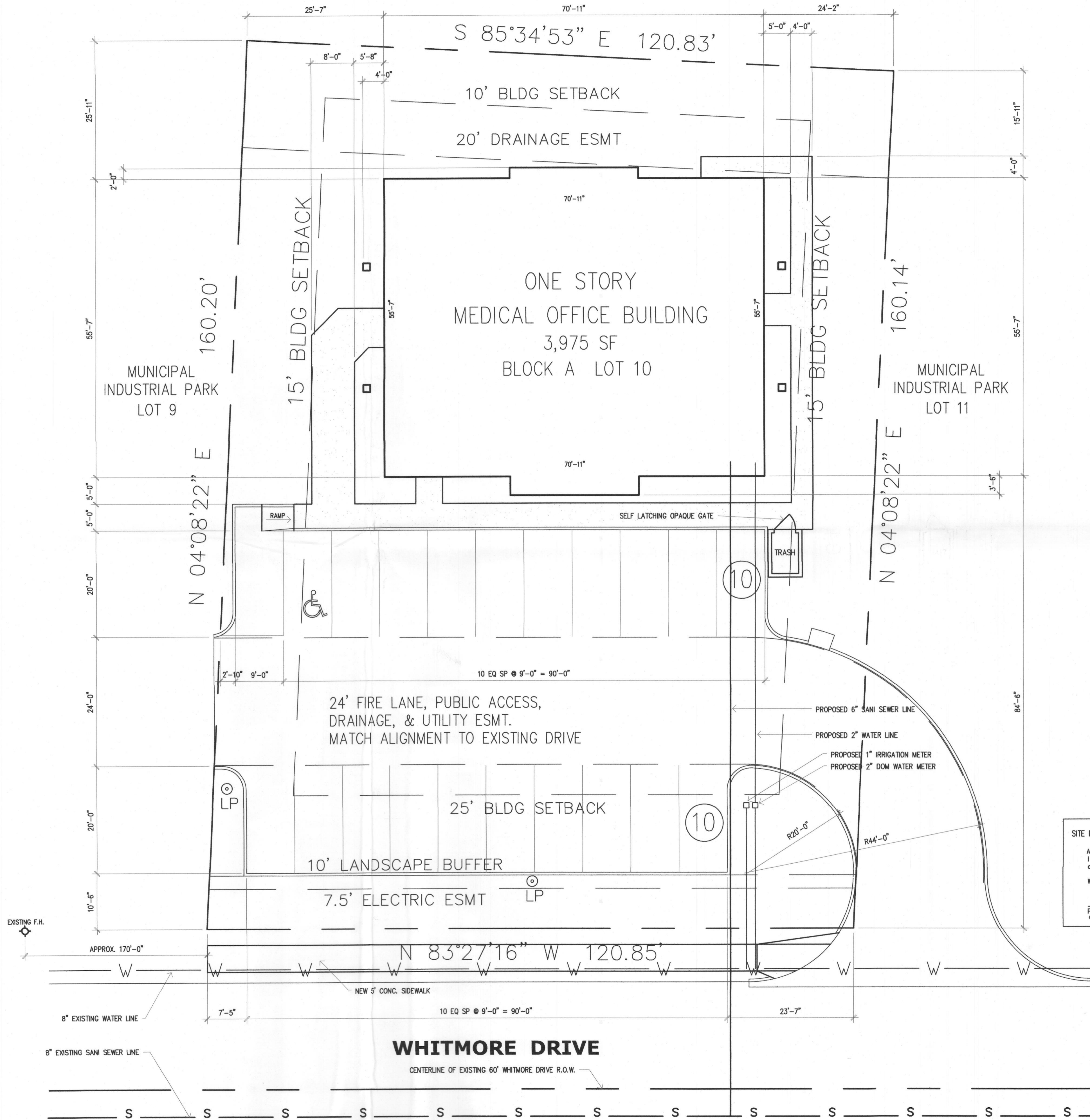
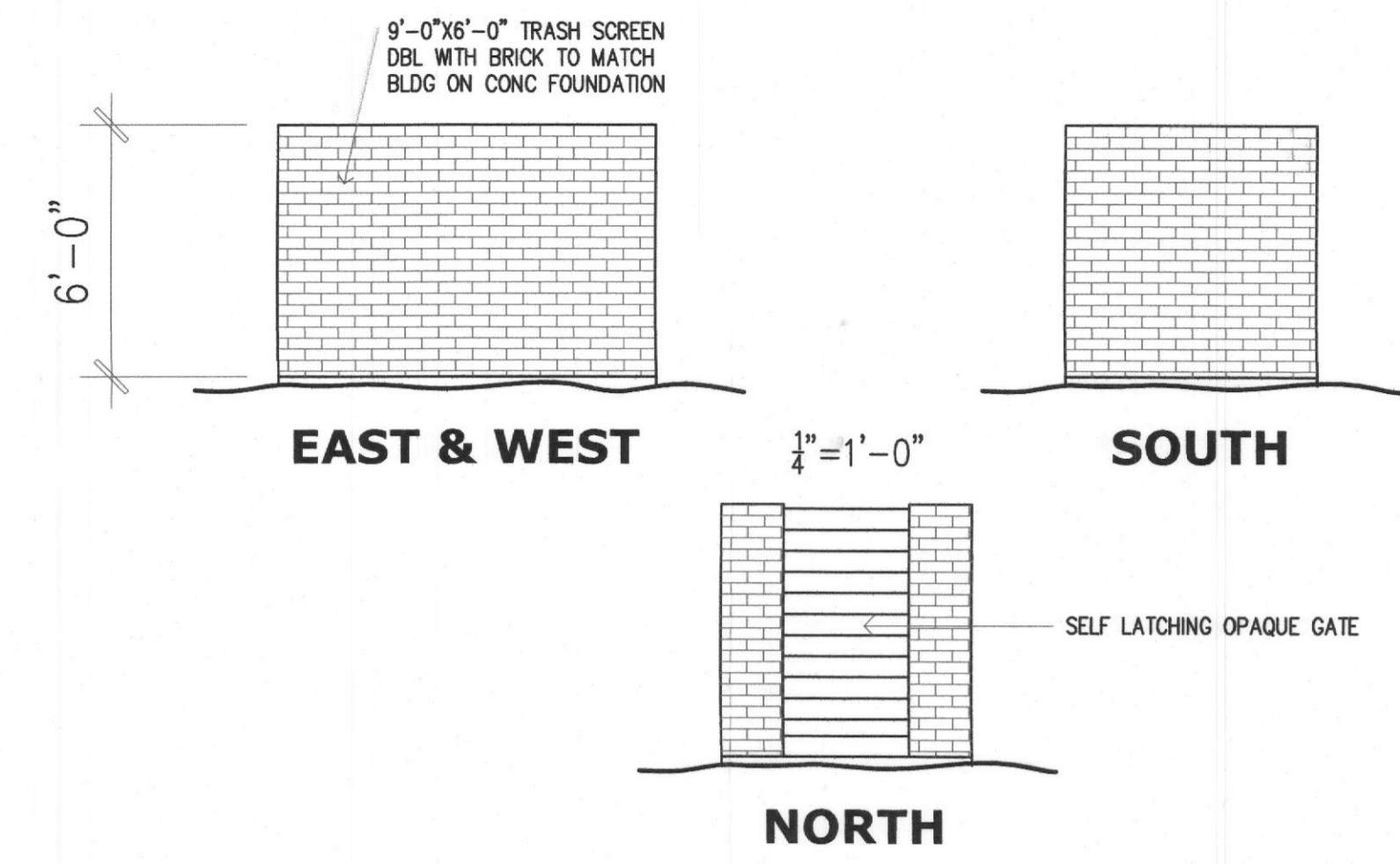


ALONZO A. GARRETT
VOL 40 PG 429



CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

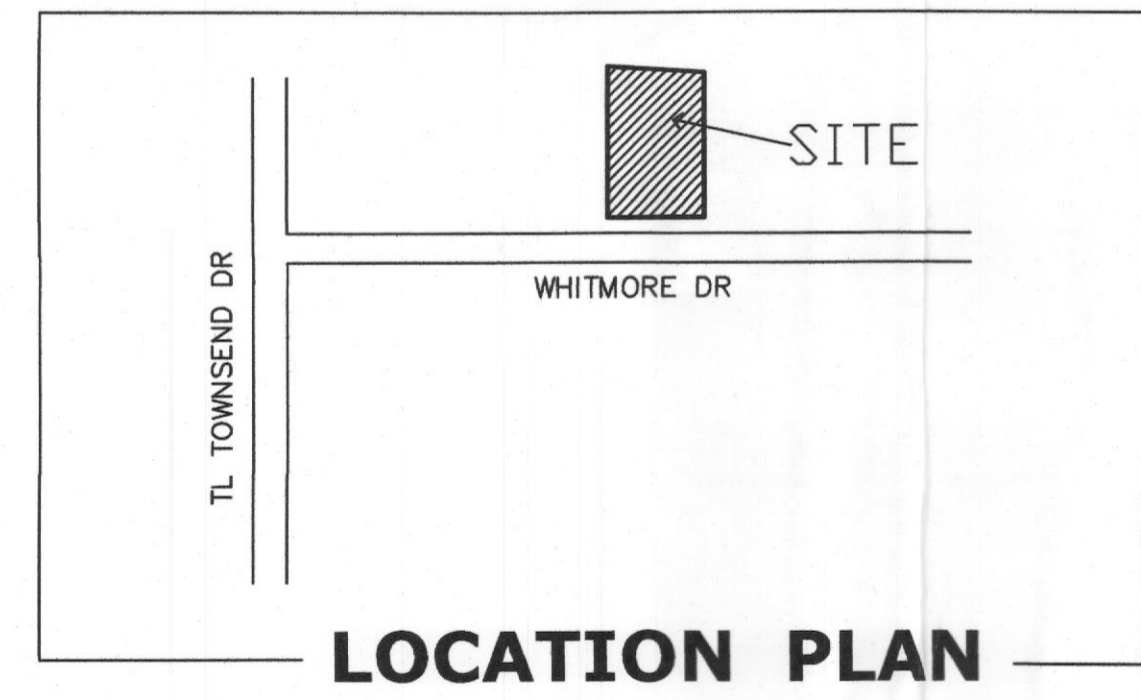


SCREEN ELEVATIONS

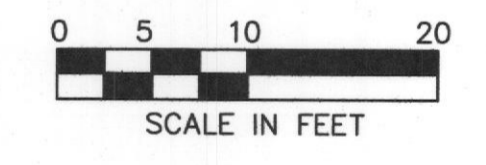
NOTE: DUMPSTER PAVING AND FIRE LANE PAVING TO BE 3600 PSI CONCRETE 6.5 SACK MIX

- ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY
1. ZONING: L 1
 2. PROPOSED USE: MEDICAL OFFICE
 3. PROPERTY AREA (GROSS): 19,602 SF 0.45 AC
 4. BUILDING AREA: 3,975 SF
 5. BUILDING HEIGHT: ONE STORY - 21'-6"
 6. LOT COVERAGE: 1.8% F.A.R. = 0.002:1
 7. PARKING REQUIRED: 1 SPACE/200 = 20 SPACES REQUIRED
 8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED
 9. TOTAL PARKING PROVIDED: 20 SPACES
 10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 11,998 SF
 11. 15% LANDSCAPE REQUIRED = 2,940 SF PROVIDED 7,604 SF

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB
ALL SIDEWALKS SHALL BE 3,000 PSI CONC
MIN 5.5 SACK MIX.
ALL RADII ARE 4'-6" U.N.O.
ANY DISCREPANCIES BETWEEN THE PLAN &
THE CIVIL ENGINEER'S PLANS SHALL DEFER
TO THE CIVIL ENGINEERING.



LOCATION PLAN



**PRICING & CONSTRUCTION
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SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the 11th day of February, 2020.

WITNESS OUR HANDS, this _____ day of _____

[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

MUNICIPAL INDUSTRIAL PARK
BEING A 0.45 AC. TRACT OF LAND SITUATED IN THE MUNICIPAL INDUSTRIAL PARK LOT 10 BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
EVA MACKAY
150 CHATELAIN DR
ROCKWALL, TEXAS 75087
CASE #SP2020-002

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RESIDENTIAL RESTAURANTS
INSTITUTIONAL
ARCHITECTS
PHONE: 469-745-1701

MEDICAL COMMERCIAL
CHURCHES
MERSHAWN
1520 E INTERSTATE 30
ROCKWALL, TEXAS 75087

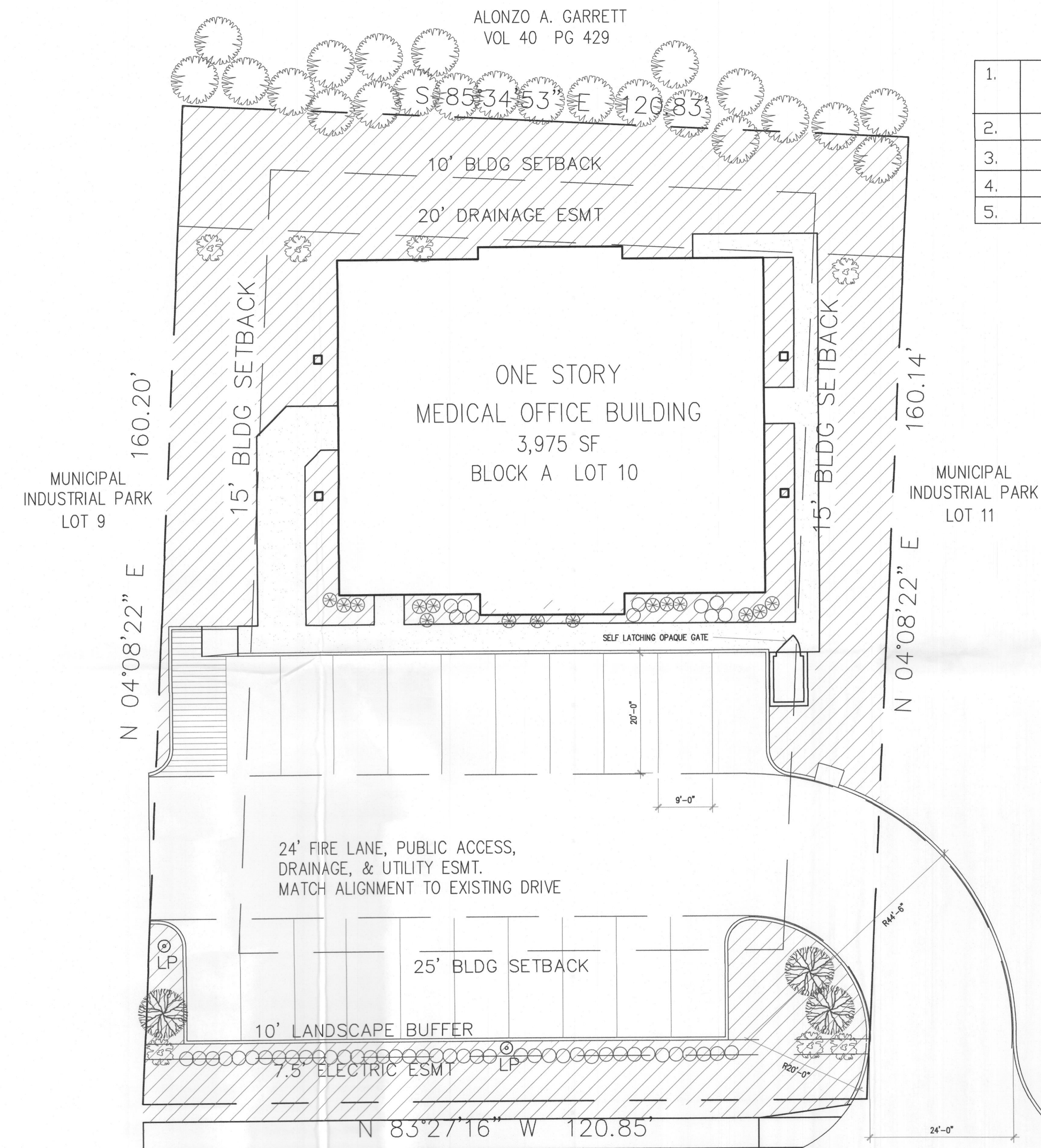
No.	Date	Revision	By

TOWNSEND MEDICAL OFFICE
ROCKWALL, TEXAS

SITE PLAN

Scale: 1" = 10'-0"
Date: MM/DD/YY
Project No.: 191203
Designed: GW
Drawn: GW
Checked: VM

SHEET
A1 OF

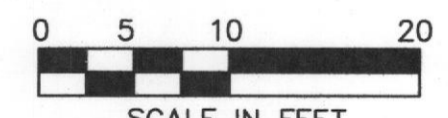


	REQUIRED	PROVIDED
1. STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W.	3	3
2. LANDSCAPE BUFFER	10'	10'
3. SCREENING OF OFF STREET PARKING	NO	NO
4. TOTAL LANDSCAPE AREA 10% REQUIRED	1,960 SF	7,604 SF
5. 4 TREES REQUIRED AT REAR OF PROPERTY	4	4

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

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- 15% LANDSCAPE REQUIRED = 2,940 SF PROVIDED 7,604 SF

- EXISTING TREE TO REMAIN REFER TO TREE MITIGATION PLAN
 - LIVE OAKS (6) INSTALLED WITH A MIN. 4" CALIPER
 - RED BUD (7) MIN 4' TALL
 - INDIAN HAWTHORNE (34) PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 30" TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
 - BOXWOOD BUSH (57) PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
- NO PARKING SPACE SHALL BE MORE THAN 80' FROM A CANOPY TREE
- ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE SODDED, BERMUDA.
- IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
- CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
- TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.
- ALL R.O.W. SHALL BE SODDED



PRICING & CONSTRUCTION
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THERE IS NO MITIGATION ON THIS SITE

MUNICIPAL INDUSTRIAL PARK
BEING A 0.45 AC. TRACT OF LAND SITUATED IN THE MUNICIPAL INDUSTRIAL PARK LOT 10 BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
EVA MACKEY
112 CHATELAIN DR
ROCKWALL, TEXAS 75087
CASE #SP2020-002

SITE PLAN SIGNATURE BLOCK

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[Signature] Director of Planning and Zoning

RESIDENTIAL RESTAURANTS
INSTITUTIONAL
ARCHITECTS

MEDICAL COMMERCIAL
CHURCHES
MERSHAWN

1520 E INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

No.	Date	Revision	By

TOWNSEND MEDICAL OFFICE
ROCKWALL, TEXAS

LANDSCAPE PLAN

Scale: 1" = 10'-0"

Date: MM/DD/YY

Project No.: 191203

Designed: GW

Drawn: GW

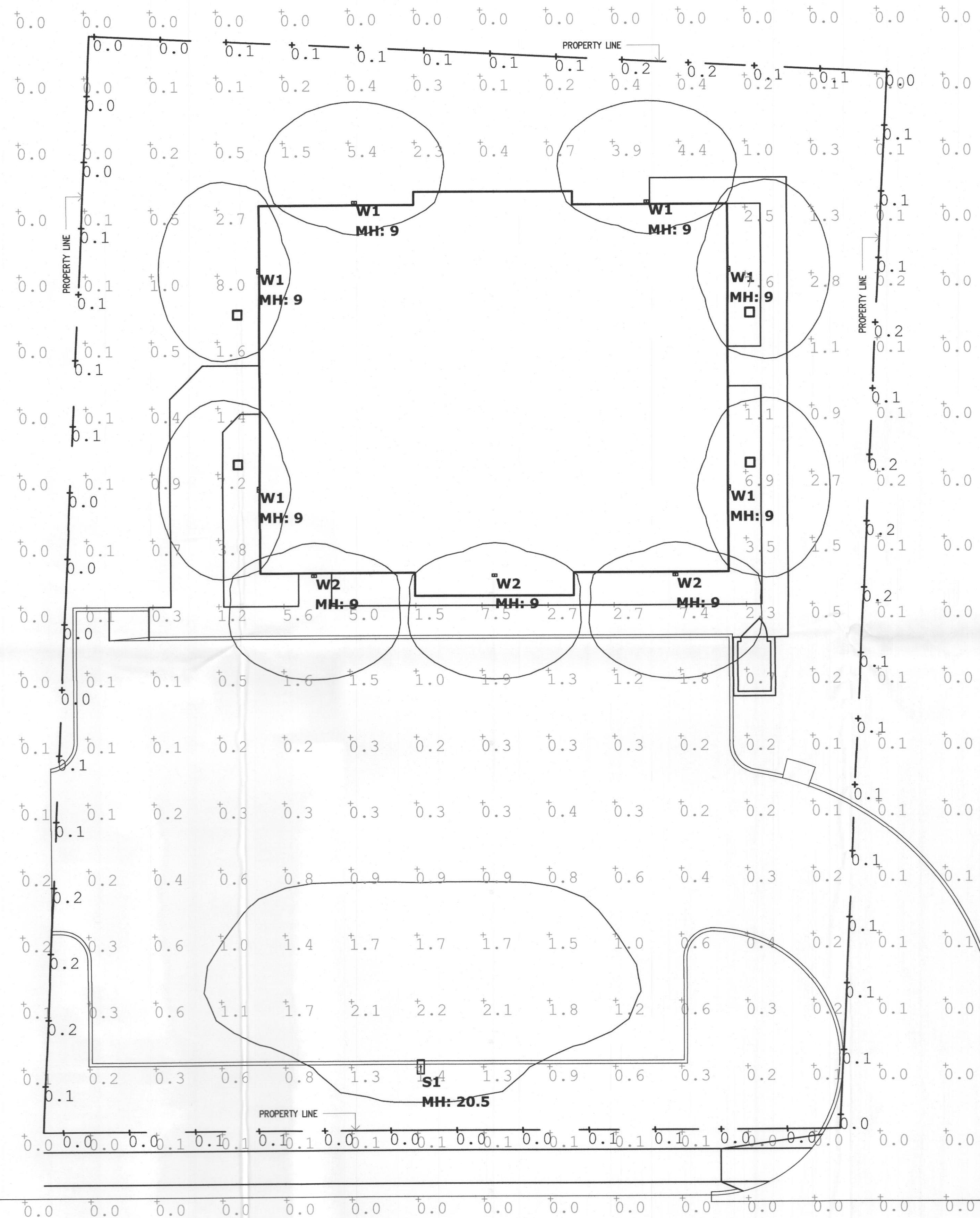
Checked: MM

SHEET **L1** OF **1**

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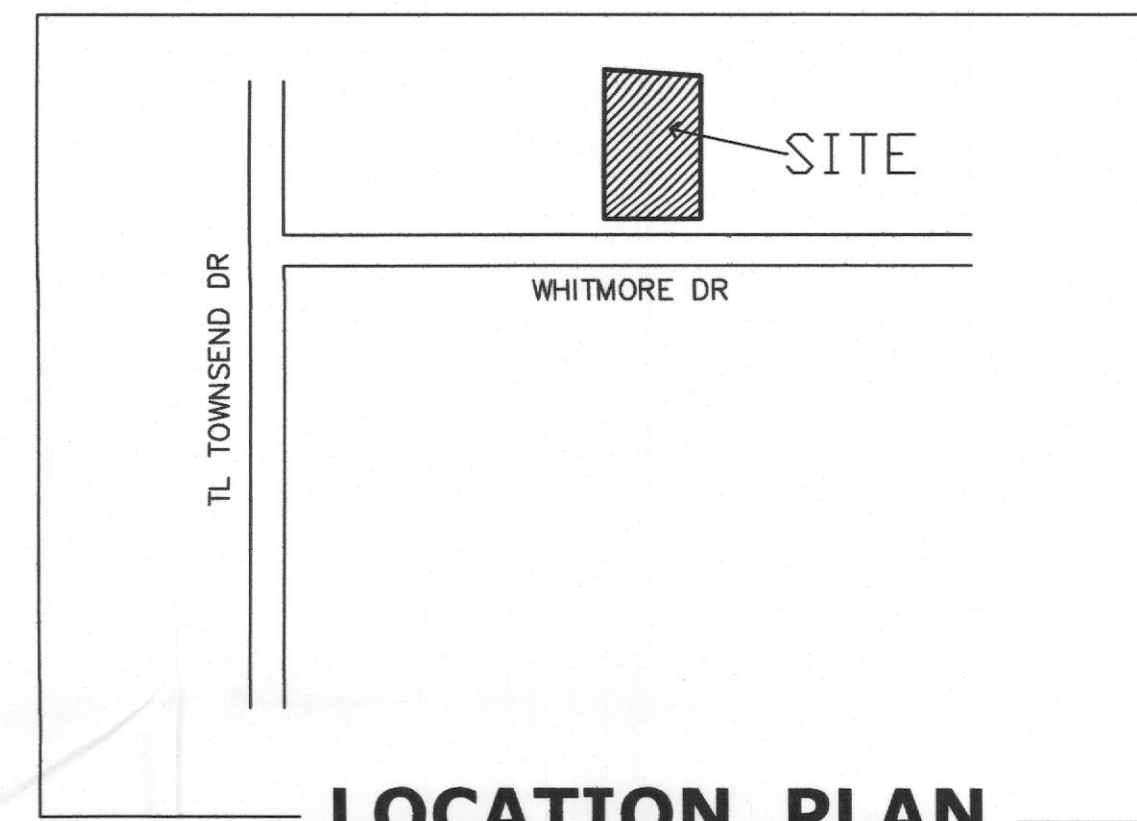
Luminaire Schedule				Total Lumen Output	Total Input Watts	Light Lost Factor	User Defined Factor
Symbol	Type	Qty	Manufacturer / Catalog Number	4925	49	1.000	1.000
SI	1	1	LITHONIA DSK0 LED P2 40K BLC MVOLT MOUNTING FINISH / 18" POLE ON 30IN BASE	1983	15.02	1.000	1.000
W1	6	6	LITHONIA WDGE1 LED P2 40K 80CRI VW VOLTAGE MOUNTING	1979	15.02	1.000	1.000
W2	3	3	LITHONIA WDGE1 LED P2 40K 80CRI VF VOLTAGE MOUNTING				

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.59	8.0	0.0	N.A.
PROPERTY LINE	N.A	Fc	0.08	0.2	0.0	N.A.

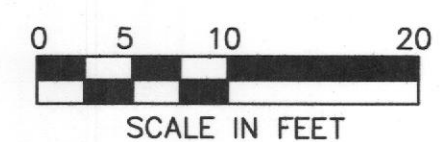


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Director of Planning and Zoning

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120 CHATELAIN BLVD
ROCKWALL, TEXAS 75087

CASE #SP2020-002

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WHITMORE DRIVE

RESIDENTIAL RESTAURANTS
COMMERCIAL CHURCHES
INSTITUTIONAL ARCHITECTS
MERSHAWN ARCHITECTS
1520 E. INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

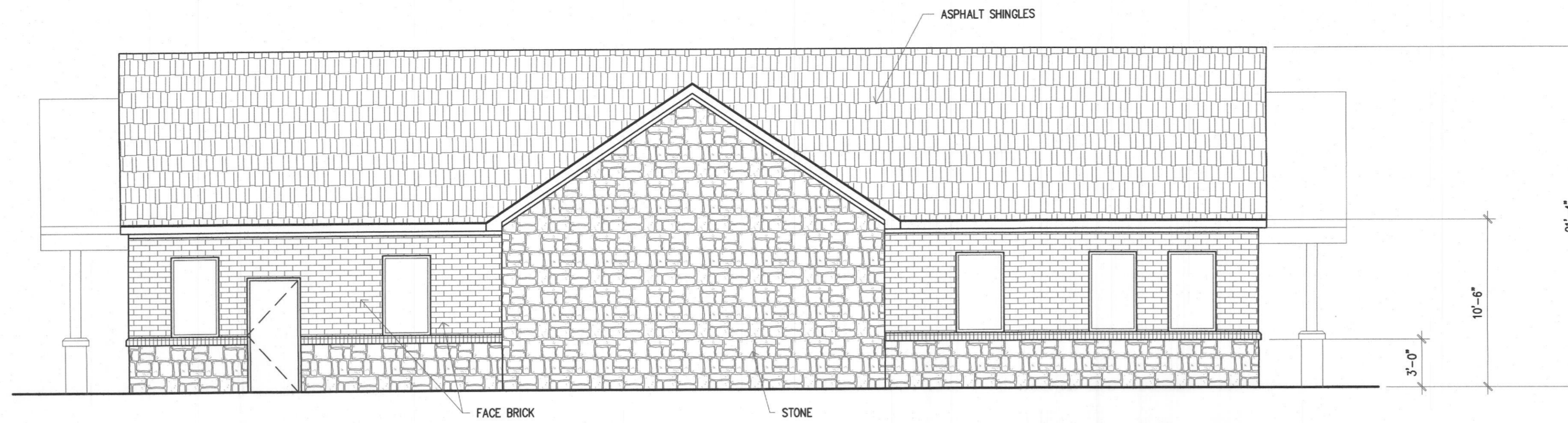
No.	Date	Revision	By

TOWNSEND MEDICAL OFFICE
ROCKWALL, TEXAS
PHOTOMETRIC PLAN

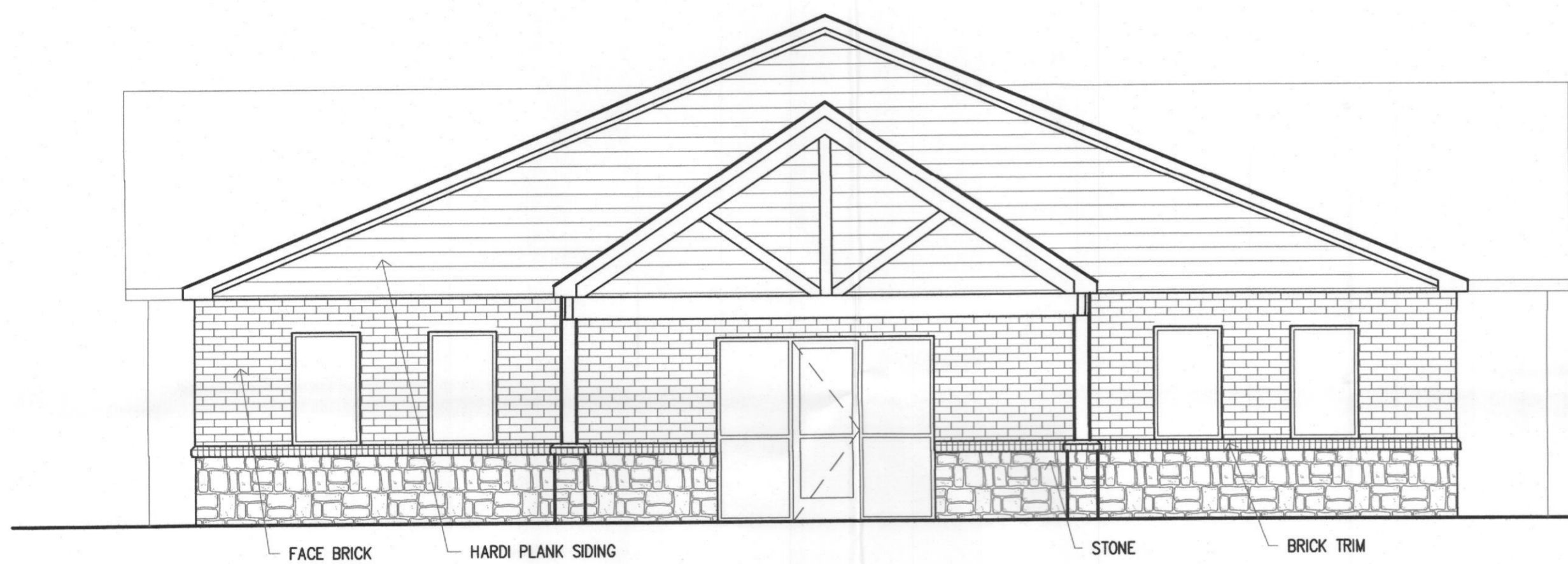
Scale: 1" = 10'-0"
Date: MM/DD/YY
Project No.: 191203
Designed: GW
Drawn: GW
Checked: WM

SHEET
PH OF

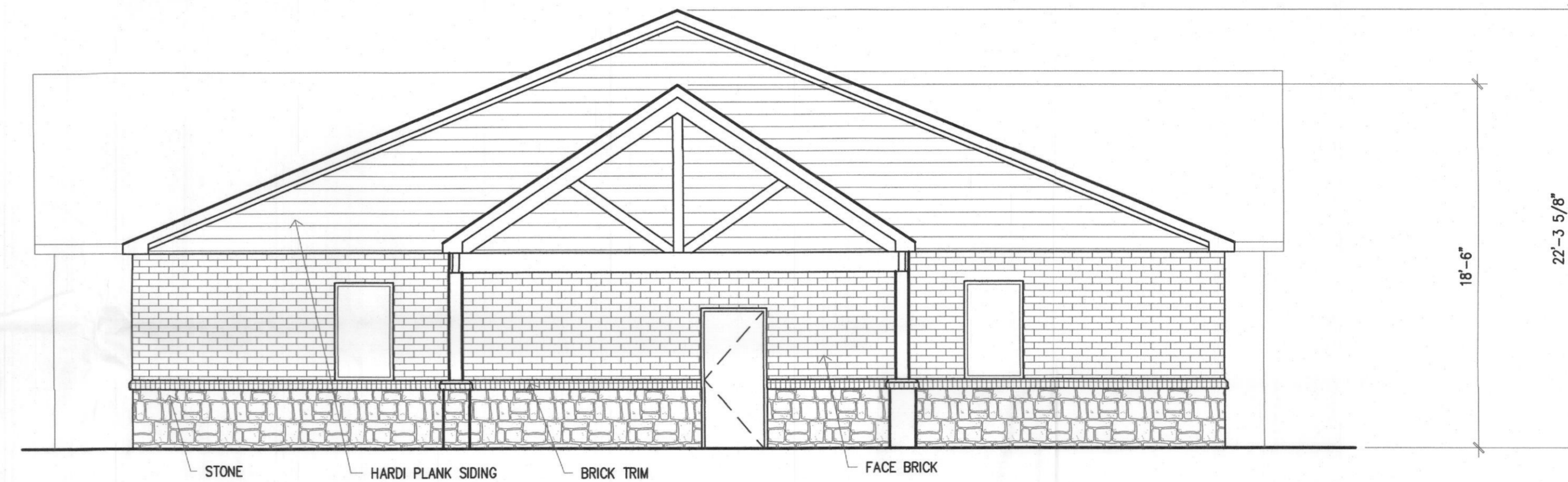
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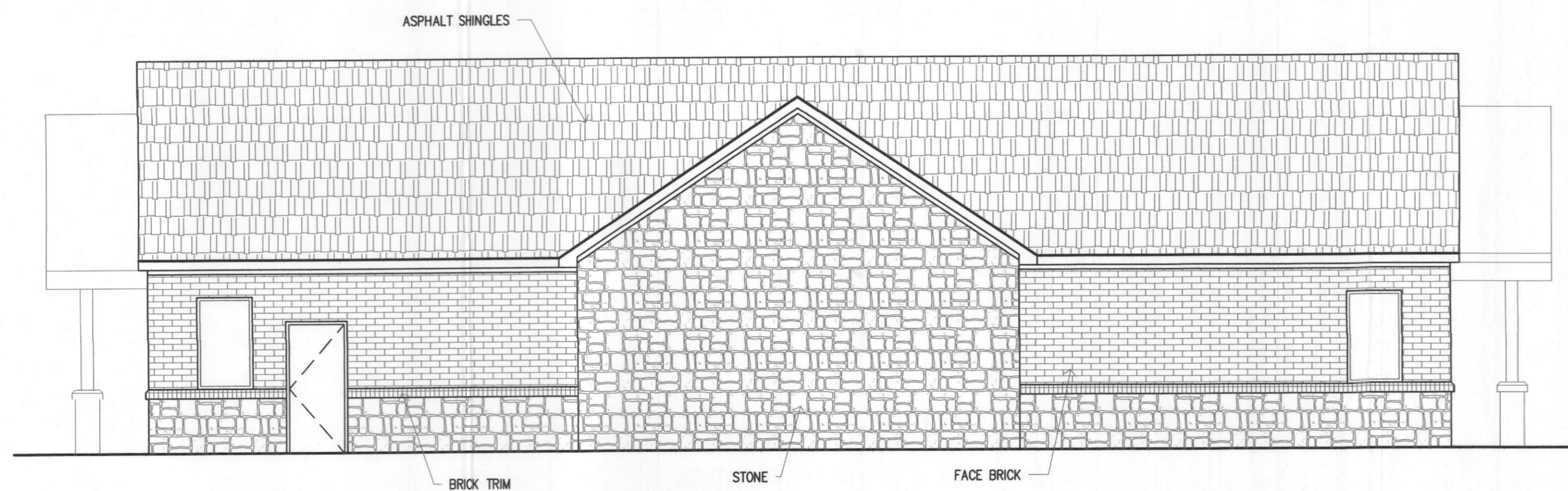
SOUTH ELEVATION
38% STONE 3% WOOD SIDING 59% BRICK



WEST ELEVATION
21% STONE 2% WOOD SIDING 77% BRICK



EAST ELEVATION
25% STONE 2% WOOD SIDING 73% BRICK



NORTH ELEVATION
38% STONE 3% WOOD SIDING 59% BRICK

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MEDICAL COMMERCIAL CHURCHES INSTITUTIONAL
MERSHAWN ARCHITECTS
1500 E. INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

No.	Date	Revision	By

TOWNSEND MEDICAL OFFICE
ROCKWALL, TEXAS
EXTERIOR ELEVATIONS

Scale:	3/16" = 1'-0"
Date:	12/17/19
Project No.:	191203
Designed:	GW
Drawn:	GW
Checked:	WM

SHEET
A3 OF