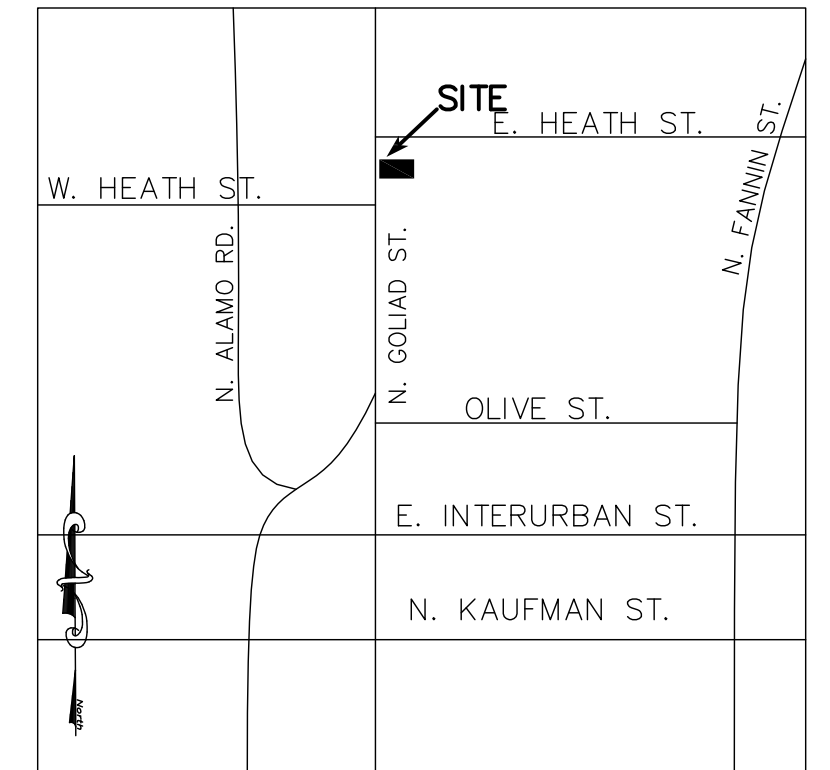
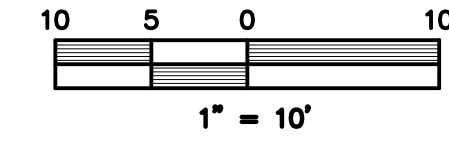


N. GOLIAD STREET
(VARIABLE WIDTH R.O.W.)

CALLED 0.438 ACRES
GREGORY DAMON HOLLOW
VOLUME 503, PAGE 95
D.R.R.C.T.



VICINITY MAP
NOT TO SCALE

SITE DATA:

LOT AREA:
0.40 Acres, 17,424 sq.ft.
LOT COVERAGE:
21.1%
FLOOR TO AREA RATIO:
4.72:1
BUILDING AREA:
1st Floor: 3,652 sq.ft.
2nd Floor: 1,305 sq.ft.
Total: 4,957 sq.ft.
BUILDING HEIGHT:
2 STORY
PROPOSED FUTURE USE:
General Office
**IMPERVIOUS AREA
(including buildings):**
13,563 sq.ft.
ZONING:
PD-50
PARKING:
Required:
Office (1/300sf) = 17
Handicap = 1
Provided:
Standard = 23
Handicapped = 1
Total Provided = 24
LANDSCAPE AREA:
Required: (15%) 2,613.6 sq.ft.
Provided: 3,871 sq.ft.
FIRESPRINKLER:
NO

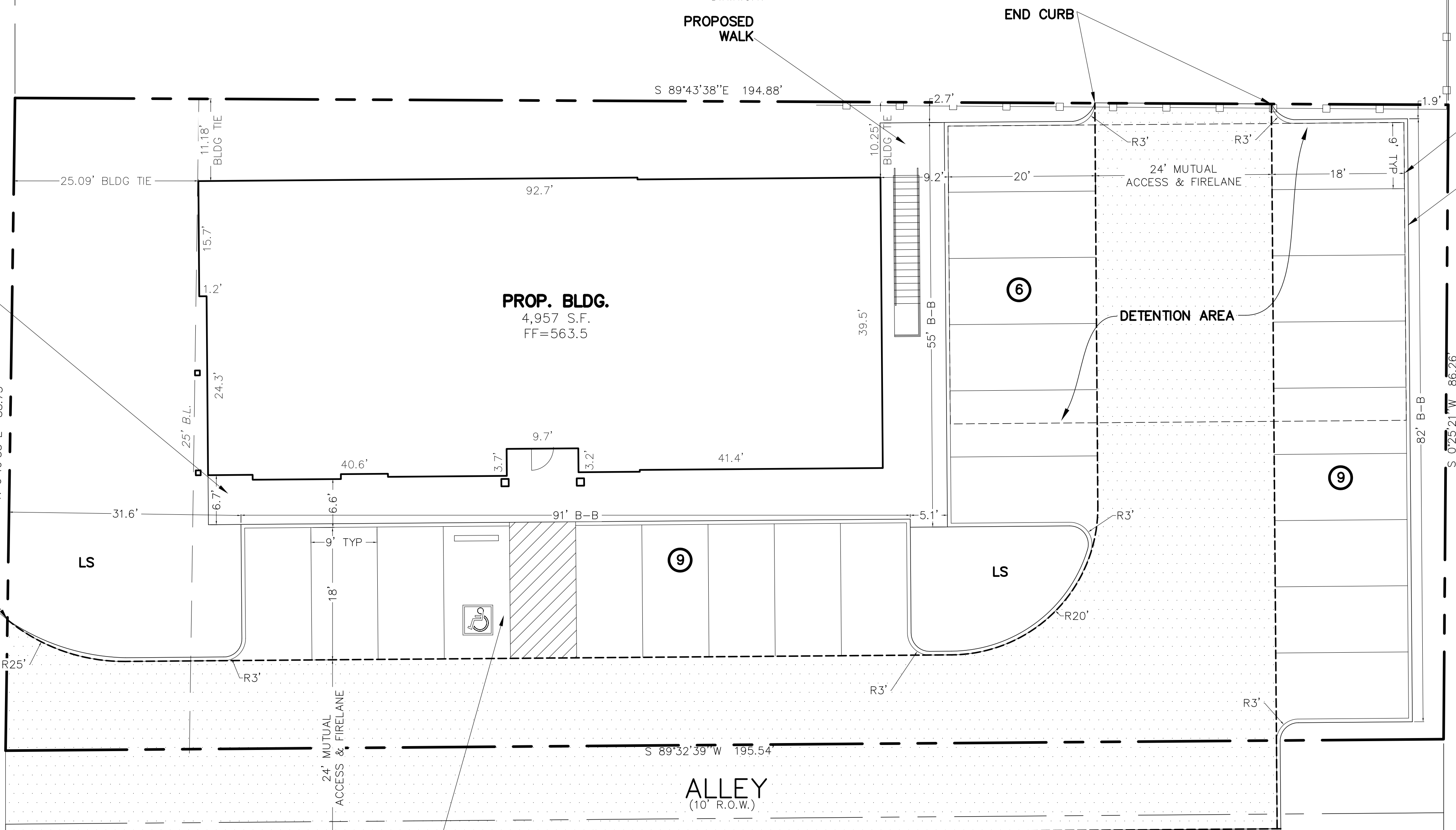
LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FFH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- SS = EXISTING SS MANHOLE
- EX. TEL. BOX = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- CL = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- [Hatched Box] = PROPOSED FIRELANE

* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

END CURB
PROP. CONCRETE ENTRANCE PER CITY STDS.
CONNECT TO STREET & CONSTRUCT CONC. TO ASPHALT HEADER (PER CITY REQUIREMENTS)

RELOCATE POWER POLE



NBN COMMERCIAL GROUP, LLC.
VOLUME 4072, PAGE 223
R.P.R.C.T.

NORTH TEXAS MUNICIPAL WATER DISTRICT
VOLUME 51, PAGE 368
D.R.R.C.T.
CITY OF ROCKWALL

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



PROJECT #:

REVISIONS

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING TO BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 5) NO SAND UNDER PAVING.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 2. Fire lanes shall be designed and constructed per city standards.
 3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 5. All signage contingent upon Building Inspection Department.
 6. Approval of the site plan is not final until all engineering plans are approved.
 7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 9. All electrical transmission, distribution and service lines must be underground.

Offsite BM:
RAILROAD SPIKE IN POWER POLE ALONG GOLIAD ST. ACROSS THE STREET FROM THE NW CORNER OF PROPERTY LINE

Elev=565.6

SITE PLAN

THE FITE AGENCY, LLC.

810 N. GOLIAD STREET
0.40 ACRES
City of Rockwall, Rockwall County, Texas

owner
Fite Agency
Trend Tower, 2701 Sunset Ridge Dr #104
Rockwall, TX 75032

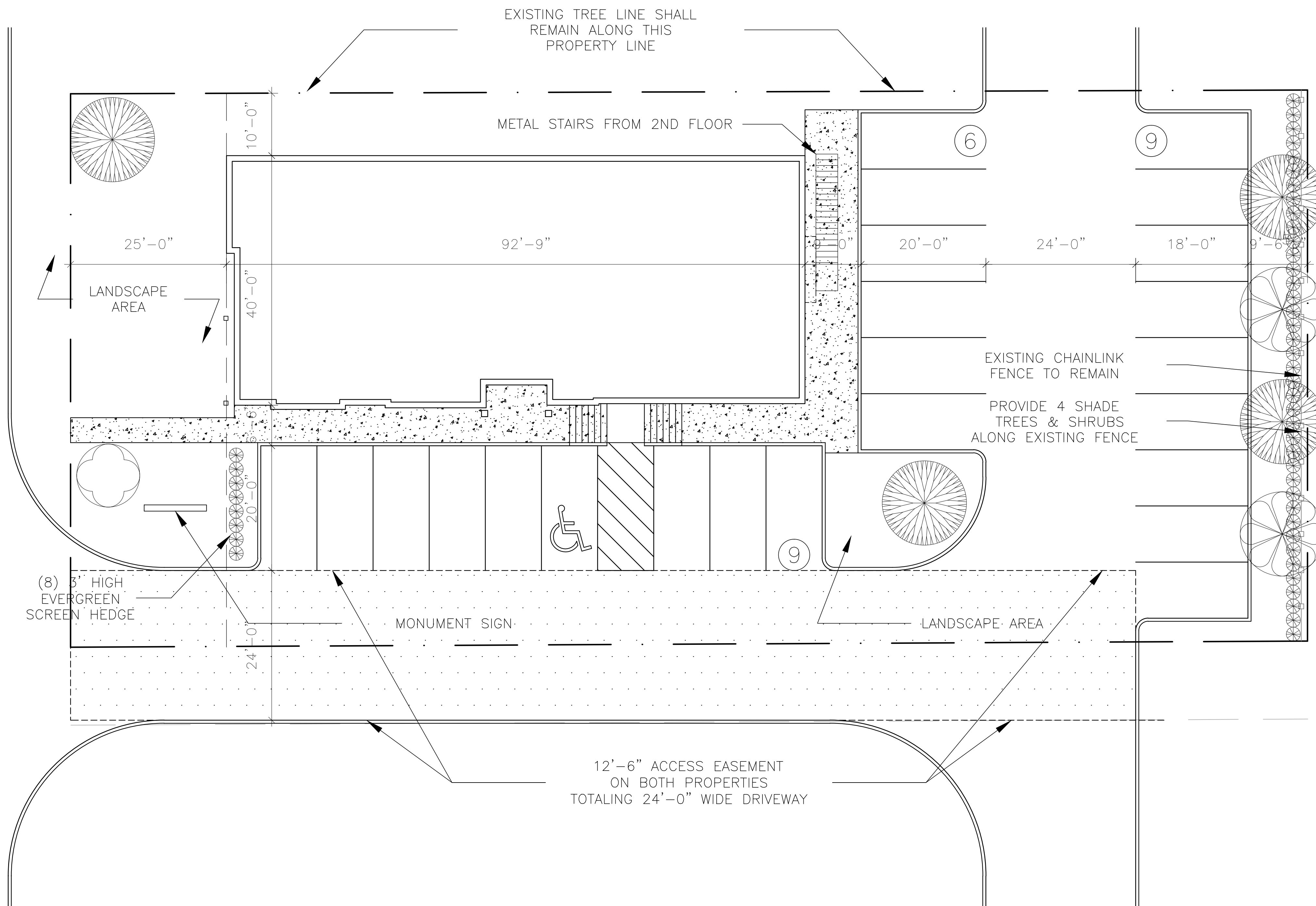
prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2019-12 REG. NO.: F-2567

date: 1/3/20 scale: 1"=10' sheet: C101

GOLIAD STREET



SITE DATA TABLE	
SITE AREA	0.40 ACRES (17,424 S.F.)
ZONING	PD-50
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA	4,987 TOTAL S.F.
LOT COVERAGE	21.1%
FLOOR TO AREA RATIO	0.474 : 1
BUILDING HEIGHT MAX.	35'-0"

PARKING TABLE	
OFFICE PARKING	1/300 SF = 17
PARKING REQUIRED	17 SPACES (1 ADA)
PARKING PROVIDED	24 SPACES (1 ADA)

LANDSCAPE TABULATION	
GROSS AREA	0.40 ACRES (17,424 S.F.)
REQUIRED LANDSCAPE AREA-- 15% OF 17,424 S.F.	2,614 S.F.
PROVIDED LANDSCAPE AREA-- 22% OF 17,424 S.F.	3,871 S.F.
IMPERVIOUS COVERAGE-- 78% OF 17,424 S.F.	13,553 S.F.

NOTES:
 - Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 2" CALIPER	
BURR OAK 4' HIGH @ INSTALLATION	WINTER BOXWOOD (SHRUB) 3' HIGH @ INSTALLATION
EASTERN RED CEDAR 4" MIN. CALIPER	ACCENT TREE CRAPE MYRTLE 4" MIN. CALIPER

- GENERAL NOTES:
- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 - FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM IF 24" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURAL ENGINEER.
 - EA. SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB, OWNER WILL PAY FOR TESTING LABS.
 - ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE T&S NOTES & DETAILS.
 - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
 - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS.
 - REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES, THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.

THE FITE AGENCY	
LEGAL DESCRIPTION AND/OR ADDRESS: THE FITE AGENCY, LLC. DOCUMENT #2018000022302 O.P.R.R.C.T.	
OWNER The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP-2019-046	

ISSUE:	OWNER REVIEW:	CITY COMMENTS:	CITY REVISIONS:
	12-27-2019		01-07-2020

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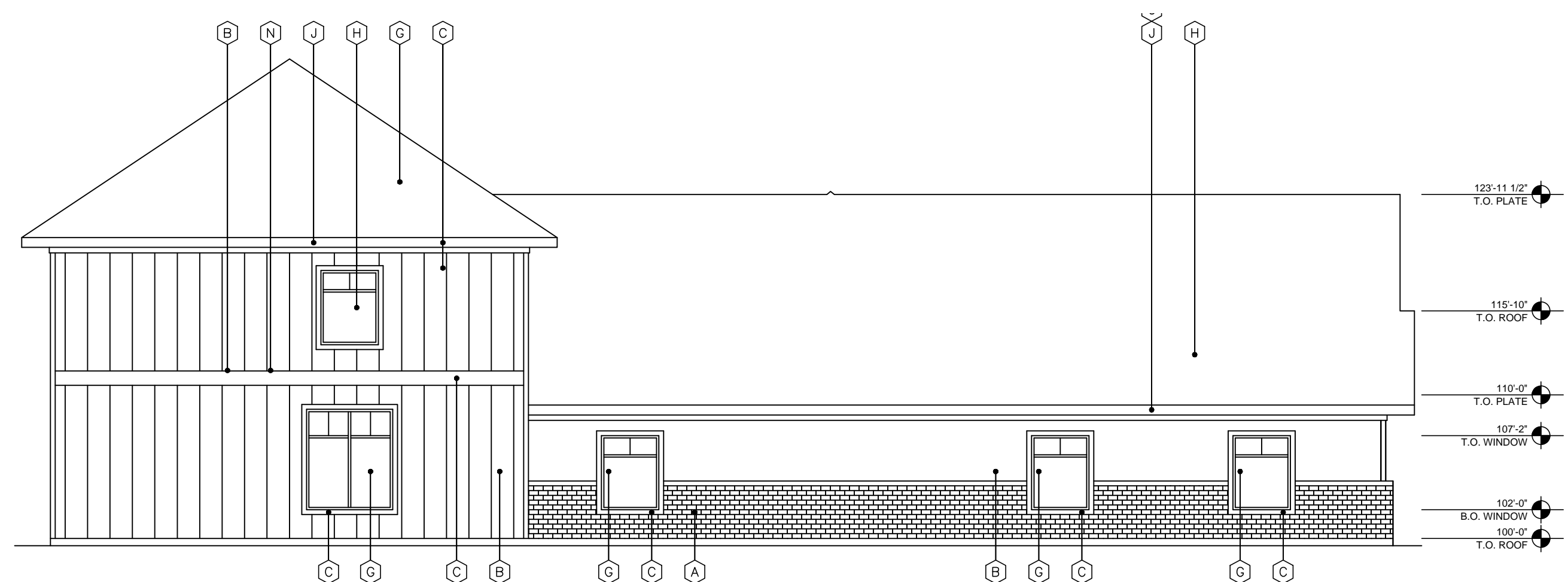
PROPOSED OFFICE BUILDING FOR
THE FITE AGENCY
 810 Goliad St.
 Rockwall, Texas 75087

THE FITE AGENCY
 2701 Sunset Ridge, Ste. 104
 Rockwall, TX. 75087

CARROLL architects
 750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

LANDSCAPE PLAN

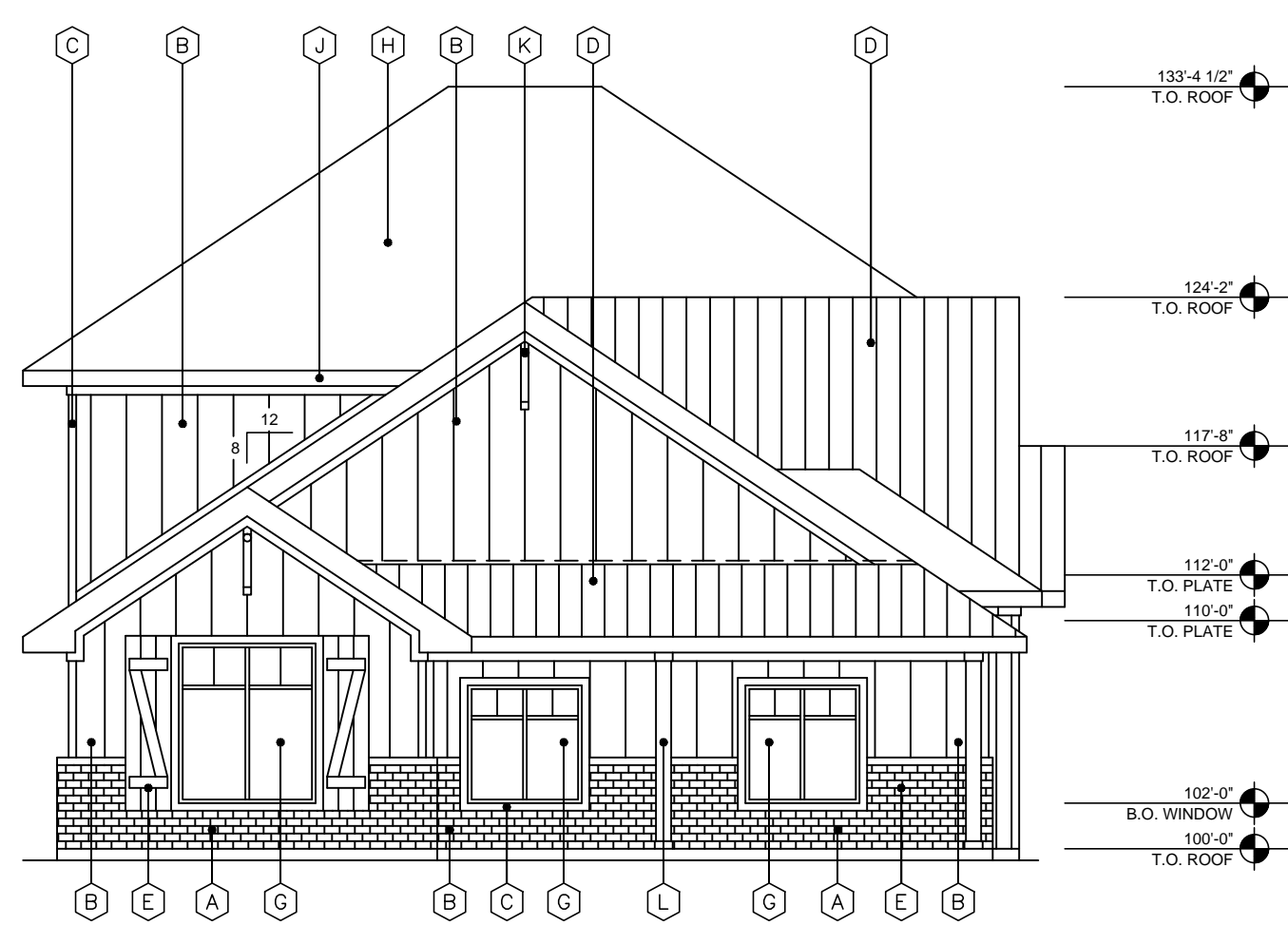
DATE:	JUL 2019	SHEET NO.:	L1
PROJECT NO.:	2018055		
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CHECKED BY:			



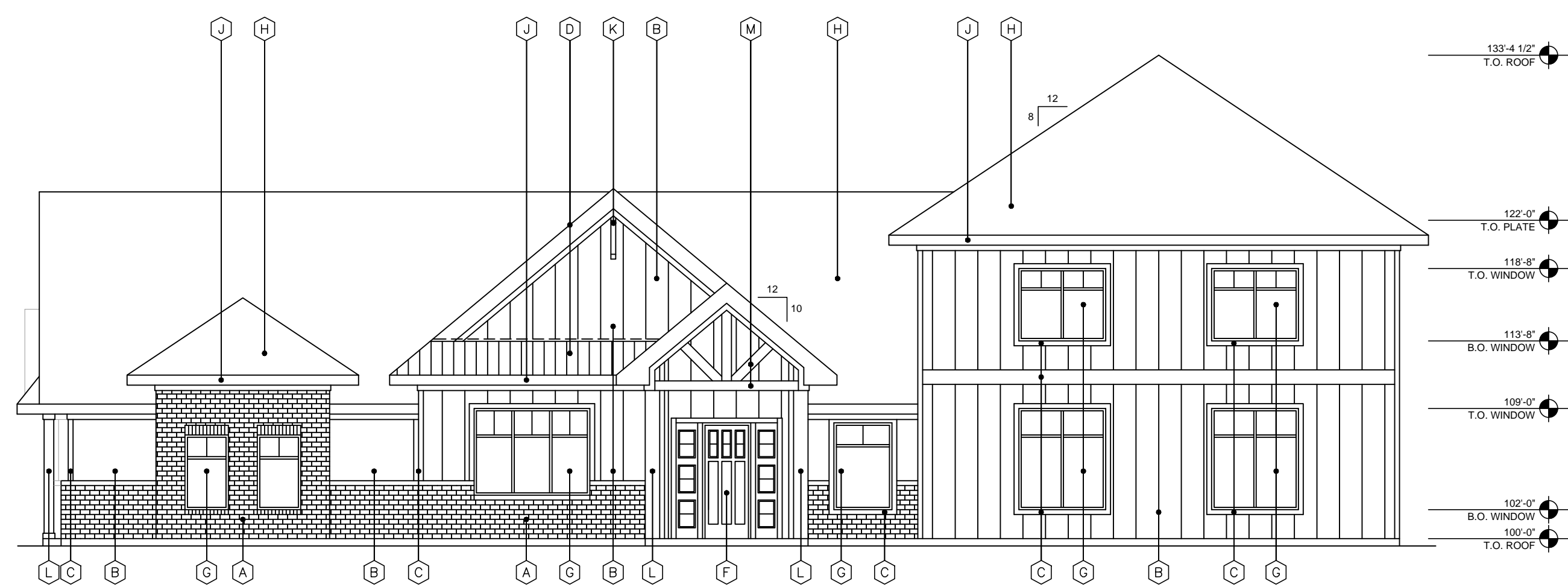
4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE:	
A	BRICK, MFG--ACME, MODULAR SIZE, COLOR - OXFORD PLACE
B	HARDIE BOARD SIDING, COLOR: ARCTIC WHITE
C	HARDIE BOARD, FASCIA & TRIM COLOR - KHAKI BROWN
D	STANDING SEAM MTL. ROOF SYSTEM, BERRIDGE OR E.O., COLOR - CHARCOAL GRAY
E	WOOD SHUTTERS, COLOR - STAIN WALNUT
F	ENTRY DOORS AS SELECTED BY OWNER
G	WINDOW, 1" INSULATED, LOW 'E' 30% TINTED GRAY, FRAME COLOR - BLACK
H	COMPOSITION ASPHALT ROOF, TYP., (270lbs), COLOR - BLACK
J	PREFINISHED ALUMINUM GUTTER & DOWNSPOUT, COLOR - MATCH TRIM COLOR
K	GABLE END, 8" DECOR. WOOD TRIM COLOR: KHAKI
L	12X12 OR 8X8 WOOD POST, COLOR - STAIN WALNUT
M	2X WOOD TRIM @ DECOR. COLUMNS
N	STEEL TUBE RAILING SYSTEM, COLOR - BLACK

THE FITE AGENCY	
LEGAL DESCRIPTION AND/OR ADDRESS:	
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Rockwall, TX. 75087

CARROLL architects
750 E. Interstate 30 Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

EXTERIOR ELEVATIONS

DATE: JUL 2019 SHEET NO:
PROJECT NO: 2018055
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