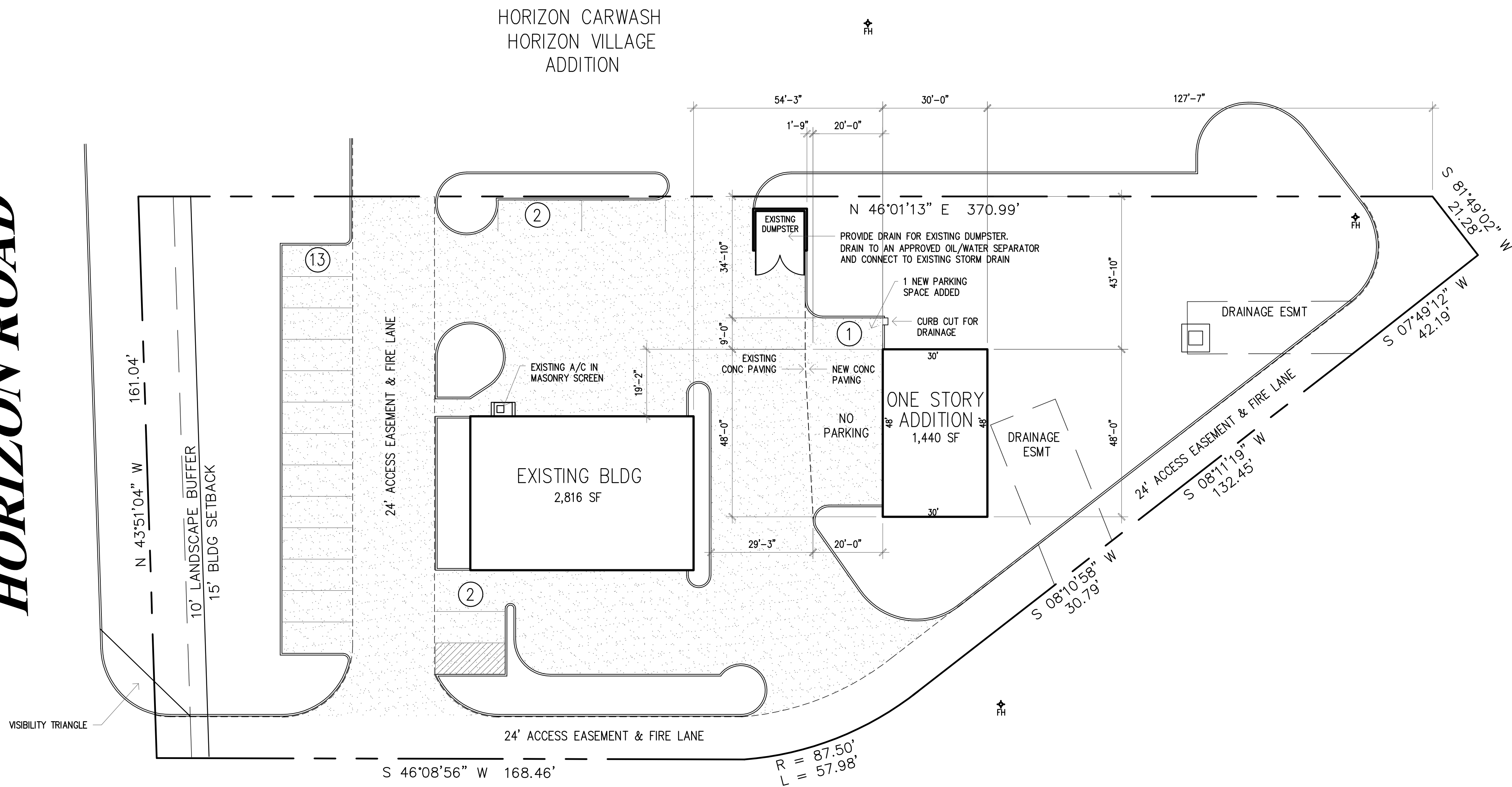
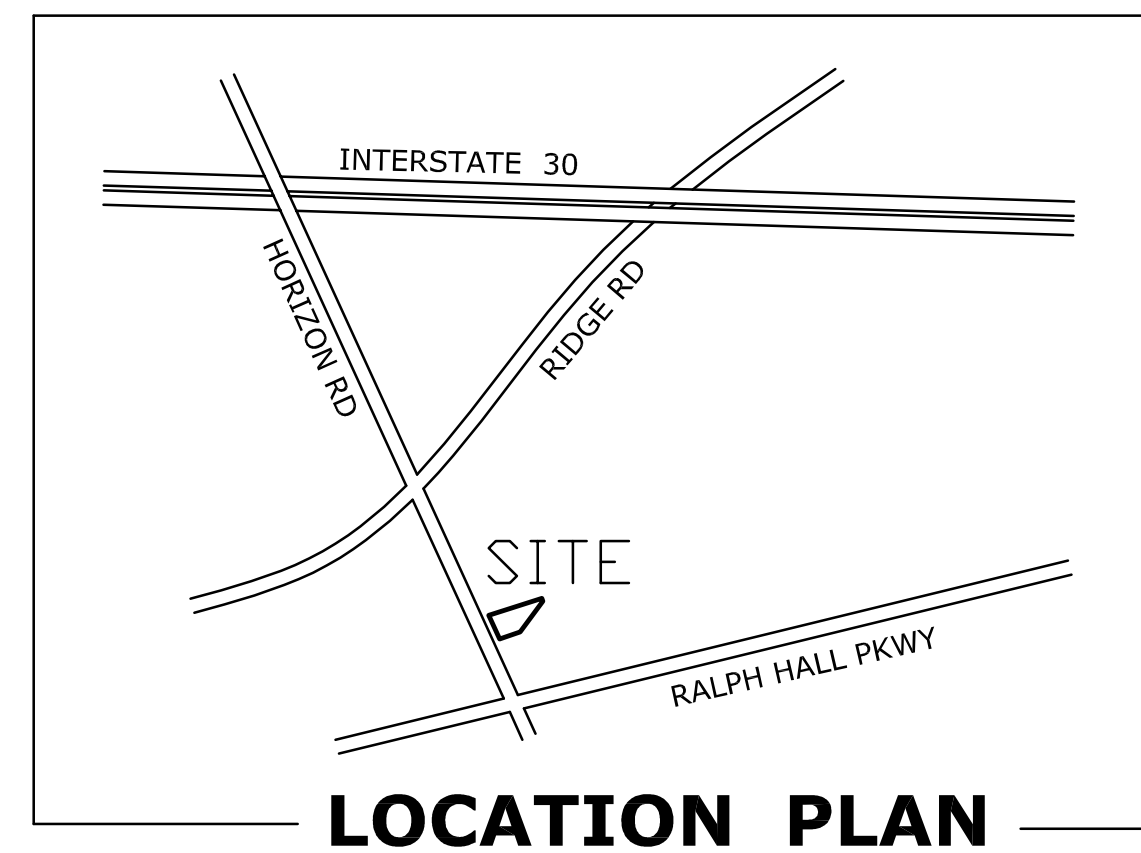


# HORIZON ROAD



STEGER TOWNE CROSSING

## HORIZON VILLAGE ADDITION



**LOCATION PLAN**

|                                     |           |           |
|-------------------------------------|-----------|-----------|
| MINIMUM LANDSCAPE AREA 25% REQUIRED | 12,096 SF | 19,817 SF |
| MINIMUM LOT AREA                    | 10,000 SF | 48,383 SF |
| MINIMUM LOT WIDTH                   | 60 LF     | 161 LF    |
| MINIMUM LOT DEPTH                   | 100 LF    | 371 LF    |
| MINIMUM FRONT SETBACK               | 15 LF     | 15 LF     |
| MINIMUM REAR SETBACK                | 10 LF     | 10 LF     |
| MINIMUM SIDE SETBACK                | 10 LF     | 10 LF     |
| MINIMUM DISTANCE BETWEEN BUILDINGS  | 15 LF     | 54' LF    |
| MAXIMUM BUILDING HEIGHT             | 60 LF     | 20' LF    |
| MAXIMUM LOT COVERAGE                | 60%       | 9%        |
| MAXIMUM FLOOR AREA RATIO            | 4:1       | .009:1    |
| MAXIMUM IMPERVIOUS AREA             | 85%       | 59%       |

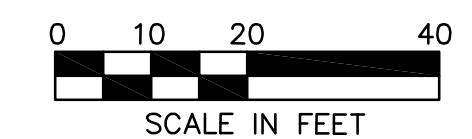
ABSTRACT NO. 9 – WILLIAM BLEVINS SURVEY

- ZONING: C
- PROPOSED USE: OIL CHANGE
- PROPERTY AREA (GROSS): 48,383 SF 1.11 AC
- BUILDING AREA: PROPOSED 1,440 SF
- BUILDING HEIGHT: ONE STORY – 20'-6"
- LOT COVERAGE : 8.8% F.A.R. = 0.009:1
- PARKING REQUIRED: 2 PER EACH BAY = 18 SPACES REQUIRED
- HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED
- TOTAL PARKING PROVIDED: 17 EXISTING SPACES/1 NEW SPACE=18
- TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 28,566 SF

### HORIZON VILLAGE

BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1 LOT 4 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER  
**IYM AUTOMOTIVE INC.**  
5950 HORIZON ROAD  
ROCKWALL, TEXAS 75087  
CASE #SP2019-035



**PRICING & CONSTRUCTION GENERAL NOTES:**

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
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- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

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INSTITUTIONAL ARCHITECTS

PHONE: 972-722-9302  
FAX: 972-249-2051

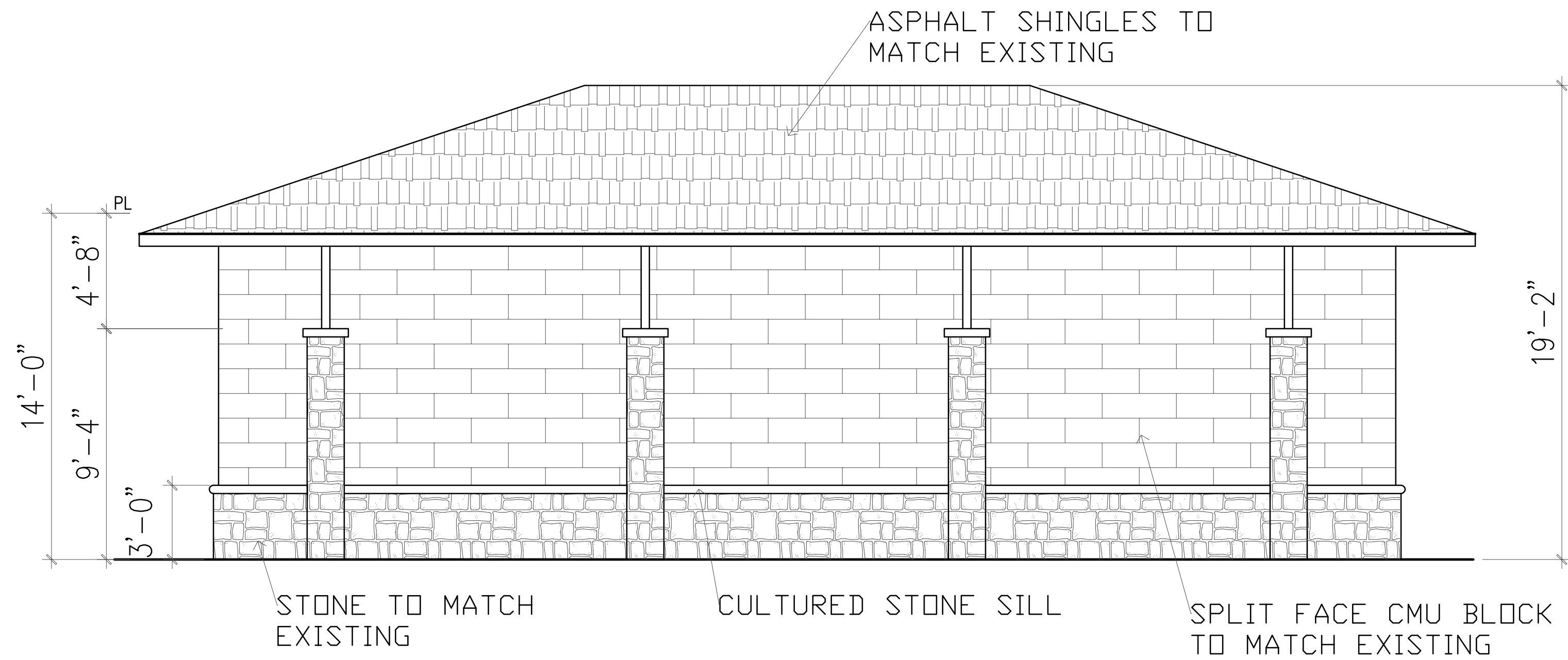
2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087

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| No. | Date | Revision | By |
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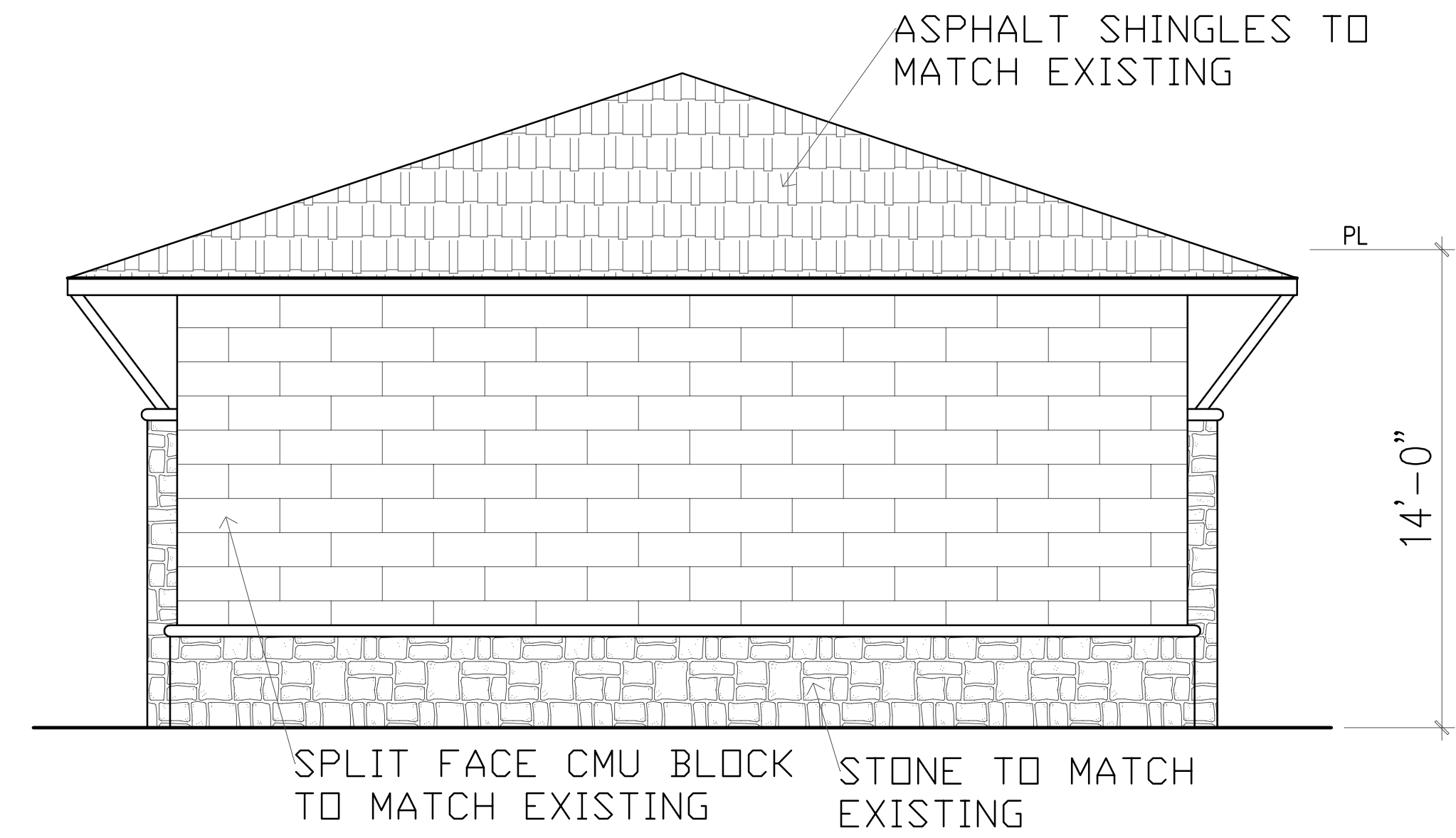
**KWIK KAR**  
ROCKWALL, TEXAS  
**SITE PLAN**

Scale: 1" = 20'-0"  
Date: MM/DD/YEAR  
Project No.: AAAAAA  
Designed: GW  
Drawn: GW  
Checked: WM

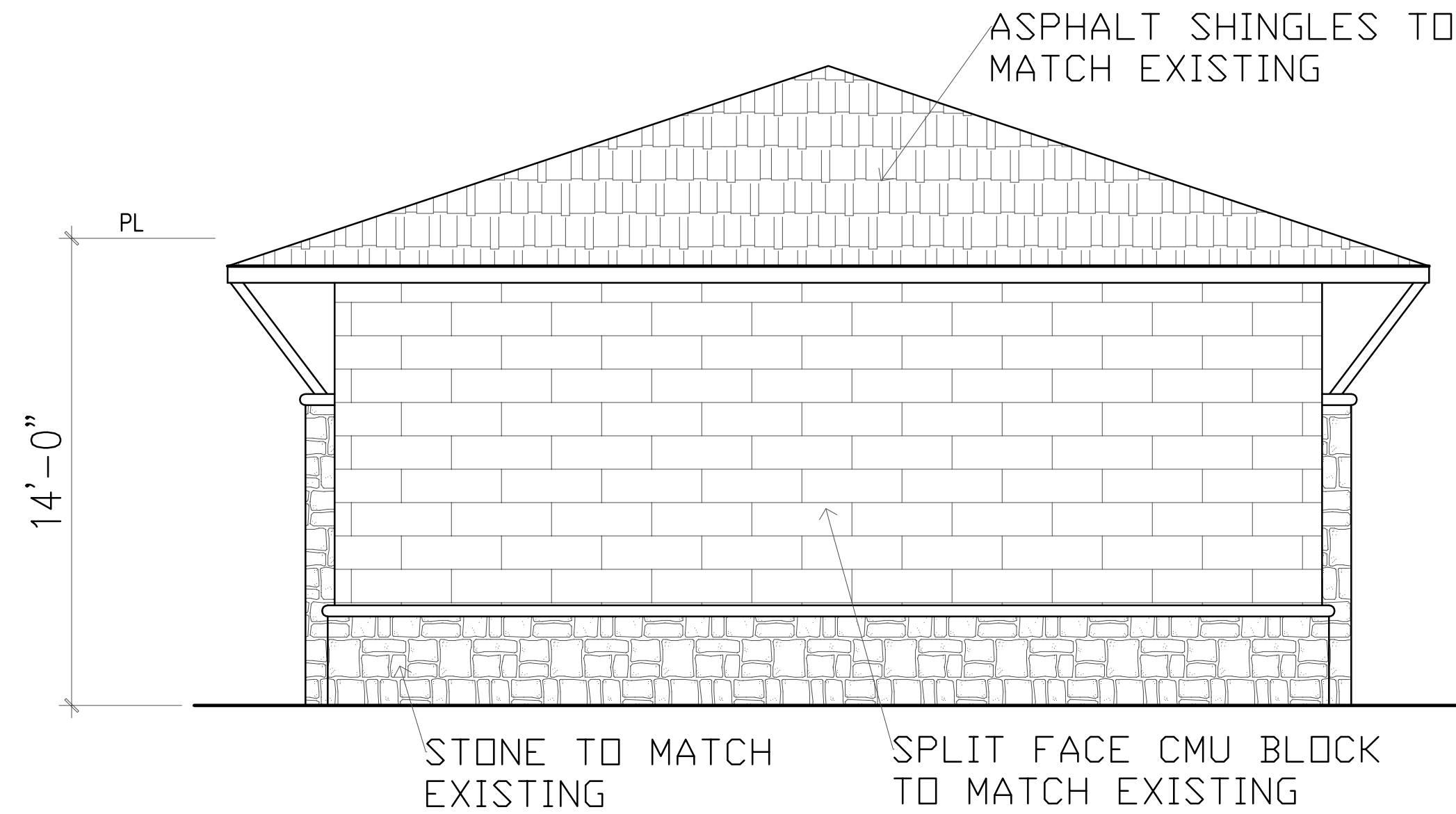
SHEET **A1** OF **14**



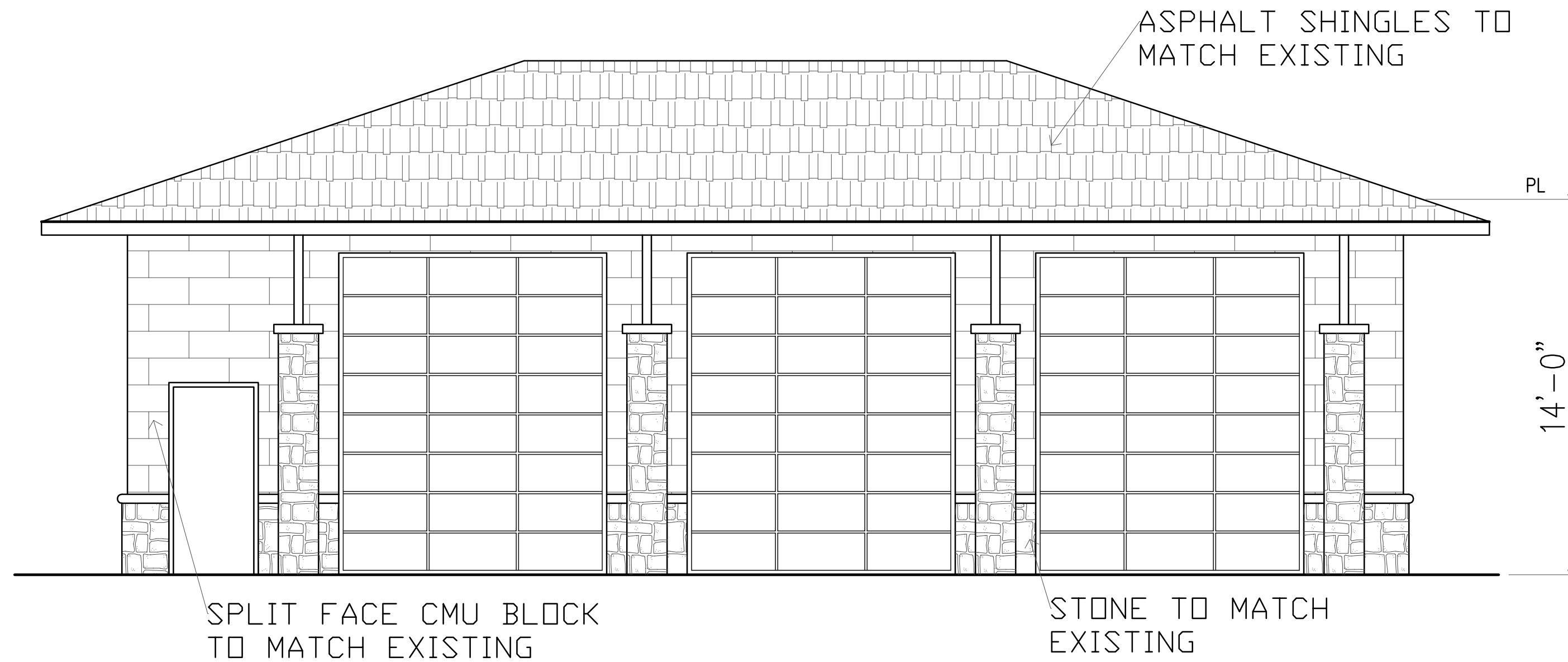
**NORTH ELEVATION**  
100% MASONRY 30% STONE 70% BLOCK



**EAST ELEVATION**  
100% MASONRY 24% STONE 76% BLOCK



**WEST ELEVATION**  
100% MASONRY 24% STONE 76% BLOCK



**SOUTH ELEVATION**  
100% MASONRY 38% STONE 62% BLOCK

**PRICING & CONSTRUCTION**  
**GENERAL NOTES:**

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6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

OWNER  
IYM AUTOMOTIVE INC.  
2581 HORIZON ROAD  
ROCKWALL, TEXAS 75086  
CASE #SP2019-035

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CHURCHES ARCHITECTS  
**MERSHAWN ARCHITECTS**  
2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087  
PHONE: 972-722-9302  
FAX: 972-249-2051

| No. | Date | Revision | By |
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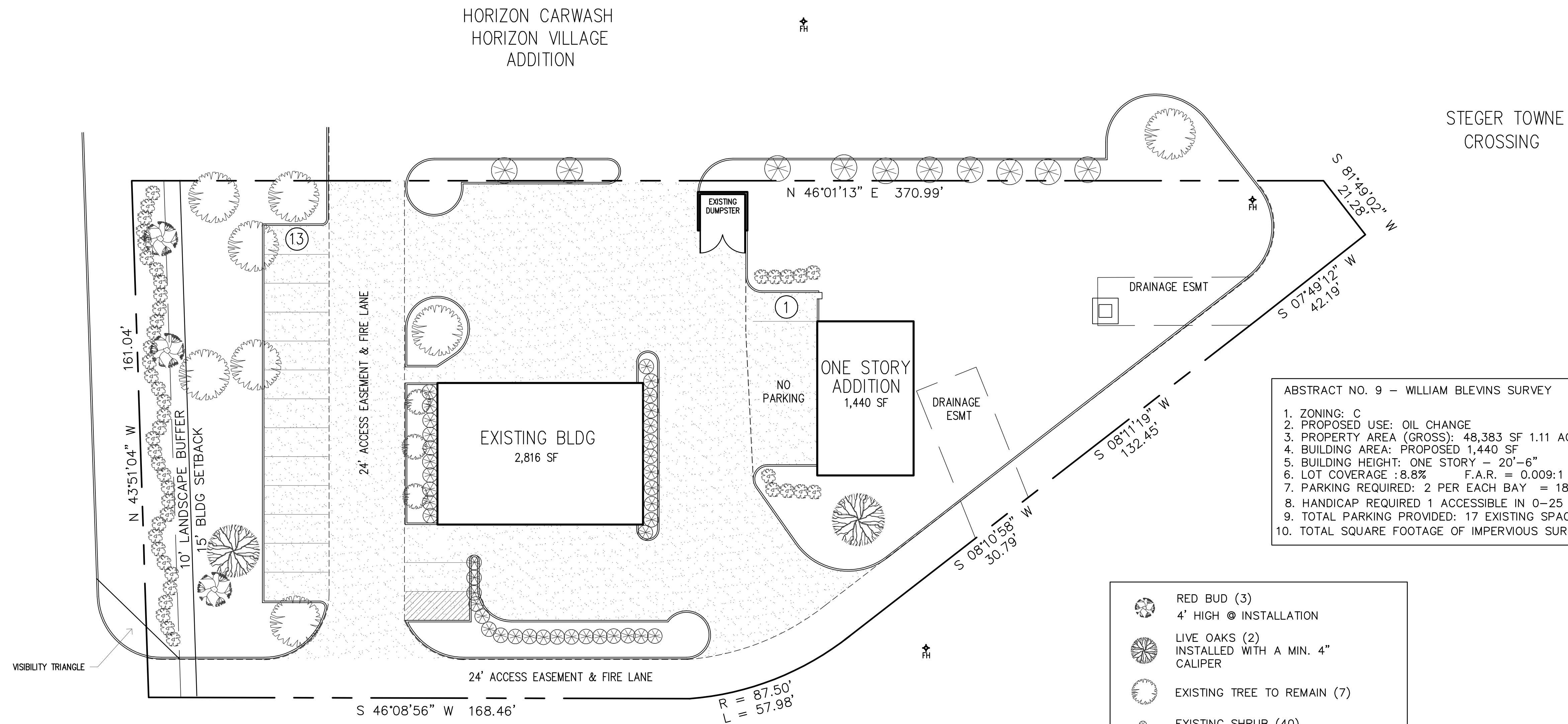
KWIK KAR  
ROCKWALL, TEXAS  
**EXTERIOR ELEVATIONS**

Scale: 1/4" = 1'-0"

|              |    |
|--------------|----|
| Date:        |    |
| Project No.: |    |
| Designed:    | GW |
| Drawn:       | GW |
| Checked:     | WM |

SHEET  
**A4** OF  
**14**

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

- ZONING: C
- PROPOSED USE: OIL CHANGE
- PROPERTY AREA (GROSS): 48,383 SF 1.11 AC
- BUILDING AREA: PROPOSED 1,440 SF
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- HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED
- TOTAL PARKING PROVIDED: 17 EXISTING SPACES/1 NEW SPACE=18
- TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 28,566 SF

- RED BUD (3)  
4' HIGH @ INSTALLATION
- LIVE OAKS (2)  
INSTALLED WITH A MIN. 4" CALIPER
- EXISTING TREE TO REMAIN (7)
- EXISTING SHRUB (40)
- NEW INDIAN HAWTHORNE (46)  
PLANTS SHALL BE A MINIMUM OF 3-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

ALL REQUIRED LANDSCAPE AND SCREENING SHALL BE MAINTAINED IN A HEALTHY MANOR OR REPLACED AS NEEDED. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE SOD, BERMUDA.

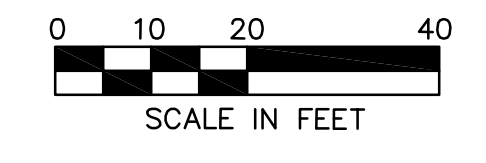
IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4" OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

ALL CONCRETE PAVING SHALL HAVE A 6" CURB



PRICING & CONSTRUCTION  
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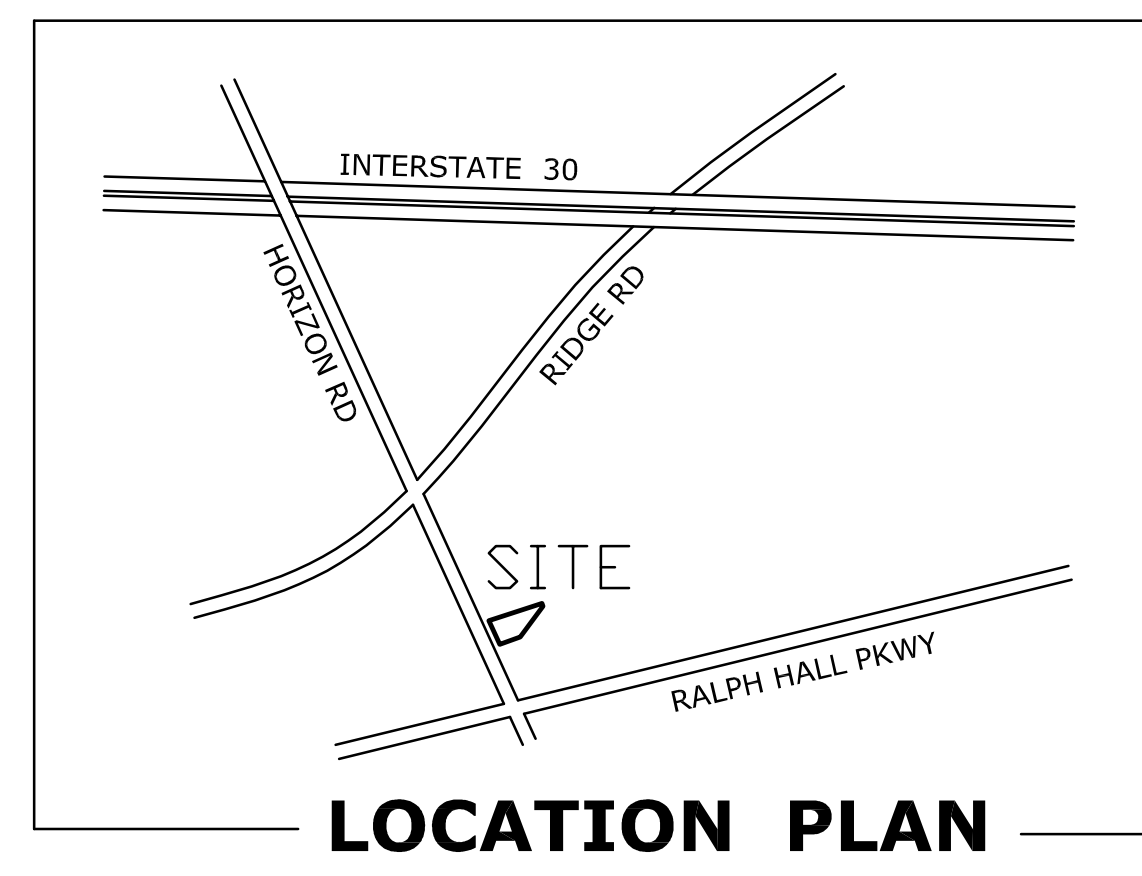
HORIZON VILLAGE  
BEING A 1.11 AC. TRACT OF LAND SITUATED IN THE HORIZON VILLAGE ADDITION BLOCK 1 LOT 4 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER  
IYM AUTOMOTIVE INC.  
5905 HORIZON ROAD  
ROCKWALL, TEXAS 75087  
CASE #SP2019-035

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HORIZON VILLAGE  
ADDITION

|   | EXISTING | NEW | REQUIRED  | PROVIDED  |
|---|----------|-----|-----------|-----------|
| STREET TREES<br>1 CANOPY PER 50' LINEAR OF R.O.W. | 4        | 1   | 3         | 5         |
| LANDSCAPE BUFFER                                  |          |     | 25'       | 35'       |
| MINIMUM LANDSCAPE AREA 25% REQUIRED               |          |     | 12,096 SF | 19,817 SF |
| MINIMUM LOT AREA                                  |          |     | 10,000 SF | 48,383 SF |
| MINIMUM LOT WIDTH                                 |          |     | 60 LF     | 161 LF    |
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| MINIMUM SIDE SETBACK                              |          |     | 10 LF     | 10 LF     |
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| MAXIMUM FLOOR AREA RATIO                          |          |     | 4:1       | .009:1    |
| MAXIMUM IMPERVIOUS AREA                           |          |     | 85%       | 59%       |



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ARCHITECTS

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PHONE: 972-722-9302  
FAX: 972-249-2051

2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087

| No. | Date | Revision | By |
|-----|------|----------|----|
|     |      |          |    |

KWIK KAR  
ROCKWALL, TEXAS

LANDSCAPE PLAN

Scale: 1" = 20'-0"

Date: MM/DD/YEAR

Project No.: AAAAAA

Designed: GW

Drawn: GW

Checked: WM

SHEET  
L1 OF  
1