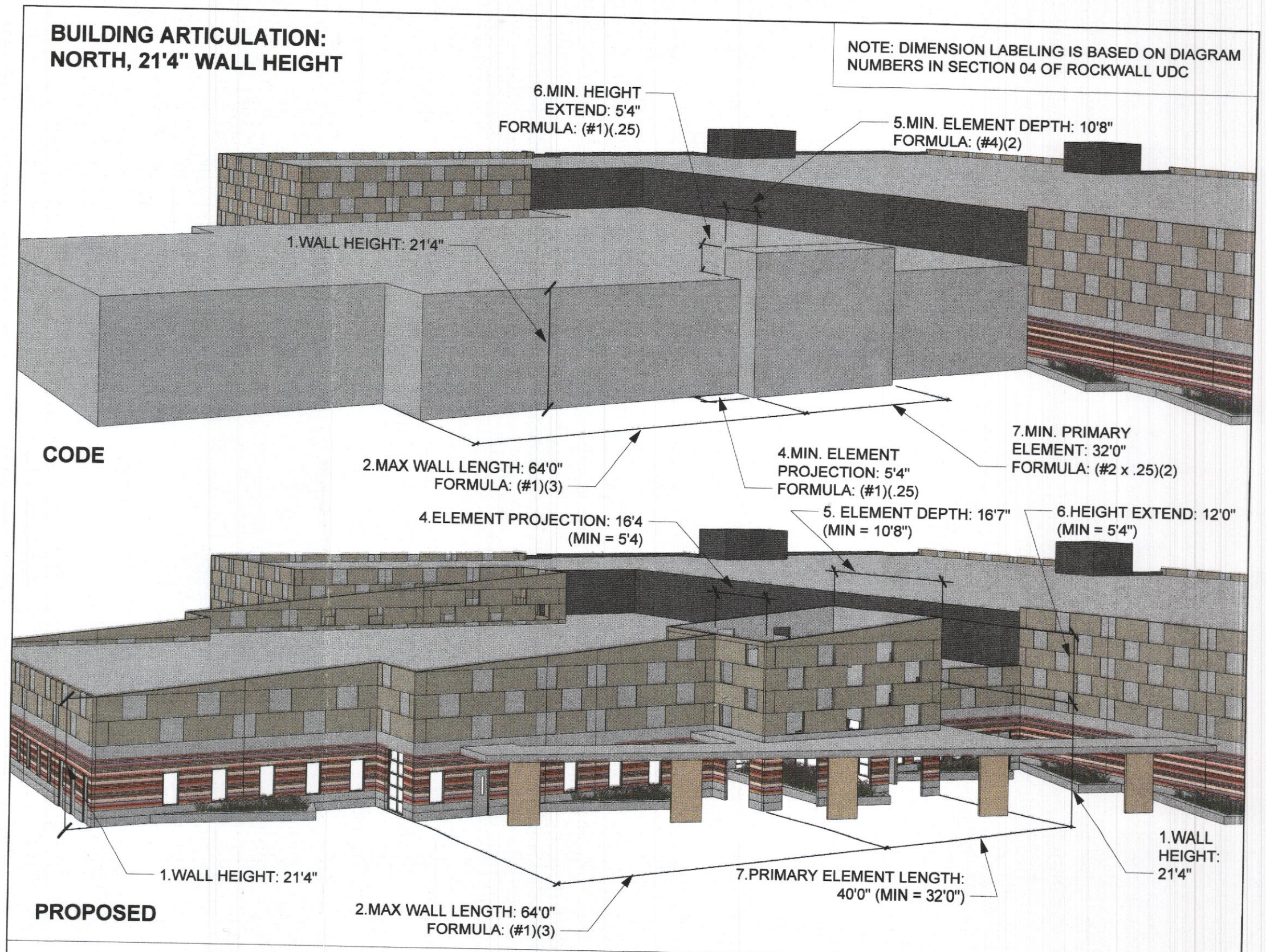
PLANNING & ZONING COMMISSION, CHAIRMAN: *[Signature]*
DIRECTOR OF PLANNING AND ZONING: *[Signature]*

SP2021-010



APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF May, 2021.
 WITNESS OUR HANDS, THIS 14 OF May, 2021.

 PLANNING & ZONING COMMISSION, CHAIRMAN _____
 DIRECTOR OF PLANNING AND ZONING



WDS Structured
 wds design studio REAL ESTATE

PROJECT: **FITSPORTLIFE ROCKWALL, TEXAS**
 CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS

| SUBMISSION | |
|------------|------------|
| # | DATE |
| 1 | 03/19/2021 |
| 2 | |
| 3 | |
| 4 | |

DESCRIPTION: SITE PLAN REVIEW

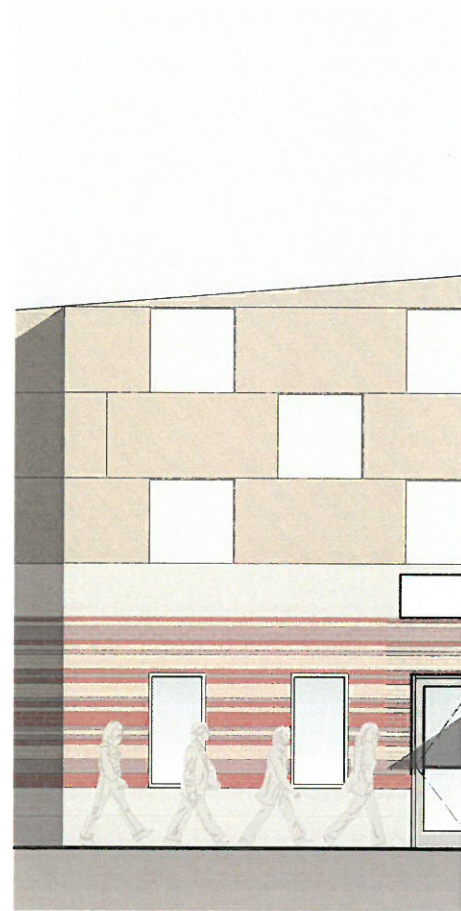
SITE PLAN REVIEW: NOT FOR CONSTRUCTION

DRAWING TITLE: **ELEVATIONS**
 SP2021-010

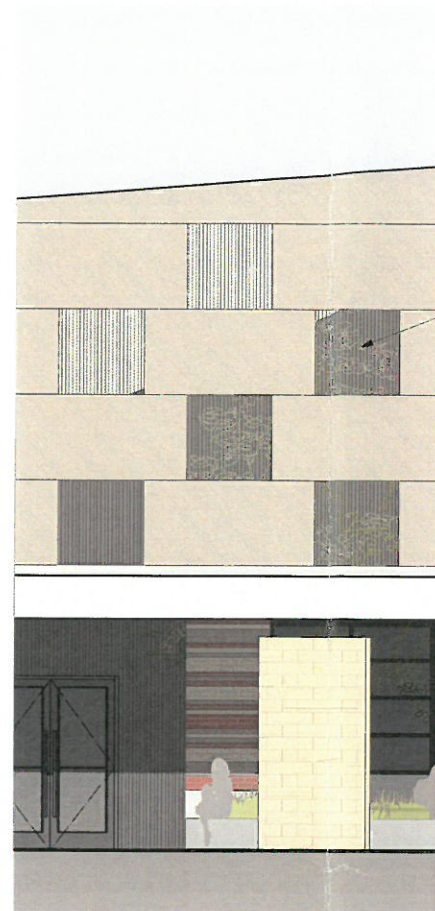
DRAWING NO.: **A-2.0**



SMOOTH CONCRETE



TEXTURED CONCRETE



TEXAS STONE



FLUTED CONCRETE WALLS

LANDSCAPE BEHIND PERFORATED WALLS

PERFORATED WALLS AT COURTYARD

6' x 10' SIGNAGE PER CODE

SMOOTH CONCRETE FINISH

TEXTURED CONCRETE FINISH

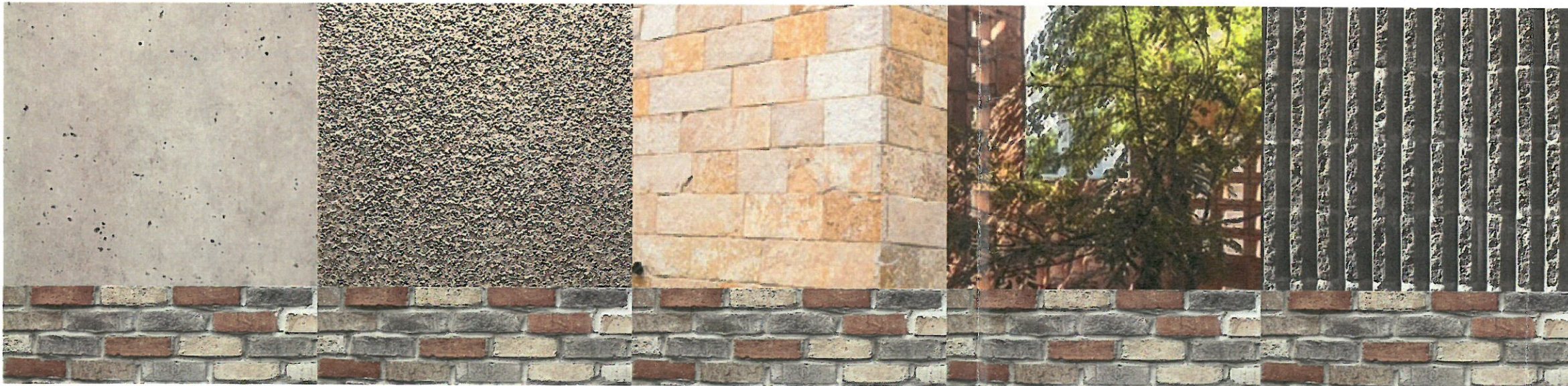
FLUTED CONCRETE WALLS, PAINTED

CONTINUOUS BRICK BAND

TEXAS STONE

PLANTINGS ADJACENT TO ALL ENTRANCES AND EGRESS FOR INTEGRATION OF NATURAL ELEMENTS WITH INSIDE ENVIRONMENT

PLANTINGS AT ALL ENTRANCES



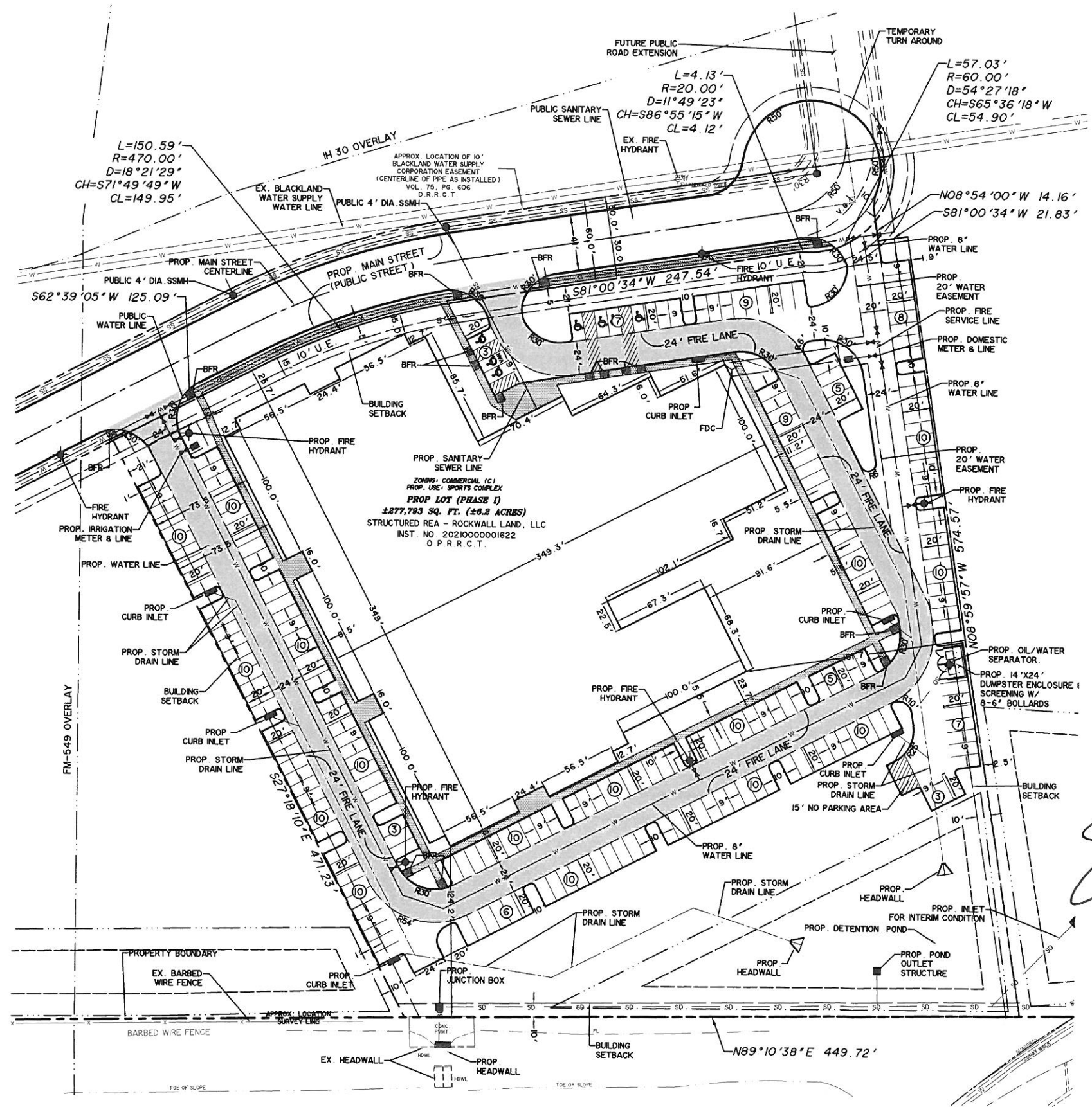
CONTINUOUS 10' HIGH BRICK BAND

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 11. DAY OF May, 2024
 WITNESS OUR HANDS, THIS 14 OF May, 2024
 [Signature] DIRECTOR OF PLANNING AND ZONING

| | | | |
|--|------------|------------------------------------|---|
| | | | |
| PROJECT FITSPORTLIFE ROCKWALL, TEXAS CORPORATE CROSSING WEST + I-30, ROCKWALL, TEXAS | | | |
| SUBMISSION | | | |
| # | DATE | DESCRIPTION | SITE PLAN REVIEW NOT FOR CONSTRUCTION |
| | 03/19/2021 | SITE PLAN REVIEW | |
| | | | |
| | | | |
| DRAWING TITLE MATERIALS BOARD SP2021-010 | | DRAWING NO. A-2.1 | |

BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

PRINTED: 5/10/2021 5TB FILE: WIER-PAVING.STB LAST SAVED: 5/10/2021 4:13 PM SAVED BY: RANDY E. WIER, CITY SITE PLAN - 19144.DWG



| SITE DATA SUMMARY | |
|--|--|
| ZONING | COMMERCIAL (C) |
| TRACT INFO | EXISTING TRACTS: TRACT 1 STRUCTURED REA - ROCKWALL LAND, LLC 20.49 ACRES ± (892,665 SQ FT ±) TRACT 2 STRUCTURED REA - ROCKWALL LAND, LLC 31.44 ACRES ± (1,369,360 SQ FT ±) |
| PROP. LOT AREA | PORTION OF TRACT 1 & 2 STRUCTURED REA - ROCKWALL LAND, LLC LOT PHASE 1: 6.38 ACRES ± (277,793 SQ FT ±) |
| PROP. USE ON PROP. LOT PHASE 1 | SPORTS COMPLEX |
| PROPOSED BUILDING AREA | 87,155 SF ± |
| BUILDING COVERAGE | 31.37% |
| BUILDING HEIGHT | 1 STORY |
| MINIMUM REQUIRED PARKING | PUBLIC RECREATION CLUB: 1/250 SF (14,000 SF) 56 PUB. RECREATION CLUB: 3/GAME COURT 42 GYM: 1/200 SF (7,000 SF) 35 MEDICAL OFFICE: 1/200 SF (10,900 SF) 54 187 |
| MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING | 7 |
| TOTAL PARKING PROVIDED | TOTAL STANDARD (19'x20') 218 HANDICAP-ACCESSIBLE 7 225 |

- NOTE:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
 - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.
- ONSITE PAVEMENT SHALL BE:
- PARKING: 5' CONCRETE PAVEMENT
FIRE LANE: 6' CONCRETE PAVEMENT
DUMPSTER: 7' CONCRETE PAVEMENT
- BUILDING IS PARALLEL & PERPENDICULAR TO WEST PROPERTY LINE.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB.
 - ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND SCREENED AS PER UDC.

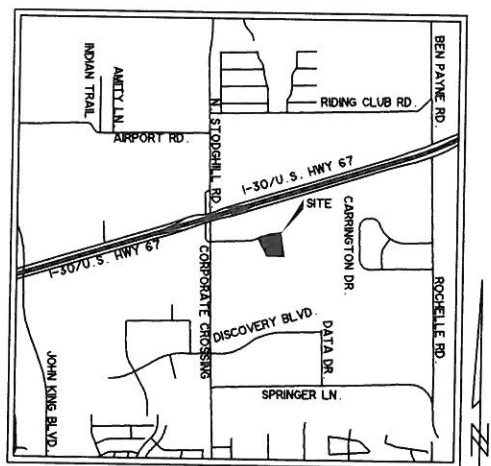
APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF May 2021
WITNESS OUR HANDS, THIS 14th Day of May 2021
PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

**SITE PLAN
FITSORTSLIFE PHASE I**
SE CORNER OF CORPORATE CROSSING WEST & I-30
ROCKWALL, TEXAS
PORTION OF TRACT 1 & 2
STRUCTURED REA - ROCKWALL LAND, LLC
BEING 6.38 ACRES OF
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120
EXISTING ZONING: C (COMMERCIAL)
PROPOSED LAND USE: SPORTS COMPLEX

OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

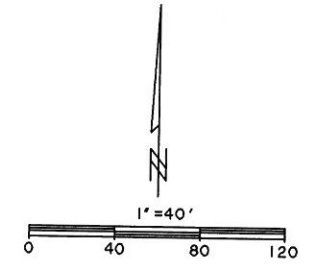
ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com

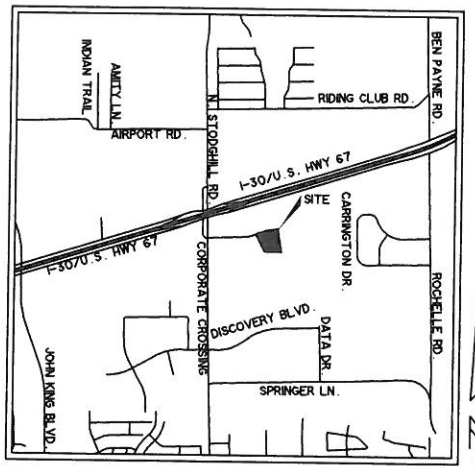
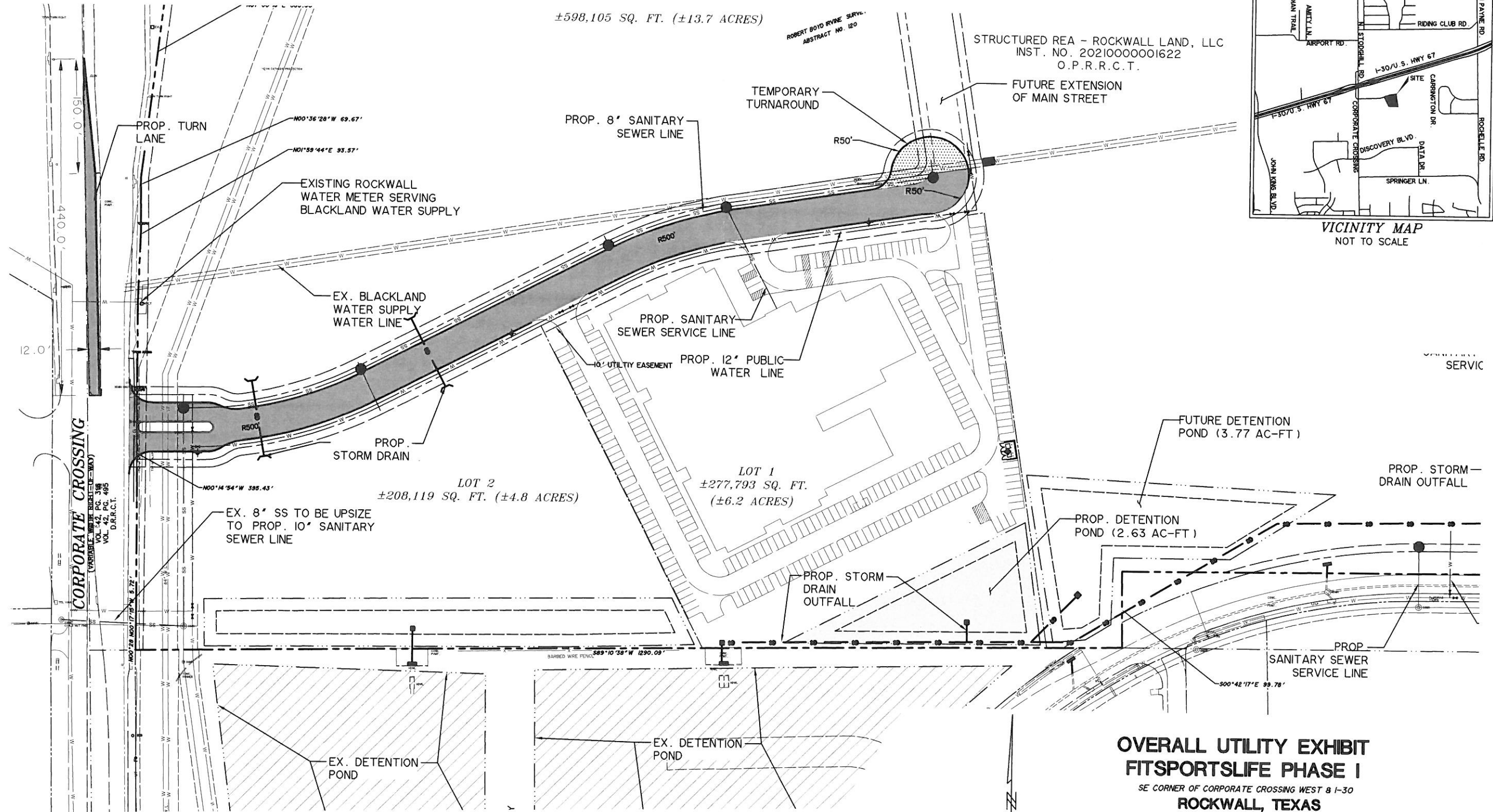


VICINITY MAP
NOT TO SCALE

- LEGEND
- SSMH ○ EXISTING SANITARY SEWER MANHOLE
 - SSCO ○ EXISTING SANITARY SEWER CLEAN OUT
 - FH ○ EXISTING FIRE HYDRANT
 - WM ○ EXISTING WATER METER
 - WM □ EXISTING WATER VAULT
 - W- EXISTING WATER LINE
 - SS- EXISTING SANITARY SEWER LINE
 - W- PROPOSED WATER LINE
 - SS- PROPOSED SANITARY SEWER LINE
 - SD- PROPOSED STORM DRAIN LINE
 - - - PHASE I PARCEL BOUNDARY
 - - - PROPERTY BOUNDARY
 - - - PROPOSED WATER EASEMENT
 - - - PROPOSED FIRE LANE
 - - - BUILDING SETBACK
 - BFR □ BARRIER FREE RAMP
 - PROP. SIDEWALK
 - PROP. PUBLIC ACCESS & UTILITY EASEMENT



PRINTED: 5/10/2021 5TB FILE: WIER-PAVING.STB LAST SAVED: 5/4/2021 10:23 AM SAVED BY: RANDY E. CITY SITE PLAN 2 - 19144.DWG BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT



LEGEND

| | | | |
|------|-----------------------------------|-----|-------------------------------|
| SSMH | EXISTING SANITARY SEWER MANHOLE | --- | R.O.W. BOUNDARY |
| SSCO | EXISTING SANITARY SEWER CLEAN OUT | □ | PROPOSED DETENTION POND |
| FH | EXISTING FIRE HYDRANT | ▨ | EXISTING DETENTION POND |
| WM | EXISTING WATER METER | ▧ | DETENTION POND BY OTHERS |
| WM | EXISTING WATER VAULT | ■ | PHASE I PUBLIC PAVING |
| --- | EXISTING WATER LINE | ▩ | PHASE I TEMPORARY TURN AROUND |
| --- | EXISTING SANITARY SEWER LINE | | |
| --- | PROPOSED WATER LINE | | |
| --- | PROPOSED SANITARY SEWER LINE | | |
| --- | PROPOSED STORM DRAIN LINE | | |
| --- | ADJOINING PROPERTY BOUNDARY | | |
| --- | PROPERTY BOUNDARY | | |

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 11 DAY OF May 2021.
 WITNESS OUR HANDS, THIS 11 OF May 2021

 PLANNING & ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

1"=60'
 0 60 120 180
 OWNER/DEVELOPER/APPLICANT:
 STRUCTURED REAL ESTATE
 171 N. ABERDEEN STREET, SUITE 400
 CHICAGO, IL 60607
 PHONE: (312) 702-1719
 CONTACT: STEPHEN DOYLE
 ENGINEER:
 WIER & ASSOCIATES, INC.
 2201 E. LAMAR BLVD., STE 200E
 ARLINGTON, TEXAS 76006
 PHONE: (817) 467-7700
 CONTACT: RANDY EARDLEY, P.E.
 RandyE@WierAssociates.com

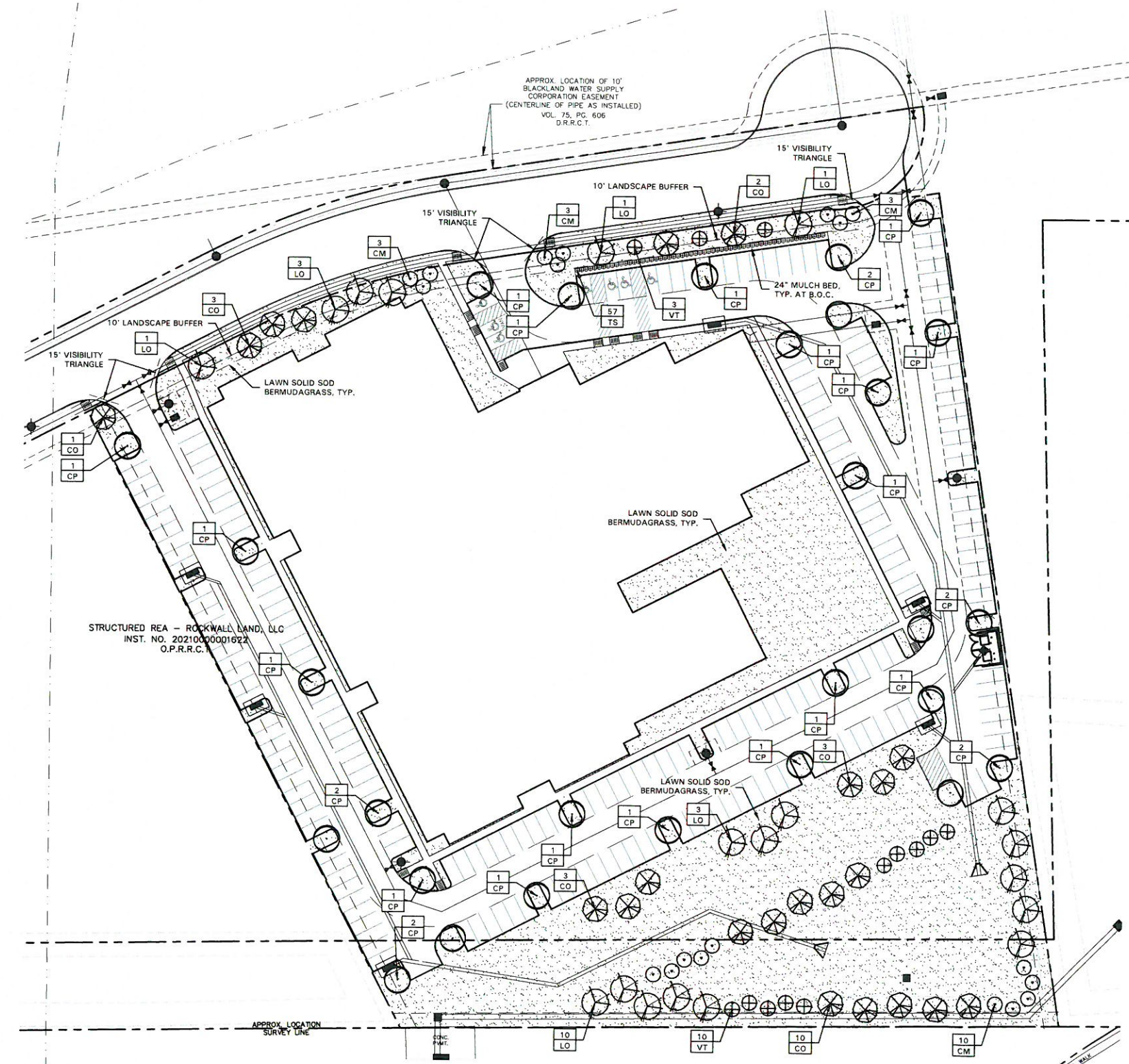
**OVERALL UTILITY EXHIBIT
 FITSPORTSLIFE PHASE I**
 SE CORNER OF CORPORATE CROSSING WEST 8 I-30
ROCKWALL, TEXAS
 PORTION OF TRACT 1 & 2
 STRUCTURED REA - ROCKWALL LAND, LLC
 BEING 6.38 ACRES OF
 ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120
 EXISTING ZONING: C (COMMERCIAL)
 PROPOSED LAND USE: SPORTS COMPLEX

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
SP2021-010
SHEET 2 OF 2

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION. SECOND OR PERMIT PURPOSES. Prepared By/Or Under Direct Supervision Of Randy Eardley, P.E. Texas Registration No. 104857 On Date Shown Below.
 DATE: 5/4/2021
 W.A. No. 19144



**FitSportsLife
Phase 1**
Rockwall, Texas



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- Ten (10') foot-wide landscape buffer with one tree canopy and one accent tree per fifty (50) l.f.

STREET A: 585 l.f.

| | |
|--------------------------------|--------------------------------|
| Required | Provided |
| (12) canopy trees, 4" cal. | (12) canopy trees, 4" cal. |
| (12) accent trees, 4" min. ht. | (12) accent trees, 4" min. ht. |

PARKING LOT LANDSCAPING

- Five (5%) percent of the interior parking lot shall be landscaped.
- One (1) canopy tree per 10 parking spaces

Total interior parking lot area: 41,433 s.f.
Total parking spaces: 225 spaces

| | |
|-------------------|-------------------|
| Required | Provided |
| 2,072 s.f. (5%) | 7,238 s.f. (17%) |
| (23) canopy trees | (28) canopy trees |

SITE LANDSCAPING

- Twenty (20%) percent of the total site shall be landscaped for COMMERCIAL.
- Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 5.23 AC; 227,793 s.f.

| | |
|-------------------|-------------------|
| Required | Provided |
| 45,557 s.f. (15%) | 95,458 s.f. (42%) |
| 22,779 s.f. (50%) | 33,262 s.f. |

DETENTION POND LANDSCAPING

- One (1) canopy tree and one (1) accent tree per 750 s.f. of detention pond area.

Detention Pond Area: 14,844 s.f.

| | |
|-------------------|-------------------|
| Required | Provided |
| (20) canopy trees | (20) canopy trees |
| (20) accent trees | (20) accent trees |

PLANT LIST

| SYMBOL | BOTANICAL NAME | COMMON NAME | QTY. | SIZE | REMARKS |
|--------|--|--------------------------|------|---------|---|
| CM | <i>Lagerstroemia indica</i> 'Natchez' | Crape Myrtle 'Natchez' | 19 | 30 gal. | container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching |
| CO | <i>Quercus muhlenbergii</i> | Chinkapin Oak | 22 | 4" cal. | container grown, 15' ht., 5' spread, 5' branching ht., matching |
| CP | <i>Pistacia chinensis</i> | Chinese Pistache | 28 | 4" cal. | container grown, 15' ht., 5' spread, 5' branching ht., matching |
| LO | <i>Quercus virginiana</i> | Live Oak | 19 | 4" cal. | container grown, 15' ht., 5' spread, 5' branching ht., matching |
| VT | <i>Vitex agnus-castus</i> | Vitex | 13 | 30 gal. | container grown, 8' ht., 4' spread, 3 trunk min. |
| TS | <i>Leucophyllum frutescens</i> 'Green Cloud' | Texas Sage 'Green Cloud' | 57 | 5 gal. | container full, 20" spread, 24" o.c. |
| | <i>Cynodon dactylon</i> | Common Bermudagrass | | | solid sod, refer to Solid Sod Notes |

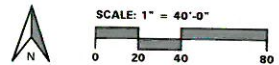
NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL, ON THE 17 DAY OF May, 2021.
WITNESS OUR HANDS, THIS 17 DAY OF May, 2021

PLANNING AND ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

CASE NO: SP-2021-010
ENGINEER: WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76005
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.

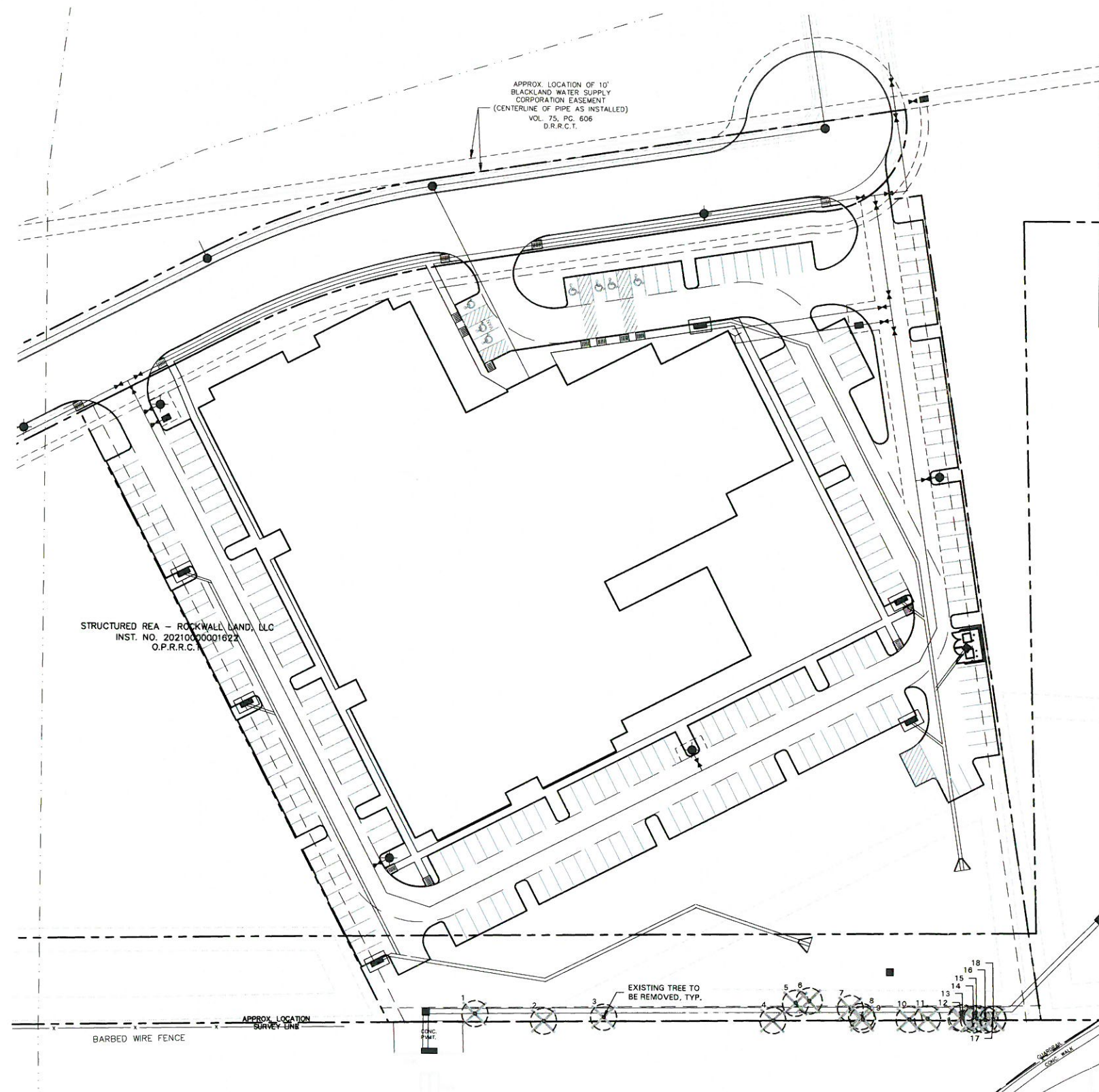
OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE



Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions

| No. | Date | Detail |
|-----|----------|---------------|
| 1 | 05.07.21 | City Comments |



| TREE SURVEY FIELD DATA | | | | |
|---|---------------|-----------------------|---------------|---------------------|
| No. | Dia. (inches) | Species (common name) | Status | Remarks |
| 1 | 10 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 2 | 12 | HACKBERRY | TO BE REMOVED | SECONDARY PROTECTED |
| 3 | 11 | HACKBERRY | TO BE REMOVED | SECONDARY PROTECTED |
| 4 | 6 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 5 | 11 | HACKBERRY | TO BE REMOVED | SECONDARY PROTECTED |
| 6 | 10 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 7 | 8 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 8 | 6 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 9 | 10 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 10 | 18 | HACKBERRY | TO BE REMOVED | SECONDARY PROTECTED |
| 11 | 8 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 12 | 6 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 13 | 6 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 14 | 10 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 15 | 13 | HACKBERRY | TO BE REMOVED | SECONDARY PROTECTED |
| 16 | 6 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 17 | 6 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| 18 | 8 | HACKBERRY | TO BE REMOVED | NOT PROTECTED |
| Total Caliper Inches on Site | | | | 163 |
| Total Caliper Inches Removed | | | | 163 |
| Total Mitigation Inches Required | | | | 31.5 |
| Total Mitigation Inches Provided | | | | 32 |

TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



**FitSportsLife
Phase 1**
Rockwall, Texas

Project Number: 21030
Issue Date: 03.19.2021
Drawn By: DJD
Checked By: KAH

Revisions
No. Date Detail
1 05.07.21 City Comments

Sheet Title:
TREE PRESERVATION PLAN

Sheet Number:
L1.01

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 11 DAY OF May, 2021.
WITNESS OUR HANDS, THIS 11th Day of May, 2021
PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

CASE NO: SP-2021-010
ENGINEER:
MER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
OWNER/DEVELOPER/APPLICANT:
STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

