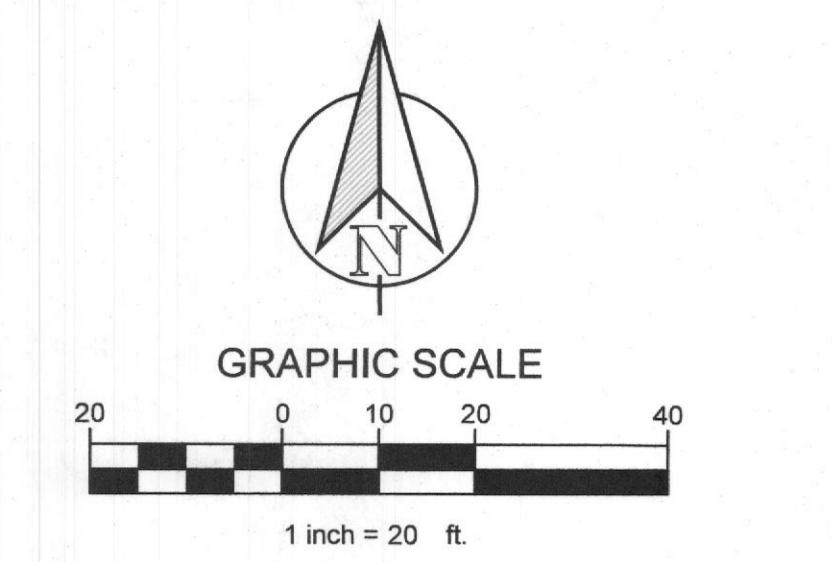
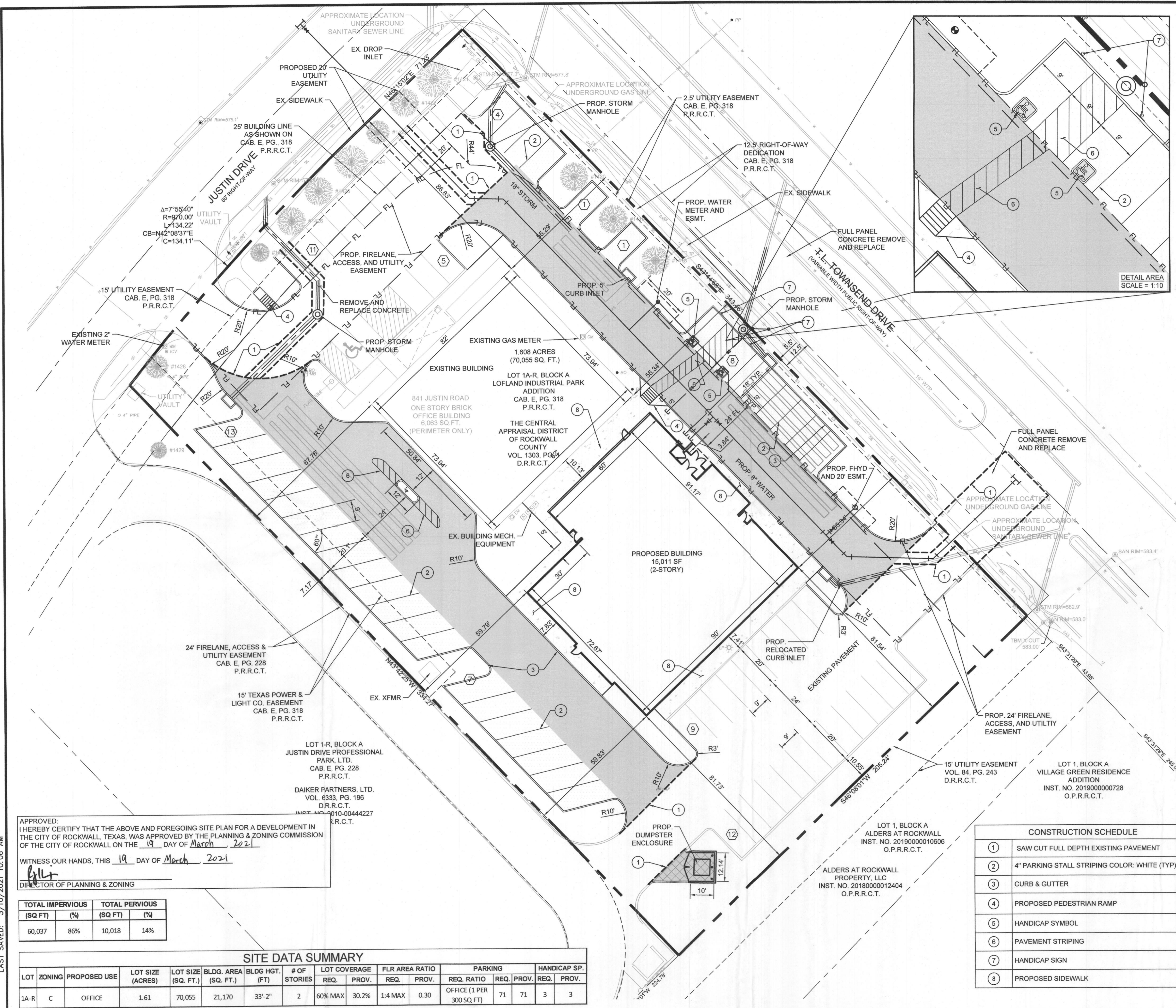


PLOTTED BY: CURTIS PETERS
 PLOT DATE: 3/10/2021 10:09 AM
 LOCATION: Z:\PROJECTS\2020-136 RCAD ROCKWALL\CADD\SHEETS\SITE PLAN\SP-1 SITE PLAN.DWG
 LAST SAVED: 3/10/2021 10:06 AM



LEGEND

[Symbol]	5" STANDARD DUTY CONCRETE PAVEMENT
[Symbol]	6" HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	7" DUMPSTER AREA CONCRETE PAVEMENT
[Symbol]	SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PARKING COUNT
[Symbol]	FULL-DEPTH SAWCUT
[Symbol]	PROPOSED FIRE LANE STRIPPING

- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
 - PROPERTY HAS BEEN PREVIOUSLY PLATTED.
 - NO PROPOSED SIGNAGE ON SITE. EXISTING SIGNAGE TO BE UTILIZED.
 - EXISTING SITE LIGHTING TO BE UTILIZED. NO ADDITIONAL ON SITE LIGHTING PROPOSED.
 - NO EXISTING OR PROPOSED FENCING ON SITE.
 - EXISTING STORM SYSTEM SIZED FOR FULLY DEVELOPED CONDITION ON SITE. NO DETENTION REQUIRED. REFER TO CAPITAL IMPROVEMENT PROJECT OF TOWNSEND BLVD. PREPARED BY WEIR AND ASSOCIATES, INC. (DATED 7/27/07) FOR DETAILS.

CONSTRUCTION SCHEDULE

1	SAW CUT FULL DEPTH EXISTING PAVEMENT
2	4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	CURB & GUTTER
4	PROPOSED PEDESTRIAN RAMP
5	HANDICAP SYMBOL
6	PAVEMENT STRIPING
7	HANDICAP SIGN
8	PROPOSED SIDEWALK

CASE # : SP2021-001

OWNER: CENTRAL APPRAISAL DISTRICT OF ROCKWALL 841 JUSTIN ROAD ROCKWALL, TX 75087 PH: 972-771-2034	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 78021 PH: 817.281.0572	
CONTACT NAME: CLAY CRISTY	
LEGAL DESCRIPTION: LOT 1A-R, BLOCK A, LOFLAND INDUSTRIAL PARK ADDITION	
CITY: ROCKWALL	STATE: TEXAS
COUNTY: ROCKWALL	SURVEY: B.J.T. LEWIS
ABSTRACT NO.: 255	

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 19 DAY OF March, 2021.

WITNESS OUR HANDS, THIS 19 DAY OF March, 2021

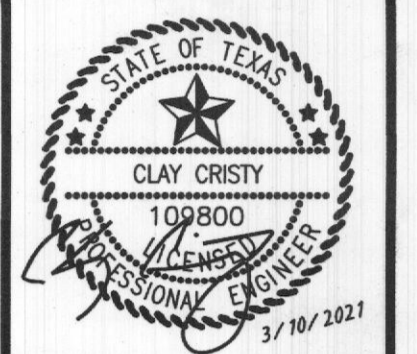
[Signature]
 DIRECTOR OF PLANNING & ZONING

TOTAL IMPERVIOUS (SQ FT)	TOTAL PERVIOUS (%)	TOTAL PERVIOUS (SQ FT)	TOTAL PERVIOUS (%)
60,037	86%	10,018	14%

SITE DATA SUMMARY

LOT	ZONING	PROPOSED USE	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BLDG. AREA (SQ. FT.)	BLDG. HGT. (FT)	# OF STORIES	LOT COVERAGE		FLR AREA RATIO		PARKING		HANDICAP SP.		
								REQ.	PROV.	REQ.	PROV.	REQ. RATIO	REQ. PROV.	REQ.	PROV.	
1A-R	C	OFFICE	1.61	70,055	21,170	33'-2"	2	60% MAX	30.2%	1:4 MAX	0.30	OFFICE (1 PER 300 SQ FT)	71	71	3	3

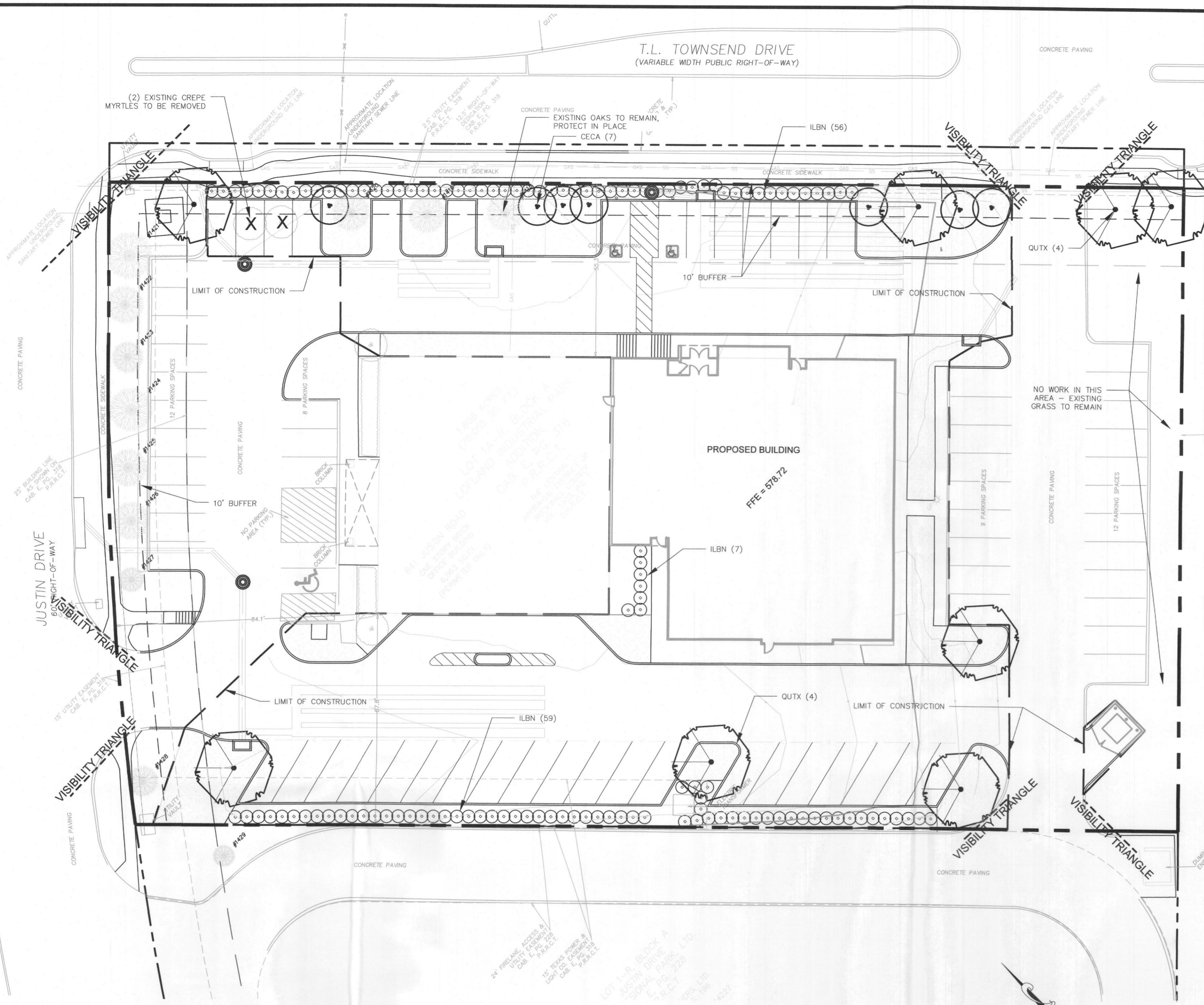
TEXAS FORM #1-199
CLAYMOORE ENGINEERING
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 78021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM



ROCKWALL CAD
814 JUSTIN ROAD
ROCKWALL, TX 75087

SITE PLAN

DESIGN: CWP	CHECKED: CLC	DATE: 3/10/2021
SHEET		
SP-1		
File No: 2020-136		



PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
TREES						
CECA	Cercis canadensis 'Texana'	Texas Redbud	2" cal., 8'-10' high	per plan	7	Accent Tree
QUTX	Quercus texana	Texas Red Oak	4" cal., 16'-18' high	per plan	8	Canopy Tree

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.

SHRUBS						
ILBN	Ilex comuta 'Burfordii Nana'	Dwarf Burford Holly	5 gallon	X	126	Evergreen Screening Shrub

TURF AND SEED						
Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	---	---	---

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

EXISTING TREE LEGEND

TREE NO.	COMMON NAME	DBH	REMARKS
1418	OAK	12"	PROTECT IN PLACE
1419	OAK	12"	PROTECT IN PLACE
1420	OAK	12"	PROTECT IN PLACE
1421	OAK	15"	PROTECT IN PLACE
1422	OAK	12"	PROTECT IN PLACE
1423	OAK	10"	PROTECT IN PLACE
1424	OAK	14"	PROTECT IN PLACE
1425	OAK	12"	PROTECT IN PLACE
1426	OAK	12"	PROTECT IN PLACE
1427	OAK	8"	PROTECT IN PLACE
1428	OAK	10"	PROTECT IN PLACE
1429	OAK	7"	OFF SITE

LANDSCAPE STANDARDS

- 05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL**
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:
PROVIDED 10' BUFFER - T.L. TOWNSEND DR.
10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE + 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE GROUND COVER, SHRUBS, 7 OAKS, 7 REDBUDS
- 05.02 LANDSCAPE SCREENING**
REQ. HEADLIGHT SCREENING
PROVIDED SCREENING
HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS EVERGREEN HOLLY SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTS
- 05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT**
TOTAL SITE AREA: 70,055 SF
LANDSCAPE AREA REQUIRED TOTAL SITE: 14,011 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE: 15,129 SF (21.6%)
- LOCATION OF LANDSCAPING:**
MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
- MIN. SIZE OF AREAS**
ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
- DETENTION BASINS**
NONE PROPOSED
- PARKING LOT LANDSCAPING**
MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.
- PROPOSED PARKING AREA:**
REQ. PARKING LOT LANDSCAPING: 17,754 SF
PROPOSED PARKING LOT LANDSCAPING: 888 SF
PROPOSED PARKING LOT LANDSCAPING: 2,315 SF
REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

GENERAL GRADING AND PLANTING NOTES

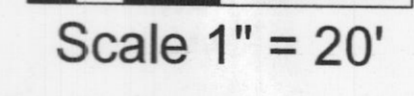
- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - IF ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUPINGS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT BY WRITING VIA PROPER CHANNELS.
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE); RAIN SENSORS; AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LOT COVER	PROPOSED USE	LOT AREA	LOT AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA	NET AREA
1	OFFICE	1.6	70,055	33,075	36,972	2	30,000	30,000	3,000	30,000	3,000	30,000	3,000	30,000	3,000	30,000	3,000	30,000	3,000

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 19 DAY OF March, 2021.
WITNESS OUR HANDS, THIS 19 DAY OF March, 2021.
[Signature]
DIRECTOR OF PLANNING & ZONING

CASE #: SP2021-001

OWNER:
CENTRAL APPRAISAL DISTRICT OF ROCKWALL
841 JUSTIN ROAD
ROCKWALL, TX 75087
PH: 972-771-2034

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

CONTACT NAME: CLAY CRISTY

LEGAL DESCRIPTION:
LOT 1A-R, BLOCK A, LOFLAND INDUSTRIAL PARK ADDITION

CITY: ROCKWALL STATE: TEXAS

COUNTY: ROCKWALL SURVEY: B.J.T. LEWIS ABSTRACT NO.: 255

NO.	DATE	REVISION	BY

LANDSCAPE PLAN

SHEET LP-1

DESIGN: DB
DRAWN: DB
CHECKED: RM
DATE: 01/15/2021

PLANTING SPECIFICATIONS

- GENERAL
A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.

- PRODUCTS
A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.

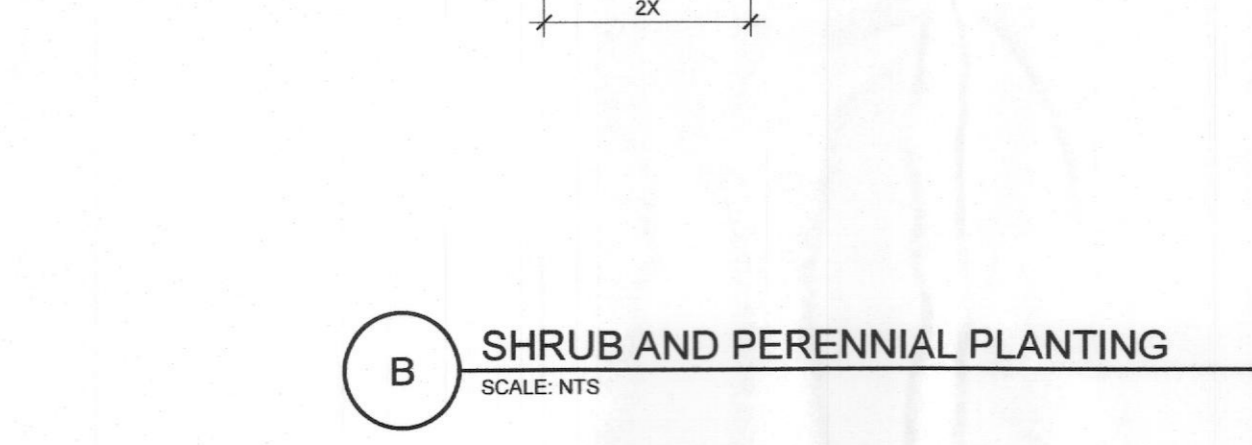
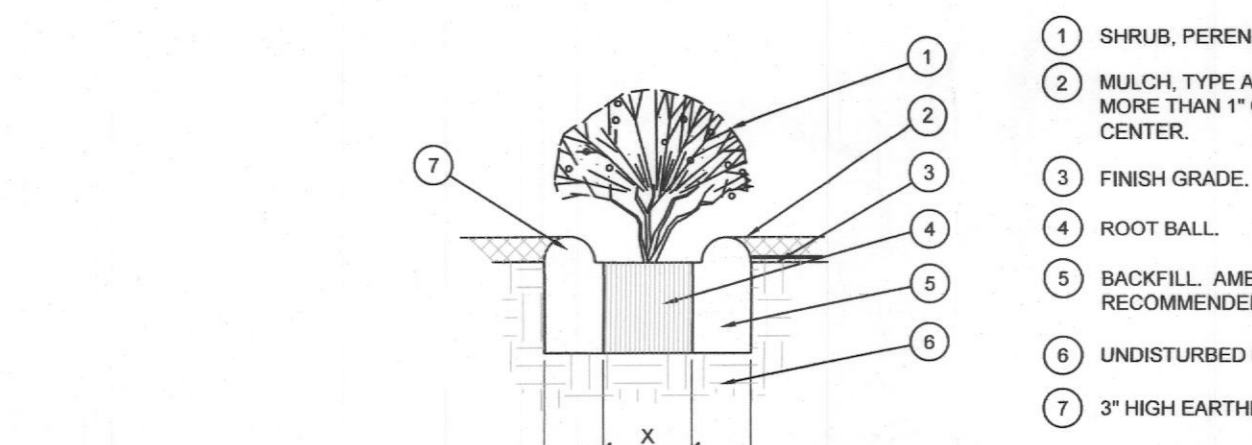
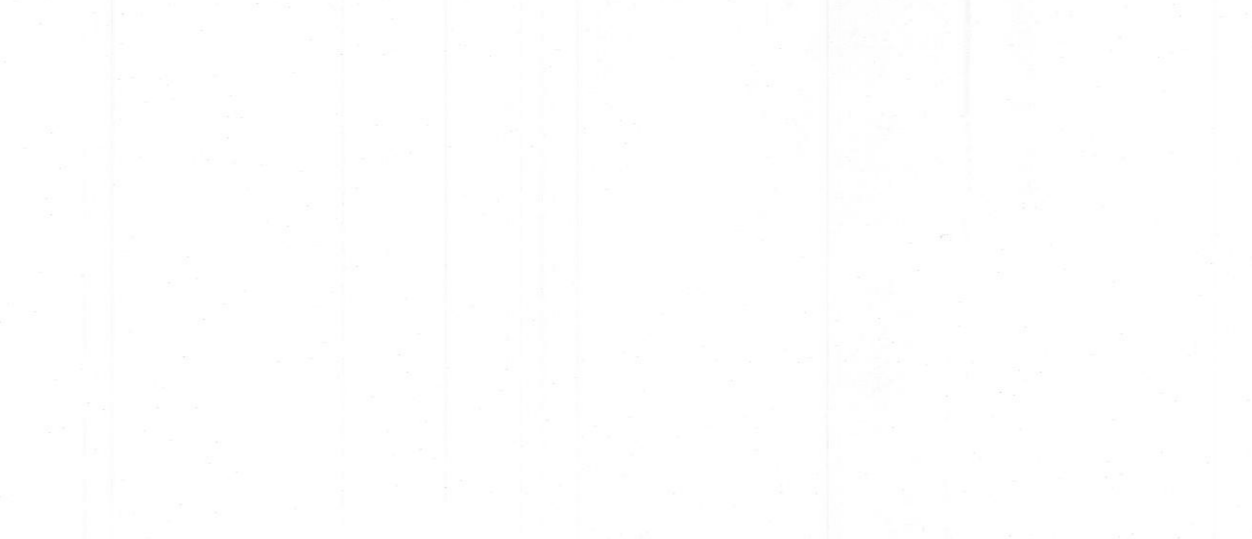
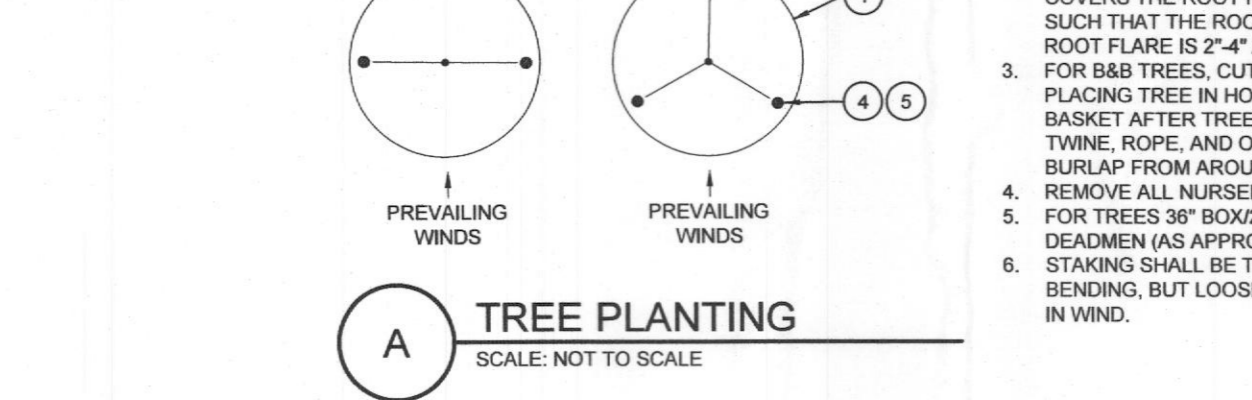
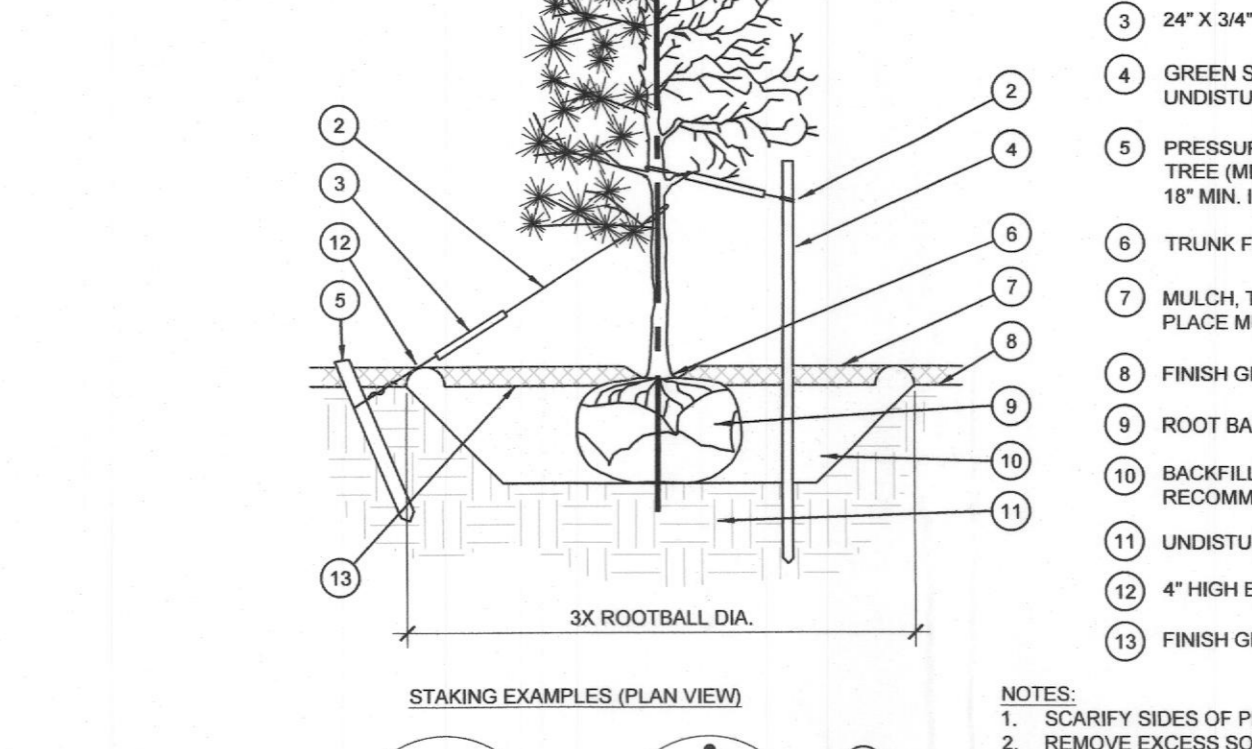
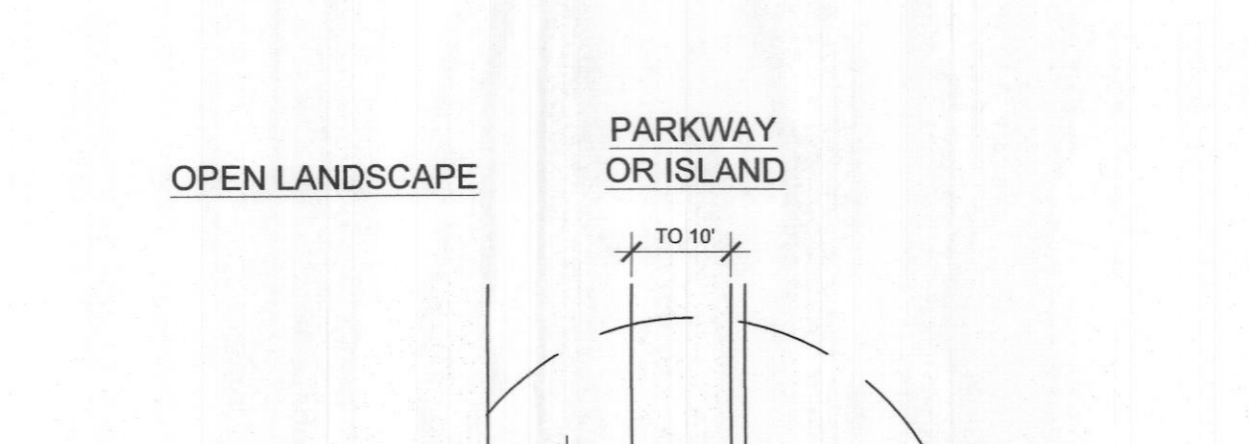
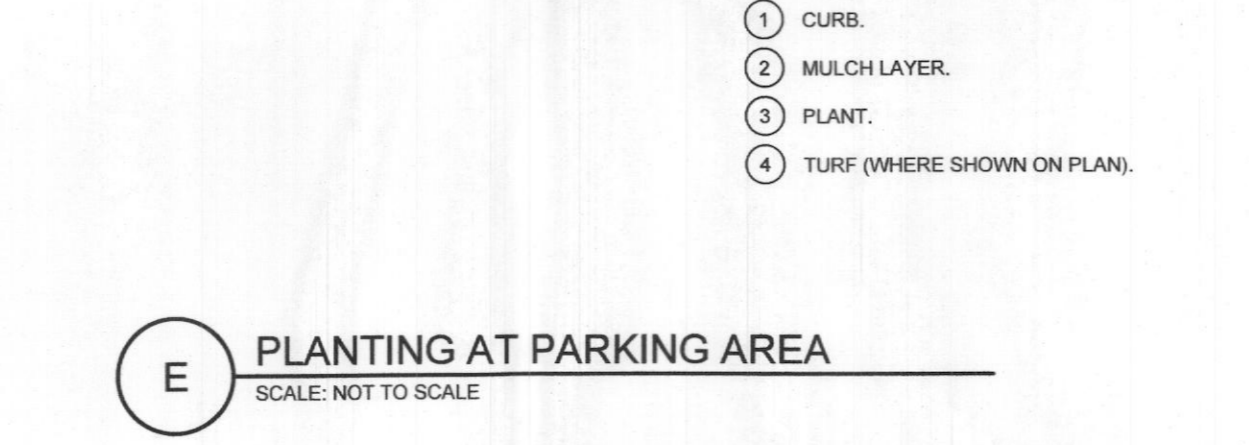
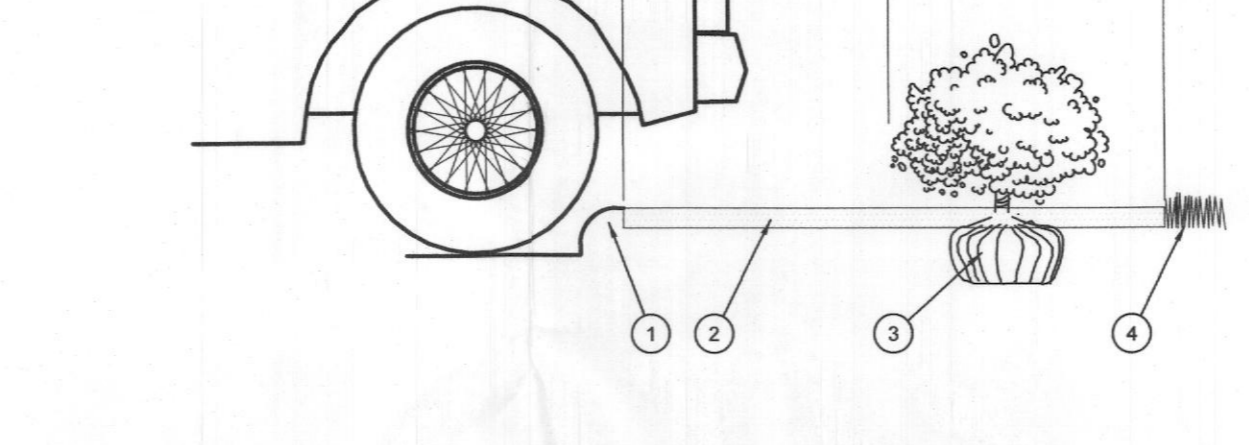
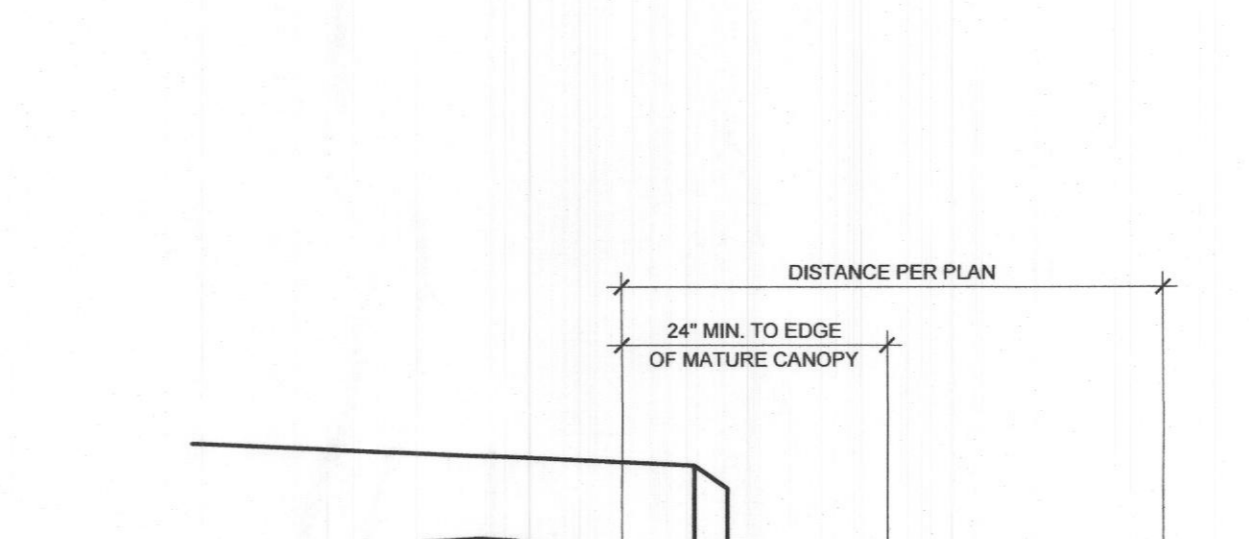
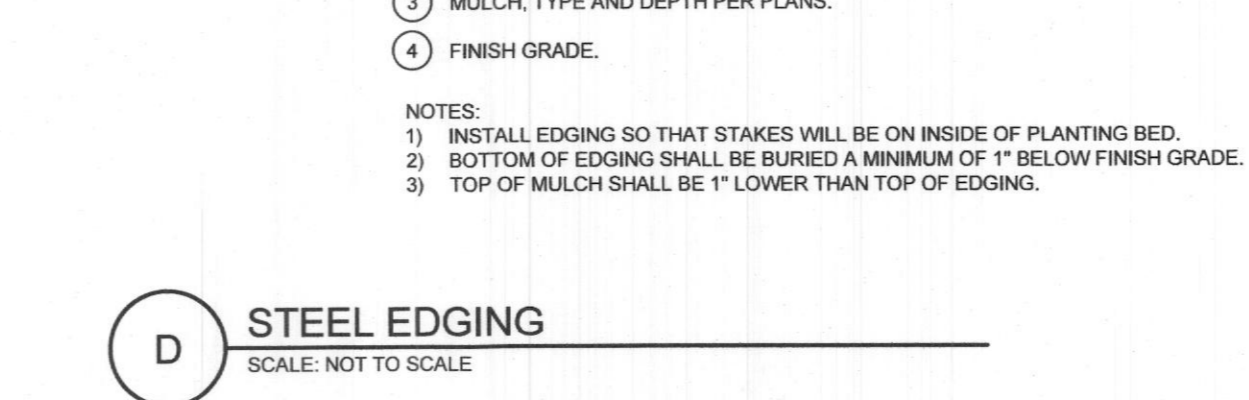
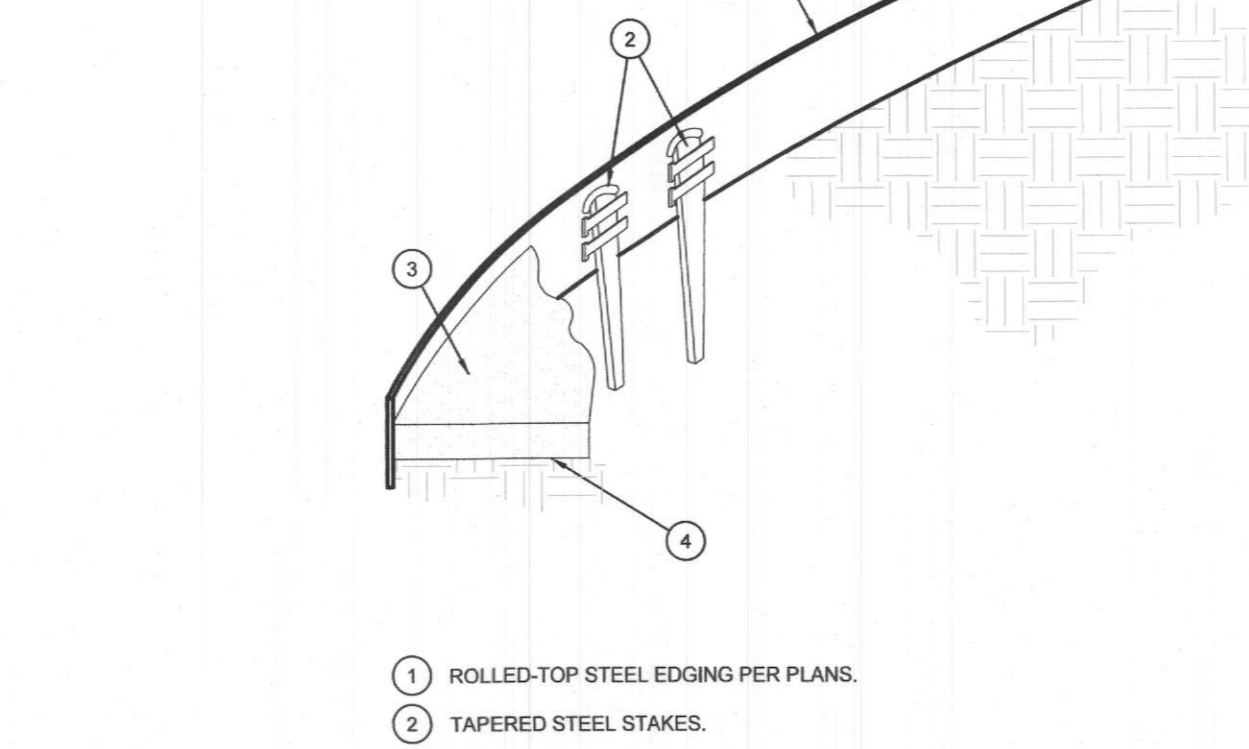
- METHODS
A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.

- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).

- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
2. TRENCHING NEAR EXISTING TREES
a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES.

- D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY STAKES WHICH MAY HAVE BEEN CAUSING THE EXCAVATION OF THE HOLE. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES BEING PLANTED INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.

- E. SHRUB, PERENNIAL AND GROUND COVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.



- NOTES:
1. INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF TYPE OR MATERIAL THAT COMPLETELY ENCLOSE THE ROOTBALL.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 19 DAY OF March, 2021. WITNESS OUR HANDS, THIS 19 DAY OF March, 2021. Billi PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

Case #: SP2021-001
OWNER: CENTRAL APPRAISAL DISTRICT OF ROCKWALL
841 JUSTIN ROAD
ROCKWALL, TX 75087
PH: 972-771-2034
APPLICANT: CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572
CONTACT NAME: CLAY CRISTY
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CITY: ROCKWALL STATE: TEXAS
COUNTY: ROCKWALL SURVEY: B.J.T. LEWIS ABSTRACT NO: 255



ROCKWALL CAD
841 JUSTIN ROAD
ROCKWALL, TX 75087

Table with columns: No., DATE, REVISION, BY.

PLANTING DETAILS & SPECIFICATIONS
SHEET LP-2
DESIGN: DB
DRAWN: DB
CHECKED: RM
DATE: 01/15/2021

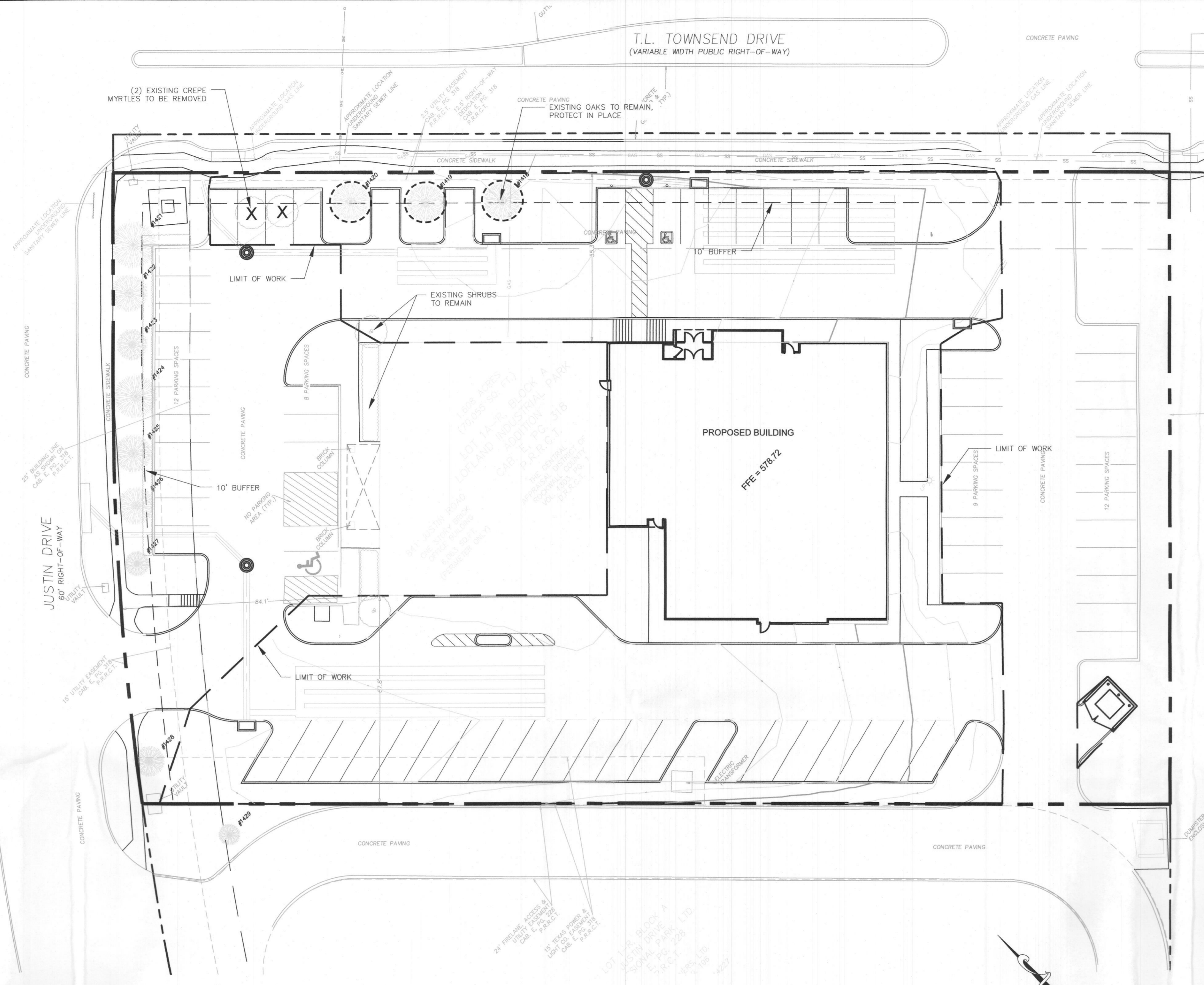
PLOTTED BY: DARCY BRANDON
PLOT DATE: 2/2/2021 1:00 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DLA\PROJECTS\2021\EDG\CAD - ROCKWALL TX\ROAD ROCKWALL_LP_2021-02-01.DWG
LAST SAVED: 2/2/2021 1:00 PM



ROCKWALL CAD
 841 JUSTIN ROAD
 ROCKWALL, TX 75087

No.	DATE	REVISION	BY

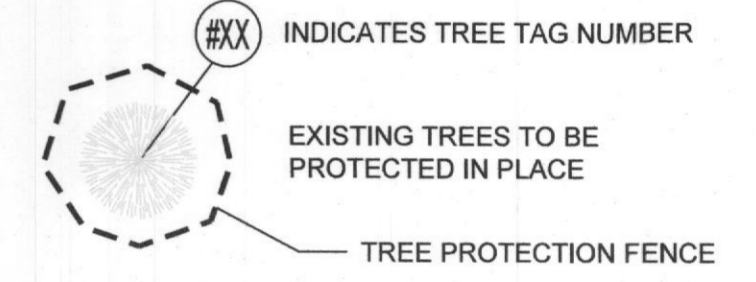
TREE DISPOSITION PLAN



EXISTING TREE LEGEND

TREE NO.	COMMON NAME	DBH	REMARKS
1418	OAK	12"	PROTECT IN PLACE
1419	OAK	12"	PROTECT IN PLACE
1420	OAK	12"	PROTECT IN PLACE
1421	OAK	15"	PROTECT IN PLACE
1422	OAK	12"	PROTECT IN PLACE
1423	OAK	10"	PROTECT IN PLACE
1424	OAK	14"	PROTECT IN PLACE
1425	OAK	12"	PROTECT IN PLACE
1426	OAK	12"	PROTECT IN PLACE
1427	OAK	8"	PROTECT IN PLACE
1428	OAK	10"	PROTECT IN PLACE
1429	OAK	7"	OFF SITE

LEGEND



SITE DATA SUMMARY										
LOT NUMBER	PROPOSED USE	LOT SIZE	LOT AREA	BLDG. AREA	BLDG. HEIGHT	FLOOR AREA RATIO	TERRACE	LANDSCAPE	PAVING	TOTAL IMPROVEMENTS
1A-R	OFFICE	3.65	75,000	23,375	33-0"	30%	100%	100%	0%	100%

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 19 DAY OF March, 2021.

WITNESS OUR HANDS, THIS 19 DAY OF March, 2021.

[Signature]
 DIRECTOR OF PLANNING & ZONING

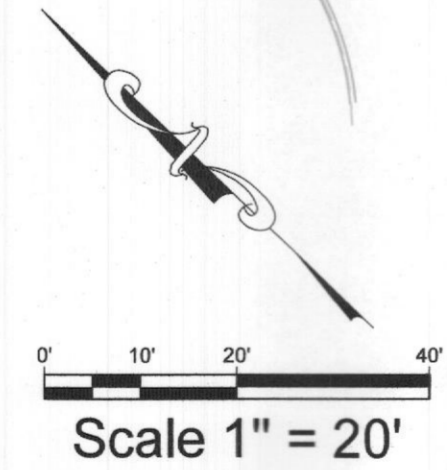
NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

CASE # : SP2021-001	
OWNER: CENTRAL APPRAISAL DISTRICT OF ROCKWALL 841 JUSTIN ROAD ROCKWALL, TX 75087 PH: 972-771-2034	APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
LEGAL DESCRIPTION: LOT 1A-R, BLOCK A, LOFLAND INDUSTRIAL PARK ADDITION	
CITY: ROCKWALL	STATE: TEXAS
COUNTY: ROCKWALL	SURVEY: B.J.T. LEWIS
ABSTRACT NO.: 255	

DESIGN: DB
 DRAWN: DB
 CHECKED: RM
 DATE: 01/15/2021
SHEET
TD-1

PLOTTED BY: DARCY BRANDON
 PLOT DATE: 2/5/2021 11:31 AM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DLA\PROJECTS\2021\EDG\CAD - ROCKWALL TX\2021-01-12_RCAD ROCKWALL_TD.DWG
 LAST SAVED: 2/5/2021 11:30 AM



TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL "T" SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- THE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

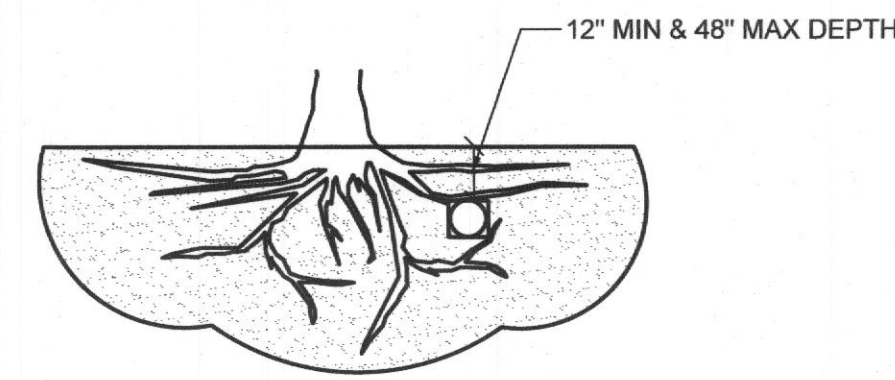
CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

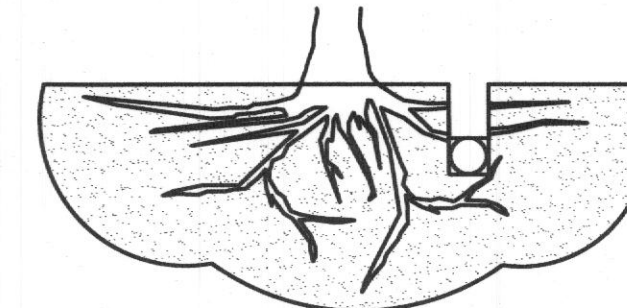
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



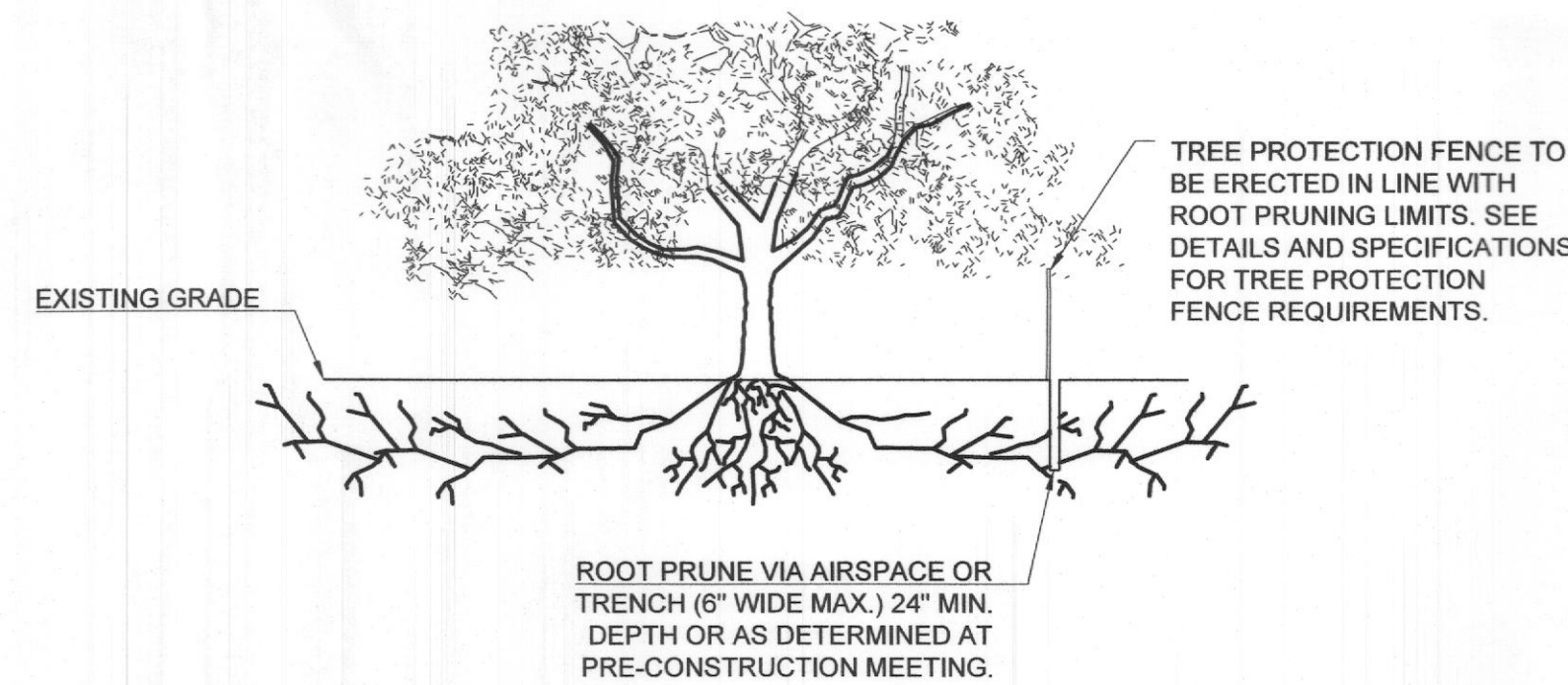
TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



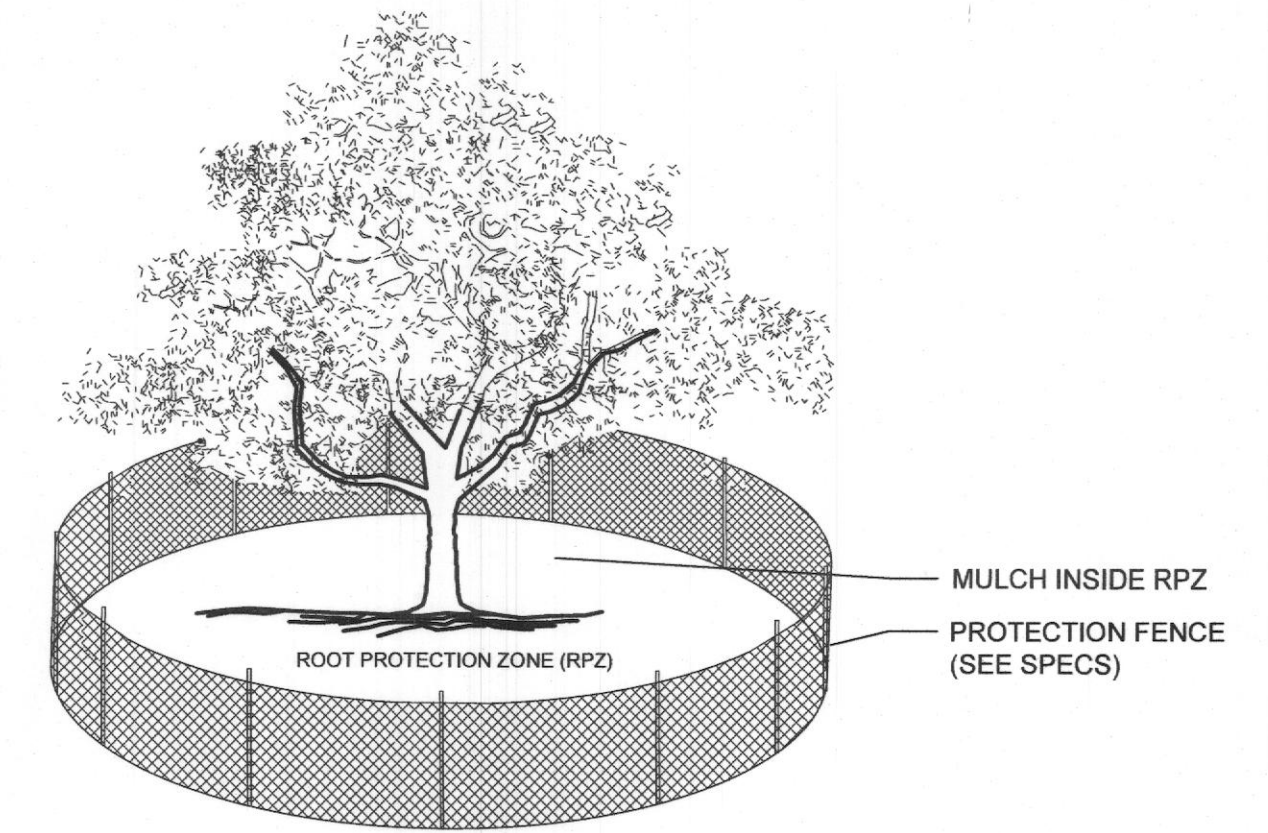
OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

- NOTES**
- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
 - BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
 - EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
 - TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
 - ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
 - ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
 - SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.

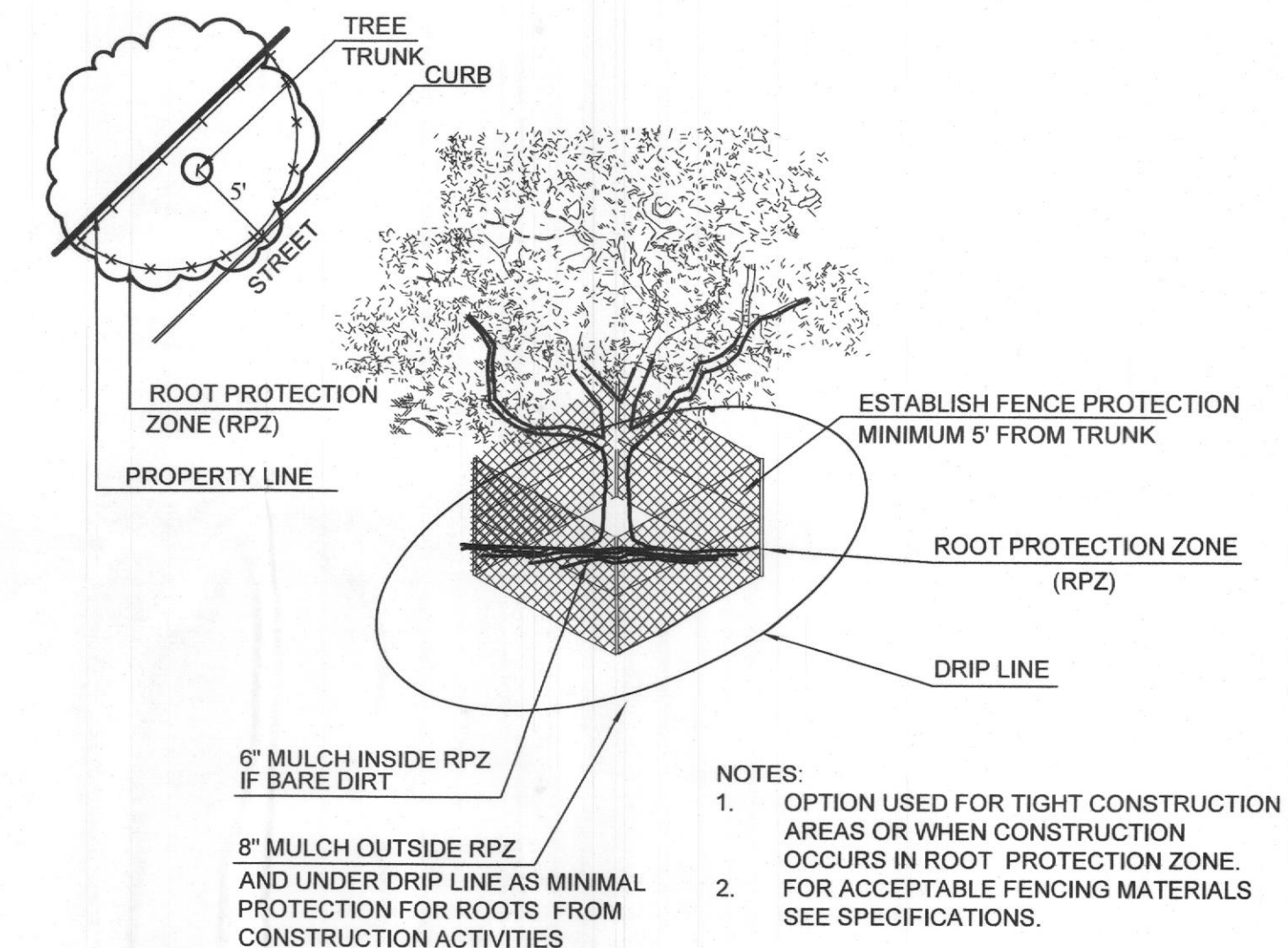


D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



- NOTES:**
- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
 - FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE

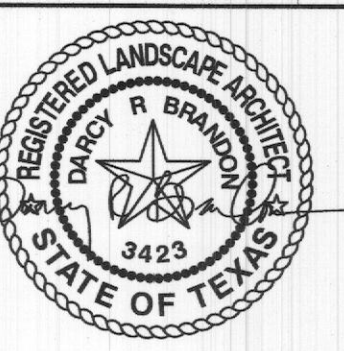


B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 19 DAY OF March, 2021.
WITNESS OUR HANDS, THIS 19 DAY OF March, 2021.
[Signature] DIRECTOR OF PLANNING & ZONING

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



ROCKWALL CAD
841 JUSTIN ROAD
ROCKWALL, TX 75087

No.	DATE	REVISION

**TREE DISPOSITION
SPECS & DETAILS**

CASE # : _____

OWNER:
CENTRAL APPRAISAL DISTRICT OF ROCKWALL
841 JUSTIN ROAD
ROCKWALL, TX 75087
PH: 972-771-2034

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

CONTACT NAME: CLAY CRISTY

LEGAL DESCRIPTION:
LOT 1A-R, BLOCK A, LOFLAND INDUSTRIAL
PARK ADDITION

CITY: ROCKWALL **STATE:** TEXAS

COUNTY: ROCKWALL **SURVEY:** B.J.T. LEWIS **ABSTRACT NO.:** 255

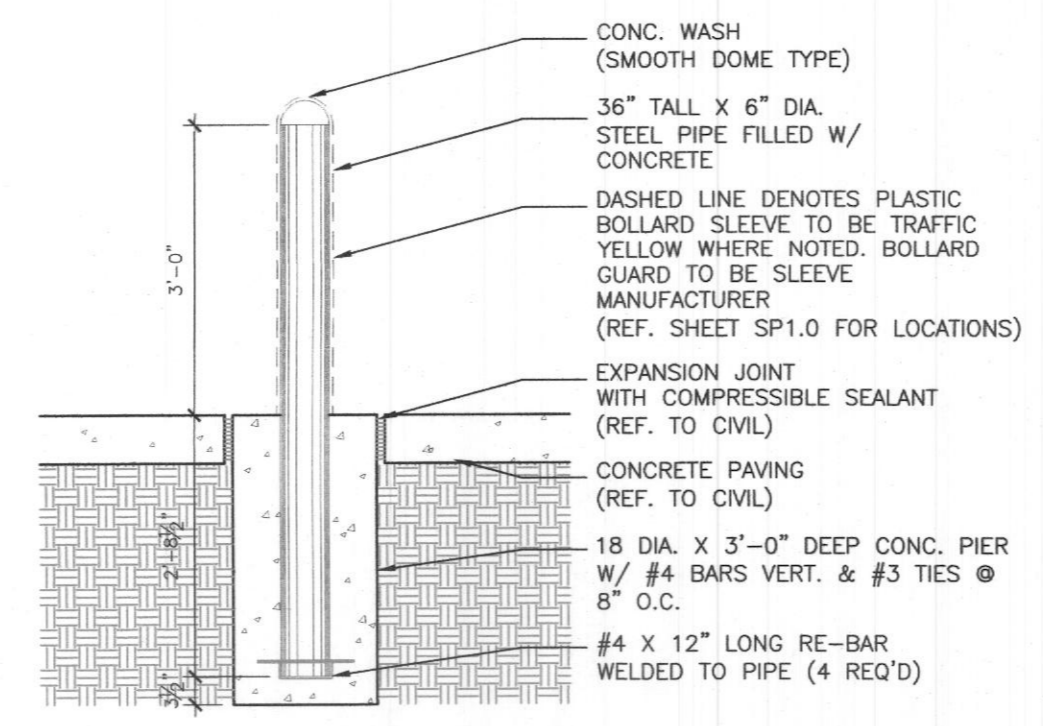
DESIGN:	DB
DRAWN:	DB
CHECKED:	RM
DATE:	01/15/2021

SHEET
TD-2

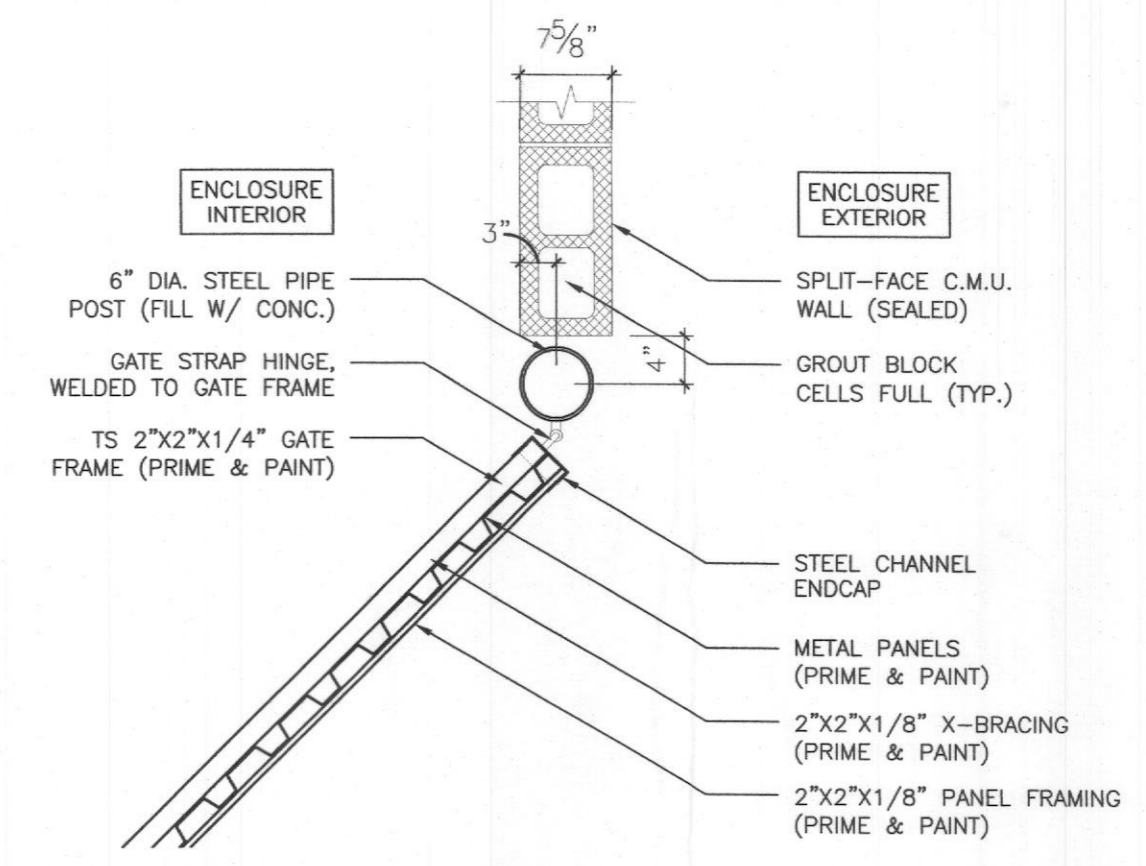
PLOTTED BY: DARCY BRANDON
 PLOT DATE: 1/15/2021 12:11 PM
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DLA\PROJECTS\2021\EDG\CAD - ROCKWALL TX\2021-01-12_RCAD ROCKWALL_TD.DWG
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OWNER REVIEW:	11-24-2020
ISSUE:	

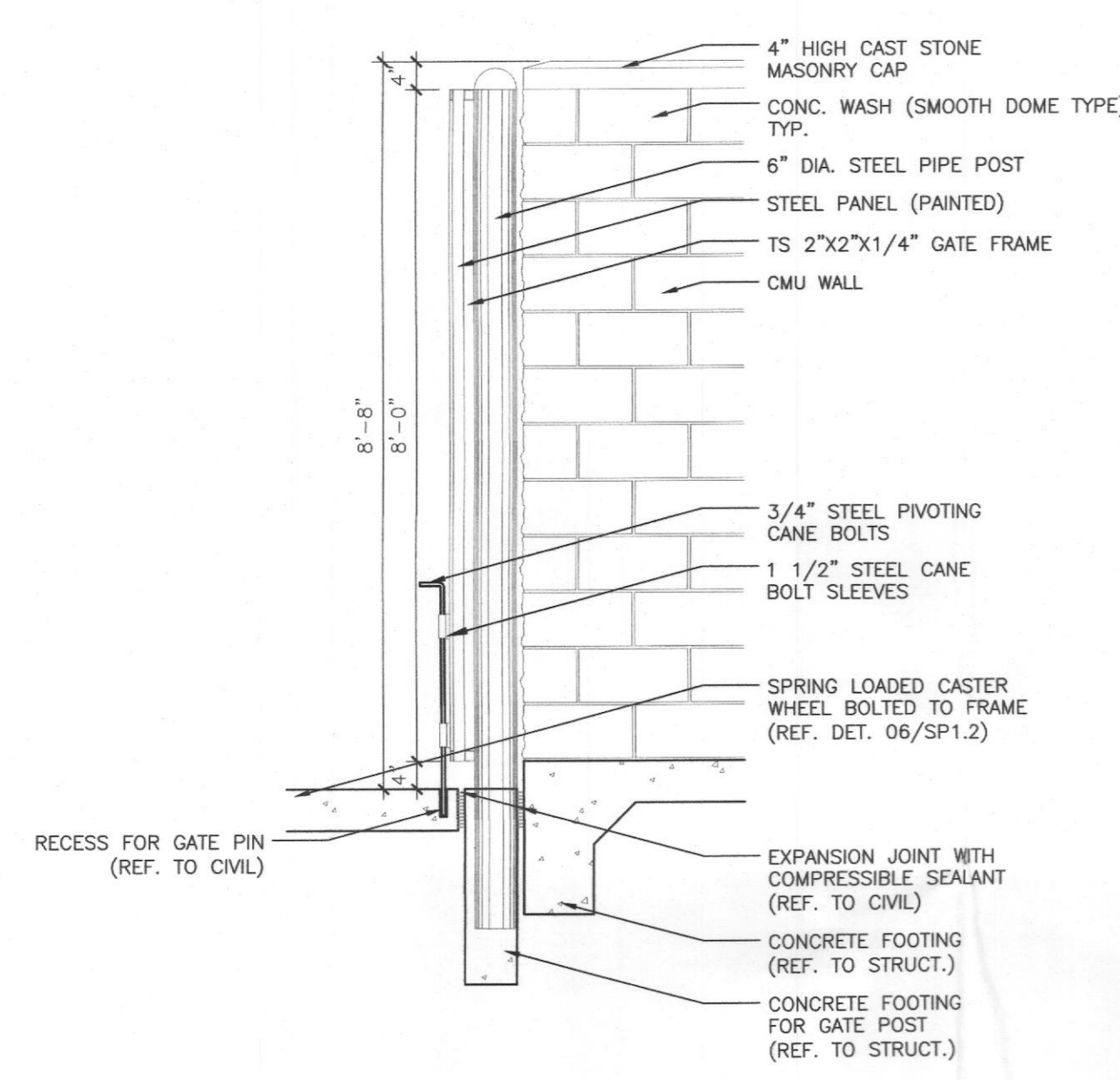
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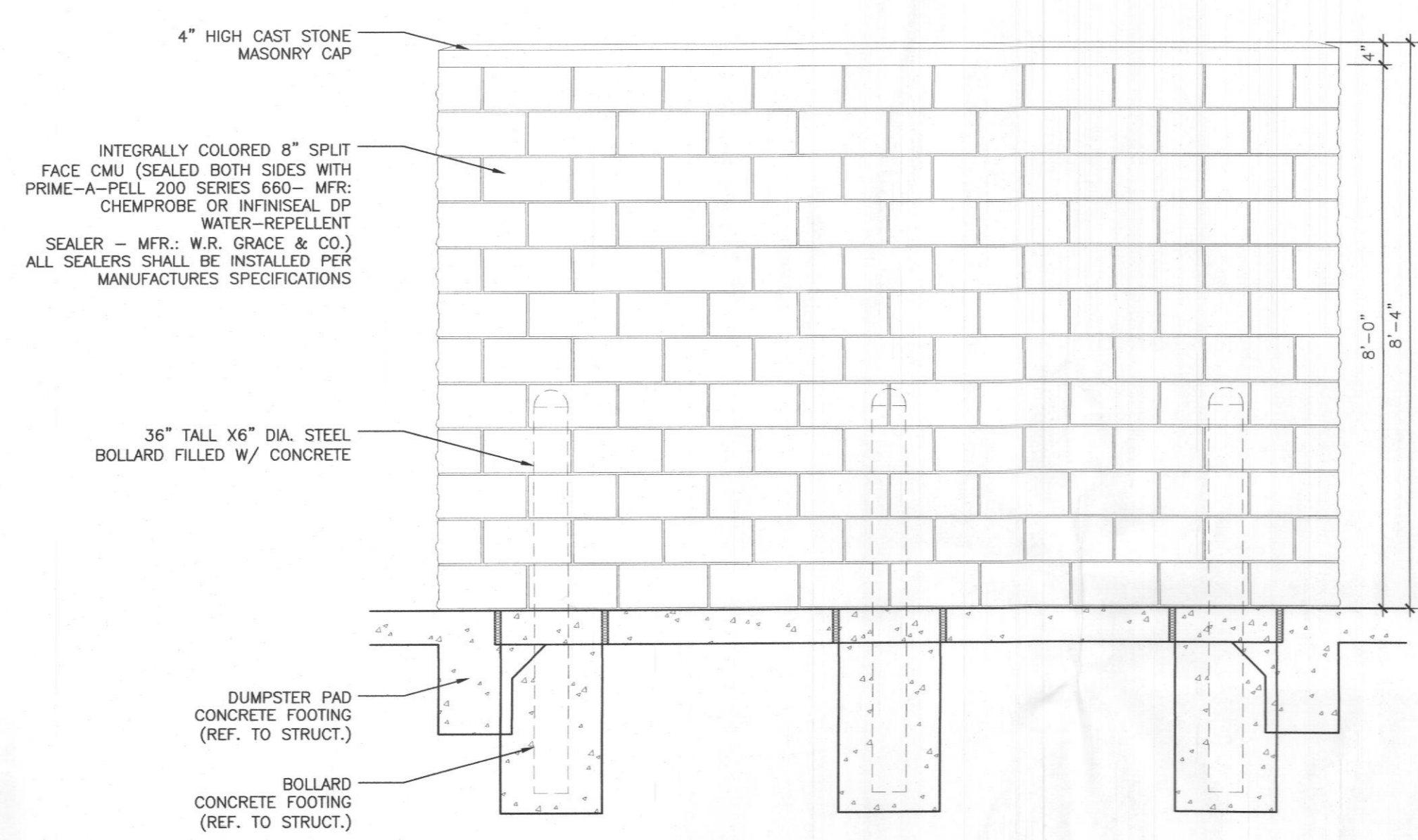
8 BOLLARD DETAIL @ DUMPSTER
SCALE: 1/2" = 1'-0"



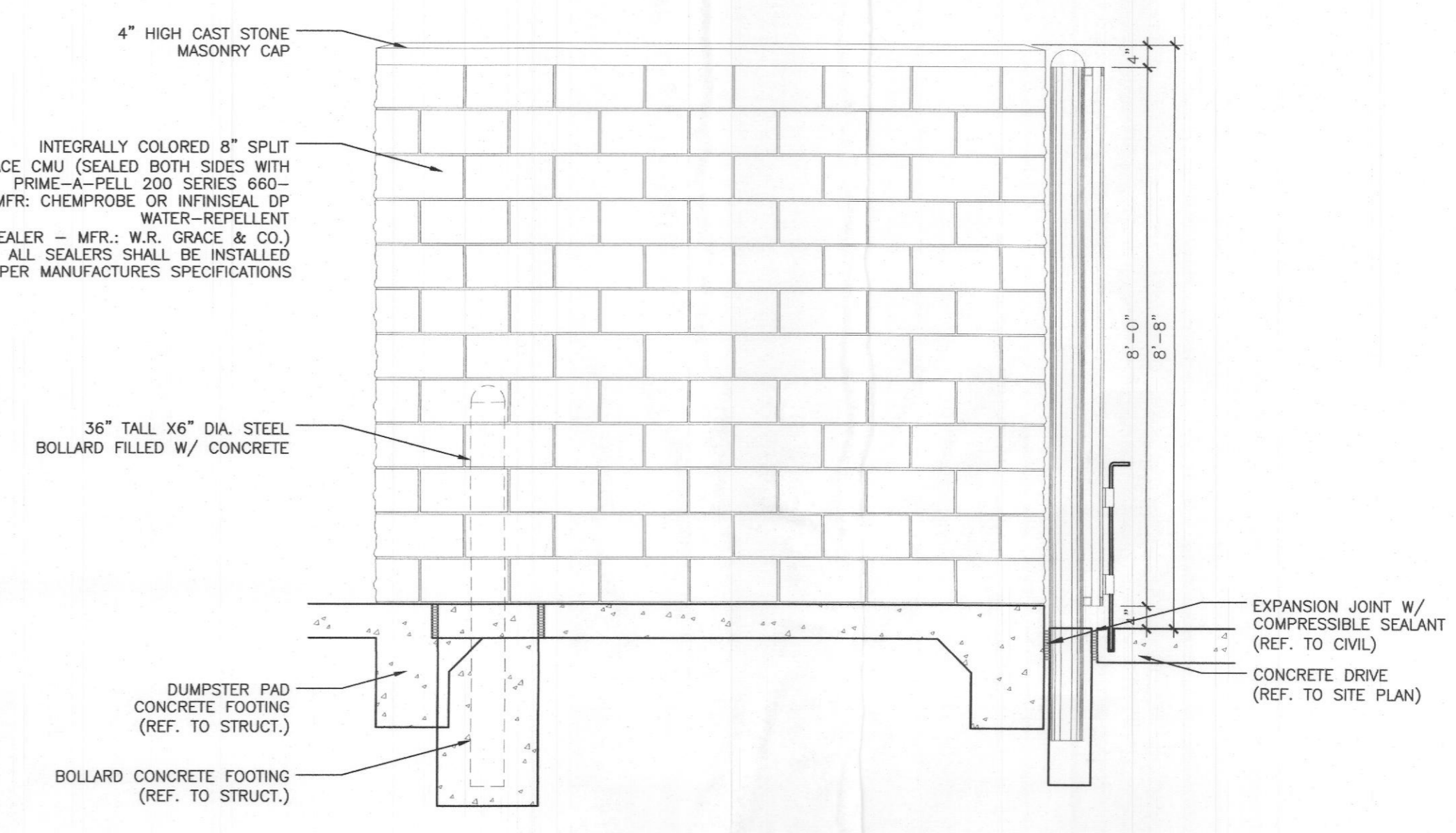
7 DUMPSTER ENCLOSURE GATE DETAIL
SCALE: 3/4" = 1'-0"



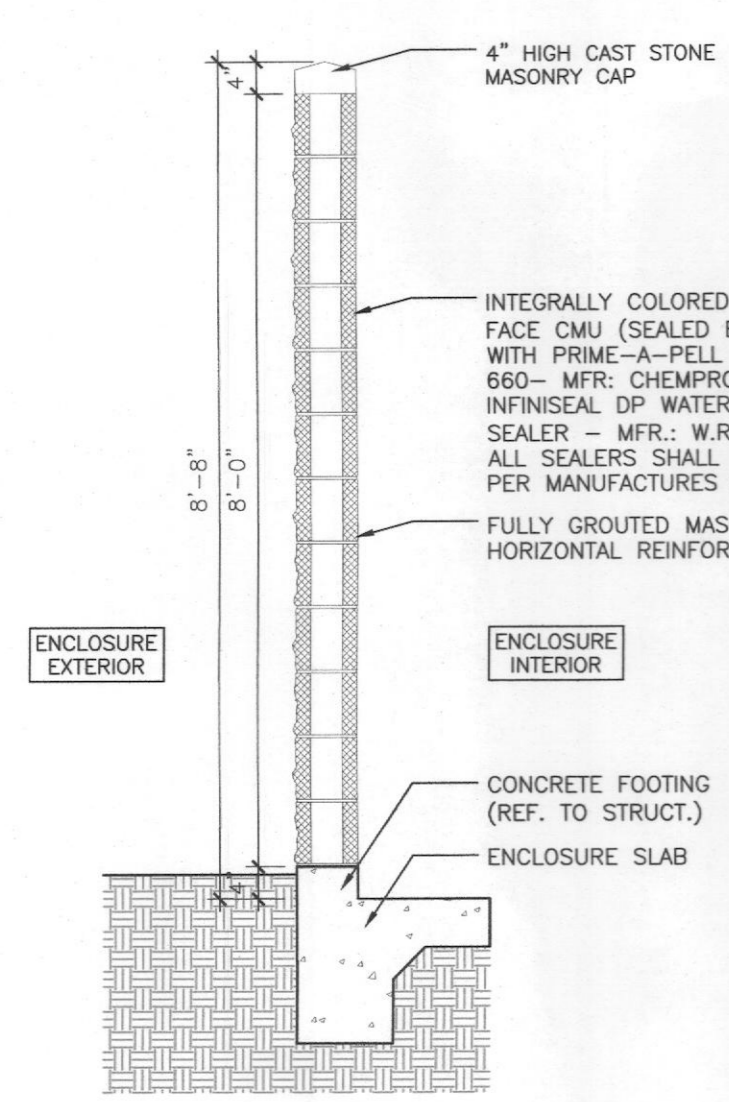
6 GATE SECTION @ DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"



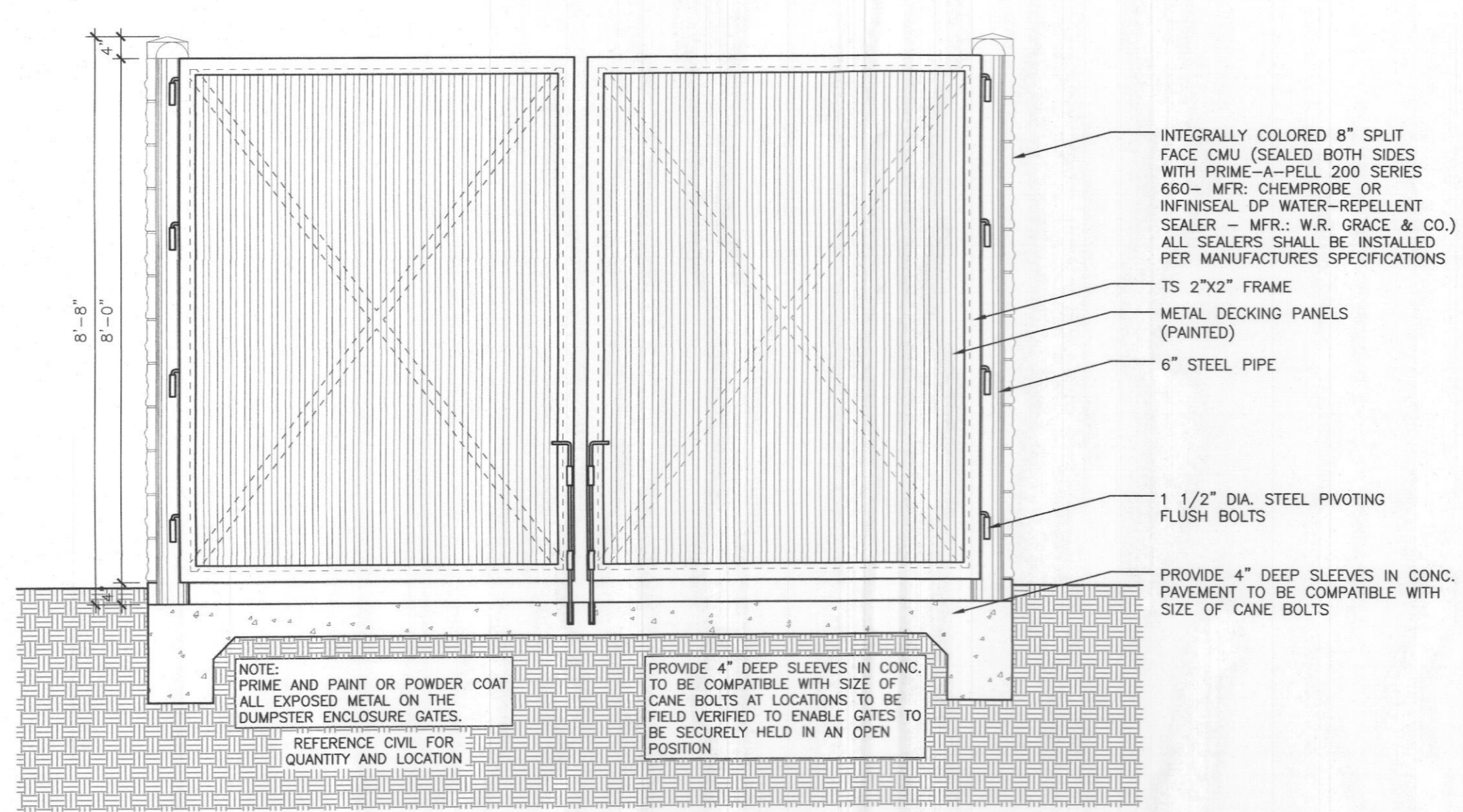
5 DUMPSTER ENCLOSURE REAR ELEVATION
SCALE: 1/2" = 1'-0"



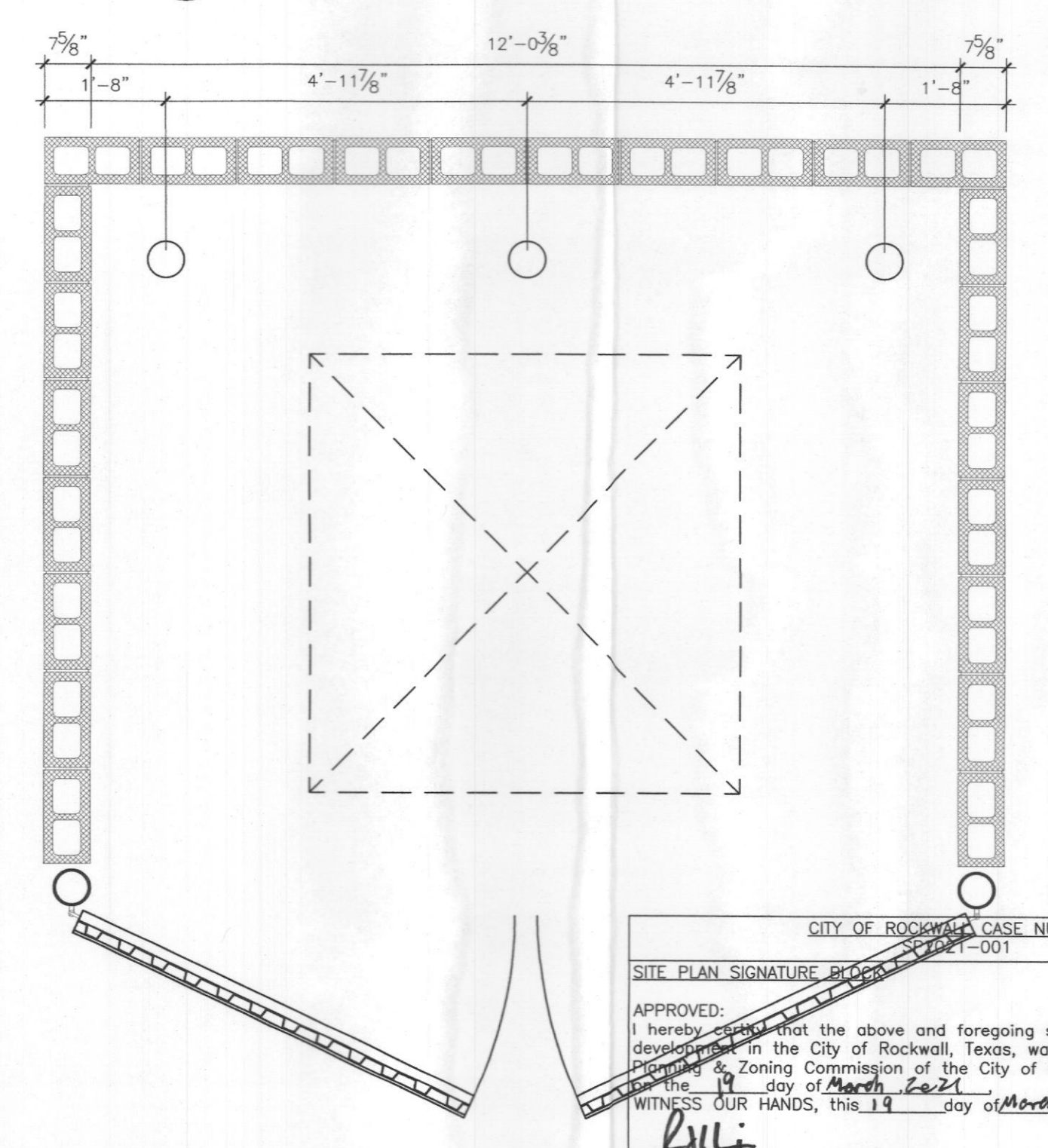
4 DUMPSTER ENCLOSURE SIDE ELEVATION
SCALE: 1/2" = 1'-0"



3 WALL SECTION @ DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"



2 DUMPSTER ENCLOSURE FRONT ELEVATION
SCALE: 1/2" = 1'-0"



1 DUMPSTER ENCLOSURE ENLARGED PLAN
SCALE: 1/2" = 1'-0"

CITY OF ROCKWALL CASE NUMBER
SITE PLAN SIGNATURE BLOCK SP1-001
APPROVED: [Signature]
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission of the City of Rockwall on the 19 day of March, 2021.
WITNESS OUR HANDS, this 19 day of March, 2021.
Director of Planning and Zoning

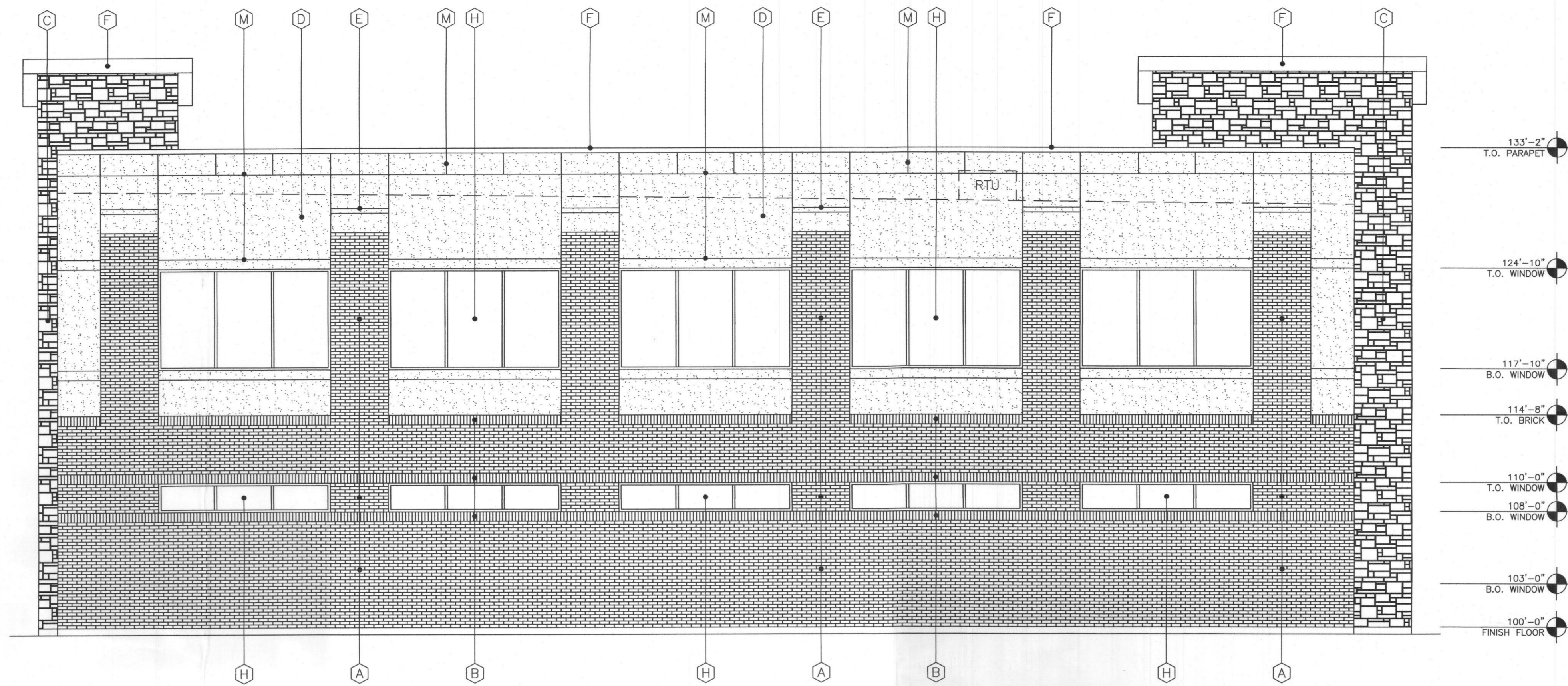
REMODEL & ADDITION TO THE
ROCKWALL CENTRAL APPRAISAL DISTRICT OFFICE
841 Justin Road
Rockwall, Texas 75087

ROCKWALL CENTRAL APPRAISAL DISTRICT
841 Justin Road
Rockwall, TX, 75087

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX, 75087
T: 972-752-8055
F: 972-752-8058

DUMPSTER ENCLOSURE DETAILS

DATE:	APR 2020	SHEET NO.:	
PROJECT NO.:	2020065		
DRAWN BY:			A202
CHECKED BY:			

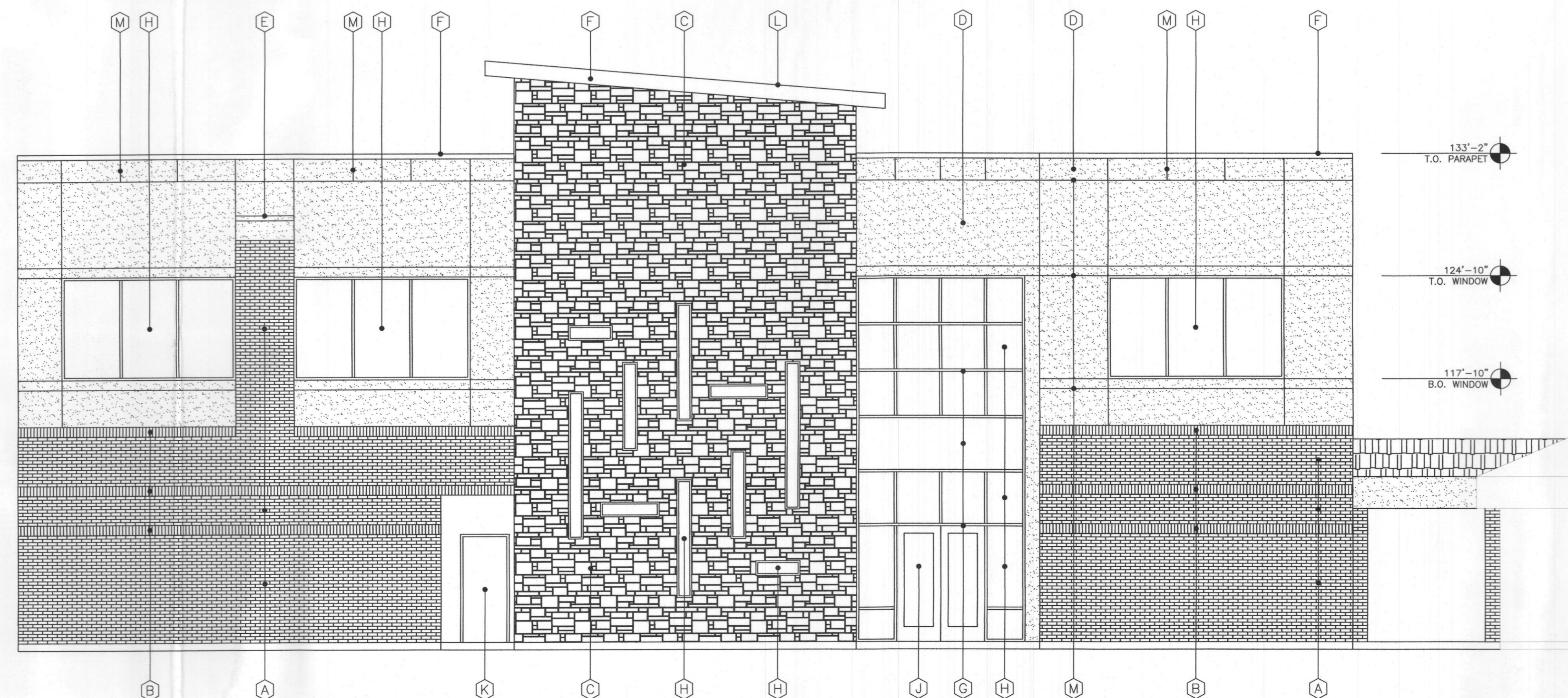


2 SOUTH ELEVATION (FACING DAY CARE)
SCALE: 3/16" = 1'-0"

BRICK S.F. =	1,504 S.F.	- 51%
STONE S.F. =	NONE	- 0%
STUCCO S.F. =	911 S.F.	- 31%
GLASS S.F. =	540 S.F.	- 18%
TOTAL S.F. =	2,955 S.F.	- 100%

EXTERIOR FINISH SCHEDULE	
(A)	BRICK VENEER: FIELD COLOR TO MATCH EXISTING BUILDING ACME; COLOR - QUORUM
(B)	BRICK VENEER: ACCENT COLOR - ACME; COLOR - MUSHROOM BROWN
(C)	STONE VENEER: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH MINIMUM SIZE 6" TALL, MAXIMUM SIZE 15" TALL COLOR - CREAM
(D)	STUCCO: (3 PART SYSTEM) COLOR - SANDY BEACH
(E)	STUCCO: EIFS STUCCO ACCENT. COLOR - PEARL ASH
(F)	PREFINISHED METAL COPING COLOR - DARK BRONZE
(G)	ALUMINUM STOREFRONT SYSTEM: COLOR - DARK BRONZE
(H)	GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 10%
(J)	STOREFRONT ENTRY DOOR SYSTEM: ALUM. COLOR - DARK BRONZE
(K)	EXTERIOR HOLLOW MTL. DOOR & FRAME: PAINTED, COLOR TO MATCH BRICK
(L)	ROOF: PREFINISHED STANDING SEAM MTL. ROOF PANELS COLOR - DARK BRONZE
(M)	STUCCO: MTL. JOINTS AS SHOWN
(N)	PREFINISHED CATCH BASIN & DOWNSPOUTS. SPLASH BLOCK OR PIPED INTO DRAINAGE SYSTEM

NOTE: ALL RTU'S ARE SCREENED BY PARAPET (SHOWN DASHED)
NO VARIANCES/EXCEPTIONS ARE BEING REQUESTED



1 EAST ELEVATION (FACING OFFICES)
SCALE: 3/16" = 1'-0"

BRICK S.F. =	838 S.F.	- 27%
STONE S.F. =	808 S.F.	- 26%
STUCCO S.F. =	828 S.F.	- 27%
GLASS S.F. =	624 S.F.	- 20%
TOTAL S.F. =	3,098 S.F.	- 100%

ROCKWALL CENTRAL APPRAISAL DISTRICT	
LEGAL DESCRIPTION AND/OR ADDRESS: LOT 1A-R, BLOCK A, LOFLAND INDUSTRIAL PARK ADDITION 841 JUSTIN ROAD City of Rockwall, Rockwall County, Texas	
OWNER Rockwall CAD 841 Justin Road Rockwall, TX 75087 P: 972-732-6085 E: jrc@carrollarch.com	APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jrc@carrollarch.com
CITY OF ROCKWALL CASE NUMBER SP2021-001	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the <u>14</u> day of <u>March</u> , <u>2021</u> . WITNESS OUR HANDS, this <u>14</u> day of <u>March</u> , <u>2021</u> .	
Director of Planning & Zoning	

OWNER REVIEW:	11-24-2020
CITY COMMENTS:	02-01-2021
ISSUE:	

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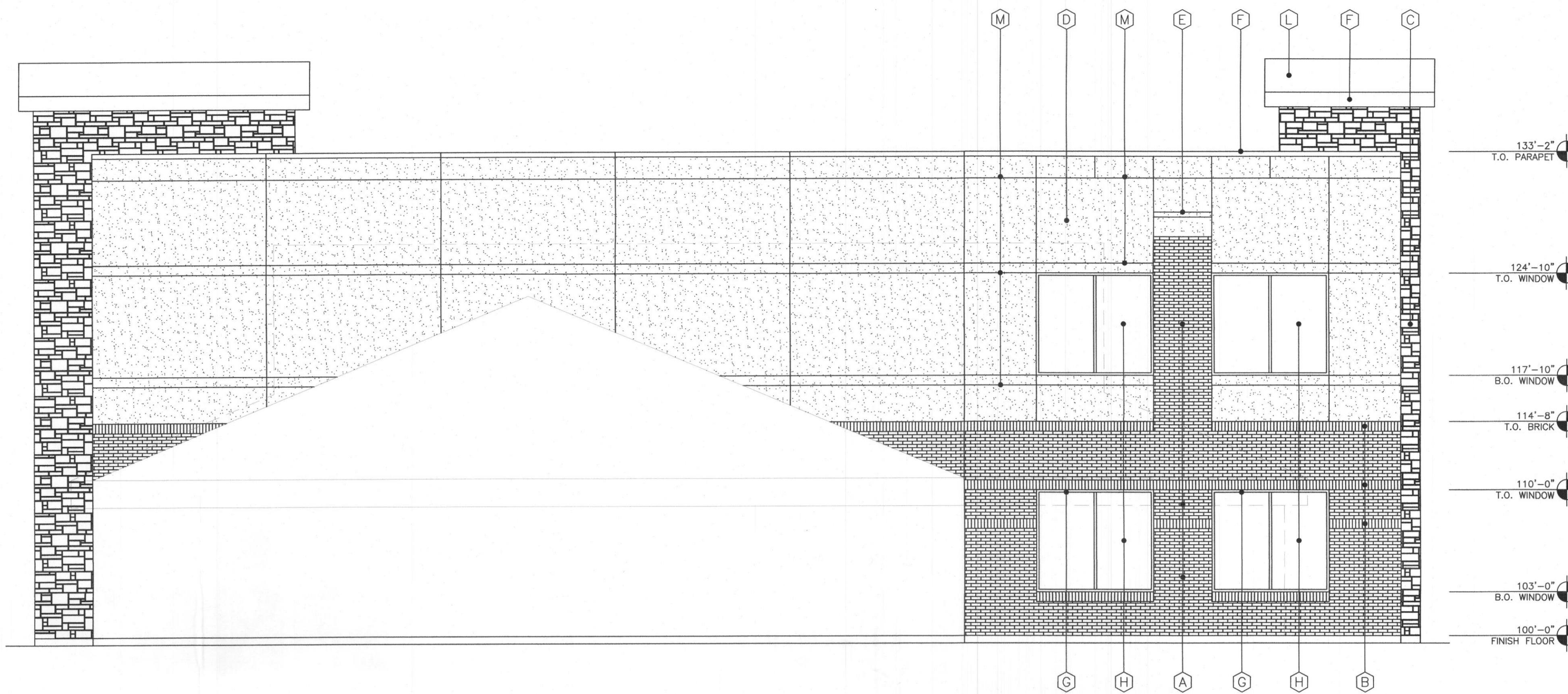
REMODEL & ADDITION TO THE
ROCKWALL CENTRAL APPRAISAL DISTRICT OFFICE
841 Justin Road
Rockwall, Texas 75087

ROCKWALL CENTRAL APPRAISAL DISTRICT
841 Justin Road
Rockwall, TX 75087

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

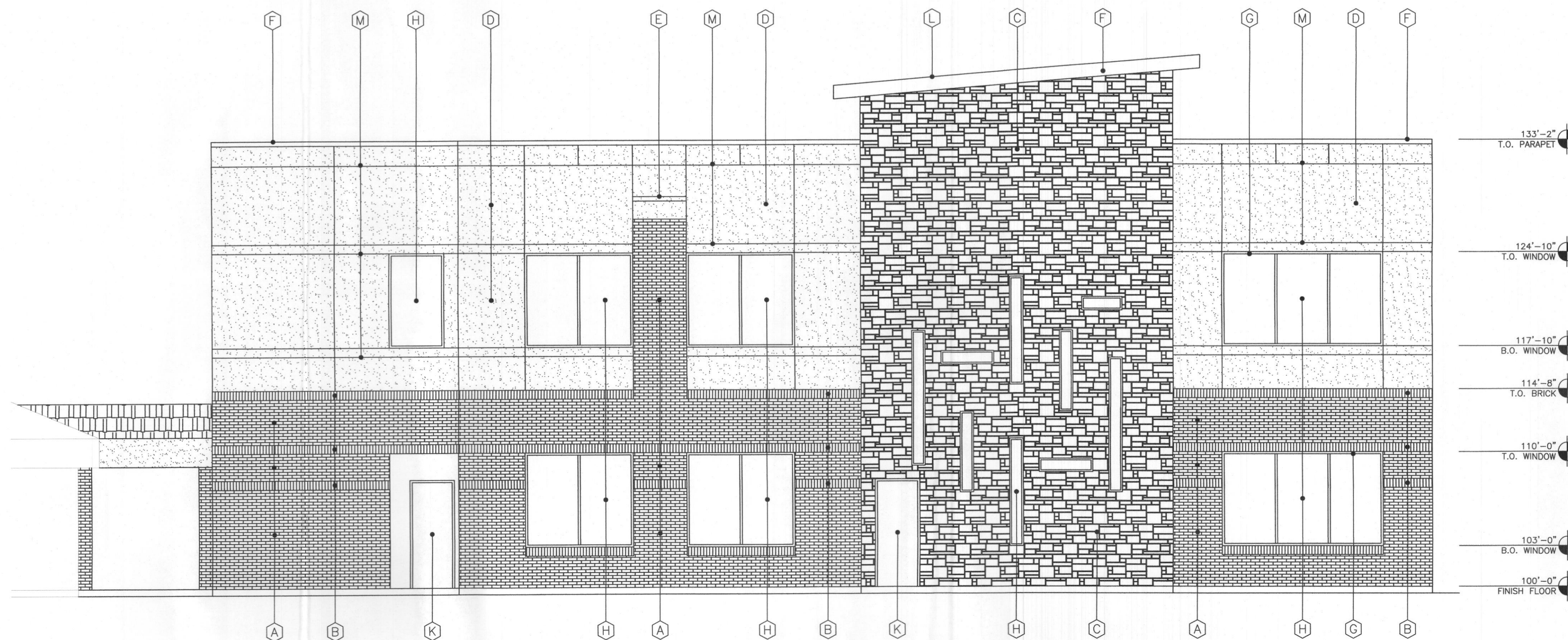
EXTERIOR ELEVATIONS

DATE:	SHEET NO.
APR 2020	
PROJECT NO:	
2020065	A501
DRAWN BY:	
CHECKED BY:	



2 NORTH ELEVATION (FACING EXISTING BUILDING)
SCALE: 3/16" = 1'-0"

BRICK S.F. =	414 S.F.	- 21%
STONE S.F. =	NONE	- 0%
STUCCO S.F. =	1,292 S.F.	- 67%
GLASS S.F. =	226 S.F.	- 12%
TOTAL S.F. =	1,932 S.F.	- 100%



1 WEST ELEVATION (FACING TOWNSEND ROAD)
SCALE: 3/16" = 1'-0"

BRICK S.F. =	822 S.F.	- 27%
STONE S.F. =	785 S.F.	- 25%
STUCCO S.F. =	956 S.F.	- 31%
GLASS S.F. =	535 S.F.	- 17%
TOTAL S.F. =	3,098 S.F.	- 100%

EXTERIOR FINISH SCHEDULE	
(A)	BRICK VENEER: FIELD COLOR TO MATCH EXISTING BUILDING ACME; COLOR - QUORUM
(B)	BRICK VENEER: ACCENT COLOR - ACME; COLOR - MUSHROOM BROWN
(C)	STONE VENEER: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH MINIMUM SIZE 6" TALL, MAXIMUM SIZE 15" TALL COLOR - CREAM
(D)	STUCCO: (3 PART SYSTEM) COLOR - SANDY BEACH
(E)	STUCCO: EIFS STUCCO ACCENT. COLOR - PEARL ASH
(F)	PREFINISHED METAL COPING COLOR - DARK BRONZE
(G)	ALUMINUM STOREFRONT SYSTEM: COLOR - DARK BRONZE
(H)	GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 10%
(J)	STOREFRONT ENTRY DOOR SYSTEM: ALUM. COLOR - DARK BRONZE
(K)	EXTERIOR HOLLOW MTL. DOOR & FRAME: PAINTED, COLOR TO MATCH BRICK
(L)	ROOF: PREFINISHED STANDING SEAM MTL. ROOF PANELS COLOR - DARK BRONZE
(M)	STUCCO: MTL. JOINTS AS SHOWN
(N)	PREFINISHED CATCH BASIN & DOWNSPOUTS. SPLASH BLOCK OR PIPED INTO DRAINAGE SYSTEM

NOTE: ALL RTU'S ARE SCREENED BY PARAPET (SHOWN DASHED)
NO VARIANCES/EXCEPTIONS ARE BEING REQUESTED

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sec. 102 of the copyright act, 17 U.S.C.
Includes, without limitation, the overall
process, and elements of the design,
of these drawings and specifications may
result in cessation of construction
resulting in damage, injury or monetary liability.

OWNER REVIEW:	11-24-2020
CITY COMMENTS:	02-01-2021
ISSUE:	

REMODEL & ADDITION TO THE
**ROCKWALL CENTRAL APPRAISAL
DISTRICT OFFICE**
841 Justin Road
Rockwall, Texas 75087

ROCKWALL CENTRAL
APPRAISAL DISTRICT

841 Justin Road
Rockwall, TX, 75087

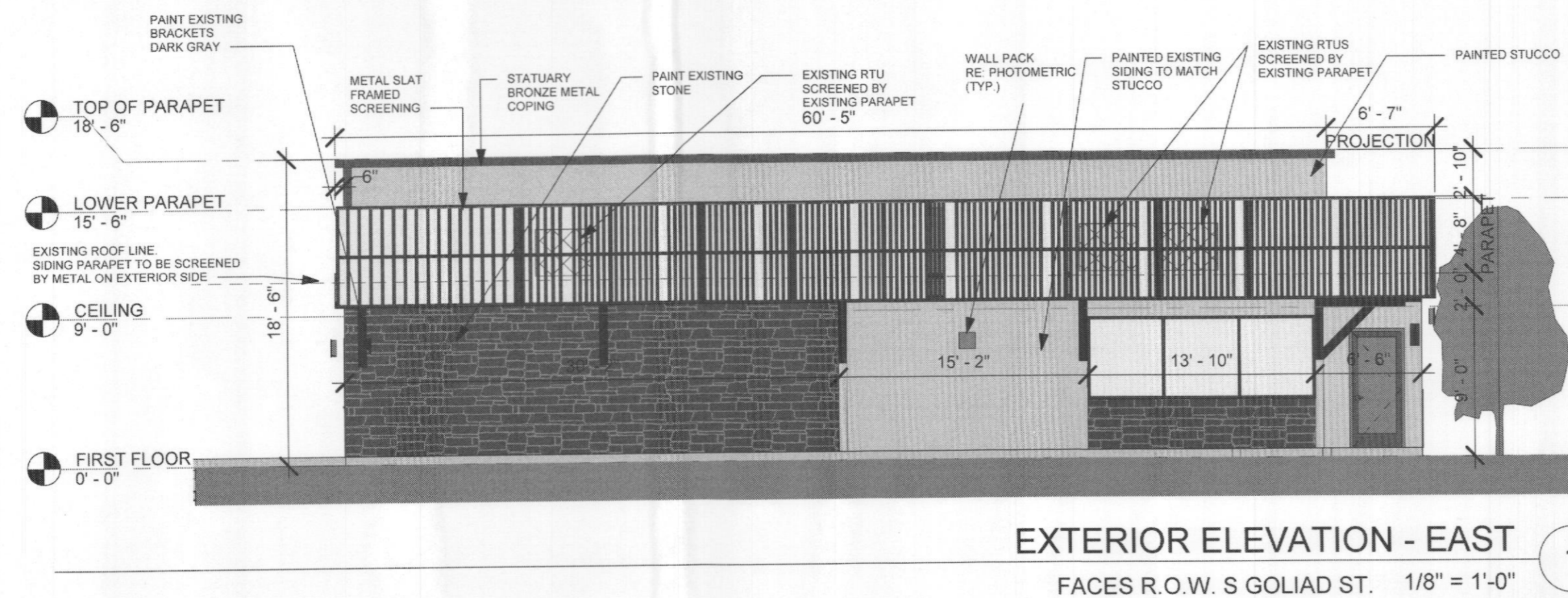
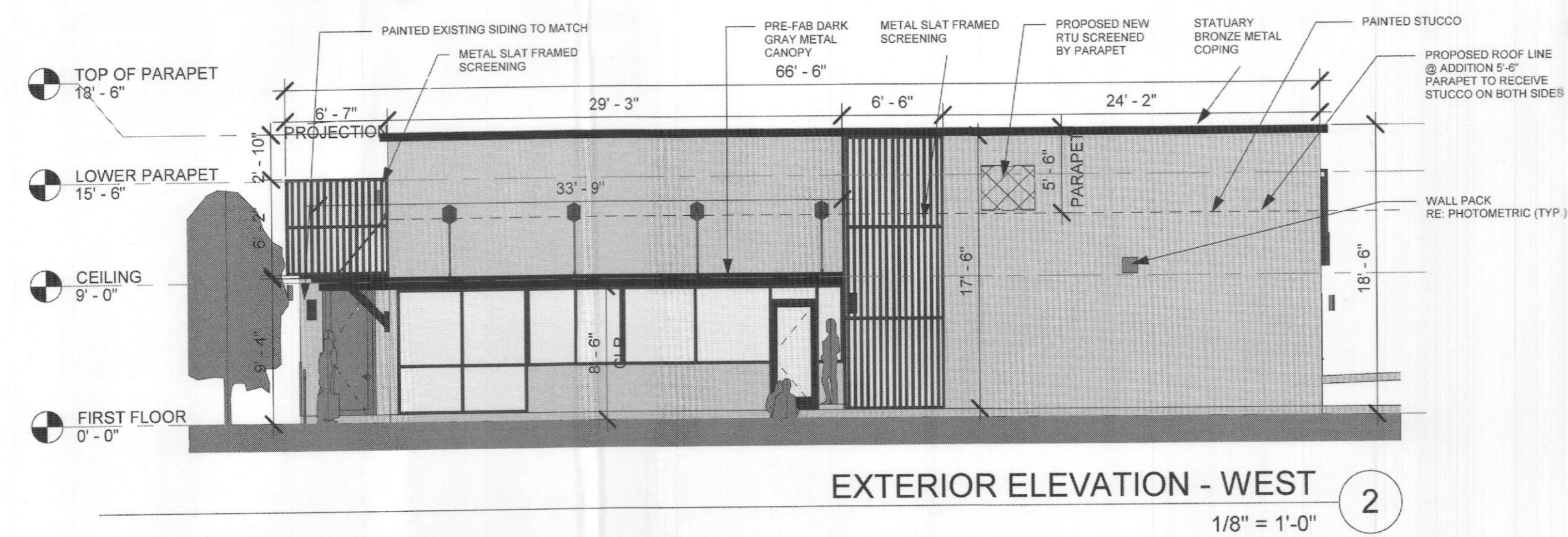
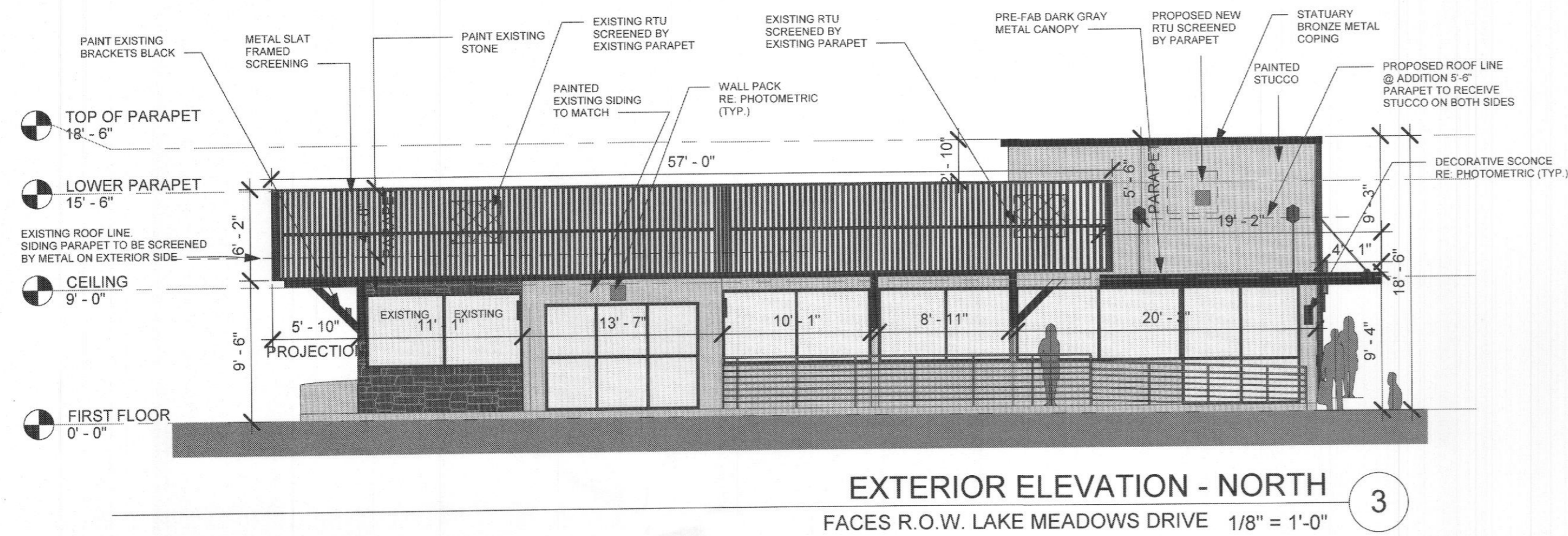
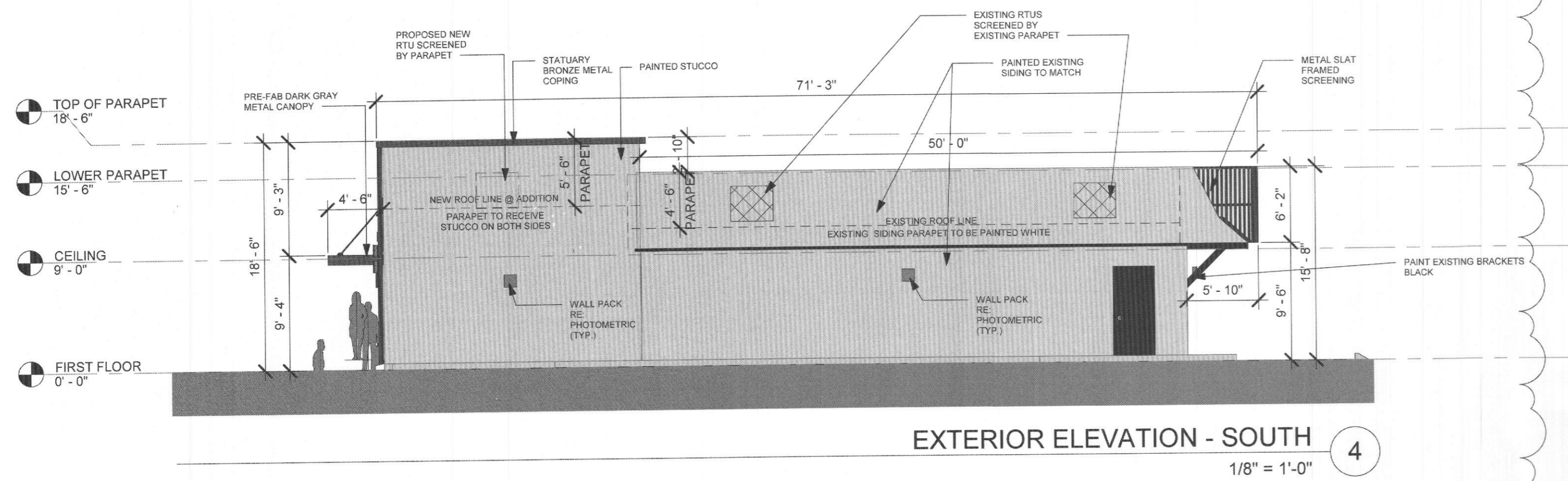


750 E. Interstate 30
Suite 110
Rockwall, TX 75087
P: 972-732-6088
F: 972-732-8038

**EXTERIOR
ELEVATIONS**

ROCKWALL CENTRAL APPRAISAL DISTRICT	
LEGAL DESCRIPTION AND OR ADDRESS: LOT 1A-R, BLOCK A, LOFLAND INDUSTRIAL PARK ADDITION 841 JUSTIN ROAD City of Rockwall, Rockwall County, Texas	
OWNER Rockwall CAD 841 Justin Road Rockwall, TX 75032 P: E:	APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com
CITY OF ROCKWALL CASE NUMBER SP2021-001	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 19 day of March, 2021. WITNESS OUR HANDS, this 19 day of March, 2021.	
Director of Planning & Zoning	

DATE:	APR 2020	SHEET NO.:	
PROJECT NO.:	2020065		
DRAWN BY:			A502
CHECKED BY:			



**SOUTH ELEVATION-
SECONDARY FACADE**

NEW METAL COPING	22.53 SF	1.9%
NEW METAL CANOPY	3.56 SF	1.7%
NEW PAINTED STUCCO	373.5 SF	33%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	22.75 SF	1.9%
EXISTING SIDING- PAINTED	670.73 SF	61%
TOTAL	1098.54 SF	100%

**NORTH ELEVATION-
PRIMARY FACADE**

NEW METAL COPING	10.53 SF	1.1%
NEW METAL CANOPY	15.14 SF	1.6%
NEW PAINTED STUCCO	176.3 SF	20.9%
EXISTING WOOD BRACKETS- PAINTED	9.15 SF	1.2%
NEW METAL SLAT SCREENING	350.92 SF	41.9%
EXISTING SIDING- PAINTED	140.69 SF	16.9%
EXISTING STONE- PAINTED	44.62 SF	5.2%
EXISTING GLAZING	52.46 SF	6.1%
NEW GLAZING	42.76 SF	5.1%
TOTAL	842.57 SF	100%

**WEST ELEVATION-
SECONDARY FACADE**

NEW METAL COPING	30.46 SF	2.6%
NEW METAL CANOPY	26.72 SF	2.3%
NEW PAINTED STUCCO	718.77 SF	62%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	155.87 SF	13.4%
EXISTING SIDING- PAINTED	24.39 SF	2.1%
NEW GLAZING	204.78 SF	17.1%
TOTAL	1,166.46 SF	100%

**EAST ELEVATION-PRIMARY
FACADE**

NEW METAL COPING	30.46 SF	2.6%
NEW PAINTED STUCCO	170.46 SF	14.1%
EXISTING WOOD BRACKETS- PAINTED	22.81 SF	2%
NEW METAL SLAT SCREENING	410.48 SF	34%
EXISTING SIDING- PAINTED	185.24 SF	15.3%
EXISTING STONE- PAINTED	317.38 SF	26.3%
EXISTING GLAZING	69.17 SF	5.7%
TOTAL	1206 SF	100%

SITE PLAN SIGNATURE BLOCK

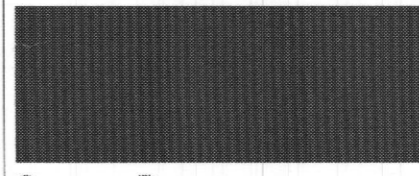
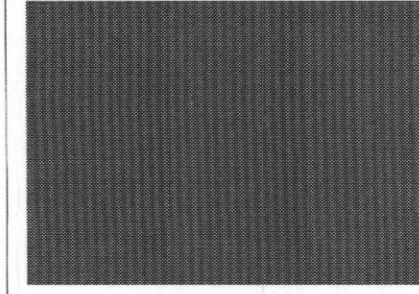
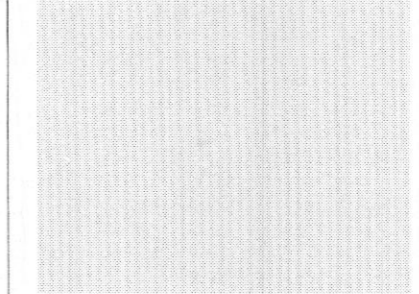
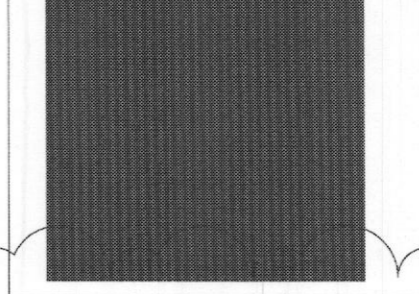
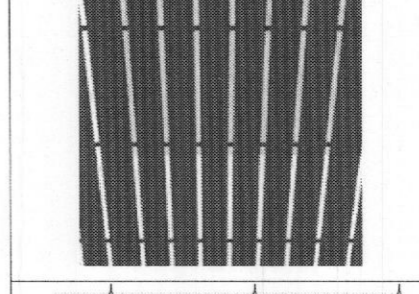
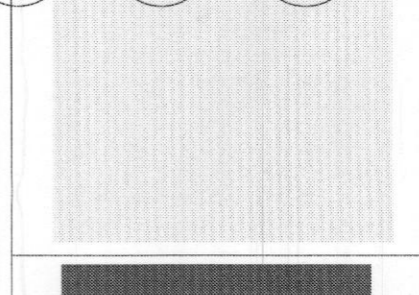
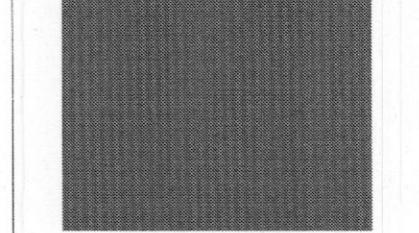
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11 day of May, 2021.

WITNES OUR HANDS, this 11 day of May, 2021.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

MATERIAL INDEX

	METAL COPING COLOR: STATUARY BRONZE FINISH: MATTE
	EXTRUDECK METAL CANOPY COLOR: DARK GREY FINISH: MATTE
	PAINTED STUCCO COLOR: WHITE DOVE FINISH: MATTE
	PAINTED EXISTING BRACKETS COLOR: BLACK FINISH: MATTE
	ALUMINUM SLIT SCREEN COLOR: WALNUT FINISH: MATTE
	EXISTING SIDING - PAINTED TO MATCH STUCCO COLOR: WHITE DOVE FINISH: MATTE
	EXISTING STONE - PAINTED COLOR: EVENING DOVE FINISH: MATTE

CASE NUMBER: SP2021-013

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN) IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS. "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
3. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
4. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
5. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
6. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
7. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
8. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER. VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
10. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
11. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE OR REJECT ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
12. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
13. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
TREES					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	7	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	4	CANOPY TREE
SHRUBS					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	13	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	5 gallon	23	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	29	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	9	
TURF AND SEED					
[Symbol]	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	
[Symbol]	2"-4" Texas River Cobble, 3" Deep, Lay over permeable landscape fabric				

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.

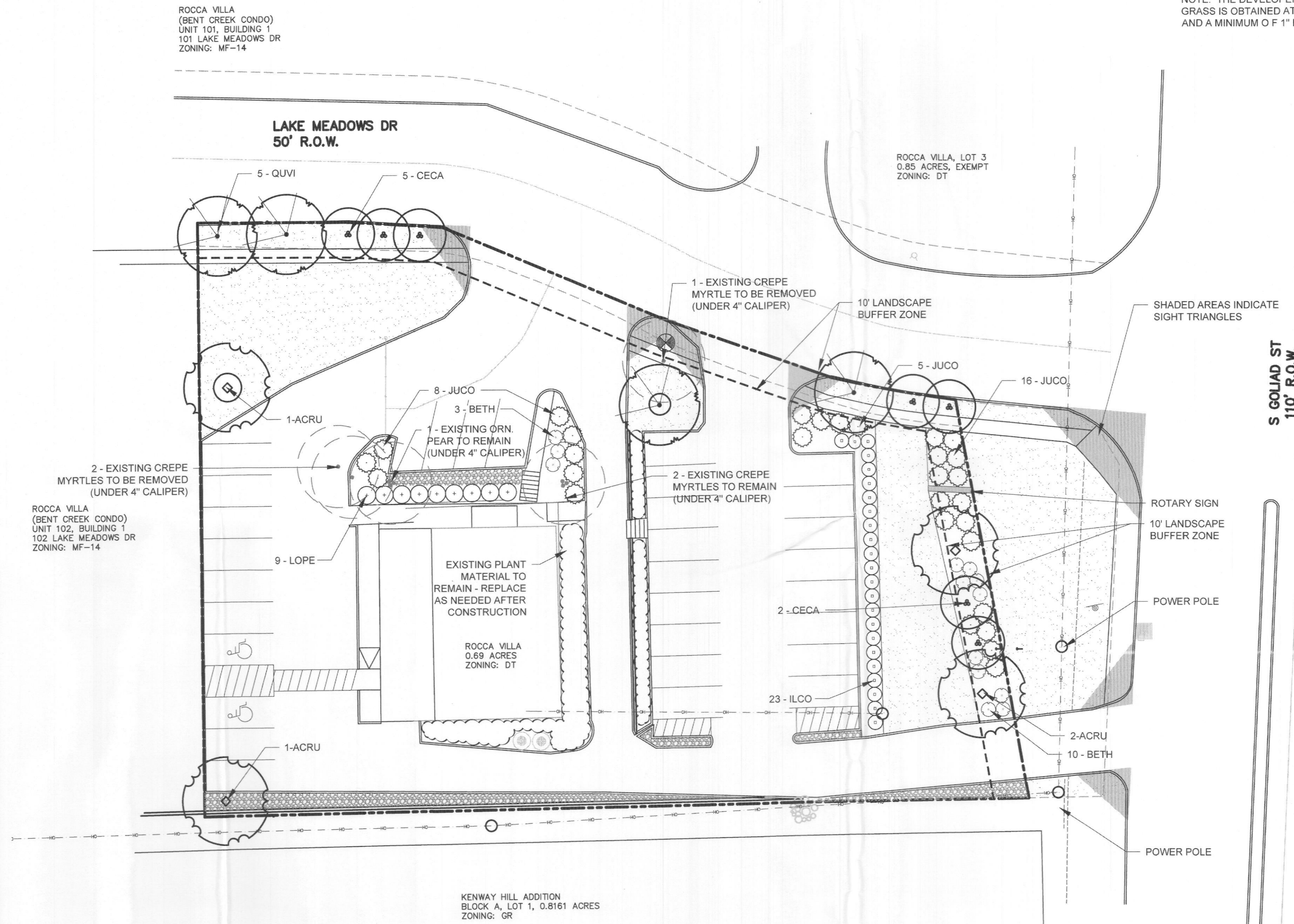
NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

LANDSCAPE STANDARDS

- 05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL**
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:
10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
2 CANOPY TREES, 2 ACCENT TREES REQUIRED
2 MAPLE (CANOPY), 2 REDBUD (ACCENT) PROVIDED
- S. GOLIAD ST. - ±116' STREET FRONTAGE:**
LAKE MEADOWS DR. ±225' STREET FRONTAGE:
5 CANOPY TREES, 5 ACCENT TREES REQUIRED
4 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED UNABLE TO MEET CANOPY REQ. DUE TO SITE CONSTRAINTS
- 05.02 LANDSCAPE SCREENING**
REQ. HEADLIGHT SCREENING
PROVIDED SCREENING
HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
HOLLY SHRUBS PLANTED ALONG PARKING SPACES
- 05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT**
TOTAL SITE AREA: ±35,301 SF
LANDSCAPE AREA REQUIRED, TOTAL SITE: ±7,060 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE: ±10,769 SF (30%)
- LOCATION OF LANDSCAPING:**
MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
- MIN. SIZE OF AREAS**
ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
- DETENTION BASINS**
NONE PROPOSED
- PARKING LOT LANDSCAPING**
MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.
PROPOSED PARKING AREA: ±11,824 SF
REQ. PARKING LOT LANDSCAPING: ±591 SF
PROPOSED PARKING LOT LANDSCAPING: ±750 SF (6.3%)
REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

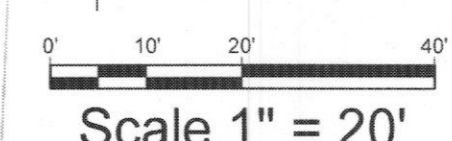


ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11 day of May, 2021

WITNESS OUR HANDS, this 11 day of May, 2021

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning



05/11/2021

Owner
Rockwall Rotary Foundation
408 S. Goliad Street
Rockwall, TX 75086

Project Name
Rockwall Rotary Foundation
408 S. Goliad Street
Rockwall, TX 75086

Landscape Planting Plan

Date	Comment

Project Number SP2021-013
Date 05/05/2021
Drawn By DB
Checked By DB/RM

LP-1

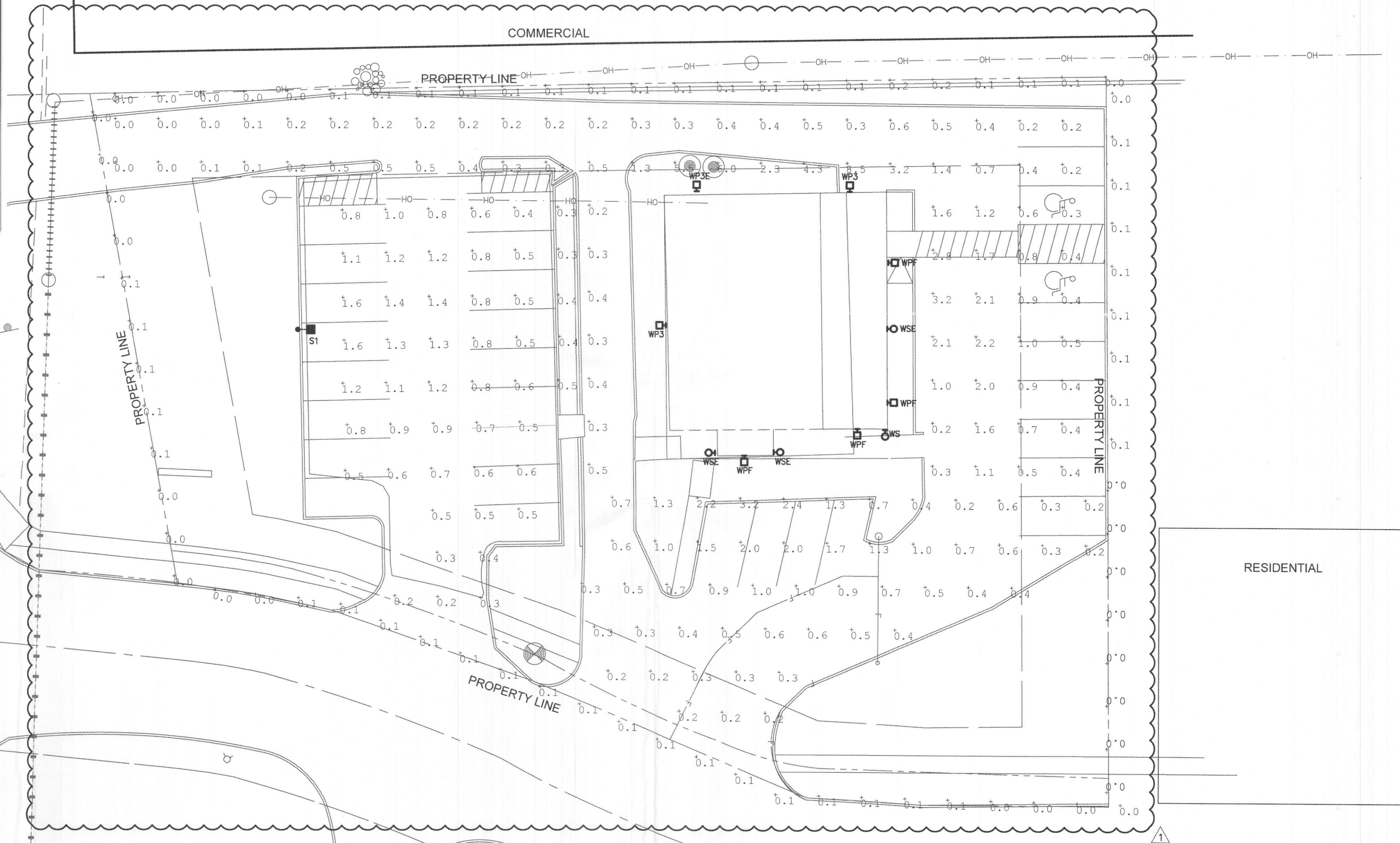
SITE DATA TABLE

EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
BUILDING AREA	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
PARKING	
PARKING REQUIRED	1/200 SF
	15 STANDARD STALLS
	1 ACCESSIBLE STALLS
PARKING PROVIDED	29 STANDARD SPACES
	2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED

EXTERIOR LIGHTING SCHEDULE

FIXTURE TAG	DESCRIPTION:	MANUFACTURER	MODEL NUMBER	LAMPING TYPE			VOLTAGE	MOUNTING	FINISH	NOTES:
				NO:	W	L				
WP3 (WP3E)	LED Exterior Wall Pack	HE Williams	VWPH-L30-740-T3-BLK-CGL-DIM-UNV WP3E = "EM/10W/C"	1	36W	3327L 4000K 70CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 7.5' AFF
WFF	LED Exterior Wall Pack	HE Williams	VWPH-L60-740-TFT-BLK-CGL-DIM-UNV	1	69W	5688L 4000K 70CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 14' AFF U/CN
WS (WSE)	LED Exterior Wall Sconce	Bega	66516 WSE-PROVIDE 90 MIN EM INVERTER	1	21W	1047L 4000K 85CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 6' AFF
S1	LED Pole Light	Lithonia	DSX1 LED P1 40K 1FTM MVOLT NLTAIR2 HS SSS20-4C-DM19-DBLXD	1	54W	6963L 4000K 85CRI	120V	Pole	Black	MOUNT AT 20' AFF



STATISTICS

AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE/PARKING	1.0	8.5	0.2	5.0	43

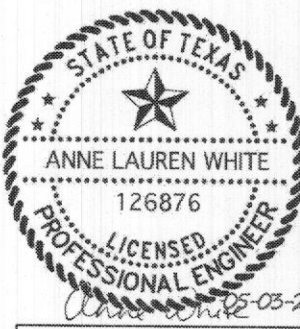


1 SITE PLAN - PHOTOMETRIC
SCALE: 1/16" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 11 day of May, 2024.

[Signature]
Director of Planning & Zoning

METHOD architecture
1919 MCKINNEY AVE, SUITE 2011
DALLAS, TEXAS 75201
(469) 640-6331



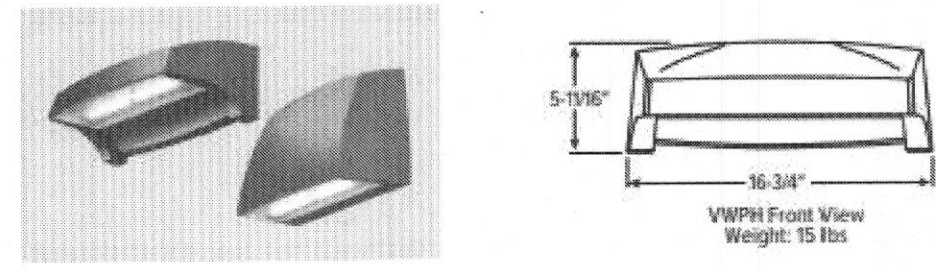
ROTARY CLUB
ROCKWALL
408 S GOLIAD ST.
ROCKWALL, TX 75087

PROJECT: MB205016
SHEET: E12
SITE PLAN
PHOTOMETRIC

STMS ENGINEERING, LLC
11700 PRESTON ROAD | SUITE 650 | #104
DALLAS, TEXAS 75224 | 214-390-9978
WWW.STMSINC.COM | REG. E. 20274

VWP LED

Voltaire Architectural Wall Pack



CATALOG # _____
TYPE _____
PROJECT _____

FEATURES

- Designed to illuminate sidewalks, entryways, perimeters or facades
- Intended for use in both uplight and downlight applications
- Savings of up to 80% energy compared to HID systems
- Blends seamlessly with a variety of architectural styles
- Made Right Here® in the USA

SPECIFICATIONS

- HOUSING** - Die-cast aluminum enclosure.
- THERMAL MANAGEMENT** - Integral die-cast aluminum heatsink and LED assembly provide passive thermal management. Rated 30°C to 40°C ambient operating temperature (20°C to 40°C with EM10WC, 0°C to 35°C with EM4W).
- OPTICAL SYSTEM** - Precision, injection-molded, refractive acrylic lensing produces standard IES distributions.
- LED ASSEMBLY** - ANSI 3000K, 4000K, or 5000K CCT, minimum 70 CRI LEDs.
- LED DRIVERS** - 0-10V dimming.
- ELECTRICAL** - 120-277, 347, and 480 VAC input range; 50-60Hz; power factor >90; THD <20% at full load; FCC Class A compliant; 10kA/100V surge protection standard. Quick-disconnect wiring provided; 1.70-2.50 (500) hours per IES TM 21.
- FINISH** - Super durable polyester powder coat bonded to phosphate-free, multi-stage pretreated metal; meets and exceeds AAMA 2604 specifications for outdoor durability.
- MOUNTING** - Surface mounts directly over a 4" maximum outlet box. Must be anchored to adequate structure that can safely support fixture weight (VWP = 15 lbs, VWPV = 23 lbs).
- LISTINGS** -
 - cULus certified as luminaire suitable for wet locations.
 - DesignLights Consortium qualified.

ORDERING EXAMPLE: VWP H - L30/740 - T3 - DBZ - SDGL - OPTIONS - DIM - UNV

ORDERING INFO

SERIES	TYPE	LUMENS ⁽¹⁾	CRI	CCT	DISTRIBUTION ⁽²⁾
VWP	H Horizontal	L30 3,000lm	7 70	30 3000K	T3 Type III
	V Vertical	L60 6,000lm	40 4000K	TFT Type Forward throw	50 5000K

FINISH OPTIONS⁽³⁾

FINISH	DESCRIPTION	SHIELDING
BLK	Black (RAL #9004)	SDGL Micro-prismatic tempered glass lens
DBZ	Dark bronze	CGL Clear tempered glass lens
DBR	Medium bronze	
GRY	Standard grey	
SLV	Satin aluminum (RAL #9006)	
WHT	White (RAL #9003)	

OPTIONS

OPTION	DESCRIPTION	CONTROL	VOLTAGE
EM4W	4-watt integral emergency LED driver ⁽⁴⁾	DIM Dimming driver prewired for 0-10V control	120 120V
SF	Single fuse ⁽⁵⁾		208 208V
DF	Double fuse ⁽⁵⁾		240 240V
PC	Factory-installed button-style photocell ⁽⁷⁾		277 277V
HSGX	Empty housing extension used to match units with EM, OCC, or conduit entry options.	UNV 120-277V	347 347V ⁽⁸⁾
TP	Temper-resistant Torx head screws ⁽⁹⁾		480 480V ⁽¹⁰⁾

CONDUIT ENTRY⁽⁶⁾

OPTION	DESCRIPTION
CR	Right side conduit entry ⁽¹¹⁾
CL	Left side conduit entry ⁽¹¹⁾
CD	Dual conduit entry

VWPV ONLY

OPTION	DESCRIPTION
EM10WC	10-watt emergency LED driver ⁽¹²⁾
OCCV5 FSP-311-L	Factory-installed occupancy sensor ⁽¹³⁾

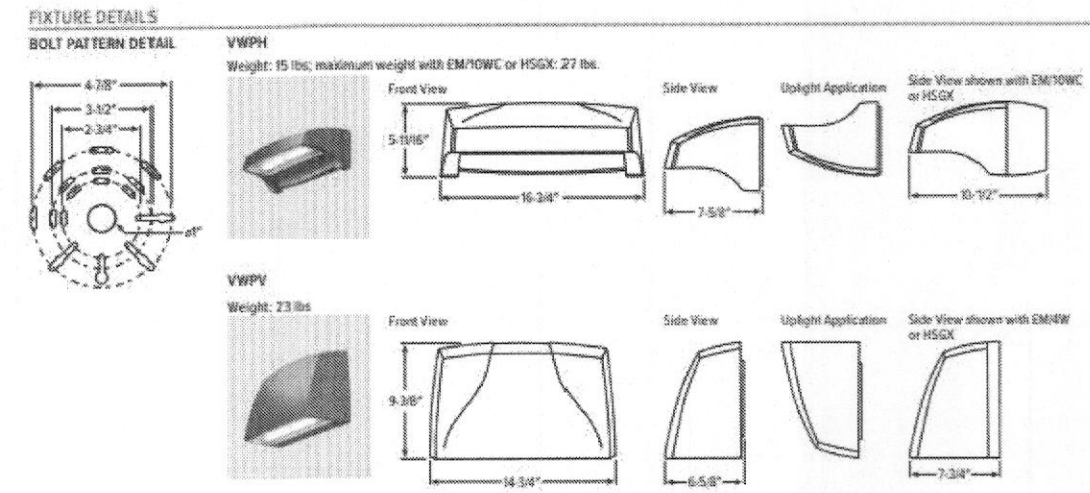
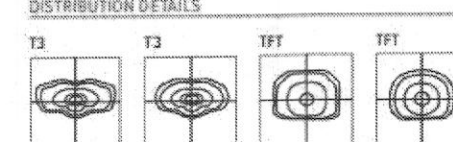
ACCESSORIES

OPTION	DESCRIPTION
TPFX-25 TOOL	Temper-resistant tool for Torx head screws ⁽¹⁴⁾

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Fixture Performance Data	Beam Diameter (mm)	Beam Angle (°)	Beam Type	Beam Diameter (mm)	Beam Angle (°)	Beam Type	Beam Diameter (mm)	Beam Angle (°)	Beam Type
L30	13	36	FI	508	19.537	4%	19%	6%	1%
L60	13	70	FI	508	19.537	4%	19%	6%	1%
L30	13	36	FT	508	19.537	4%	19%	6%	1%
L60	13	70	FT	508	19.537	4%	19%	6%	1%
L30	13	36	FT	508	19.537	4%	19%	6%	1%
L60	13	70	FT	508	19.537	4%	19%	6%	1%



using extension when specified with conduit tube depth. Conduit entry provided with 1/2" thread and plug. Increases fixture height, extension (increases fixture depth), must also be ordered separately. Please refer to our website for details.

Wall luminaire - two-sided narrow beam light distribution

BEGA

Application
LED wall mounted luminaire with light emission on two sides. The narrow beam light distribution of the luminaire is identical in both directions. Arranged individually or in groups, they are great design elements for a host of lighting applications.

Materials
Luminaire housing and faceplates constructed of extruded and die-cast marine grade, copper free (≤ 0.3% copper content) A380.0 aluminum alloy. Clear safety glass. Reflector made of pure anodized aluminum. High temperature silicone gaskets. Mechanically captive stainless steel fasteners. Stainless steel helicoils.

NRTL listed to North American Standards, suitable for wet locations. Protection class IP65. Weight: 7.5 lbs.

Electrical
Operating voltage: 120-277V AC
Minimum start temperature: -40°C
LED module wattage: 15.8W
System wattage: 21.0W
Controllability: 0-10V dimmable
Color rendering index: Ra > 80
Luminaire lumens: 1,047 lumens (3000K)
LED service life (L70): 60,000 hours

LED color temperature
□ 4000K - Product number + **K4**
□ 3500K - Product number + **K35**
□ 3000K - Product number + **K3**
□ 2700K - Product number + **K27**
□ Amber - Product number + **AMB**

Wildlife friendly amber LED - Optional
Luminaire is optionally available with a narrow bandwidth, amber LED source (565-600nm) approved by the FWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

LED module wattage
15.8W (Amber)
System wattage: 22.5W (Amber)
Luminaire lumens: 384 lumens (Amber)

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details.

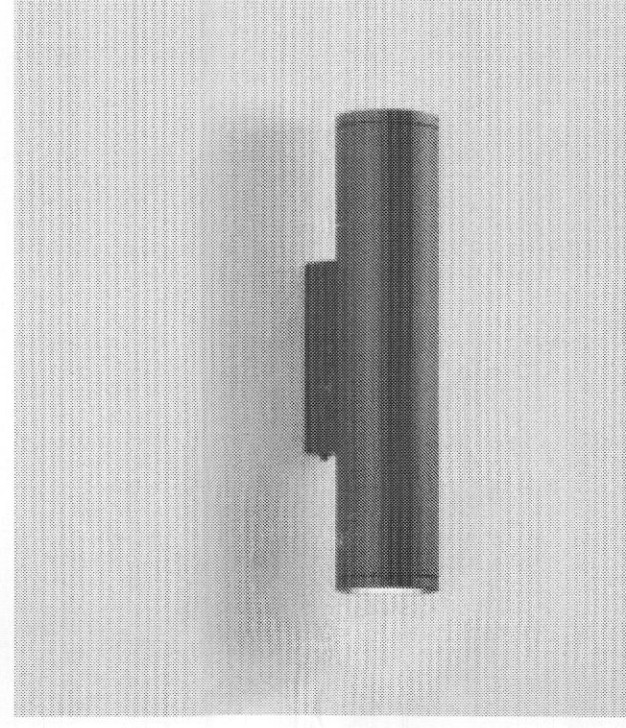
Finish
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.
Available colors: □ Black (RI K) □ White (W4T) □ RAI - □ Bronze (BRZ) □ Silver (SLV) □ CUS:



Beam Diameter (mm)	Beam Angle (°)	Beam Type	Beam Diameter (mm)	Beam Angle (°)	Beam Type
508	19.537	4%	19%	6%	1%

Type:
BEGA Product:
Project:
Modified:

Available Accessories
□ 79547 Surface mounted wiring box
See individual accessory spec sheet for details.



Specifications

EPA:	1.01 ft ² (0.093 m ²)
Length:	33" (840 mm)
Width:	13" (330 mm)
Height H1:	7-1/2" (190 mm)
Height H2:	3-1/2" (90 mm)
Weight:	27 lbs (12.3 kg)

Introduction
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high-performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTR2 PIRHN DDBXD

DSX1 LED	Options	Accessories	Finish	Notes
P7	P7	T3	T3	
40K	40K	T3M	T3M	
T3	T3	SPA	SPA	
NLTR2	NLTR2	PIRHN	PIRHN	
DDBXD	DDBXD			

Option	Description	Option	Description
SP	Single fuse (120, 277, 347V)	DF	Double fuse (208, 240, 480V)
PC	Factory-installed photocell	UNV	Unvired
HSGX	Housing extension	TPFX-25	Temper-resistant tool

Performance Data

Lumen Output
Lumen values are from photometric tests performed in accordance with IESNA LM-79-02. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts Certified Factory for performance data on any configurations not shown here.

Beam Diameter (mm)	Beam Angle (°)	Beam Type	Beam Diameter (mm)	Beam Angle (°)	Beam Type
508	19.537	4%	19%	6%	1%
700	19.537	4%	19%	6%	1%
900	19.537	4%	19%	6%	1%
1050	19.537	4%	19%	6%	1%
1200	19.537	4%	19%	6%	1%

SIMS ENGINEERING, LLC

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DALLAS, TEXAS 75220 | 214.295.9974
WWW.SIMS-ENG.COM | REG. # 10574

METHOD architecture
1919 MCKINNEY AVE, SUITE 2011
DALLAS, TEXAS 75201
(469) 640 - 6331

05-03-21 COMMENT RESPONSE

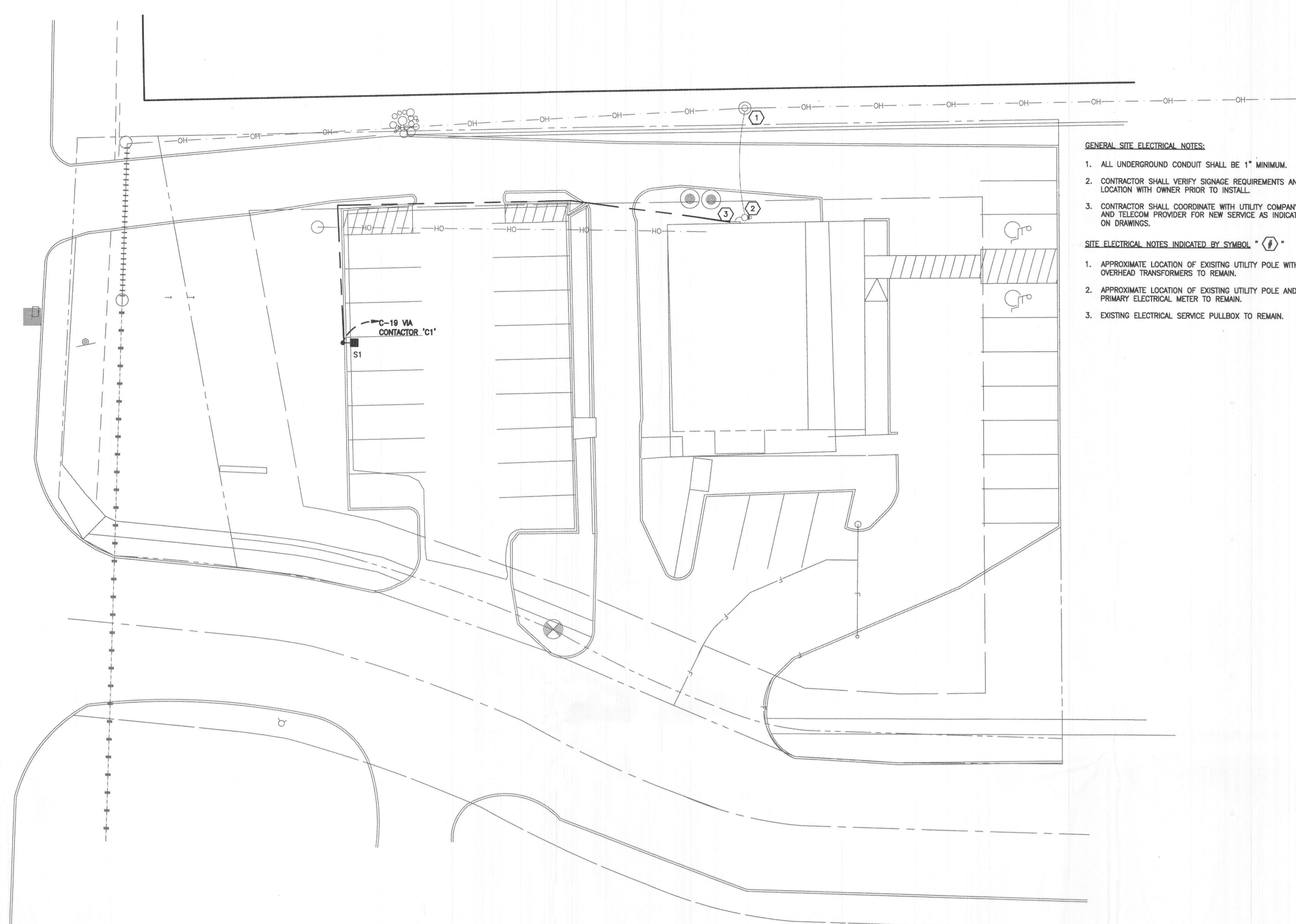
STATE OF TEXAS
ANNE LAUREN WHITE
126876
LICENSED PROFESSIONAL ENGINEER
05-03-21

ROTARY CLUB
ROCKWALL
PROJECT:
MB205016
SHEET
E1.3 LIGHTING CUTSHEETS

408 S GOLIAD ST.
ROCKWALL, TX 75087

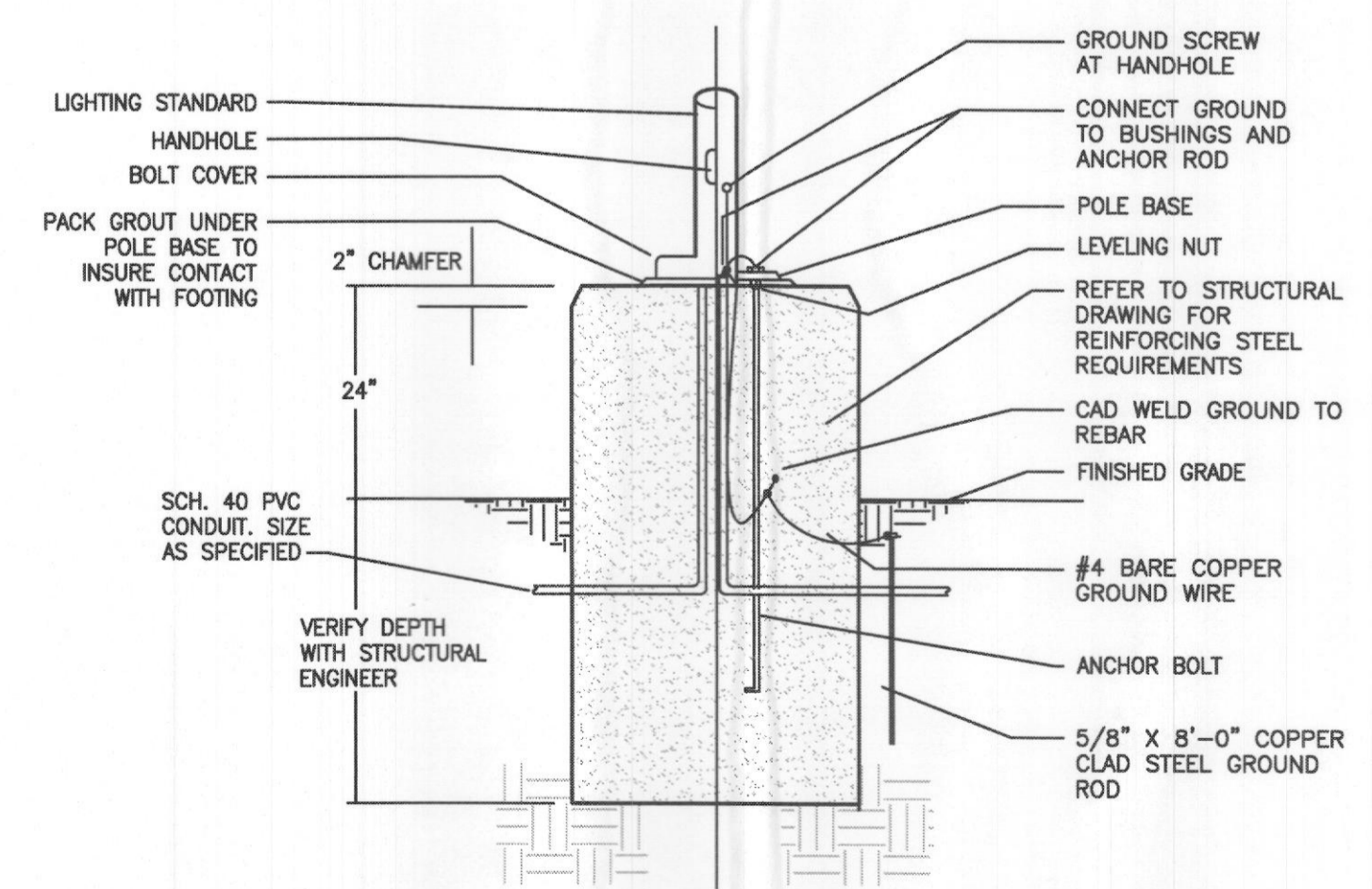
04-29-21 DR SET

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OR
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- GENERAL SITE ELECTRICAL NOTES:**
1. ALL UNDERGROUND CONDUIT SHALL BE 1" MINIMUM.
 2. CONTRACTOR SHALL VERIFY SIGNAGE REQUIREMENTS AND LOCATION WITH OWNER PRIOR TO INSTALL.
 3. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY AND TELECOM PROVIDER FOR NEW SERVICE AS INDICATED ON DRAWINGS.
- SITE ELECTRICAL NOTES INDICATED BY SYMBOL "Ⓢ":**
1. APPROXIMATE LOCATION OF EXISTING UTILITY POLE WITH OVERHEAD TRANSFORMERS TO REMAIN.
 2. APPROXIMATE LOCATION OF EXISTING UTILITY POLE AND PRIMARY ELECTRICAL METER TO REMAIN.
 3. EXISTING ELECTRICAL SERVICE PULLBOX TO REMAIN.

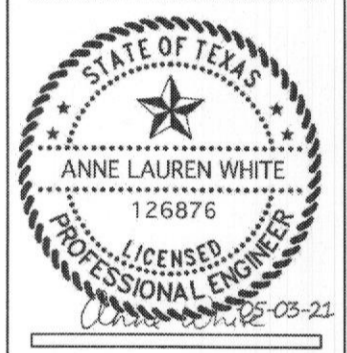
1 SITE PLAN - ELECTRICAL
SCALE: 1/16" = 1'-0"



2 POLE BASE DETAIL
SCALE: NONE

METHOD architecture
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05-0321	COMMENT RESPONSE
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**ROTARY CLUB
ROCKWALL**
408 S. COLIAD ST.
ROCKWALL, TX 75087

PM: DR:
PROJECT:
MB205016
SHEET:
E1.1
SITE PLAN
ELECTRICAL

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WWW.SIMSENG.COM | REG. # 10371