

VICINITY MAP  
NOT TO SCALE

CONCRETE PAVEMENT

LOT 8 BLOCK A  
251,484.3 SQFT  
5.77 ACRES

CONCRETE PAVEMENT

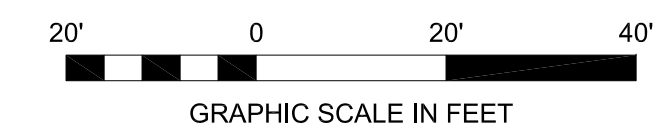
**SITE PLAN INFORMATION**

ZONED: PD-54  
 LAND USE: PROPOSED COMMERCIAL  
 TOTAL LOT AREA: 1,743 ACRES (75,932 S.F.)  
 TOTAL LOT PERIMETER: ±1,192 LF  
 BUILDING AREA: DENTAL OFFICE: 4,059 S.F.  
 DAYCARE: 10,841 S.F.  
 BUILDING HEIGHT: DENTAL OFFICE: 20'-0" - 24'-0"  
 DAYCARE: 20'-0" - 24'-0"

	REQUIRED	PROVIDED
STANDARD PARKING	52	52
ACCESSIBLE PARKING	3	3
TOTAL	55	55

Time of Day	Daycare		Dental		Total
	#	%	#	%	
6:00 a.m.—12:00 noon	0.97	1.00	35	20	55
12:00 noon—1:00 p.m.	1.00	0.90	36	18	54
1:00 p.m.—4:00 p.m.	0.97	0.97	35	20	55
4:00 p.m.—6:00 p.m.	0.82	0.47	30	10	39
6:00 p.m.—8:00 p.m.	0.89	0.07	32	1	34
8:00 p.m.—12:00 midnight	0.61	0.03	22	1	23
			<b>Total #</b>		<b>55</b>

Daycare	Dental	Daycare	Dental
SF	SF	Req	Req
10,841	4,059	1/300	1/200



**LEGEND**

- | EXISTING | PROPOSED |   |
|----------|----------|---|
| WM       | WM       | WATER METER   |
| WV       | WV       | WATER VALVE   |
| FH       | FH       | FIRE HYDRANT  |
| GM       | GM       | GAS METER   |
| SMH      | SMH      | SANITARY SEWER MANHOLE  |
| SSCO     | SSCO     | SANITARY SEWER CLEANOUT   |
| UP       | UP       | UTILITY POLE  |
| LP       | LP       | SITE LIGHTING POLE  |
| TSP      | TSP      | TRAFFIC SIGNAL POLE   |
| TSB      | TSB      | TRAFFIC SIGNAL BOX  |
| STMH     | STMH     | STORM MANHOLE   |
| JB       | JB       | STORM JUNCTION BOX  |
| CI       | CI       | CURB INLET  |
| GI       | GI       | GRATE INLET   |
| OHE      | OHE      | EXISTING OVERHEAD ELECTRIC LINE   |
| CC       | CC       | EXISTING CONCRETE CURB  |
| PC       | PC       | PROPOSED CONCRETE CURB  |
| NS       | NS       | NUMBER OF PARKING SPACES  |
| FL       | FL       | PROPOSED FIRE LANE  |
| FL       | FL       | PROPOSED 3,600 PSI (6.5 SACK) 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.E.W.               |
| FL       | FL       | PROPOSED 3,600 PSI (6.5 SACK) 5" CONCRETE STANDARD DUTY PAVEMENT WITH #4 BARS AT 24" O.C.E.W. |
| FL       | FL       | PROPOSED 3,600 PSI (6.5 SACK) 6" CONCRETE HEAVY DUTY PAVEMENT WITH #4 BARS AT 18" O.C.E.W.    |
| +        | +        | SIGN  |

**SITE NOTES**

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES, OSHA STANDARDS AND PROJECT SITE WORK SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, SLOPED PAVINGS, EXISTING PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING ENTRANCE LOCATIONS.
- CONTRACTOR SHALL REFER TO MFP PLANS FOR TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING EXISTING ITEMS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. DAMAGES SHALL BE REPORTED TO ENGINEER OR RECORD PRIOR TO REPAIR. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR IS REQUIRED TO REMOVE OR RELocate, IN A PROPER MANNER, EXISTING IMPROVEMENTS/NATURAL FEATURES TO ALLOW FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS INDICATED ON THE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS, PROPERTY CORNERS DAMAGED BY CONTRACTOR SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
- ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE LATEST EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE, FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- ALL CURB RADI SHALL BE 4' UNLESS OTHERWISE NOTED.
- FIRE LANES ARE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO LOCAL CITY REQUIREMENTS FOR EXACT LOCATION.

**ACCESSIBILITY NOTES**

- PROPOSED CONSTRUCTION ON THIS SITE SHALL COMPLY WITH THE LATEST REVISION OF THE ADA REGULATIONS AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
- ALL SLOPES ON SIDEWALKS ADJACENT TO BUILDINGS SHALL BE AT 1" PER FOOT MAX. DOWN TO THE TOP OF CONCRETE CURB.
- ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
- ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
- ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 5' X 5' LANDINGS. RAMP SLOPE SHALL NOT EXCEED 8.3% (1:12).
- RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
- SURFACE OF CURB RAMPS SHALL BE CONSTRUCTED WITH ADA COMPLIANT SURFACE. SURFACE OF ACCESSIBLE ROUTES AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. CURB RAMPS SHALL NOT EXCEED 5' IN LENGTH.
- THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

**INSPECTIONS/CERTIFICATIONS NOTE**

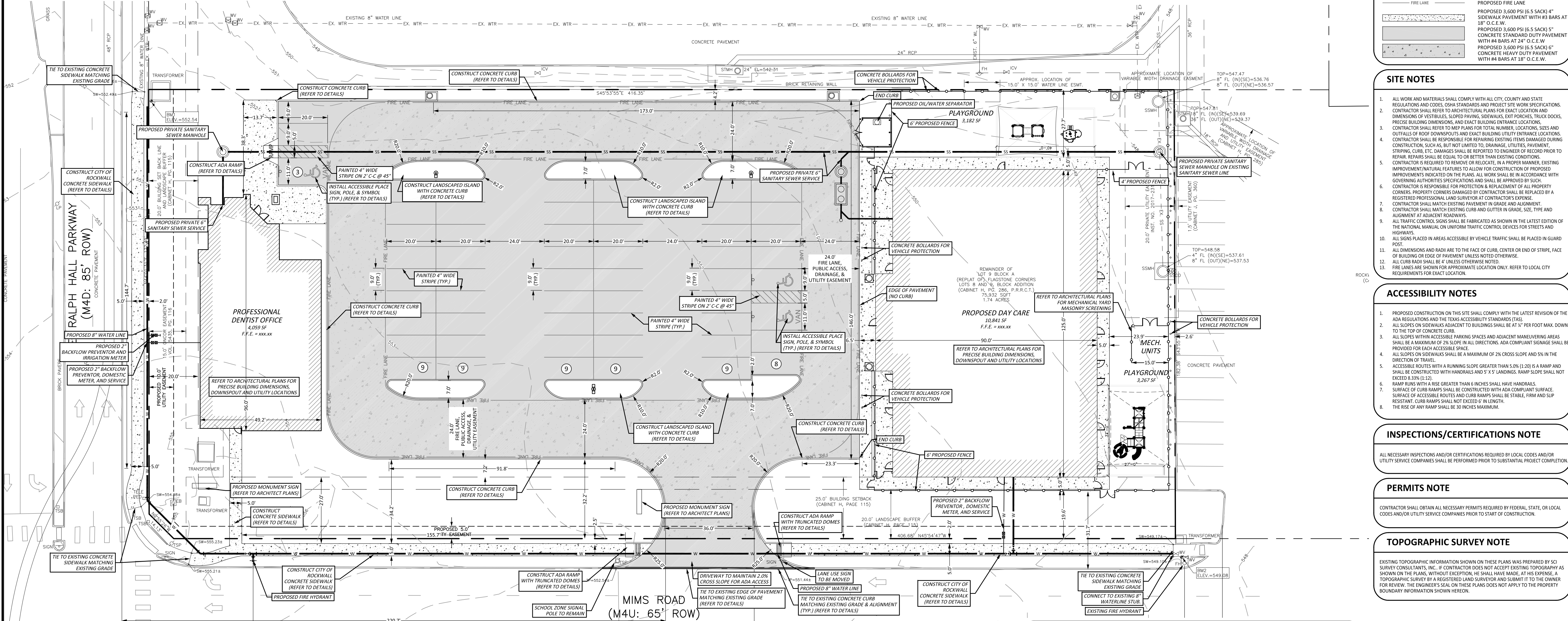
ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

**PERMITS NOTE**

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

**TOPOGRAPHIC SURVEY NOTE**

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY SCI SURVEY CONSULTANTS, INC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.



**CITY OF ROCKWALL**

**APPROVED:**  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

**OWNER**  
 MARY COURTIN  
 991 INTERSTATE 30  
 SUITE 103  
 ROCKWALL, TX 75087



CASE NUMBER: SP2020-031

**SITE PLAN**

**COURTIN DENTAL  
FLAGSTONE CORNERS  
BLOCK A, LOT 9**

DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 MARK: \_\_\_\_\_

DRAWING PATHNAME: LAYOUT | PLOT DATE - TIME

SHEET NAME: \_\_\_\_\_

PROJECT NAME: \_\_\_\_\_

DRAWN BY: TG  
 DESIGNED BY: DK  
 LATEST REVISION: 10/16/20  
 KSA JOB NO.: MI-2129

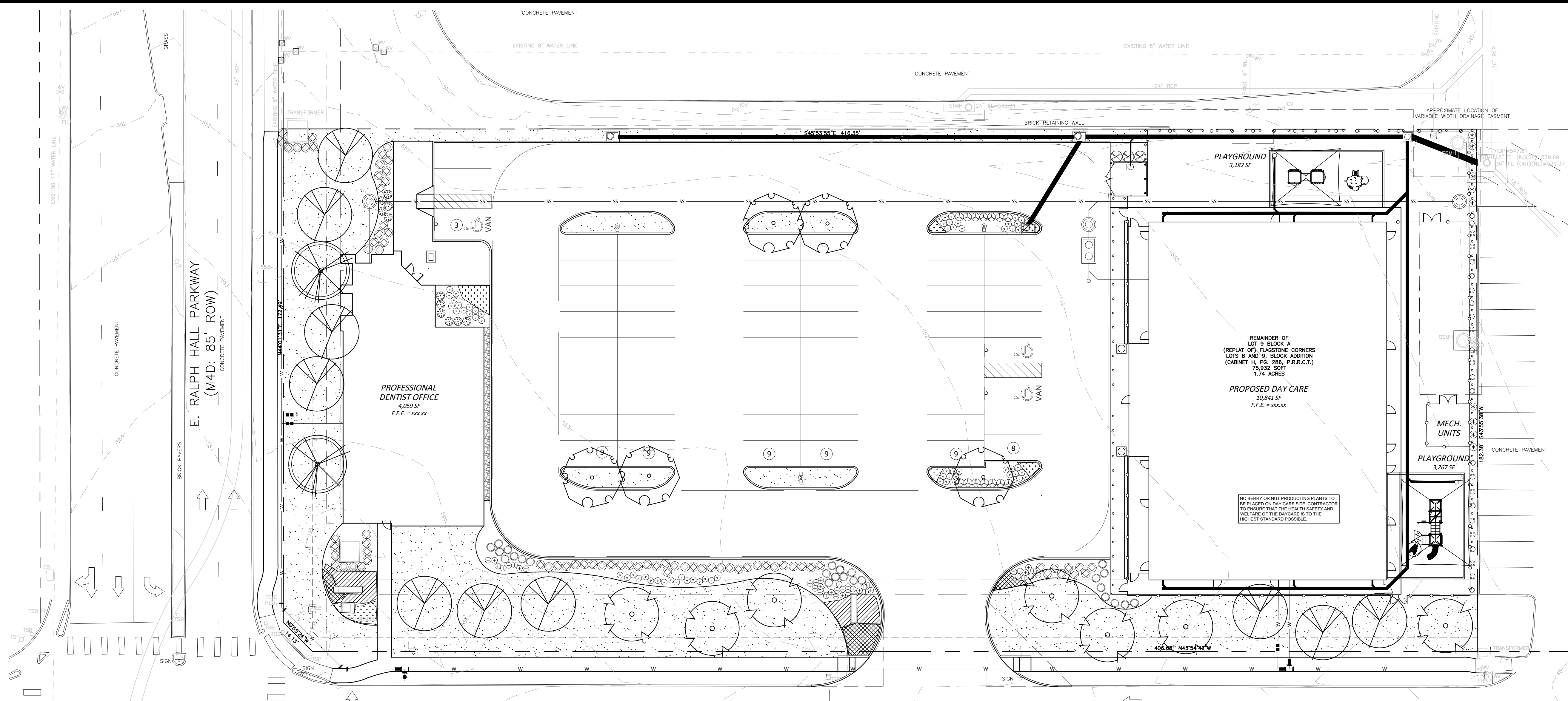
**KSA**  
 6781 Oak Hill Blvd.,  
 Tyler, Texas 75703  
 T: 903-291-9418  
 www.ksaeng.com

STATE OF TEXAS  
 DARRYL KOTZUR  
 83947  
 LICENSED PROFESSIONAL ENGINEER  
 12/14/2020

SEAL: TBPE Firm Registration No. F-1356  
 SHEET NO. \_\_\_\_\_

**811**  
 Know what's below.  
 Call before you dig.

**C1.0**



- GENERAL LAWN NOTES**
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
  - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
  - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS, ROUNDINGS AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
  - ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
  - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPOOLS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
  - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
  - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

- SOD/SOD:**
- SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
  - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH.
  - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
  - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
  - SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
  - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

- LANDSCAPE NOTES**
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
  - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
  - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
  - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
  - LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
  - PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS, EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
  - EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
  - MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBS.
  - QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
  - CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST. TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
  - 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. FINE STRAW MULCH IS PROHIBITED.
  - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1400 WEED BARRIER OR APPROVED EQUAL.
  - CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

- IRRIGATION:**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

- MAINTENANCE REQUIREMENTS:**
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
  - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
  - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

- MISCELLANEOUS MATERIALS:**
- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.

**LANDSCAPE TABULATIONS  
ROCKWALL, TEXAS**

- GENERAL**
- A 20' street buffer shall be provided the length of the property abutting a ROW.
  - One large canopy tree shall be provided for every 30 l.f. of frontage.
  - Trash areas shall be screened from public view.

Mims Road = 417 l.f.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
13 canopy trees, 4" cal.	13 canopy trees, 4" cal.

East Ralph Hall Parkway = 183 l.f.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
6 canopy trees, 4" cal.	6 canopy trees, 4" cal.

REQUIRED	PROVIDED
trash area screened	trash area screened

Site area: 75,932 s.f.

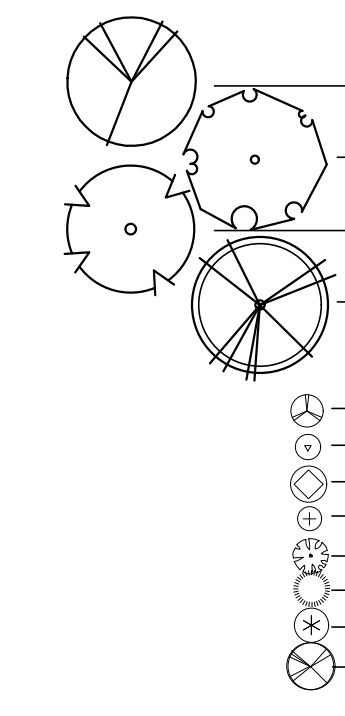
REQUIRED	PROVIDED
18,076 s.f. landscaped	18,076 s.f. landscaped

- PARKING LOT LANDSCAPE**
- Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.
  - There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars.

Parking Spaces - 53

REQUIRED	PROVIDED
36" screen	36" screen
5 canopy trees, 4" cal.	5 canopy trees, 4" cal.

**MIMS ROAD  
(M4U: 65' ROW)**

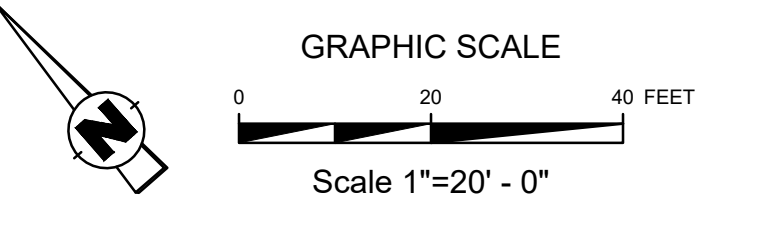


**PLANT SCHEDULE**

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
10	CE	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	14' ht., 4' spread, matching
5	LE	'Bosque' Lacebark Elm	<i>Ulmus parvifolia 'UPMTF'</i>	4" cal.	14' ht., 4' spread, matching
7	MWO	Mexican White Oak	<i>Quercus polymorpha</i>	4" cal.	14' ht., 4' spread, matching
2	SO	Shumard Oak	<i>Quercus shumardii</i>	4" cal.	14' ht., 4' spread, matching
<b>SHRUBS</b>					
14	AB	Abelia 'Twist of Lime'	<i>Abelia x grandiflora 'Hopley's'</i>	5 gal.	full, 24" spread, 36" o.c.
67	AS	Autumn Sage	<i>Salvia greggii</i>	3 gal.	full, 24" o.c.
75	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.
39	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Condeaux'</i>	5 gal.	full, 24" sprd, 24" o.c.
11	KO	Double Knock Out Rose (Red)	<i>Rosa hybrida 'Radtko'</i>	5 gal.	full, 24" spread, 36" o.c.
25	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.
9	SRJ	Skyrocket Juniper	<i>Juniperus scopulorum 'Skyrocket'</i>	7 gal.	full, 24" sprd, 30" o.c.
3	WM	Wax Myrtle	<i>Myrica pusilla</i>	7 gal.	full, 30" sprd, 40" o.c.
<b>GROUND COVER/VINES/GRASS</b>					
110	BBL	Big Blue Liriope	<i>Liriope muscari 'Big Blue'</i>	1 gal.	full, 18" o.c.
25	FV	Fig Vine	<i>Ficus pumila</i>	1 gal.	full, with 4 runners minimum
90	MFG	Mexican Feather Grass	<i>Nassella tenuissima</i>	1 gal.	full, 18" o.c.
110	SC	Seasonal Color	<i>Cynodon dactylon</i>	4" pots	full, 12" o.c.
		Bermuda Solid Sod			
		2-4" River Rock			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

IRRIGATION WILL MEET THE REQUIREMENTS OF THE UDC.



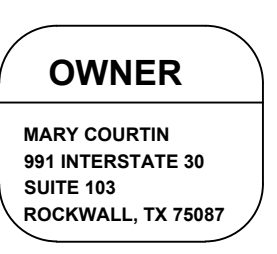
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WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



CASE NUMBER: SP2020-031

DATE	REVISION	MARK

**LANDSCAPE PLAN**

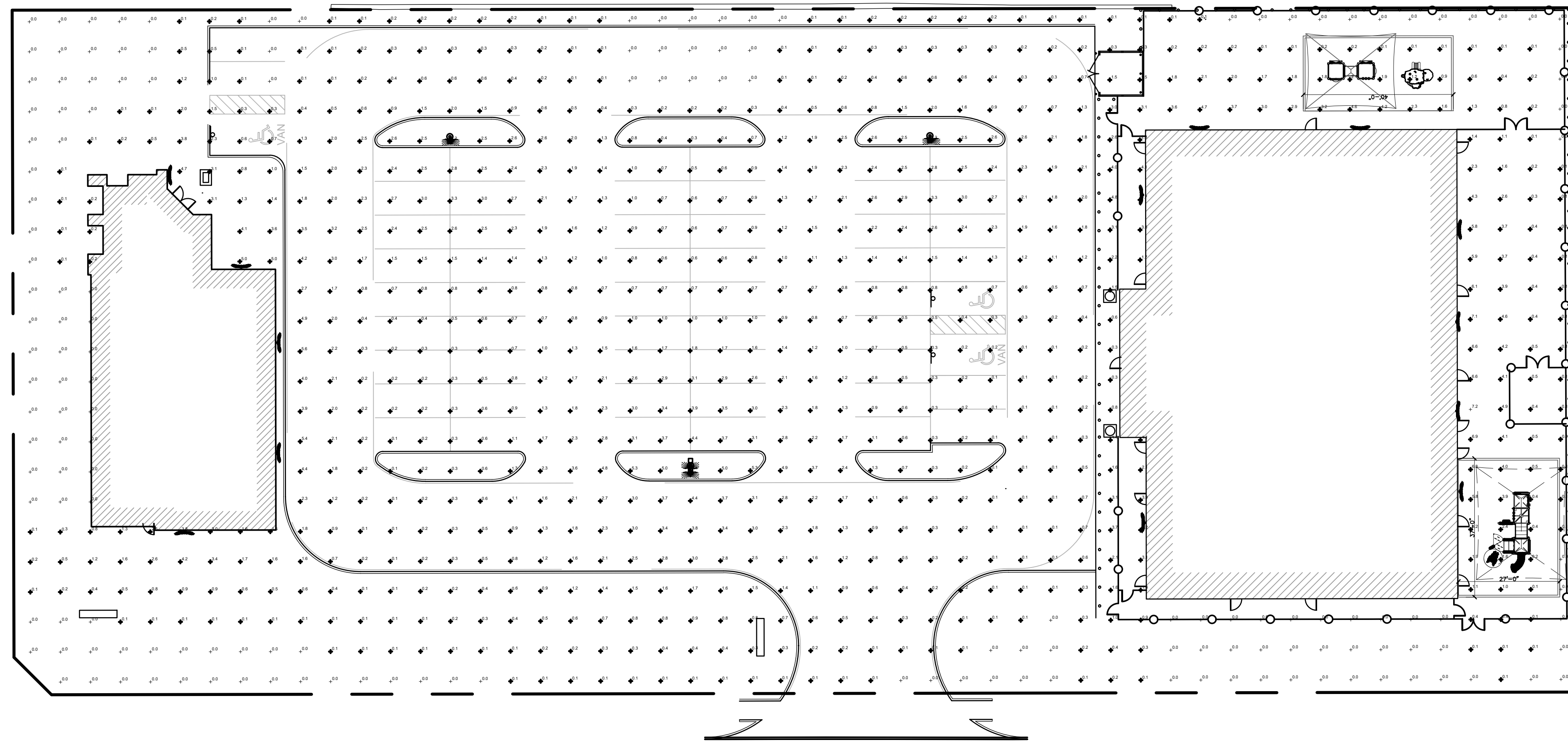
**COURTIN DENTAL  
FLAGSTONE CORNERS  
BLOCK A, LOT 9**

**KSA**  
6781 Oak Hill Blvd.,  
Rockwall, TX 75087  
T. 903.536.1414  
www.ksaeng.com

**AWR**  
AWR Designs, LLC  
P.O. Box 1746  
Allen, Texas 75008  
amandaa@awr-designs.com  
c. 512.517.5589

**REGISTERED LANDSCAPE ARCHITECT**  
MARY COURTIN  
991 INTERSTATE 30  
SUITE 103  
ROCKWALL, TX 75087

PROJECT NAME: M12129  
SHEET NO. L1.1  
DATE: 11/13/20



# 12 SITE PHOTOMETRIC PLAN

SCALE: NTS

SITE PHOTOMETRICS



Mechanical, Plumbing and Electrical  
Engineering Consultants

6860 Dallas Parkway, Suite 200  
Plano, Texas 75024  
214.509.8263  
www.pqrus.com

Texas Registered Engineering  
Firm F-16851



CONSTRUCTORS

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	CATALOG #	DESCRIPTION	LAMP	FILE	WATTS
	WP-1	14	ISC-AF-450-LED-T2-WH	WALL PACK WALL MOUNTED	25 WATT		1100
	C-1		KR6-20L-35K-KR6T-SSGC-FF	EXIT RECESSED DOWNLIGHT	13 WATT LED		NA
	AL-1	4	GLNA-AF-02-LED-E1-T3	POLE MOUNTED AREA LIGHT NOT TO EXCEED 20' HEIGHT	133 WATT LED		1500
	FL-1		TCSR8S-VISDR(FULL CUTOFF)	GROUND MOUNTED FLOOD W/FULL CUTOFF	8 WATT LED		812

UTILITY STATEMENT	
<p>THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.</p>	
CAUTIONARY NOTE	
<p>THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE, ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.</p>	

STATISTICS SCHEDULE					
DESCRIPTION	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN
CALC ZONE #1	1.1 fc	7.1 fc	0.0 fc	N / A	N / A

## CITY OF ROCKWALL

### APPROVED:

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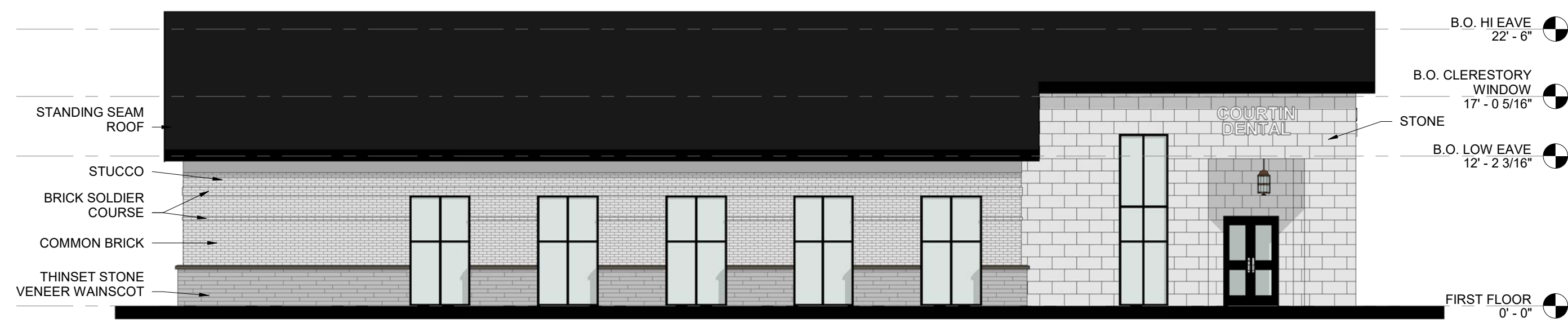
PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

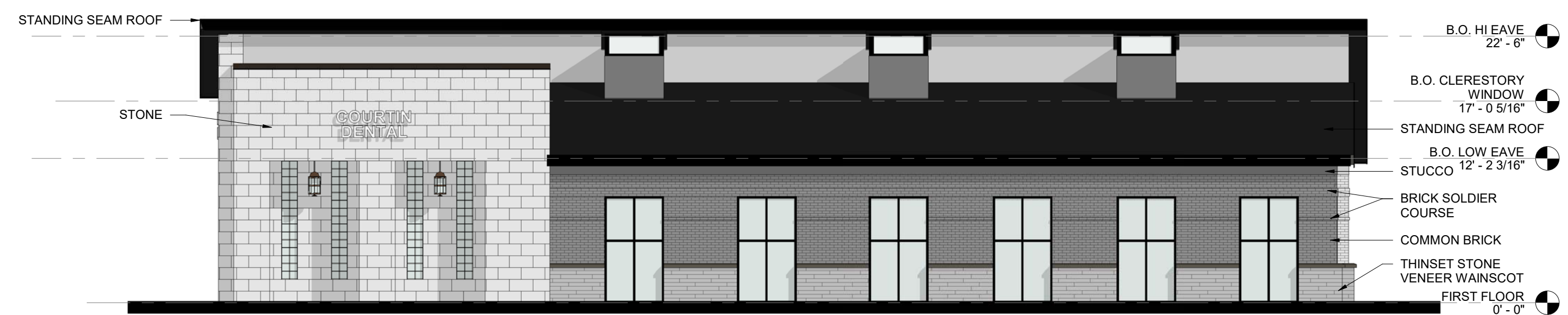
### OWNER

MARY COURTIN  
991 INTERSTATE 30  
SUITE 103  
ROCKWALL, TX 75087

CASE NUMBER: SP2020-031



**SOUTH ELEVATION** 1  
1/8" = 1'-0"



**NORTH ELEVATION** 2  
1/8" = 1'-0"



**EAST ELEVATION** 3  
1/8" = 1'-0"



**WEST ELEVATION** 4  
1/8" = 1'-0"

COMPENSATORY MEASURES	
<b>F:</b>	Masonry building materials in percentages equal to or greater than surrounding properties.
<b>REQUIRED:</b>	90%
<b>PROVIDED:</b>	100%
<b>G:</b>	The inclusion of natural or cultured stone.
<b>REQUIRED:</b>	20%
<b>PROVIDED:</b>	30%
<b>H:</b>	Increased architectural elements.
<b>COURTIN DENTAL CLINIC:</b>	VARIED ROOF HEIGHTS PORTICO ENTRY

FACADE MATERIAL PERCENTAGES	
<b>NORTH ELEVATION (1,603 SF)</b>	
320 SF GLASS & DOORS	---
1,283 SF FACADE	100%
327 SF STUCCO (PRIMARY)	26%
335 SF MASONRY, BRICK (PRIMARY)	26%
121 SF MASONRY, STONE (PRIMARY)	9%
500 SF MASONRY, LIMESTONE (PRIMARY)	39%
<b>SOUTH ELEVATION (1,276 SF)</b>	
314 SF GLASS & DOORS	---
962 SF FACADE	100%
64 SF STUCCO (PRIMARY)	7%
370 SF MASONRY, BRICK (PRIMARY)	38%
146 SF MASONRY, STONE (PRIMARY)	15%
382 SF MASONRY, LIMESTONE (PRIMARY)	40%
<b>EAST ELEVATION (815 SF)</b>	
91 SF GLASS & DOORS	---
724 SF FACADE	100%
66 SF STUCCO (PRIMARY)	8%
122 SF MASONRY, BRICK (PRIMARY)	17%
54 SF MASONRY, STONE (PRIMARY)	8%
482 SF MASONRY, LIMESTONE (PRIMARY)	67%
<b>WEST ELEVATION (879 SF)</b>	
75 SF GLASS & DOORS	---
804 SF FACADE	100%
269 SF STUCCO (PRIMARY)	33%
312 SF MASONRY, BRICK (PRIMARY)	39%
135 SF MASONRY, STONE (PRIMARY)	17%
88 SF MASONRY, LIMESTONE (PRIMARY)	11%

REVISIONS:

**TEAE**  
TECHNICAL ENGINEER  
REGISTERED ARCHITECT  
REGISTERED INTERIOR DESIGNER

**METHOD ARCHITECTURE, PLLC**  
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**RENDERING**  
PROJECT SUBNAME  
Enter address here

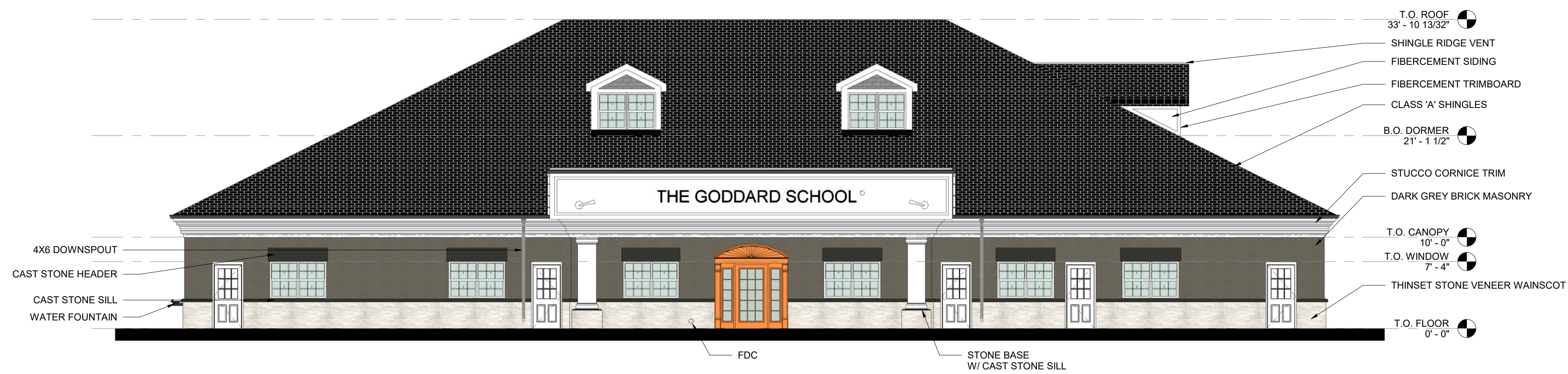
PM: PMG DE: JM

PROJECT:  
**MB205013**

SHEET:  
**A3.00**  
BUILDING ELEVATIONS



**NORTH ELEVATION** 1  
1/8" = 1'-0"



**WEST ELEVATION** 2  
1/8" = 1'-0"

COMPENSATORY MEASURES	
<b>F:</b>	Masonry building materials in percentages equal to or greater than surrounding properties. <b>REQUIRED: 90%    PROVIDED: 100%</b>
<b>G:</b>	The inclusion of natural or cultured stone. <b>REQUIRED: 20%    PROVIDED: 30%</b>
<b>H:</b>	Increased architectural elements. <b>GODDARD SCHOOL:    PEAKED ROOF (DORMERS) CORNICES</b>

FACADE MATERIAL PERCENTAGES	
<b>NORTH ELEVATION (1,146 SF)</b>	
100 SF GLASS & DOORS	---
1,046 SF FACADE	100%
488 SF MASONRY, BRICK (PRIMARY)	47%
320 SF MASONRY, STONE (PRIMARY)	30%
238 SF STUCCO CORNICE (ACCENT)	23%
<b>SOUTH ELEVATION (1,145 SF)</b>	
124 SF GLASS & DOORS	---
1,021 SF FACADE	100%
474 SF MASONRY, BRICK (PRIMARY)	46%
309 SF MASONRY, STONE (PRIMARY)	30%
238 SF STUCCO CORNICE (ACCENT)	23%
<b>EAST ELEVATION (1,562 SF)</b>	
299 SF GLASS & DOORS	---
1,263 SF FACADE	100%
570 SF MASONRY, BRICK (PRIMARY)	45%
380 SF MASONRY, STONE (PRIMARY)	30%
313 SF STUCCO CORNICE (ACCENT)	25%
<b>WEST ELEVATION (1,561 SF)</b>	
346 SF GLASS & DOORS	---
1,215 SF FACADE	100%
515 SF MASONRY, BRICK (PRIMARY)	42%
387 SF MASONRY, STONE (PRIMARY)	32%
313 SF STUCCO CORNICE (ACCENT)	26%

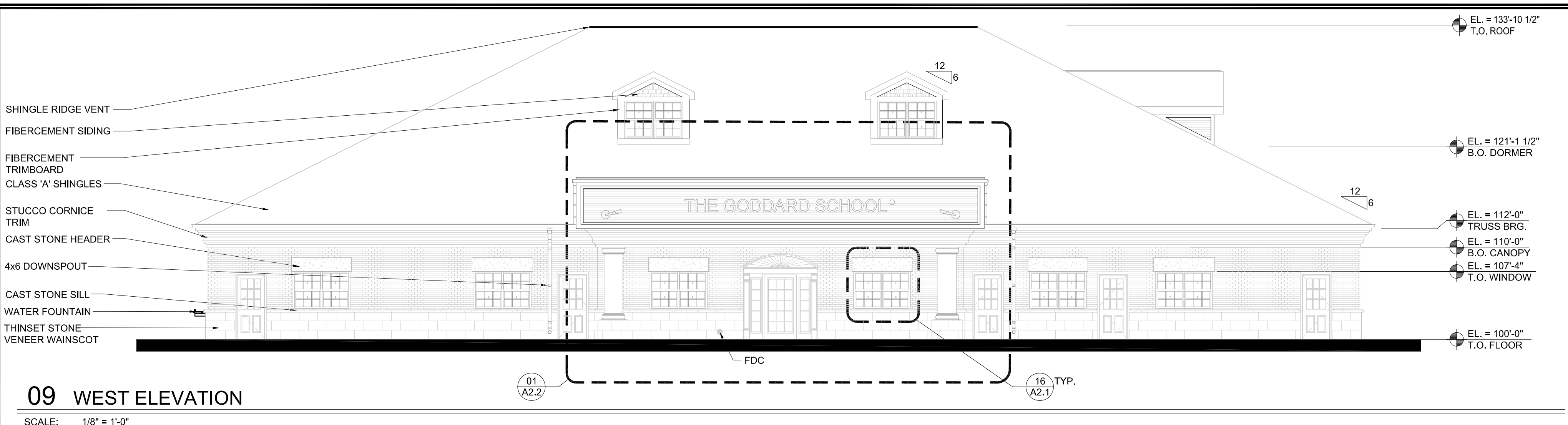
REVISIONS:







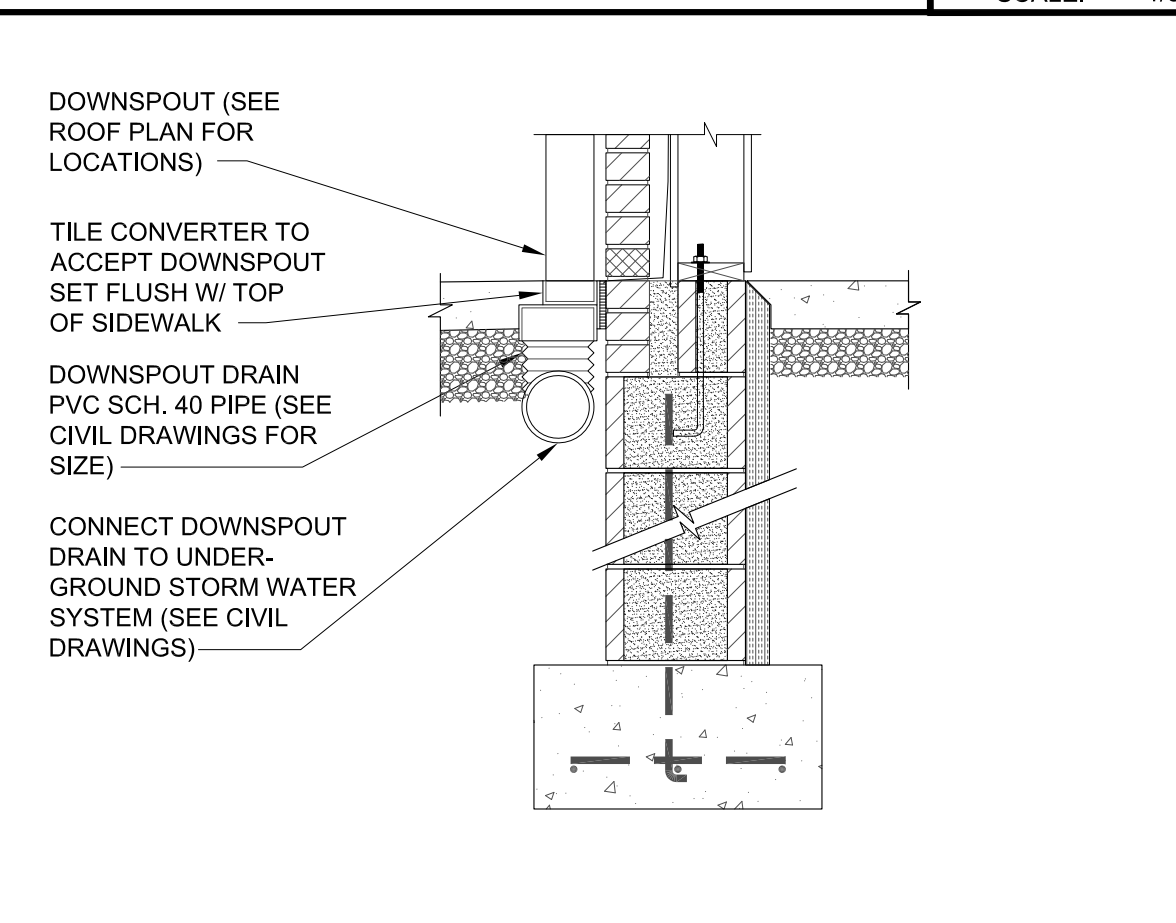

**09 (ALTERNATE) WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



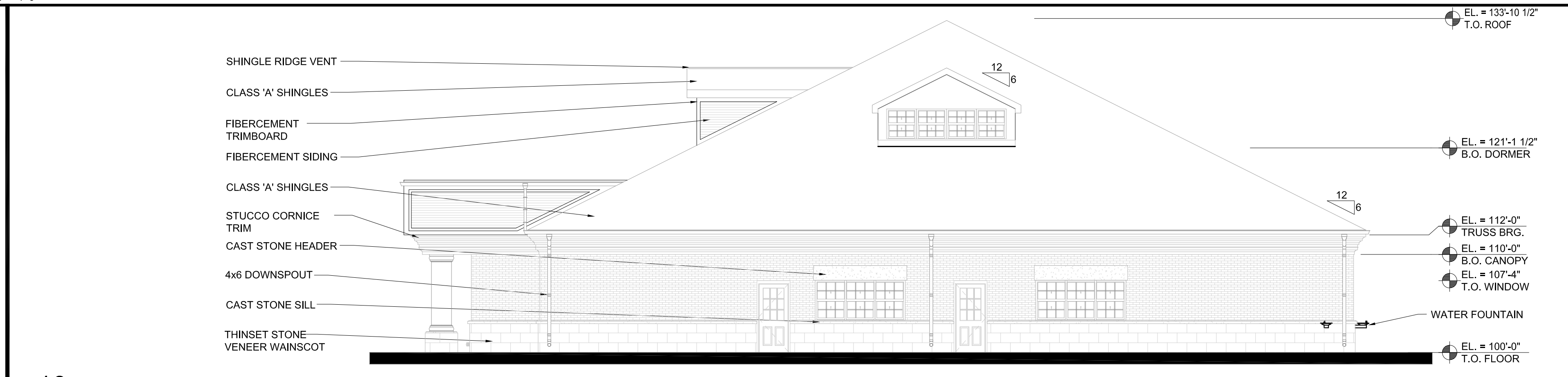
**09 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**13 FACADE MATERIAL PERCENTAGES**  
SCALE: 3/4" = 1'-0"

NORTH ELEVATION (1,146 SF)	
100 SF GLASS & DOORS	---
1,046 SF FACADE	100%
488 SF MASONRY, BRICK (PRIMARY)	47%
320 SF MASONRY, STONE (PRIMARY)	30%
238 SF STUCCO CORNICE (ACCENT)	23%
SOUTH ELEVATION (1,145 SF)	
124 SF GLASS & DOORS	---
1,021 SF FACADE	100%
474 SF MASONRY, BRICK (PRIMARY)	46%
309 SF MASONRY, STONE (PRIMARY)	30%
238 SF STUCCO CORNICE (ACCENT)	23%
EAST ELEVATION (1,562 SF)	
299 SF GLASS & DOORS	---
1,263 SF FACADE	100%
570 SF MASONRY, BRICK (PRIMARY)	45%
380 SF MASONRY, STONE (PRIMARY)	30%
313 SF STUCCO CORNICE (ACCENT)	25%
WEST ELEVATION (1,561 SF)	
346 SF GLASS & DOORS	---
1,215 SF FACADE	100%
515 SF MASONRY, BRICK (PRIMARY)	42%
387 SF MASONRY, STONE (PRIMARY)	32%
313 SF STUCCO CORNICE (ACCENT)	26%

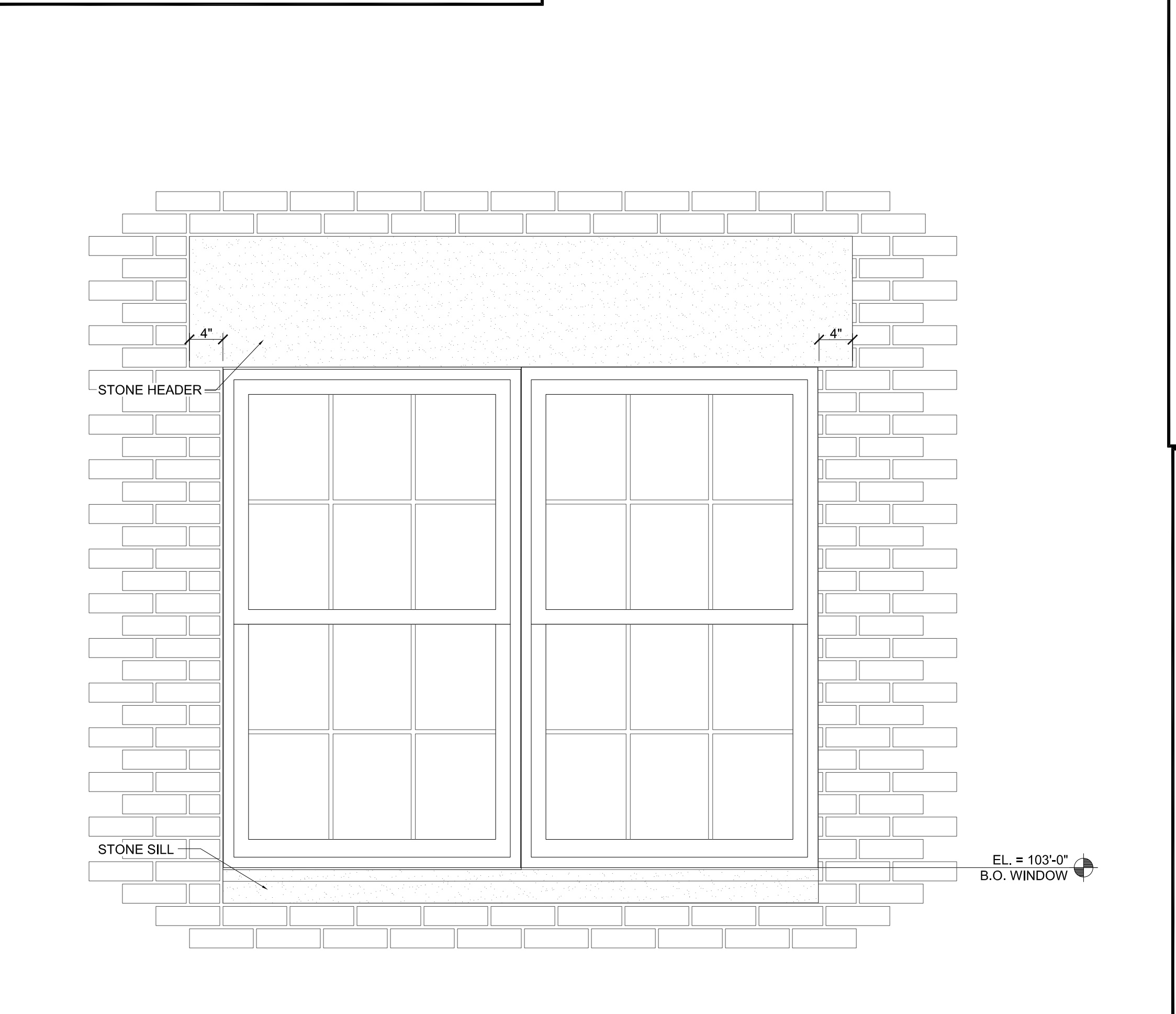


**14 FOUNDATION SECTION @ DOWNSPOUTS**  
SCALE: 3/4" = 1'-0"

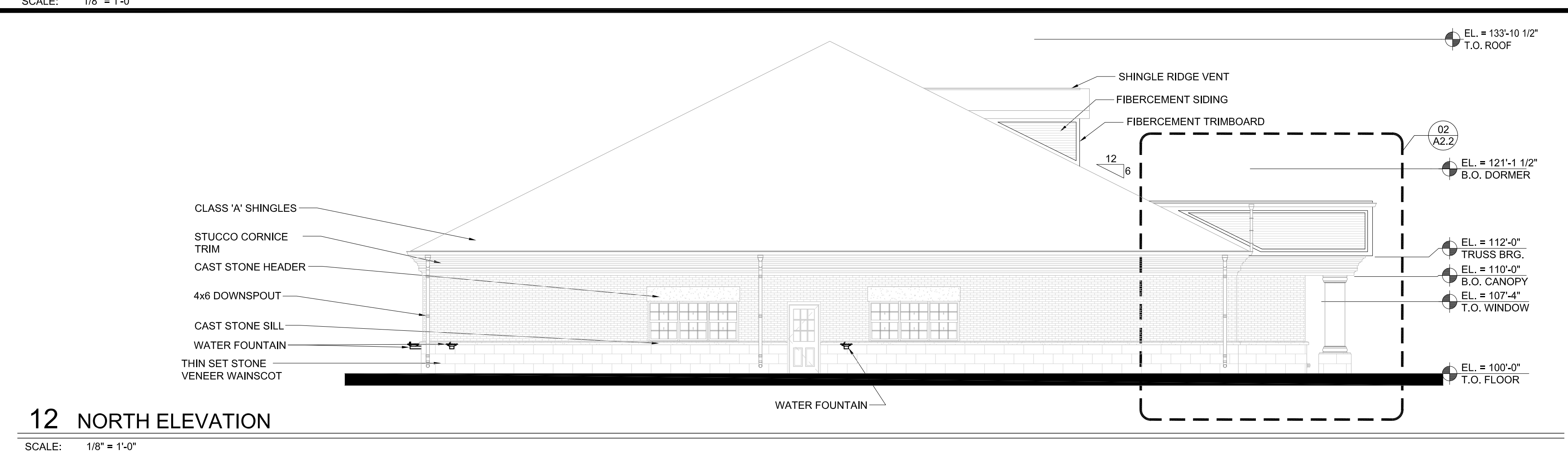


**10 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**13 FACADE MATERIAL PERCENTAGES**  
SCALE: 3/4" = 1'-0"



**11 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**12 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**METHOD architecture**  
1919 MCCORMICK AVE., STE 203A,  
ROCKWALL, TX 75087  
(469) 440-4327

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SIGNATURE \_\_\_\_\_  
SEAL \_\_\_\_\_

DATE: 03.16.2016  
PROJECT NO.: 14102

REVISIONS	NO.	DATE	DESCRIPTION
	1	03.16.2016	ISSUED FOR PERMITTING

**Z CONSTRUCTORS**

PROJECT TITLE: **THE GODDARD SCHOOL FOR EARLY CHILDHOOD DEVELOPMENT**

CORNER OF MIMS RD & E RALPH HALL PKWY  
ROCKWALL, TX 75032

SHEET TITLE: **EXTERIOR ELEVATIONS**

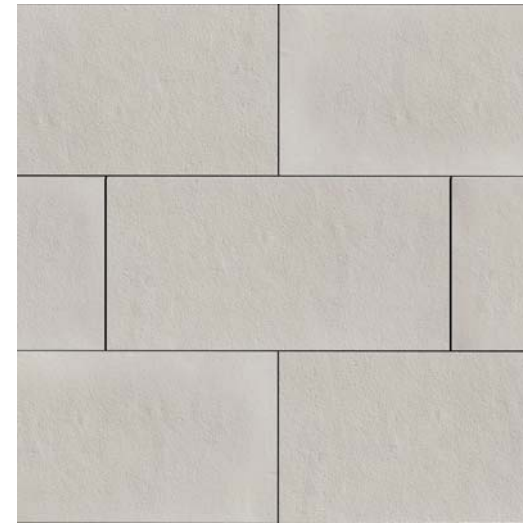
SHEET NUMBER: **A2.1**



B1



CS1



L1



SS1



MATERIAL KEY	
<b>B1:</b>	BRICK MASONRY - ASH GREY, MODULAR
<b>CS1:</b>	CAST STONE MASONRY - MIDNIGHT GROUND, CORDOVA STONE
<b>L1:</b>	LIMESTONE MASONRY - COTTONWOOD HONED, BBCO
<b>SS1:</b>	STACKED STONE VENEER - MALVA LEDGE PANELS, BBCO



From: David Gonzalez  
To: Gonzalez, David  
Subject: HCS  
Date: Wednesday, December 2, 2020 5:26:46 PM

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Have a great day,  
David Gonzalez  
My iPhone

## DESCRIPTION

The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/cUL listed for wet locations.

<b>Catalog #</b>		<b>Type</b>	
<b>Project</b>			
<b>Comments</b>		<b>Date</b>	
<b>Prepared by</b>			

## SPECIFICATION FEATURES

### Construction

Heavy-wall, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door inset for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandal resistant access to the electrical chamber.

### Optics

Choice of 10 patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 5700K CCT.

### Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightSquares feature an IP66 enclosure rating and maintain greater than 90% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments and occupancy sensor available.

### Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Impact Elite "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom of fixture.

### Finish

Cast components finished in a five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

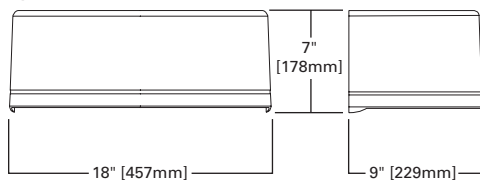
### Warranty

Five-year warranty.

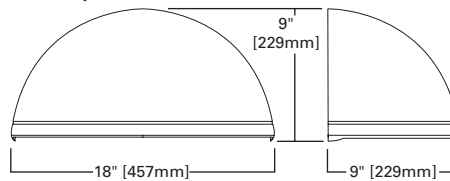


## DIMENSIONS

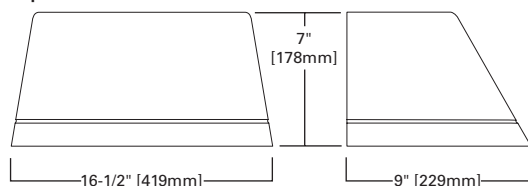
### Cylinder



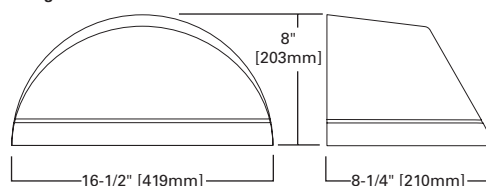
### Quarter Sphere



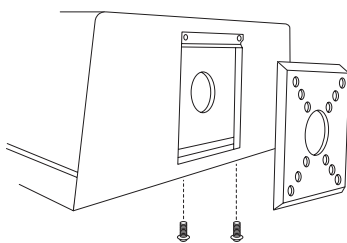
### Trapezoid



### Wedge



## HOOK-N-LOCK MOUNTING



## ISC/ISS/IST/ISW IMPACT ELITE LED

1 LightSquare  
Solid State LED

### WALL MOUNT LUMINAIRE

#### CERTIFICATION DATA

UL/cUL Listed  
LM79 / LM80 Compliant  
IP66 LightSquare  
DesignLights Consortium® Qualified\*  
ISO 9001

#### ENERGY DATA

**Electronic LED Driver**  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V/50 & 60Hz, 347V/60Hz,  
480V/60Hz  
-40°C Minimum Temperature  
40°C Ambient Temperature Rating

#### SHIPPING DATA

Approximate Net Weight:  
18 lbs. (8 kgs.)

**POWER AND LUMENS**

1 LightSquare (AF)		Cylinder (ISC) and Quarter Sphere (ISS)						Trapezoid (IST) and Wedge (ISW)					
Drive Current (mA)		350	450	600	800	1000	1200	350	450	600	800	1000	1200
Power (Watts)	120-277V	20.3	25.5	33.4	43.9	55.1	66.2	20.3	25.5	33.4	43.9	55.1	66.2
	277V	0.09	0.10	0.13	0.17	0.21	0.25	0.09	0.10	0.13	0.17	0.21	0.25
Current (A)	120V	0.17	0.22	0.29	0.38	0.48	0.56	0.17	0.22	0.29	0.38	0.48	0.56
	277V	0.09	0.10	0.13	0.17	0.21	0.25	0.09	0.10	0.13	0.17	0.21	0.25
Power (Watts)	347V or 480V	23.3	28.7	36.6	49.5	60.7	70.1	23.3	28.7	36.6	49.5	60.7	70.1
	480V	0.05	0.06	0.08	0.11	0.13	0.16	0.05	0.06	0.08	0.11	0.13	0.16
Current (A)	347V	0.07	0.08	0.11	0.15	0.18	0.21	0.07	0.08	0.11	0.15	0.18	0.21
	480V	0.05	0.06	0.08	0.11	0.13	0.16	0.05	0.06	0.08	0.11	0.13	0.16
<b>Optics</b>													
T2	Lumens	2,336	2,934	3,827	4,791	5,663	6,444	2,498	3,136	4,091	5,122	6,054	6,889
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
T3	Lumens	2,385	2,994	3,906	4,889	5,779	6,577	2,504	3,144	4,101	5,133	6,068	6,905
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
T4FT	Lumens	2,360	2,963	3,866	4,839	5,720	6,509	2,530	3,177	4,145	5,188	6,133	6,979
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
T4W	Lumens	2,386	2,996	3,908	4,892	5,783	6,581	2,500	3,139	4,095	5,126	6,059	6,895
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SL2	Lumens	2,257	2,834	3,697	4,628	5,470	6,225	2,413	3,030	3,953	4,948	5,849	6,656
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SL3	Lumens	2,220	2,787	3,636	4,552	5,380	6,122	2,365	2,970	3,874	4,849	5,732	6,523
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SL4	Lumens	2,110	2,649	3,456	4,326	5,113	5,818	2,234	2,805	3,660	4,581	5,415	6,162
	BUG Rating	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SLL/SLR	Lumens	1,990	2,498	3,259	4,080	4,823	5,488	2,154	2,705	3,529	4,418	5,222	5,942
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
RW	Lumens	2,380	2,988	3,898	4,880	5,768	6,564	2,465	3,095	4,037	5,054	5,974	6,798
	BUG Rating	B2-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0	B3-U1-G1	B3-U1-G1	B3-U1-G1	B3-U1-G1	B3-U1-G1	B3-U1-G1

**LUMEN MAINTENANCE**

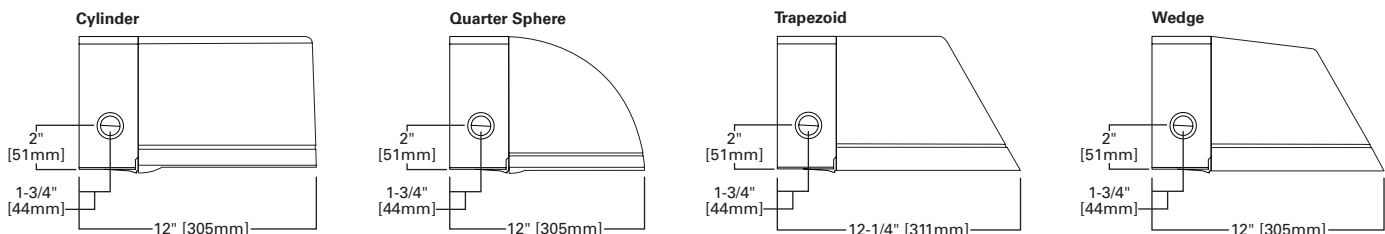
Current	Ambient Temperature	25000 Hours*	50000 Hours*	60000 Hours*	100000 Hours*	Theoretical L70 (Hours)*
Up to 1.2A	Up to 40°C	>95%	>91%	>90%	>83%	20,4000

\*Data calculated based on TM-21 calculator.

**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

**THRUWAY BACK BOX**



**ORDERING INFORMATION**

Sample Number: ISC-AF-1200-LED-E1-T3-BZ

Product Family <sup>1</sup>	Light Engine	Drive Current	Lamp Type	Voltage	Distribution	Color
<b>ISC</b> =Impact Elite LED Small Cylinder <b>ISS</b> =Impact Elite LED Small Quarter Sphere <b>IST</b> =Impact Elite LED Small Trapezoid <b>ISW</b> =Impact Elite LED Small Wedge	<b>AF</b> =(1) LightSquare	<b>350</b> =Drive Current Factory Set to 350mA <b>450</b> =Drive Current Factory Set to 450mA <b>600</b> =Drive Current Factory Set to 600mA <b>800</b> =Drive Current Factory Set to 800mA <b>1000</b> =Drive Current Factory Set to 1000mA <b>1200</b> =Drive Current Factory Set to 1200mA <sup>2</sup>	<b>LED</b> =Solid State Light Emitting Diodes	<b>E1</b> =Electronic (120-277V) <b>347</b> =347V <sup>2</sup> <b>480</b> =480V <sup>2,3</sup>	<b>T2</b> =Type II <b>T3</b> =Type III <b>T4FT</b> =Type IV Forward Throw <b>T4W</b> =Type IV Wide <b>SL2</b> =Type II w/Spill Control <b>SL3</b> =Type III w/Spill Control <b>SL4</b> =Type IV w/Spill Control <b>SLL</b> =90° Spill Light Eliminator Left <b>SLR</b> =90° Spill Light Eliminator Right <b>RW</b> =Rectangular Wide Type I	<b>AP</b> =Grey <b>BZ</b> =Bronze <b>BK</b> =Black <b>DP</b> =Dark Platinum <b>GM</b> =Graphite Metallic <b>WH</b> =White
<b>Options</b> (Add as Suffix)				<b>Accessories</b> (Order Separately) <sup>17</sup>		
<b>7030</b> =70 CRI / 3000K CCT <sup>4</sup> <b>7050</b> =70 CRI / 5000K CCT <sup>4</sup> <b>7060</b> =70 CRI / 5700K CCT <sup>4</sup> <b>8030</b> =80 CRI / 3000K CCT <sup>4</sup> <b>PER7</b> =NEMA 7-PIN Twistlock Photocontrol Receptacle <sup>2,5,6</sup> <b>P</b> =Button Type Photocontrol (Available in 120, 208, 240 or 277V. Must Specify Voltage) <sup>2,6</sup> <b>HA</b> =50°C High Ambient <sup>7</sup> <b>AHD145</b> =After Hours Dim, 5 Hours, 50% <sup>8</sup> <b>AHD245</b> =After Hours Dim, 6 Hours, 50% <sup>8</sup> <b>AHD255</b> =After Hours Dim, 7 Hours, 50% <sup>8</sup> <b>AHD355</b> =After Hours Dim, 8 Hours, 50% <sup>8</sup> <b>MS/DIM-LXX</b> =Motion Sensor for Dimming Operation <sup>9,10,11</sup> <b>LWR-LW</b> =LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height <sup>6,11,12</sup> <b>LWR-LN</b> =LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height <sup>6,11,12</sup> <b>BBB</b> =Battery Pack with Back Box (Specify 120V or 277V) <sup>13</sup> <b>CWB</b> =Cold Weather Battery Pack with Back Box (Specify 120V or 277V) <sup>14</sup> <b>LCF</b> =LightSquare Trim Plate Matches Housing Finish <b>HSS</b> =Factory Installed House Side Shield <sup>15</sup> <b>ULG</b> =Uplight Glow <sup>5,6</sup> <b>TR</b> =Tamper Resistant Hardware <b>X</b> =Driver Surge Protection (6kV) Only <sup>16</sup>				<b>MA1253</b> =10kV Circuit Module Replacement <b>MA1254-XX</b> =Thruway Back Box - Impact Elite Trapezoid <b>MA1255-XX</b> =Thruway Back Box - Impact Elite Cylinder <b>MA1256-XX</b> =Thruway Back Box - Impact Elite Quarter Sphere <b>MA1257-XX</b> =Thruway Back Box - Impact Elite Wedge <b>FSIR-100</b> =Wireless Configuration Tool for Occupancy Sensor		

- NOTES:**
- Standard 4000K CCT and greater than 70 CRI.
  - Not available with ULG option.
  - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
  - Extended lead times apply.
  - Not available with ISS or ISW.
  - Not available with LWR-XX or MS/DIM-LXX.
  - Suitable for 50°C provided no options other than motion sensor are included and driver output set to 1.A or less.
  - Requires the use of P photocontrol or the PER7 photocontrol receptacle with photocontrol accessory. Not available with 350mA drive current. See After Hours Dim supplemental guide for additional information.
  - Specify lens in place of XX. Round to next highest option based on mounting height. Available options are 08, 20 and 40W.
  - The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
  - Includes integral photocell.
  - LumaWatt Pro wireless sensors are factory installed and requiring network components in appropriate quantities. See [www.eaton.com/lighting](http://www.eaton.com/lighting) for LumaWatt Pro application information.
  - LED standard integral battery pack is rated for minimum operating temperature 32°F (0°C). Operates downlight for 90-minutes.
  - LED cold weather integral battery pack is rated for minimum operating temperature -4°F (-20°C). Operates downlight for 90-minutes.
  - Only for use with SL2, SL3 and SL4 distributions. The LightSquare trim plate is painted black when the HSS option is selected.
  - Removes additional surge module.
  - Specify color in place of XX.