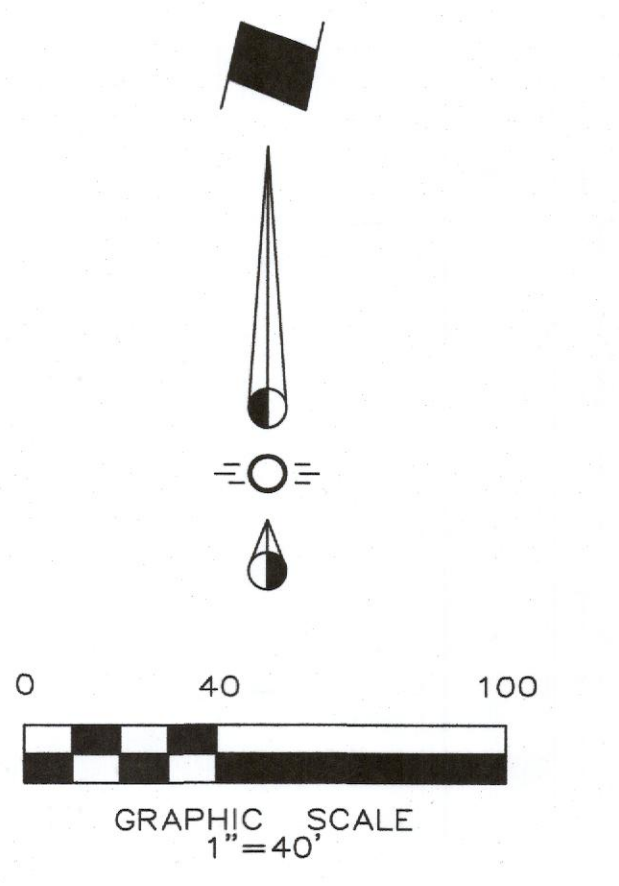


VICINITY MAP  
NTS



USE: Vacant  
ZONED: PD

USE: Apartments  
ZONED: MF-14

USE: Apartments  
ZONED: MF-14

USE: Church  
ZONED: MF-14

**SYNOPSIS**

Address:	2400 Summer Lee Drive Rockwall, Texas 75032
Zoning:	MF-14
Proposed Use:	Athletic Facility and Classroom for Existing Private School Use
Lot Area:	6.636 Acres (289,065 sf)
Building Area:	Classrooms 2,917 sf Athletic Use 19,492 sf Total Prop. Bldg Area: 22,409 sf
Lot Coverage:	7.75% (Footprint Area 22,409 sf)
Floor Area Ratio:	0.08 : 1
Parking Required:	31 Spaces Primary-169 Students (1/25) 7 Spaces Secondary-120 Students (1/5) 24 Spaces Total Required 31 Spaces
Parking Provided:	105 Spaces
HC Parking Required:	5 Spaces
HC Parking Provided:	6 Spaces

**LEGEND**

- Ex. Concrete Pavement
- Ex. Asphalt Pavement
- Proposed Wheel Stop Typical
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Barrier Free Ramp
- Handicap Parking Sign
- Public Access Easement

**OWNER:**

Heritage Christian Academy  
1408 S. Goliad St.  
Rockwall, Texas 75087  
Phone (972) 772-3003  
Contact: Brad Helmer

**ENGINEER:**

Cross Engineering Consultants, Inc.  
1720 W. Virginia St.  
McKinney, Texas 75069  
Phone (972) 562-4409  
Fax (972) 562-4471  
Contact: Dwayne Zinn

**SURVEYOR:**

Ringley & Associates  
701 S. Tennessee St.  
McKinney, TX. 75069  
Phone (972) 542-1266  
Fax (972) 542-8682  
Contact: Lawrence Ringley

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12<sup>th</sup> day of January, 2021.  
WITNESS OUR HANDS, this 12<sup>th</sup> day of January, 2021.  
  
Planning & Zoning Commission, Chairman  
  
Director of Planning and Zoning

**Note:**  
Existing Utilities Shown Per As-Built Documents. Contractor to Field Verify Location and Depth of All Utilities Prior to Construction and Notify Engineer of any Discrepancies.

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.  
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

CASE NO. SP2020-032

Issue Dates:	Issue Dates:	Revisions:	Date:
1	7	1	
2	8	2	
3	9	3	
4	10	4	
5	11	5	
6	12	6	

**CROSS ENGINEERING CONSULTANTS**  
131 S. Tennessee St. McKinney, Texas 75069  
972.562.4409 Texas P.E. Firm No. F-5935

Drawn By: C.E.C.I. Checked By: C.E.C.I. Scale: 1"=30'

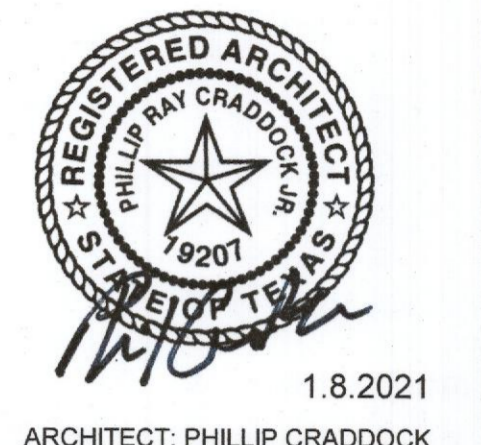
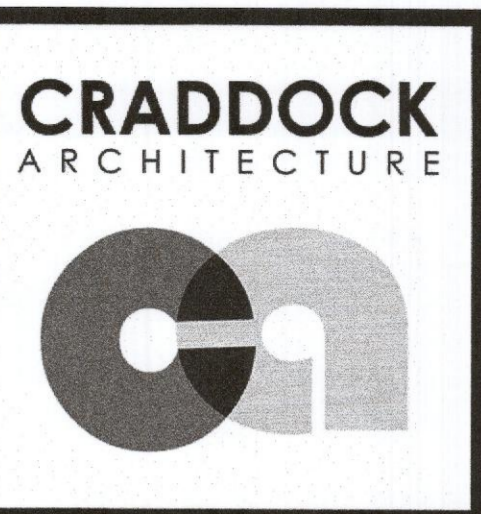
<b>SITE PLAN</b>	Sheet No.
<b>HERITAGE CHRISTIAN ACADEMY</b>	<b>SP</b>
<b>HERITAGE CHRISTIAN ACADEMY PH. 2</b>	Project No.
<b>CITY OF ROCKWALL, TEXAS</b>	20051

HERITAGE CHRISTIAN ACADEMY

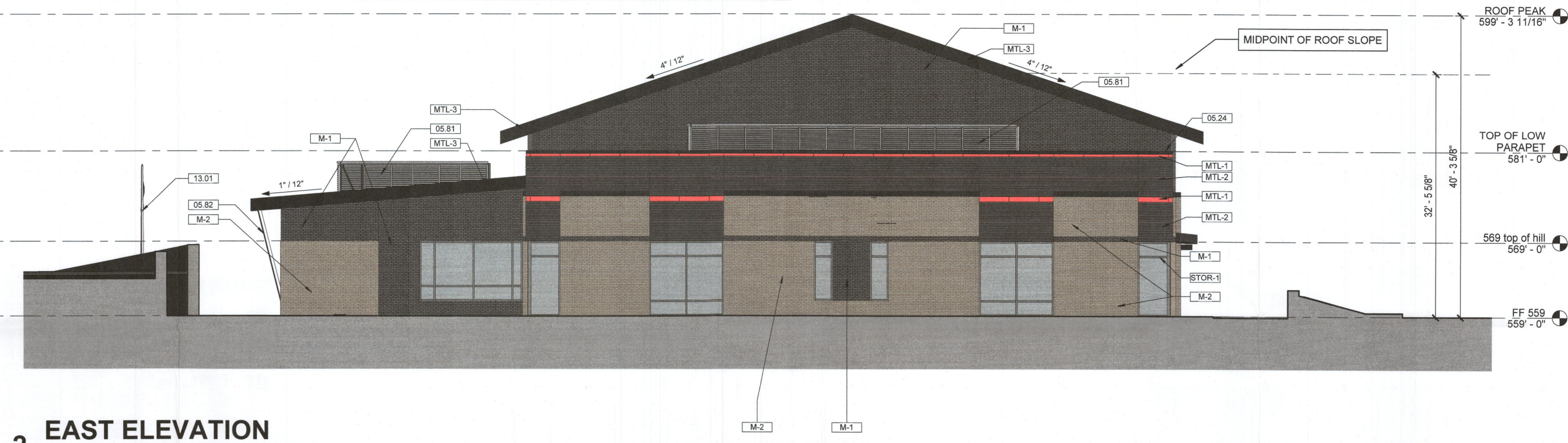


MATERIAL CALCULATIONS				
		AREA	%	
NORTH ELEVATION	MASONRY	4,773		
	BRICK	3,483	73.0%	
	STONE	0	0.0%	
	METAL... WINDOWS DOORS	731 511 48	15.3% 10.7% 1.0%	
EAST ELEVATION	MASONRY	3,460		
	BRICK	2,330	67.3%	
	STONE	0	0.0%	
	METAL... WINDOWS DOORS	693 437 0	20.0% 12.6% 0.0%	
SOUTH ELEVATION	MASONRY	5,316		
	BRICK	3,828	72.0%	
	STONE	251	4.7%	
	METAL... WINDOWS DOORS	574 589 74	10.8% 11.1% 1.4%	
WEST ELEVATION	MASONRY	4,373		
	BRICK	2,762	63.2%	
	STONE	877	20.1%	
	METAL... WINDOWS DOORS	594 135 5	13.6% 3.1% 0.1%	

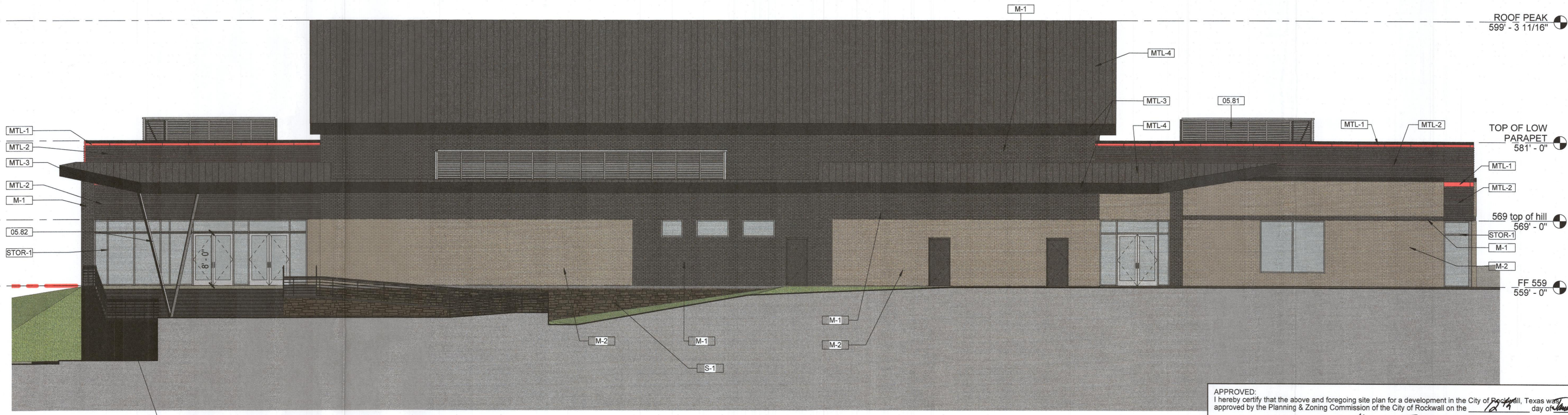
KEYNOTE LEGEND	
Key Value	Keynote Text
05.24	METAL WALL CAP (BERRIDGE MATTE BLACK) SLOPE TO INTERIOR AT 1/4" PER FT. PROVIDE CLIP ANCHORS ON EACH SIDE FOR CAP TO SNAP OVER, ABOVE 2 LAYERS 3/4" PLYWOOD ON TOP OF WALL FRAMING.
05.81	ROOFTOP RTU SCREEN - ENVISOR BY CITYSCAPE - MATCH MATTE BLACK BERRIDGE
05.82	STEEL COLUMNS - PAINT MATCH BERRIDGE DEEP RED
13.01	FLAG POLE
M-1	MASONRY MODULAR BRICK - COLOR: MIDNIGHT [DARK GRAY] SMOOTH BY CLOUD CERAMICS
M-2	MASONRY MODULAR BRICK - BLEND OF TAN BRICK COLOR 1: LIGHT IVORY MODULAR VELOUR COLOR 2: SAHARA LT. BUFF MODULAR VELOUR
MTL-1	ARCHITECTURAL METAL PANEL COLOR: DEEP RED BY BERRIDGE W/ FLAT SEAMS DECORATIVE STRIPE KYNAR FINISH
MTL-2	ARCHITECTURAL METAL PANEL COLOR: MATTE BLACK BY BERRIDGE PROFILE: HR-16 KYNAR FINISH
MTL-3	FACIA METAL PANEL COLOR MATTE BLACK BY BERRIDGE W/ FLAT SEAMS
MTL-4	STANDING SEAM METAL ROOFING COLOR MATTE BLACK BY BERRIDGE
S-1	NATURAL STONE VENEER
STOR-1	STOREFRONT COLOR: BLACK ANODIZED ALUM



ARCHITECT: PHILLIP CRADDOCK



**2 EAST ELEVATION**  
1/8" = 1'-0"



**1 SOUTH ELEVATION**  
1/8" = 1'-0"

**CRADDOCK ARCHITECTURE**  
HERITAGE CHRISTIAN ACADEMY  
P.O. BOX #188 Rockwall, TX 75087 214-952-0627

HCA - GYM / CLASSROOMS  
1408 S. Goliad  
Rockwall, Texas 75087  
Project number 2020-109  
Date 1/8/2021  
EXTERIOR ELEVATIONS

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REVISION	
#	Revision Description

APPROVED:  
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WITNESS OUR HANDS, this 12th day of January, 2021

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Planning & Zoning Director

A604

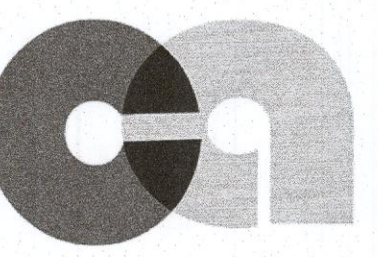

1/8/2021 11:42:14 AM



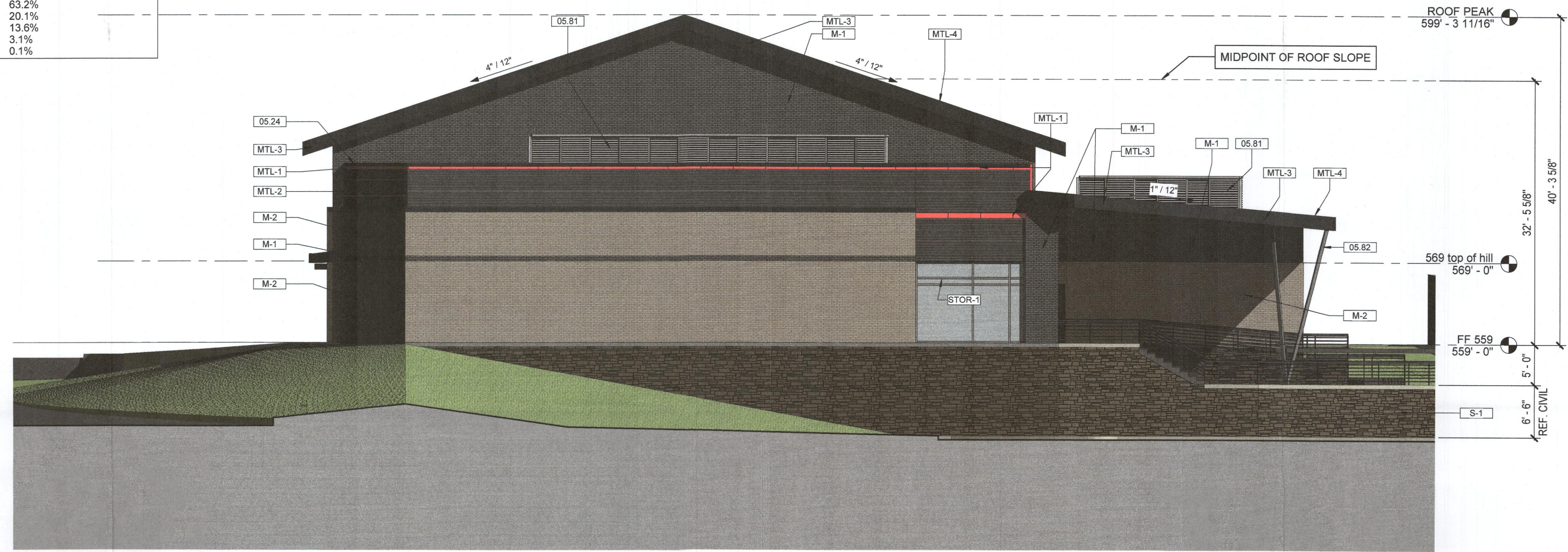
MATERIAL CALCULATIONS				
		AREA	%	
NORTH ELEVATION				
MASONRY	BRICK	3,483	73.0%	
	STONE	0	0.0%	
	METAL...	731	15.3%	
WINDOWS	511	10.7%		
DOORS	48	1.0%		
EAST ELEVATION				
MASONRY	BRICK	2,330	67.3%	
	STONE	0	0.0%	
	METAL...	693	20.0%	
WINDOWS	437	12.6%		
DOORS	0	0.0%		
SOUTH ELEVATION				
MASONRY	BRICK	3,828	72.0%	
	STONE	251	4.7%	
	METAL...	574	10.8%	
WINDOWS	589	11.1%		
DOORS	74	1.4%		
WEST ELEVATION				
MASONRY	BRICK	2,762	63.2%	
	STONE	877	20.1%	
	METAL...	594	13.6%	
WINDOWS	135	3.1%		
DOORS	5	0.1%		

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STOR-1	STOREFRONT COLOR: BLACK ANODIZED ALUM

**CRADDOCK ARCHITECTURE**

1.8.2021  
ARCHITECT: PHILLIP CRADDOCK



**2 WEST ELEVATION**  
1/8" = 1'-0"



**1 NORTH ELEVATION**  
1/8" = 1'-0"

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WITNESS OUR HANDS, this 12<sup>th</sup> day of January, 2021

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning & Zoning

**CRADDOCK ARCHITECTURE**  
HERITAGE CHRISTIAN ACADEMY

P.O. BOX #188 Rockwall, TX 75087 214-952-0527

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REVISION		
#	Revision Date	Revision Description

HCA - GYM / CLASSROOMS  
1408 S. Goliad  
Rockwall, Texas 75087

Project number 2020-109 Date 1/8/2021

EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0"

A603

1/8/2021 11:42:07 AM





KEYNOTES USED IN PROJECT	
Key Value	Keynote Text
05.24	METAL WALL CAP (BERRIDGE MATTE BLACK) SLOPE TO INTERIOR AT 1/4" PER FT. PROVIDE CLIP ANCHORS ON EACH SIDE FOR CAP TO SNAP OVER, ABOVE 2 LAYERS 3/4" PLYWOOD ON TOP OF WALL FRAMING.
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STOR-1	STOREFRONT COLOR: BLACK ANODIZED ALUM

MTL-3

M-1

M-2

S-1



M-2

MTL-1

MTL-2

M-1

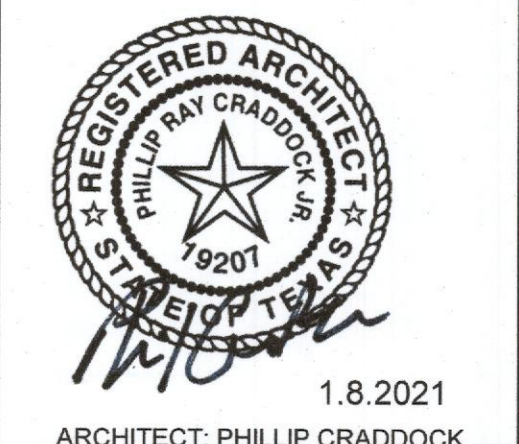
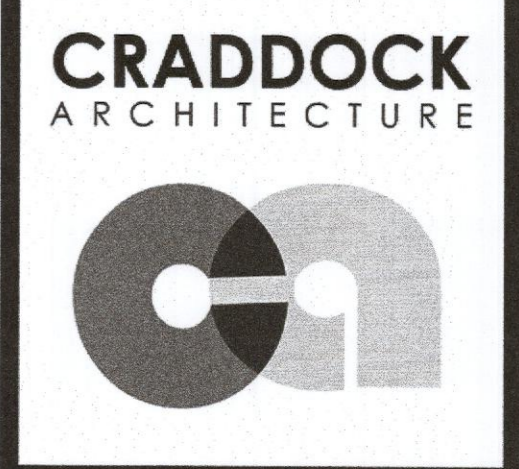


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*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning & Zoning



1.8.2021  
ARCHITECT: PHILLIP CRADDOCK

**CRADDOCK ARCHITECTURE**  
P.O. BOX #188 Rockwall, TX 75087 214-982-0827

**HERITAGE CHRISTIAN ACADEMY**

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REVISION		
#	Revision Date	Revision Description

HCA - GYM / CLASSROOMS  
1408 S. Goliad  
Rockwall, Texas 75087

Project number 2020-109

Date 1/8/2021

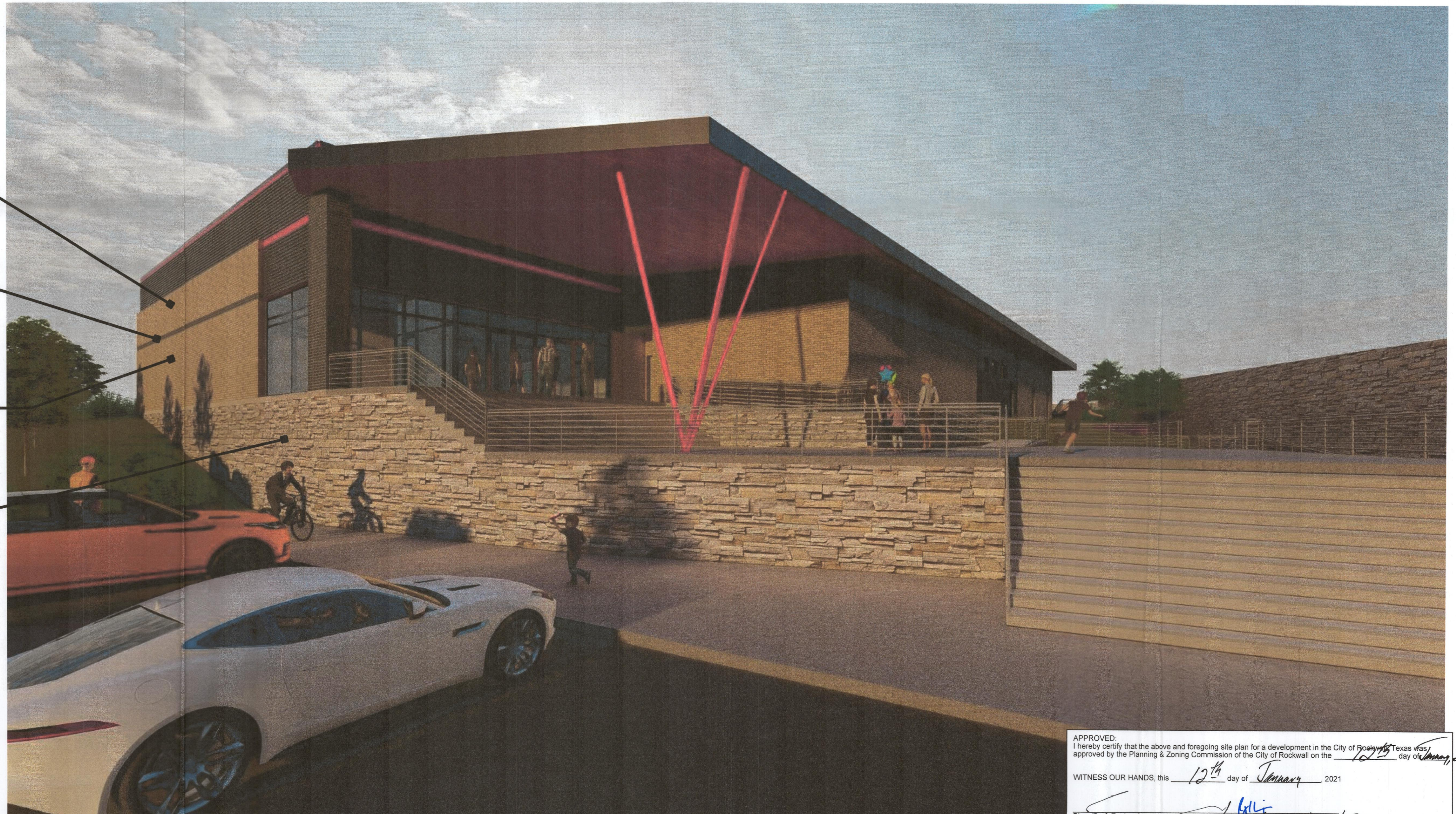
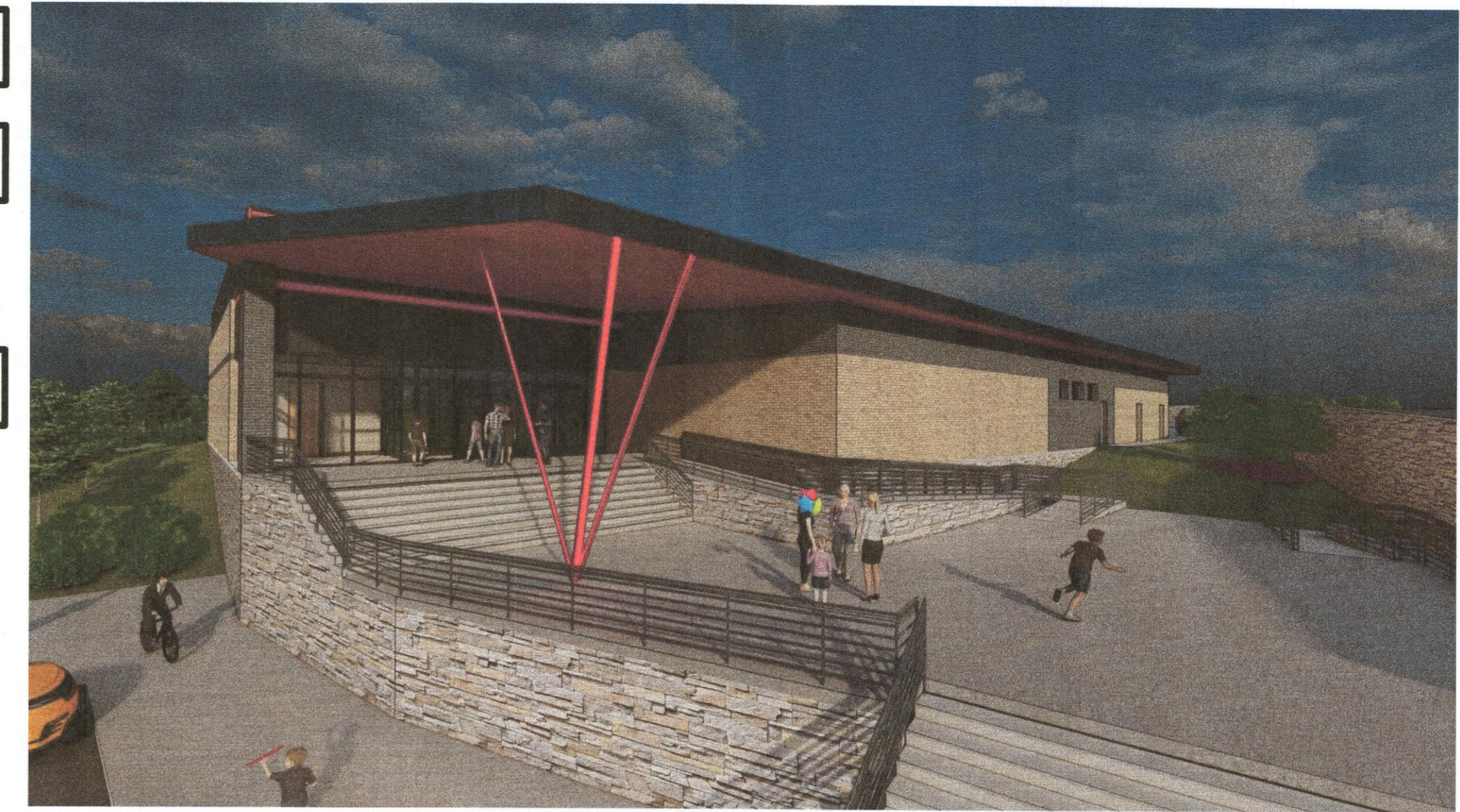
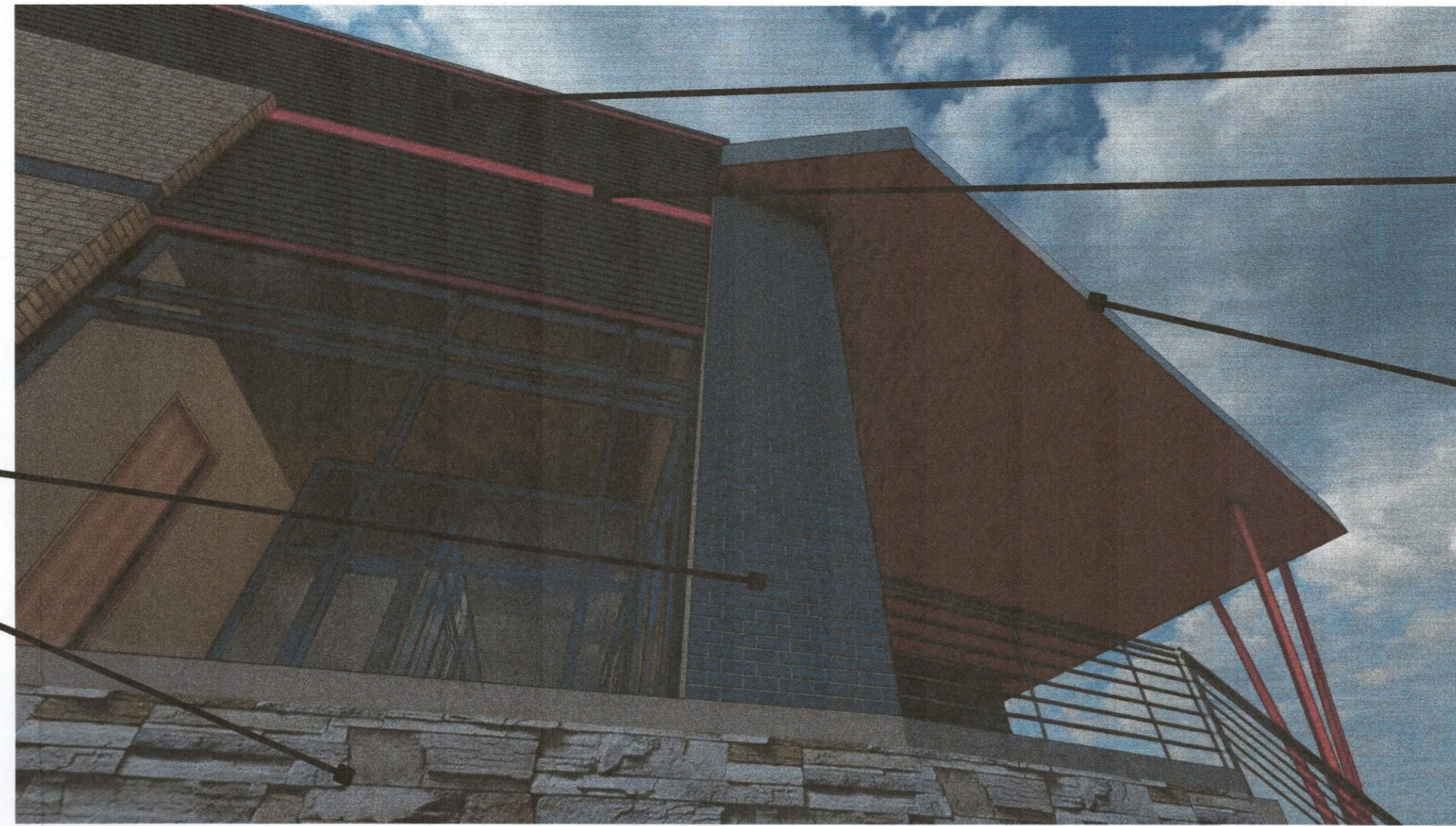
**RENDERINGS**

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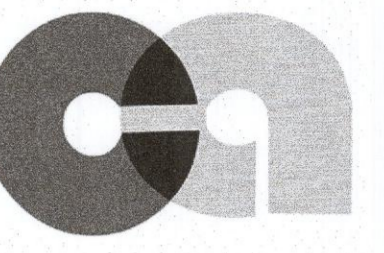
A602



KEYNOTES USED IN PROJECT	
Key Value	Keynote Text
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S-1	NATURAL STONE VENEER
STOR-1	STOREFRONT COLOR: BLACK ANODIZED ALUM



CRADDOCK ARCHITECTURE



1.8.2021  
ARCHITECT: PHILLIP CRADDOCK

**CRADDOCK ARCHITECTURE**  
HERITAGE CHRISTIAN ACADEMY  
P.O. BOX #188 Rockwall, TX 75087 214-952-0527

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REVISION	
#	Revision Description

HCA - GYM / CLASSROOMS	1/8/2021
1408 S. Goliad	Date
Rockwall, Texas 75087	
Project number 2020-109	
<b>RENDERINGS</b>	
Scale:	

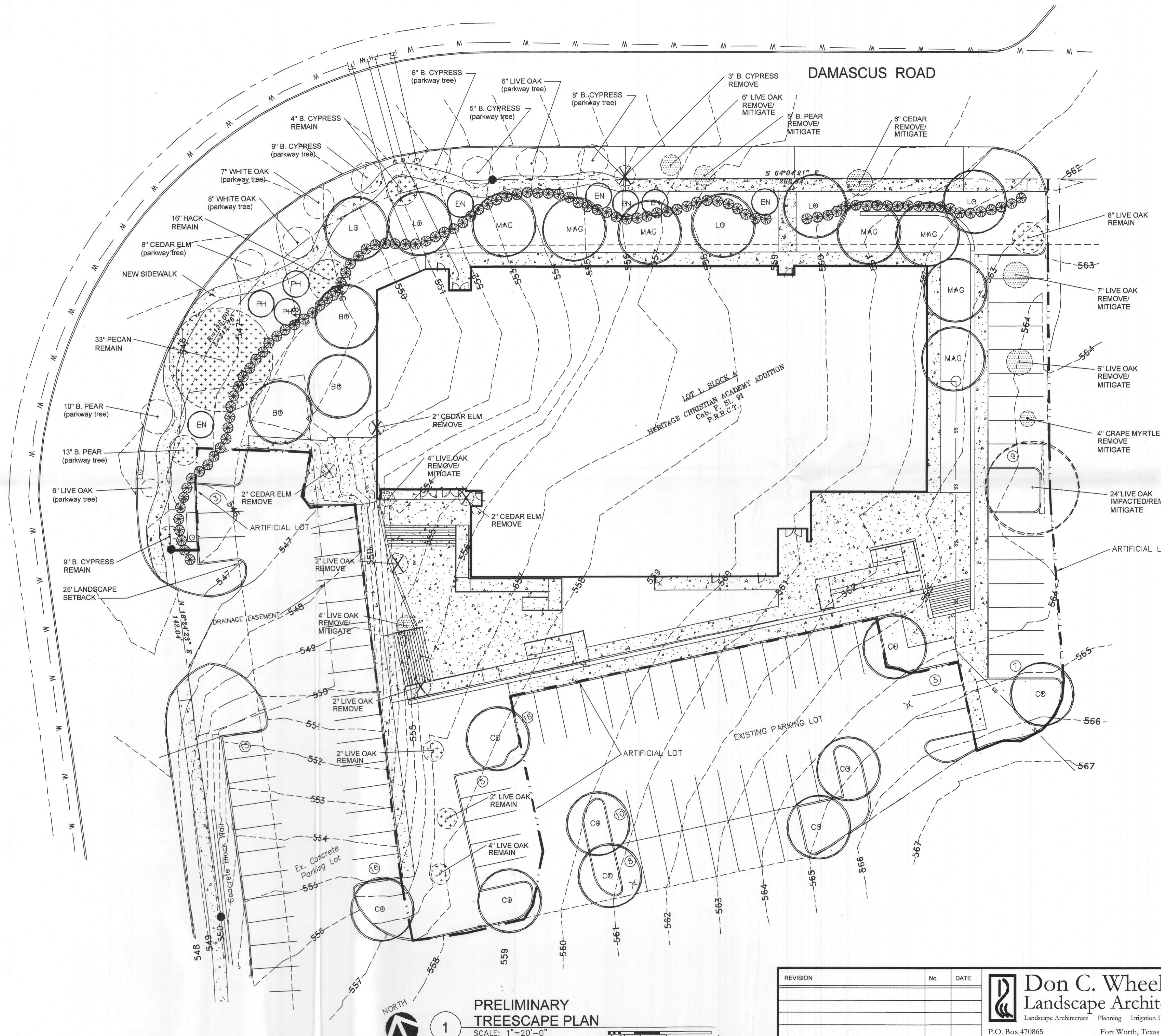
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WITNESS OUR HANDS, this 12<sup>th</sup> day of January, 2021

\_\_\_\_\_  
Planning & Zoning Commission, Chairman / *Phillip Craddock*  
Director of Planning & Zoning

A601





**EXISTING TREE PROTECTION:**

All trees shown on this plan to be preserved shall be protected during construction with temporary fencing. Tree protection fences shall be installed prior to the commencement of any site preparation work (clearing, grubbing or grading).  
 Fences shall completely surround the tree or clusters of trees. The fence shall be located 1 foot away from trunk for every 1 inch of trunk diameter at breast height (4.5 feet above ground, dbh). The fence will be maintained throughout the construction project in order to prevent the following, which are not allowed with or without fencing in place.

- Soil compaction in the critical root zone resulting from vehicular traffic or storage of equipment or materials.
- Critical root zone grade changes which was not authorized by the City Arborist is not allowed.
- Wounds to the trunk, limbs or exposed roots by mechanical equipment.
- Other activities detrimental to trees such as chemical storage, concrete truck cleaning and fires.

Fencing is per standard specification without consulting City Arborist for requirement.  
 All digging for irrigation and landscape plant materials within critical zones of trees shall be performed by hand.  
 All trees should be watered deeply once a week during periods of hot and dry weather. Tree crowns should be sprayed with water periodically to reduce dust accumulation on the leaves.  
 Trenching for landscape irrigation shall be located as far from the existing trunks as possible. Irrigation lines should run parallel to radii of tree root systems (toward and away from trunk) and not across root systems going to other areas.  
 Pruning to provide clearance for structures, vehicular traffic and equipment shall take place before construction begins.  
 Within the area of the dripline of protected trees, material storage, equipment cleaning, tree attachments or vehicular traffic or parking will not be permitted.  
 All trees to be removed from the construction site shall be flagged with bright red vinyl tape wrapped around the main trunk at a height of four feet (4') or more such that the tape is visible to workers on foot or driving equipment.  
 All work will comply with ordinance 18615 regarding tree preservation.

**TREE LEGEND & CALCULATIONS**

- EXISTING TREES - (parkway tree)
  - EXISTING PROTECTED TREES TO REMAIN
  - EXISTING TREES (NOT PROTECTED) TO BE REMOVED BUT NOT MITIGATED.
  - EXISTING PROTECTED TREES TO BE REMOVED AND MITIGATED.
  - EXISTING PROTECTED TREE (IMPACTED) TO REMAIN AND BE MITIGATED.
  - EXISTING PROTECTED TREE (IMPACTED) TO REMAIN AND BE MITIGATED.
- |   |       |
|---|-------|
| 2" LIVE OAK - NOT PROTECTED   | ..... |
| 2" LIVE OAK - NOT PROTECTED   | ..... |
| 2" CEDAR ELM - NOT PROTECTED  | ..... |
| 2" CEDAR ELM - NOT PROTECTED  | ..... |
| 2" CEDAR ELM - NOT PROTECTED  | ..... |
| 2" CEDAR ELM - NOT PROTECTED  | ..... |
| 3" BALD CYPRESS - NOT PROTECTED                                       | ..... |
| <b>TOTAL NOT PROTECTED - 13"</b>                                      |       |
| <b>EXISTING PROTECTED TREES TO BE REMOVED AND MITIGATED.</b>          |       |
| 4" LIVE OAK - PROTECTED   | ..... |
| 4" LIVE OAK - PROTECTED   | ..... |
| 6" LIVE OAK - PROTECTED   | ..... |
| 5" B. PEAR - PROTECTED  | ..... |
| 6" CEDAR - PROTECTED  | ..... |
| 7" LIVE OAK - PROTECTED   | ..... |
| 6" LIVE OAK - PROTECTED   | ..... |
| 4" C. MYRTLE - PROTECTED  | ..... |
| <b>EXISTING PROTECTED TREE (IMPACTED) TO REMAIN AND BE MITIGATED.</b> |       |
| 24" LIVE OAK - PROTECTED  | ..... |
| <b>TOTAL PROTECTED TO MITIGATE - 66"</b>                              |       |
| <b>NEW 4" TREES PLANTED = 24 = 96"</b>                                |       |
| (3) BUR OAK   | 'BO'  |
| (9) CHINQUAPIN OAK  | 'CO'  |
| (5) LIVE OAK  | 'LO'  |
| (7) MAGNOLIA  | 'MAG' |
| (3) POSSUMHAW HOLLY   | 'PH'  |
| (6) EVES NECKLACE   | 'EN'  |

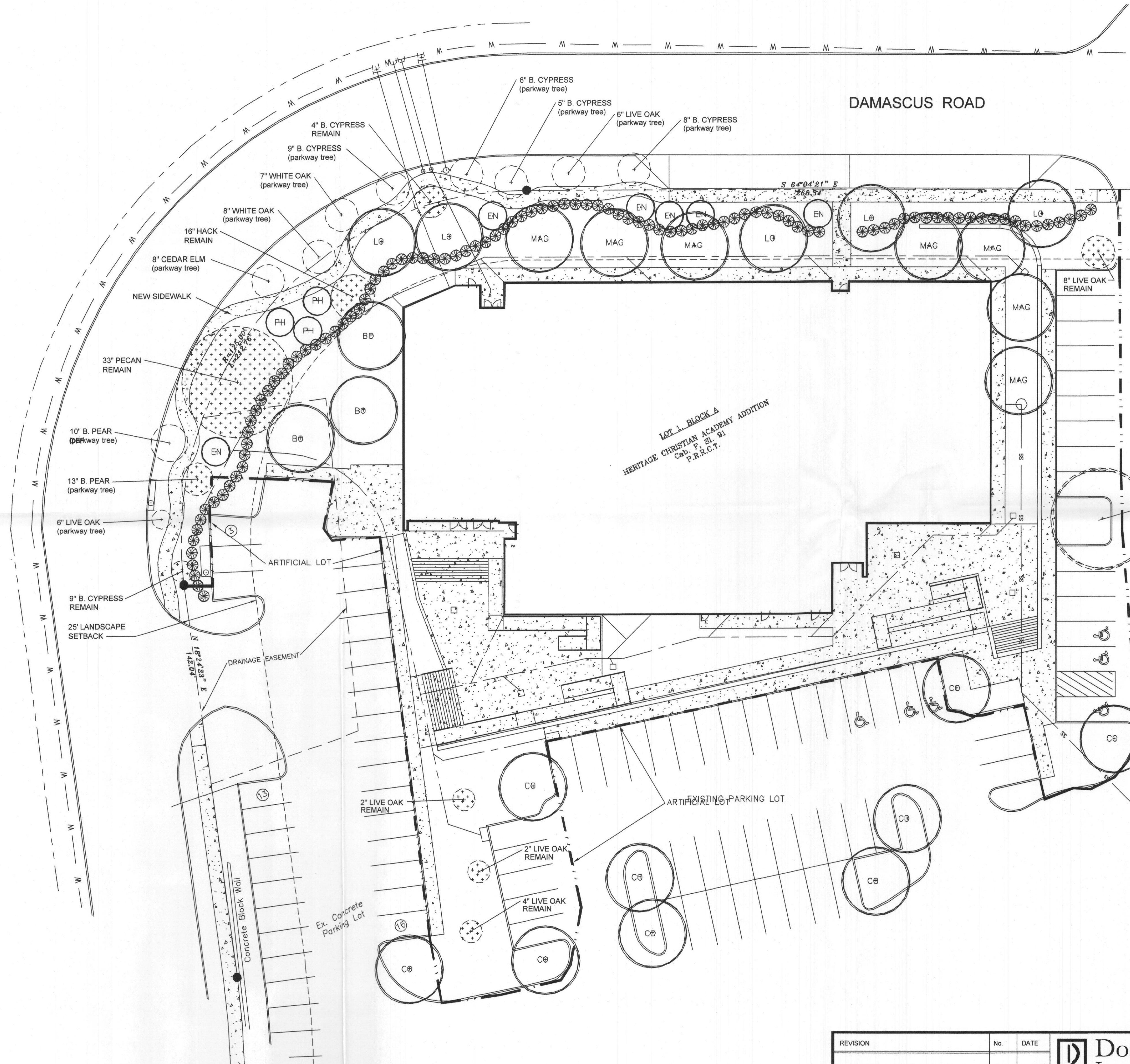
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 WITNESS OUR HANDS, this 12th day of January, 2021.  
 \_\_\_\_\_  
 Director of Planning and Zoning

PLAN PREPARED BY:  
 DON C. WHEELER, RLA  
 PO BOX 470865  
 FT. WORTH, TX 76147  
 817.335.1405  
 don@dcwla.com

<b>REVISION</b> No. DATE		 <b>Don C. Wheeler</b> Landscape Architect P.O. Box 470865 Fort Worth, Texas 76147 Office 817.335.1405 don@dcwla.com	FOR REVIEW ONLY THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES. DON C. WHEELER - TEXAS LANDSCAPE ARCHITECT # 767	<b>TREESCAPE PLAN</b> <b>HERITAGE CHRISTIAN ACADEMY</b> <b>HERITAGE CHRISTIAN ACADEMY PH.2</b> <b>CITY OF ROCKWALL, TEXAS</b>	Sheet No.  <b>TP</b>
PROJECT NO. 2K20-25 DATE 01/07/21					

**PRELIMINARY TREESCAPE PLAN**  
 SCALE: 1"=20'-0"  
 NORTH





**LANDSCAPE NOTES:**

01. ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
02. NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
03. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
04. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
05. NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
06. PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
07. PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
08. ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
09. NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
10. TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL TRUNK, OR LOOSEN TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
11. WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS 'T' POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
12. ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
13. ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
14. FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
15. PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
16. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
17. AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
18. ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6\"), ADDING A THREE INCH (3\") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3\") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
19. ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8\" X 4\" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
20. TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
21. ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2\") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3\") LAYER OF SHREDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
22. TOP OF MULCH SHALL BE 1/2\" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
23. TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
24. OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
25. ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
26. ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
27. ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
28. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.

**PLANT LEGEND**

- EXISTING TREES - (parkway tree)
- EXISTING PROTECTED TREES TO REMAIN
- NEW 4\" CANOPY TREES
  - (3) BUR OAK 'BO'
  - (9) CHINQUAPIN OAK 'CO'
  - (5) LIVE OAK 'LO'
  - (7) MAGNOLIA 'MAG'
- NEW ACCENT TREES
  - (3) POSSUMHAW HOLLY 'PH'
  - (6) EVES NECKLACE 'EN'
- NEW SHRUBS
  - RED YUCCA
  - ROSEMARY
  - TEXAS SAGE

**LANDSCAPE CALCULATIONS**

ZONING - MF-14 (35%) LANDSCAPE AREA REQUIRED.  
 ARTIFICIAL LOT AREA - 60,238 SF  
 35% = 21,083 SF  
 -2.5% XERISCAPING CREDIT = 32.5% = 19,578 SF  
 LANDSCAPE AREA PROVIDED = 20,367 SF  
 WITH 11,858 SF = 60% IN FRONT YARD.

LANDSCAPE BUFFER AT STREET R.O.W. =  
 10' WITH 1-CANOPY TREE & 1-ACCENT TREE/50'  
 AND A ROW OF SHRUBS.

427'/50' = 9

9 CANOPY TREES REQUIRED. 9-PROVIDED.  
 9 ACCENT TREES REQUIRED. 9-PROVIDED.  
 107 SHRUBS PROVIDED.

INTERIOR PARKING LOT LANDSCAPING:  
 3,771 SF PARKING LOT AREA  
 855 SF LANDSCAPE AREA PROVIDED.

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of January, 2021.  
 WITNESS OUR HANDS, this 12th day of January, 2021.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

PLAN PREPARED BY:  
 DON C. WHEELER, RLA  
 P.O. BOX 470865  
 FT. WORTH, TX 76147  
 817.335.1405  
 don@dcwla.com

**PRELIMINARY LANDSCAPE PLAN**  
 SCALE: 1"=20'-0"  
 NORTH

REVISION	No.	DATE

**Don C. Wheeler**  
 Landscape Architect  
 Planning Irrigation Design  
 P.O. Box 470865 Fort Worth, Texas 76147  
 Office 817.335.1405 don@dcwla.com

PROJECT NO. 2K20-25 DATE: 01/05/21

FOR REVIEW ONLY  
 THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.  
 DON C. WHEELER, TEXAS LANDSCAPE ARCHITECT # 757

**LANDSCAPE PLAN**

**HERITAGE CHRISTIAN ACADEMY**

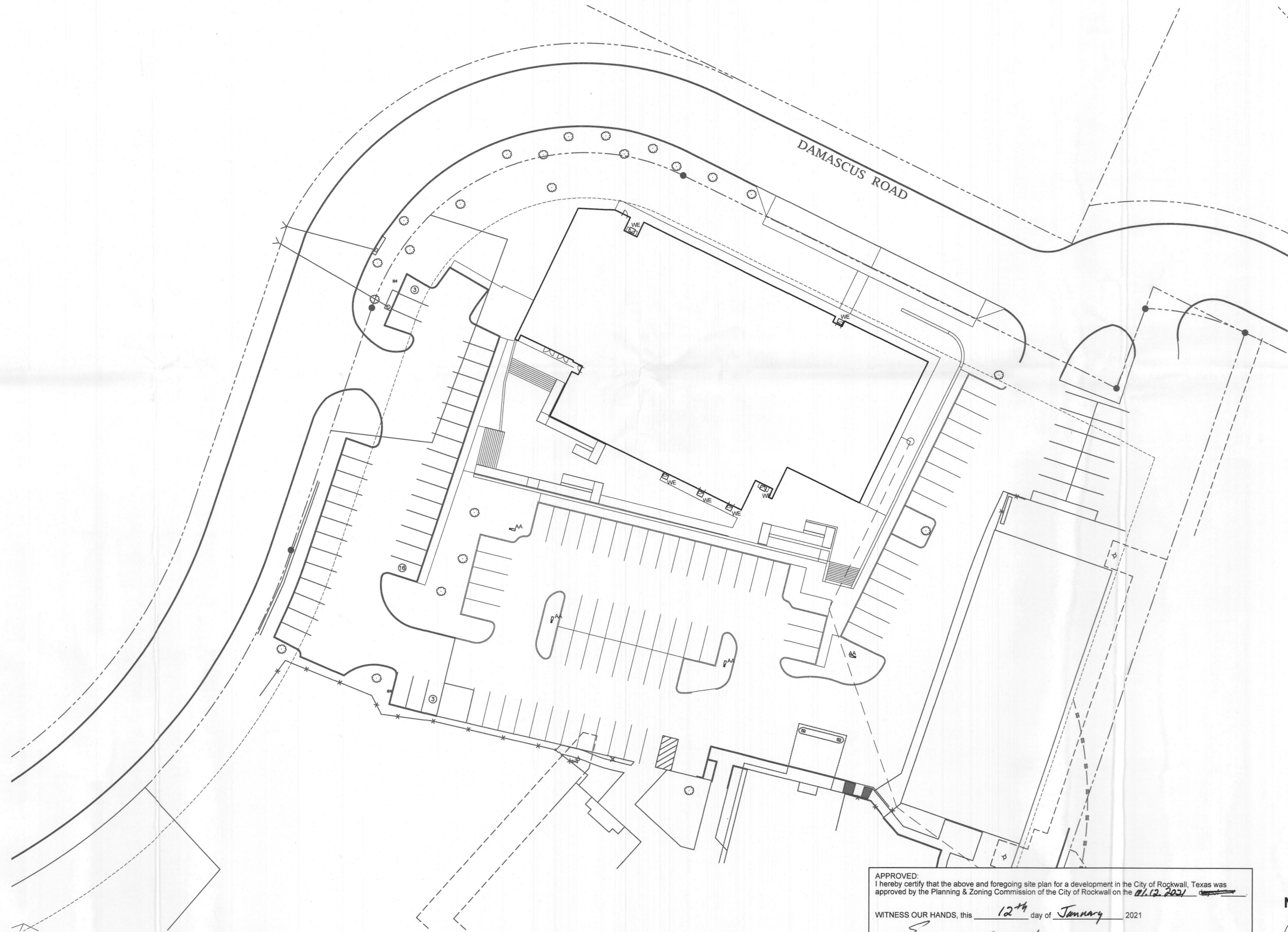
**HERITAGE CHRISTIAN ACADEMY PH.2**

**CITY OF ROCKWALL, TEXAS**

Sheet No. **LP**



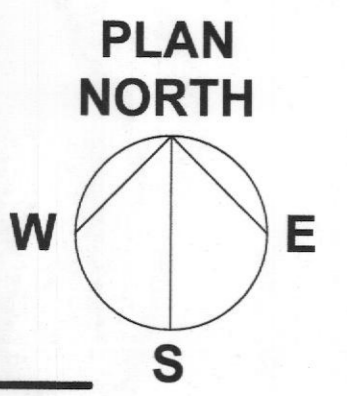
LIGHT FIXTURE SCHEDULE								
TYPE	VOLTAGE	MOUNTING	MANUFACTURER	MODEL NUMBER	LAMPS (LM)	WATTS	REMARKS	NOTES
AA	208	POLE	LITHONIA	DSX2 LED P4 40K T5W MVOLT SPA DDBXD POLE: SSS 25 5C DM19AS DDBXD	34000	270	2x4' FLAT PANEL WITH DIMMING DRIVER	1
WE	120	WALL	LITHONIA	WST LED P1 40K VW MVOLT E7WC DDBXD	1500	15	TRAPEZOIDIAL WALL PACK WITH AN EMERGENCY BATTERY	
GENERAL LIGHT FIXTURE NOTES:								
A. ALL LED LIGHT FIXTURES SHALL BE RATED FOR 4000 DEGREES KELVIN UNLESS OTHERWISE NOTED.								
LIGHT FIXTURE SCHEDULE NOTES:								
1. PROVIDE STEEL POLE WITH A MINIMUM 100MPH EPA RATING WITH 1.3 GUST FACTOR.								



APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 01/12/2021 date.

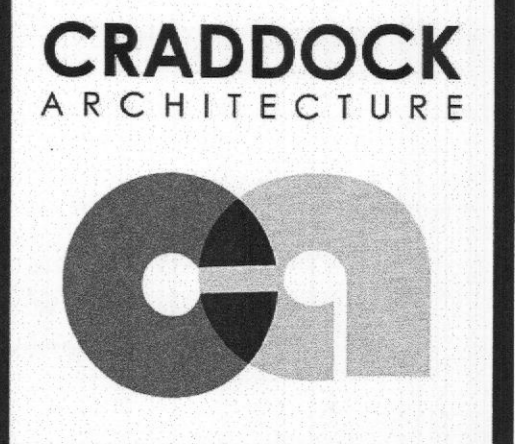
WITNESS OUR HANDS, this 12<sup>th</sup> day of January, 2021

*[Signature]*  
 Planning & Zoning Commission, Chairman  
*[Signature]*  
 Director of Planning & Zoning



**1 SITE PLAN - ELECTRICAL**  
 1" = 30'-0"

CASE NO. SP 2020-032



This document is released for the purpose of interim review under the authority of Kris Stepp, P.E. 93736 on Dec. 16, 2020. It is not to be used for construction, bidding, or permit purposes.

ARCHITECT: PHILLIP CRADDOCK

**CRADDOCK ARCHITECTURE**  
 P.O. BOX #188 Rockwall, TX 75087 214-952-0527

REVISION	
#	Revision Description

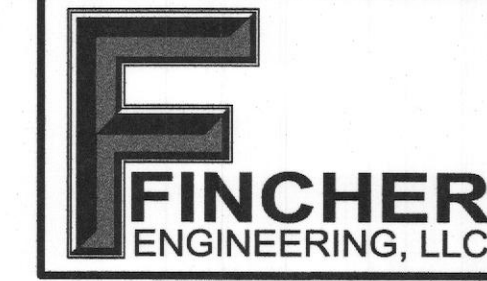
HCA - GYM / CLASSROOMS  
 1408 S. Goliad  
 Rockwall, Texas 75087  
 Project number 2020-109 Date 12/16/2020  
**SITE PLAN - ELECTRICAL**  
 Scale: AS NOTED

**ES101**

**PRELIMINARY - NOT FOR CONSTRUCTION, PERMITTING OR REGULATORY APPROVAL**

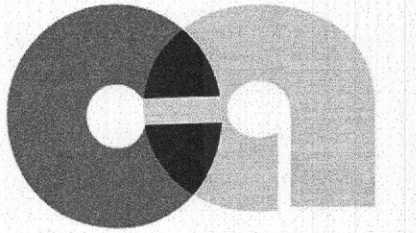
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FINCHER ENGINEERING, LLC  
 TX FIRM #F-16408  
 5621 114TH ST., SUITE 100  
 LUBBOCK, TX 79424  
 PH: 806-701-5109  
 WWW.FINCHERENG.COM

CRADDOCK ARCHITECTURE



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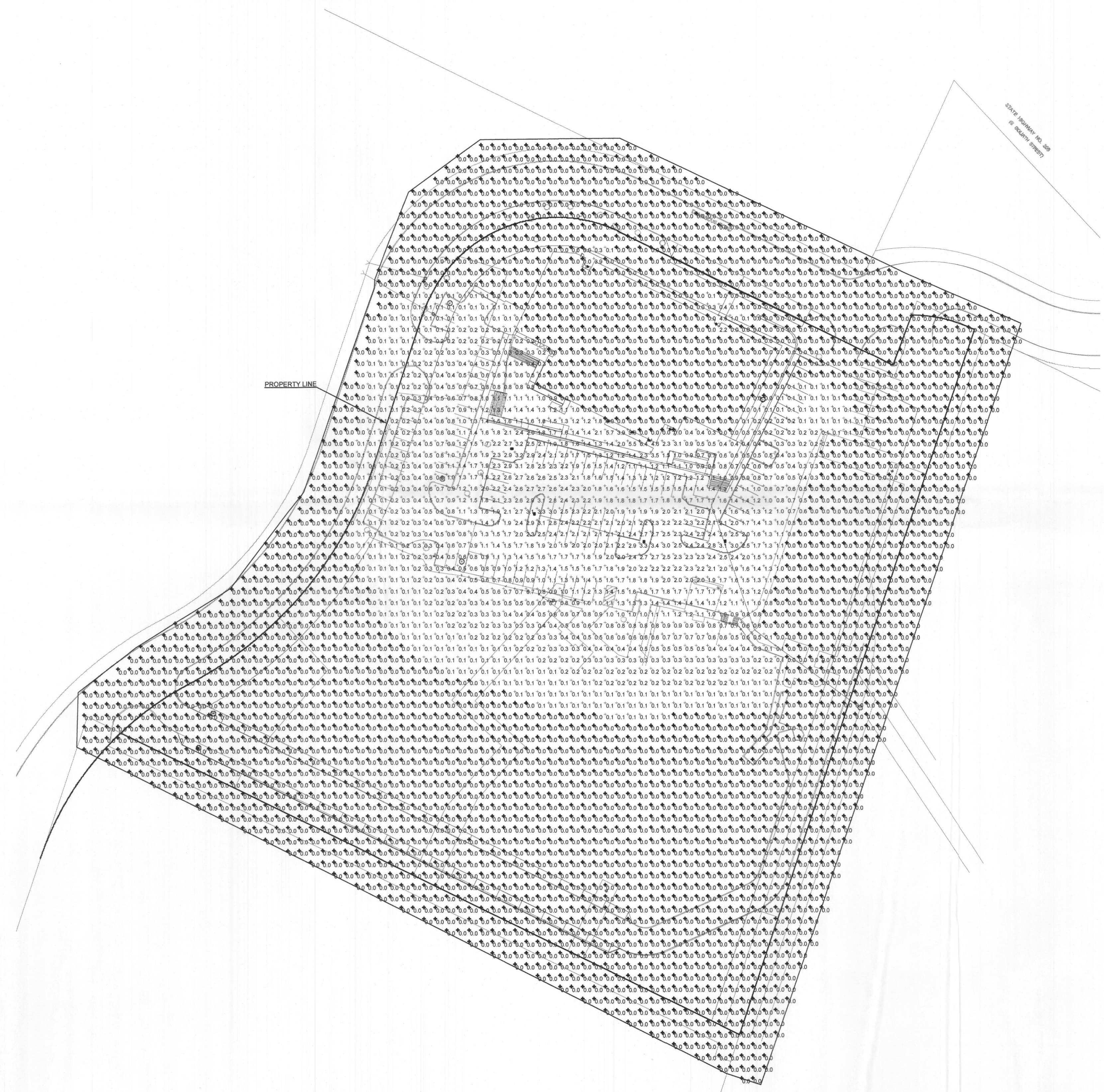
ARCHITECT: PHILLIP CRADDOCK

CRADDOCK ARCHITECTURE  
 P.O. BOX #188 Rockwall, TX 75087 214-952-0527

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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	0.2 fc	6.4 fc	0.0 fc	N/A	N/A

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp Factor	Light Loss Factor	Wattage
□	AA	4	Lithonia Lighting	DSX2 LED P4 40K T5W MVOLT	DSX2 LED P4 40K T5W MVOLT	34437	0.75	270
□	WE	6	Lithonia Lighting	WST LED P1 40K VV MVOLT	WST LED, Performance package 1, 4000 K, visual comfort wide, MVOLT	1959	0.8	12



1 **SITE PLAN - LIGHTING CALCULATIONS**  
 NO SCALE

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 12/16/2020 day of January, 2021.

WITNESS OUR HANDS, this 12<sup>th</sup> day of January, 2021

*[Signature]*  
 Planning & Zoning Commission, Chairman

CASE NO. SP 2020-032

**PRELIMINARY - NOT FOR CONSTRUCTION, PERMITTING OR REGULATORY APPROVAL**

REVISION	
#	Revision Description

HCA - GYM / CLASSROOMS  
 1408 S. Goliad  
 Rockwall, Texas 75087  
 Project number 2020-109  
 Date 12/16/2020  
**SITE PLAN - LIGHTING CALC**  
 Scale: AS NOTED

ES102