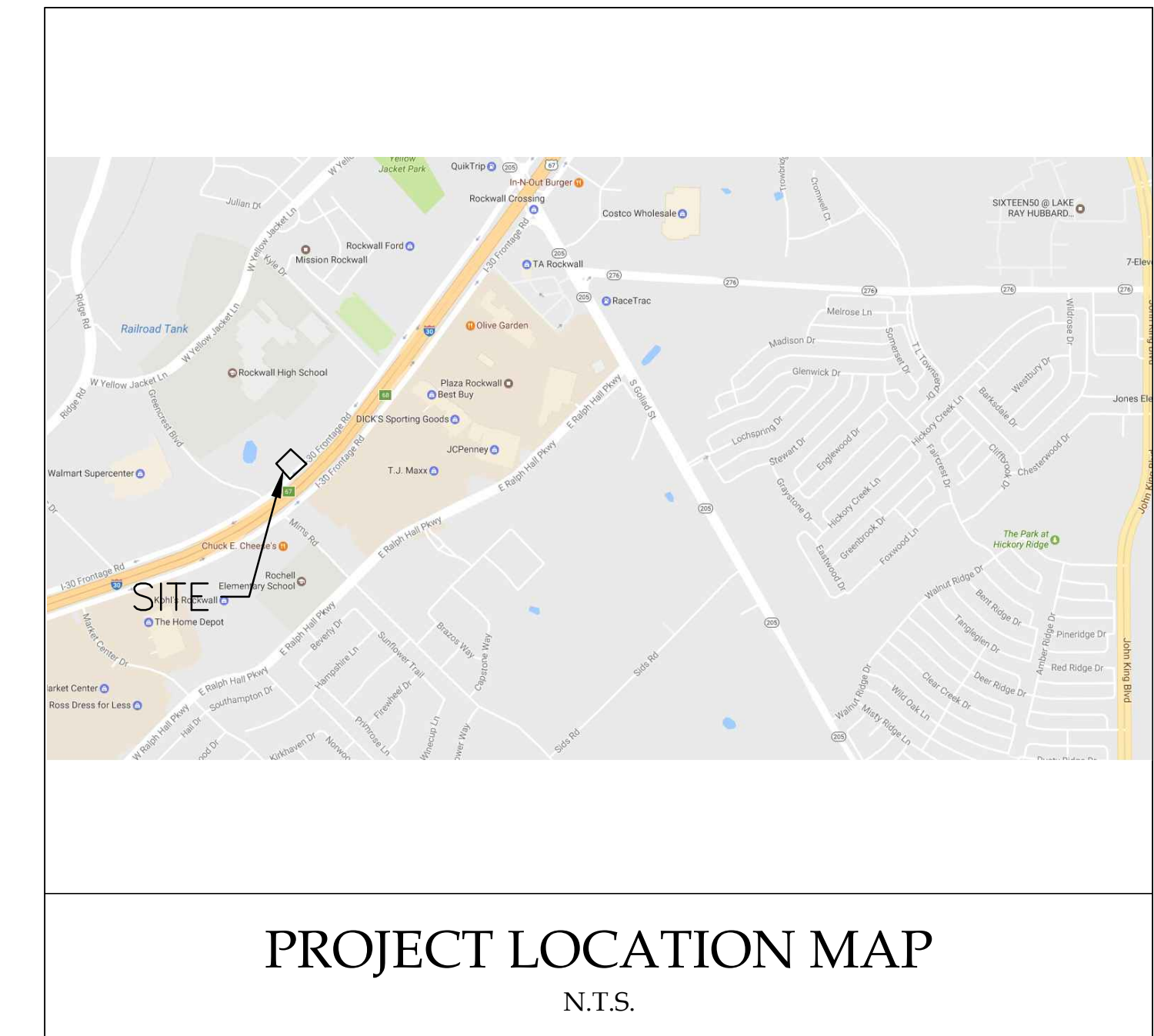


PROJECT SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD AREA AND IS LOCATED IN ZONE "X" AS SHOWN ON THE ABOVE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 48397C0040L WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

FLOOD INSURANCE RATE MAP
N.T.S.



PROPOSED BUILDING ADDITION
912 E INTERSTATE 30
ROCKWALL COUNTY
ROCKWALL, TEXAS
ZONING: COMMERCIAL



PROJECT LOCATION MAP
N.T.S.

SHEET INDEX:

- C0.0 COVER SHEET
- C1.0 DEMOLITION, SITE, AND GRADING PLAN
- C2.0 CONSTRUCTION DETAILS

ATTACHMENTS

- PH1.0 PHOTOMETRIC PLAN
- L1.0 LANDSCAPE PLAN, NOTES AND DETAILS

CONTACTS:

- | | | |
|--|--|--|
| PLANNING:
CITY OF ROCKWALL
ENGINEERING DEPARTMENT
385 S. GOLIAD STREET
ROCKWALL, TX 75087
CONTACT: AMY WILLIAMS,
ASSISTANT CITY ENGINEER
TEL: (972) 771-7746 | SAN. & STORM:
CITY OF ROCKWALL
ENGINEERING DEPARTMENT
385 S. GOLIAD STREET
ROCKWALL, TX 75087
CONTACT: AMY WILLIAMS,
ASSISTANT CITY ENGINEER
TEL: (972) 771-7746 | FIRE:
ROCKWALL FIRE DEPARTMENT
385 S. GOLIAD STREET
ROCKWALL, TX 75087
CONTACT: KEVIN CLARK,
FIRE MARSHAL
TEL: (972) 771-7770 |
| ELECTRIC:
TXU ENERGY
CONSTRUCTION AND BUILDER SERVICES
TEL: (800) 711-9112
CONSTRUCTIONSERVICES@TXU.COM | GAS:
ATMOS ENERGY
TEL: (877) 460-7067 | |

DEVELOPER:

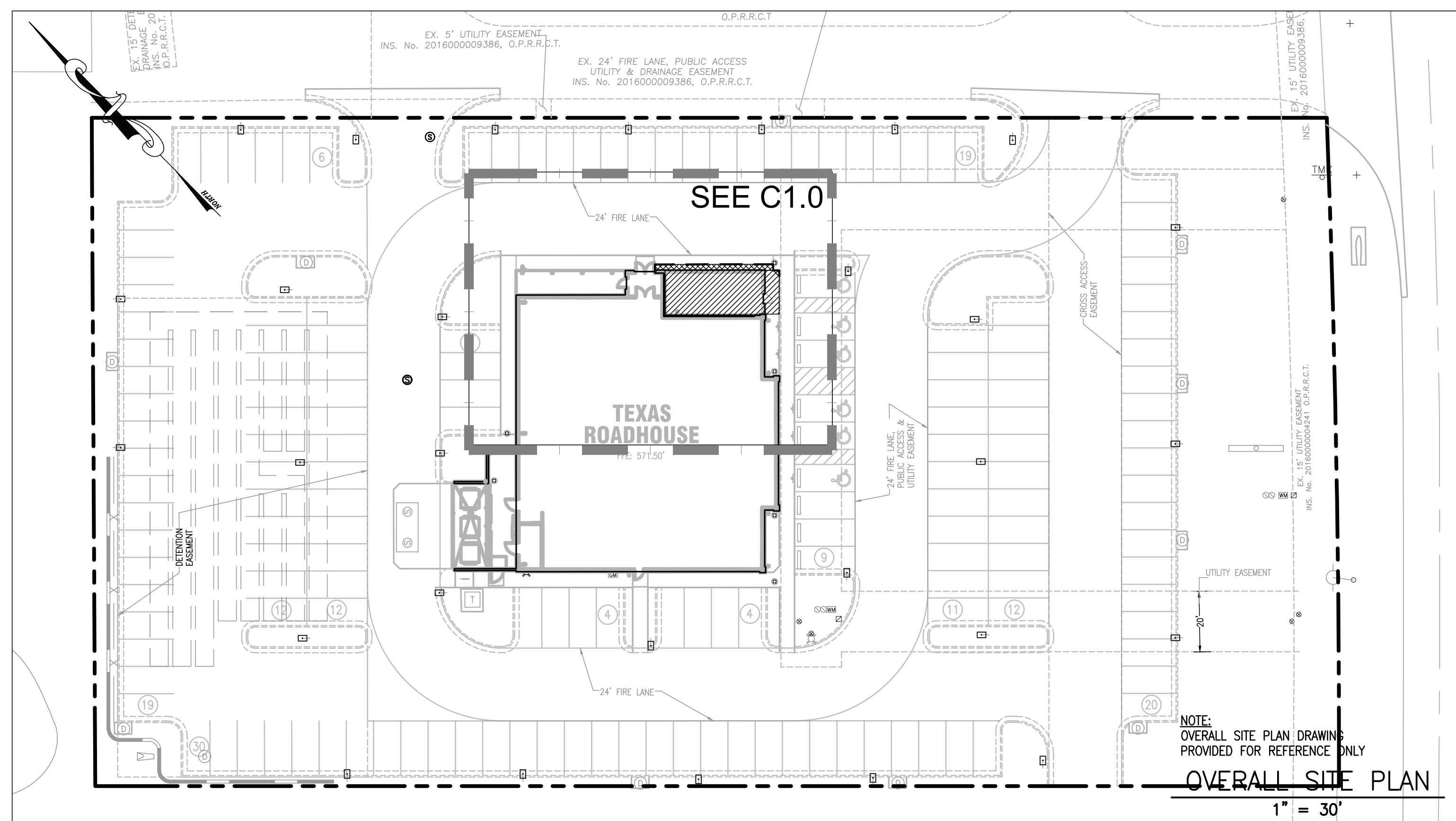
TEXAS ROADHOUSE
CONTACT: CAITLIN KINCAID
TEXAS ROADHOUSE HOLDINGS, LLC
6040 DUTCHMANS LANE, SUITE 400
LOUISVILLE, KENTUCKY 40205
EMAIL: CAITLIN.KINCAID@TEXASROADHOUSE.COM

ENGINEER:

GreenbergFarrow



CONTACT: MATTHEW H. BUDDE
21 S. EVERGREEN AVENUE, SUITE 200
ARLINGTON HEIGHTS, ILLINOIS 60005
TEL: (920) 843-9690
EMAIL: MBUDDE@GREENBERGFARROW.COM



PROJECT INFORMATION:

TEXAS ROADHOUSE SITE AREA:	±2.075 ACRES
ZONED:	C-COMMERCIAL
LAND USE:	RESTAURANT
EXISTING BUILDING AREA:	7,420 SQ. FT.
EXISTING SEATING CAPACITY:	281 SEATS
EXISTING BUILDING HEIGHT:	28'-10" (ONE STORY)
PROPOSED ADD. BUILDING AREA:	487 SQ. FT.
PROPOSED ADD. SEATING CAPACITY:	40 SEATS
TOTAL BUILDING AREA:	7,907 SQ. FT.
TOTAL SEATING CAPACITY:	321 SEATS
EXISTING PARKING REQUIRED:	75 STALLS
EXISTING PARKING PROVIDED:	162 STALLS (INCLUDING 6 ADA STALLS)
PROPOSED PARKING REQUIRED:	85 STALLS

- NOTES:
1. PARKING REQUIREMENTS ARE BASED ON 1 PARKING STALL FOR EVERY 4 SEATS.
 2. EXISTING PARKING COUNT IS SUFFICIENT FOR THE PROPOSED BUILDING ADDITION.

GENERAL DEMOLITION NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF EXISTING UTILITY SERVICES AND SITE FEATURES NOT NOTED FOR REMOVAL.
- CONTRACTOR SHALL CONTACT STATE ONE CALL SYSTEM (811) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION IS ACHIEVED.
- THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC AND CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
- THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE ORIGINAL CIVIL ENGINEERING PLANS PROVIDED TO THE ENGINEER FOR DESIGN. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY REQUIRE REMOVAL FOR THE PROPOSED SITE IMPROVEMENTS BUT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL EXISTING SANITARY SEWERS, STORM SEWERS, WATER MAINS OR IRRIGATION LINES AND APPURTENANCES NOTED FOR REMOVAL WITHIN THE AREA OF THE PROPOSED CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. ALL ABANDONED SEWER LINES SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET LONG NON-SHRINK CONCRETE MORTAR PLUGS.
- VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDINGS, PAVEMENTS, OR WALKS OR WITHIN 24" THEREOF SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT.
- ALL EXISTING LANDSCAPING NOTED TO BE REMOVED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR.
- PRIOR TO REMOVAL OF ANY PORTION OF THE EXISTING IRRIGATION SYSTEM AFFECTED BY THE PROPOSED BUILDING ADDITION CONTRACTOR SHALL LOCATE AND CAP THE EXISTING IRRIGATION LINES AT THE PROJECT AREA LIMITS. THE REMAINDER OF THE EXISTING SYSTEM SHALL REMAIN OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IF FOR ANY REASON THE SYSTEM WILL NOT BE OPERATIONAL CONTRACTOR SHALL UTILIZE CARE TO ENSURE EXISTING PLANT MATERIAL IS ADEQUATELY WATERED DURING DRY PERIODS OR TIMES OF EXTENDED HEAT.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.

DEMOLITION LEGEND:

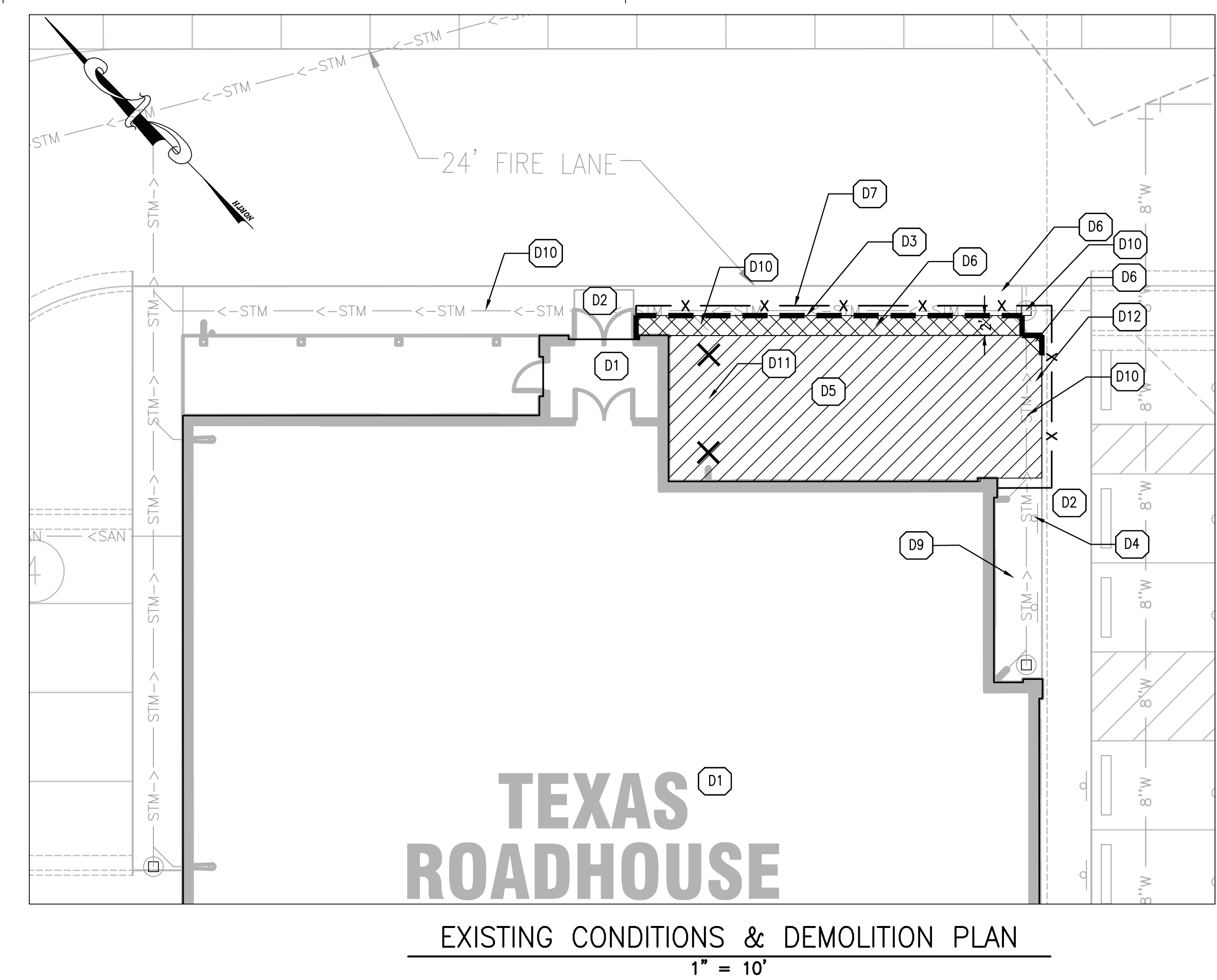
- EXISTING LANDSCAPING TO BE REMOVED
- EXISTING CONCRETE SIDEWALK TO BE REMOVED
- PROPOSED CONSTRUCTION / SILT FENCE
- SAWCUT LINE
- EXISTING STORM SEWER LINE TO BE REMOVED

DEMOLITION KEY NOTES:

- D1 EXISTING TEXAS ROADHOUSE BUILDING TO REMAIN
- D2 EXISTING CONCRETE SIDEWALK TO REMAIN
- D3 SAW CUT EXISTING CONCRETE PAVEMENT
- D4 EXISTING ADA PARKING SIGN TO REMAIN
- D5 EXISTING LANDSCAPING TO BE REMOVED AS NEEDED FOR CONSTRUCTION OF PROPOSED BUILDING ADDITION. LANDSCAPING STONES SHALL BE REPLACED IN AREAS DISTURBED DURING CONSTRUCTION OPERATIONS.
- D6 EXISTING CONCRETE SIDEWALK TO BE REMOVED
- D7 PROPOSED CONSTRUCTION / SILT FENCE (SEE DETAIL)
- D9 EXISTING LANDSCAPING TO REMAIN. REPLACE ANY ITEMS DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS.
- D10 EXISTING STORM SEWER TO REMAIN
- D11 EXISTING STORM SEWER TO BE REMOVED
- D12 EXISTING ADA PARKING SIGN TO BE REMOVED

EXISTING CONDITIONS REFERENCE NOTE:

- EXISTING CONDITIONS SHOWN REPRESENTS SITE CONDITIONS PER:
- TEXAS ROADHOUSE CONSTRUCTION PLANS PREPARED BY GREENBERGFARROW INC. (PROJECT #20151281.0) AND LAST REVISED NOVEMBER 20, 2017.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE IMPROVEMENTS AND UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY PLAN DISCREPANCIES OR OMISSIONS.



GENERAL SITE AND GRADING NOTES:

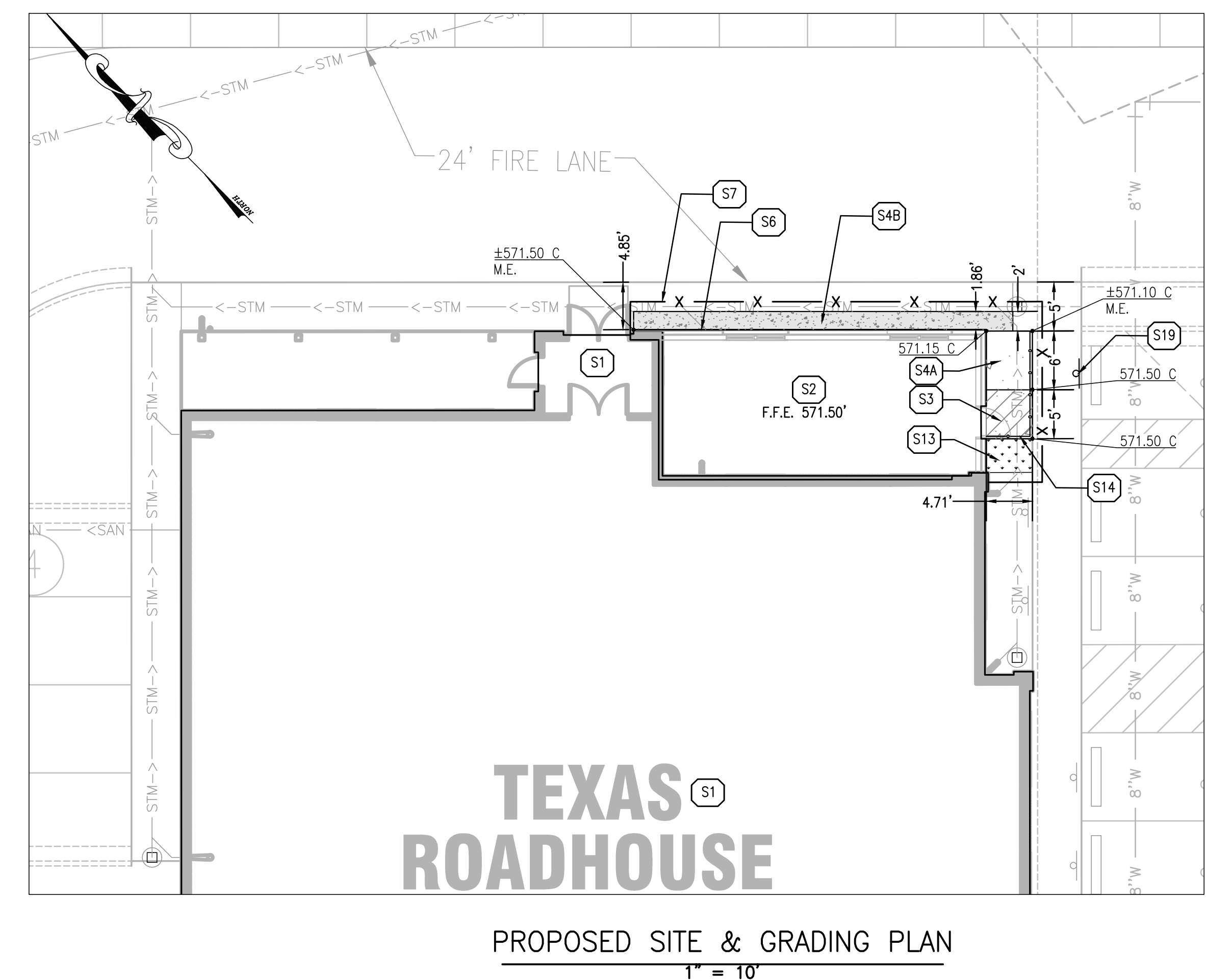
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER, UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
- ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- ALL GRADING AND SITE PREPARATION WORK SHALL CONFORM WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT. MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO EXISTING AND/OR PROPOSED STORM DRAINAGE STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE ORIGINAL CIVIL ENGINEERING PLANS PROVIDED TO THE ENGINEER. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE STATE ONE CALL SYSTEM (811) AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.

SITE AND GRADING LEGEND:

- PROPOSED CONCRETE LANDING
6" PORTLAND CEMENT CONCRETE WITH 6X6 W2.9XW2.9 WWF
4" AGGREGATE BASE
(SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION)
 - PROPOSED CONCRETE SIDEWALK
3000 PSI MIN, 5.5 SACK MIN
5" PORTLAND CEMENT CONCRETE
6" AGGREGATE BASE
 - PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK
3000 PSI MIN, 5.5 SACK MIN
5" PORTLAND CEMENT CONCRETE
6" AGGREGATE BASE
 - PROPOSED LANDSCAPE AREA
(SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
 - PROPOSED CONSTRUCTION / SILT FENCE
 - PROPOSED SPOT ELEVATION
- FFE: FINISHED FLOOR ELEVATION
 TC: TOP OF CURB ELEVATION
 FL: CURB FLOWLINE ELEVATION
 C: TOP OF CONCRETE ELEVATION
 P: TOP OF PAVEMENT ELEVATION
 FG: FINISHED GRADE ELEVATION
 ME: MATCH EXISTING ELEVATION

SITE AND UTILITY KEY NOTES:

- S1 EXISTING TEXAS ROADHOUSE BUILDING TO REMAIN
- S2 PROPOSED BUILDING ADDITION (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS). CONTRACTOR SHALL FIELD VERIFY EXISTING BUILDING FINISHED FLOOR ELEVATION (FFE) AND MATCH ELEVATION WITH PROPOSED ADDITION
- S3 PROPOSED 6" CONCRETE LANDING (SEE STRUCTURAL PLANS)
- S4A PROPOSED CONCRETE SIDEWALK TO MATCH EXISTING (SEE DETAIL)
- S4B PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK TO MATCH EXISTING (SEE DETAIL)
- S6 PROPOSED BUILDING ROOF DRAIN LOCATION (CONTRACTOR SHALL COORDINATE EXACT DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS) CONNECT TO EXISTING PRIVATE DOWNSPOUT LEADER (SEE DETAIL)
- S7 PROPOSED CONSTRUCTION / SILT FENCE (SEE DETAIL)
- S13 PROPOSED LANDSCAPE AREA
- S14 PROPOSED RAILING - SEE DETAIL
- S19 PROPOSED ACCESSIBLE PARKING SIGN PER LOCAL CODE



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ISSUE/REVISION RECORD

DATE	DESCRIPTION
08/02/19	PERMIT SET

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
KERI WILLIAMS, P.E.
 PROFESSIONAL ENGINEER
 LICENSE NO. 127846

PROJECT MANAGER
 MATTHEW H. BUDDÉ

QUALITY CONTROL
 MITCH HEFFERNAN

DRAWN BY
 MATTHEW H. BUDDÉ

PROJECT NAME
TEXAS ROADHOUSE

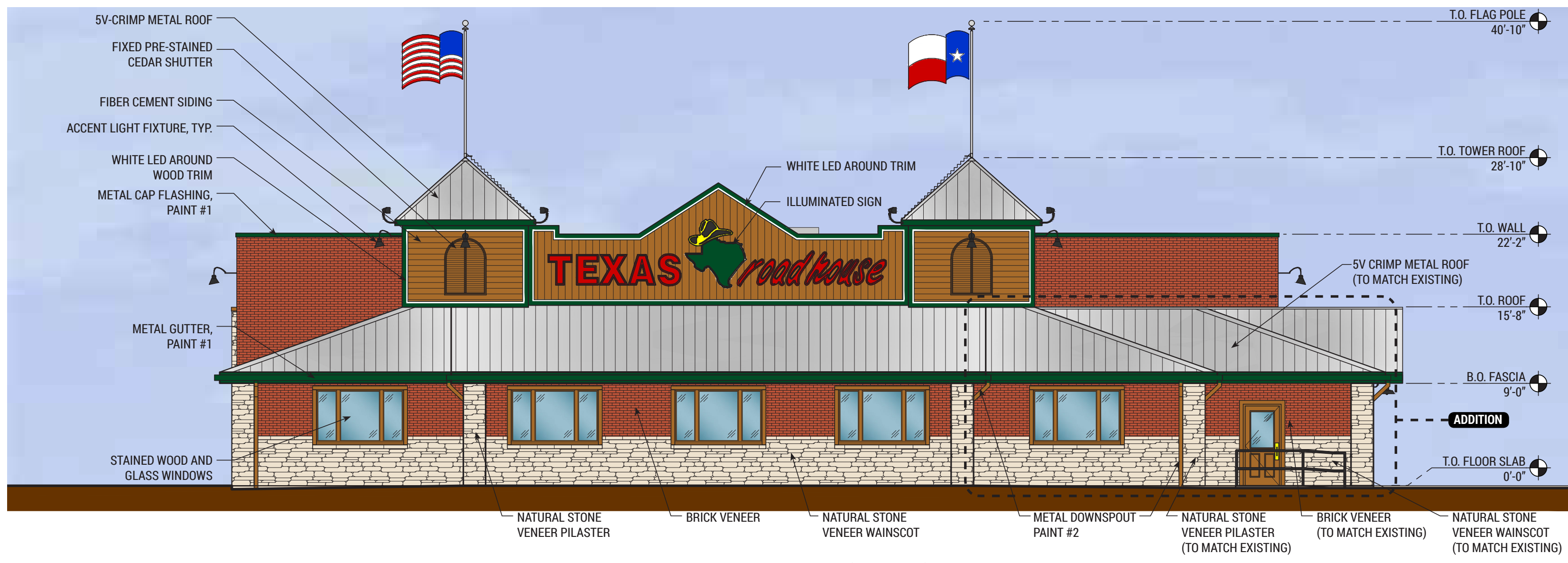
ROCKWALL TEXAS
 912 E INTERSTATE 30



PROJECT NUMBER
 20190680.0

SHEET TITLE
DEMOLITION, SITE, AND GRADING PLAN

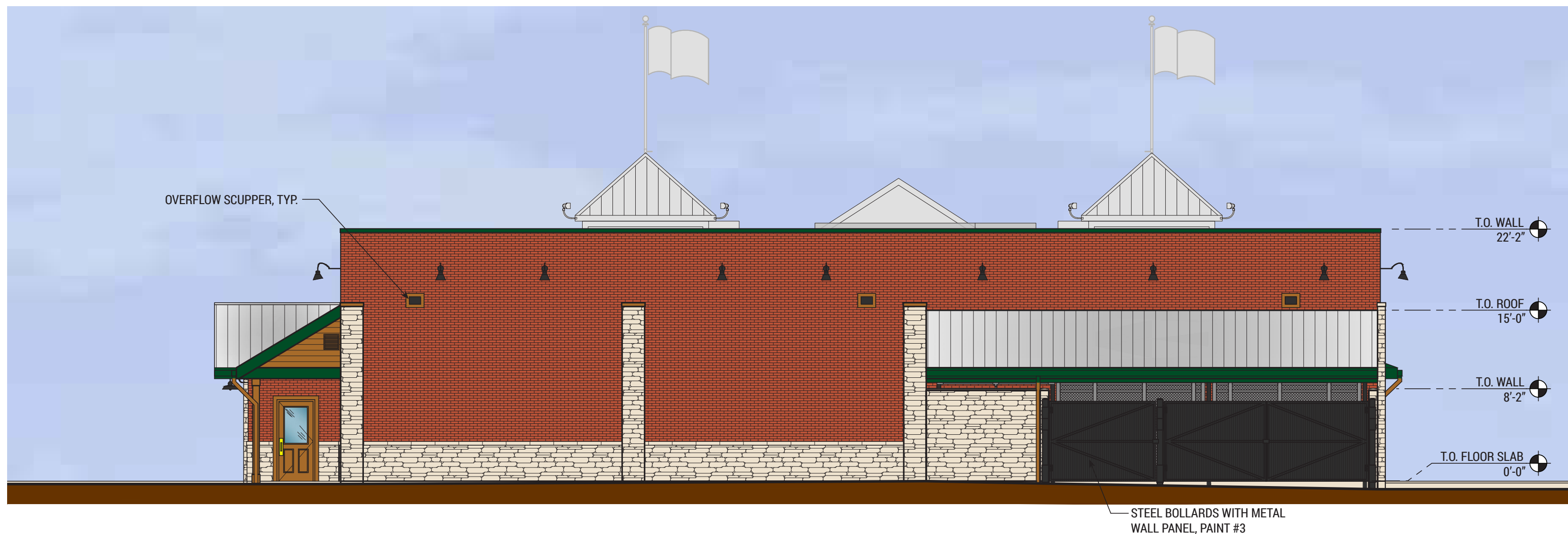
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C1.0



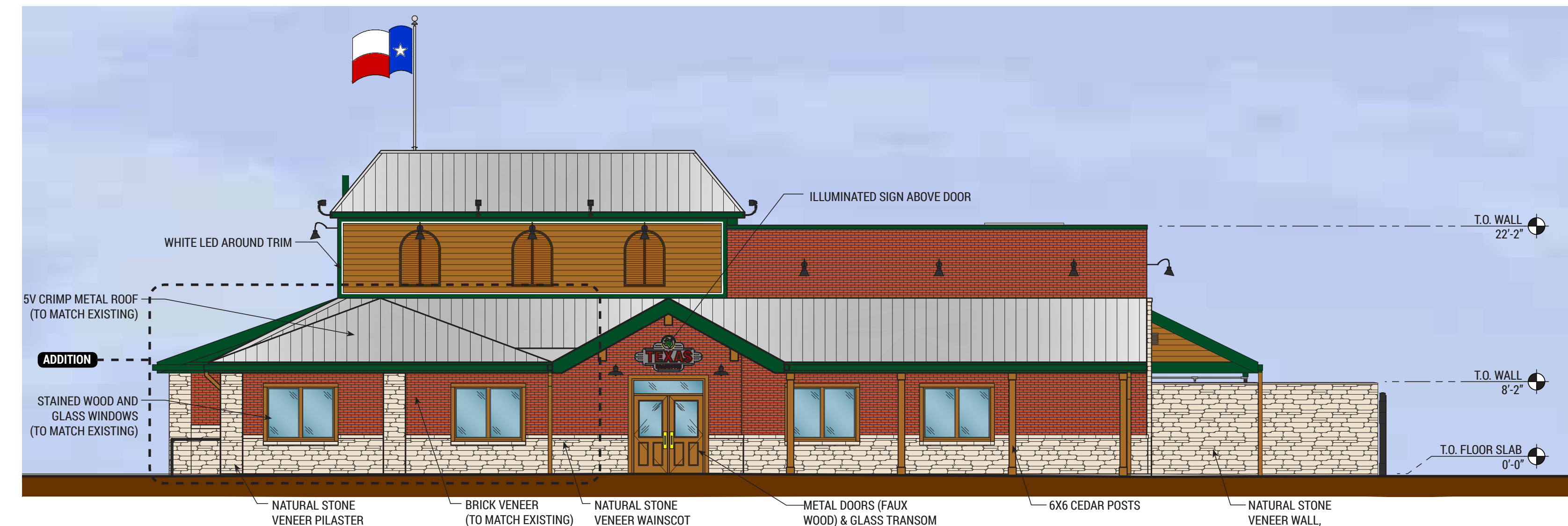
FRONT ELEVATION (SOUTH)



LEFT ELEVATION (WEST)



REAR ELEVATION (NORTH)



RIGHT ELEVATION (EAST)

EXTERIOR FINISH SCHEDULE	
TRIM & WOOD SHUTTERS	PRE-STAINED CEDAR, HENRY POOR LUMBER CEDARTONE TWP #1501 STAIN FORMULA
FIBER CEMENT SIDING	ALLURA LAP SIDING, RUSTIC CEDAR; COLOR: MAPLE VERTICAL PANEL, RUSTIC 8" O.C. GROOVE; COLOR: MAPLE
FRONT ENTRANCE DOORS	METAL DOORS (FAUX WOOD) STEELCRAFT "GRAIN-TECH" (MAPLE FINISH)
TRIM, METAL FLASHING & GUTTERS	PAINT #1: SHERWIN WILLIAMS PAINTS, GREEN
DOWNSPOUTS	PAINT #2: SHERWIN WILLIAMS PAINTS, #2195 "ROADSIDE" FINISH COLOR TO MATCH PRE-STAINED CEDAR
METAL DOORS & FRAMES, DUMPSTER GATES & BOLLARDS, RAILING	PAINT #3: SHERWIN WILLIAMS PAINTS, GLOSS BLACK
BRICK VENEER	CLAYMEX OLD DENVER
BRICK VENEER (ALTERNATE)	GENERAL SHALE PHOENIX C652
NATURAL STONE VENEER	NATURAL STONE VENEERS INTERNATIONAL, INC. TRADITIONAL COLLECTION, FAIRMONT
METAL ROOF	METAL SALES 5V-CRIMP, GALVALUME

DISCLAIMER NOTE:
THE COLORS DEPICTED ON THESE ELEVATIONS ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY.
PLEASE REFER TO MATERIAL BOARD FOR ACTUAL SAMPLE OF COLORS AND TEXTURES

