

LEGEND

- (X) PARKING COUNT
- [Pattern] LANDSCAPE AREA (REF: LANDSCAPE PLAN)
- [Pattern] CONCRETE SIDEWALK
- [Pattern] CONCRETE PAVEMENT
- [Pattern] RIGHT-OF-WAY DEDICATION

GENERAL NOTES:

- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
- ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

FEMA NOTE

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'A' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A'. AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

DEVELOPER

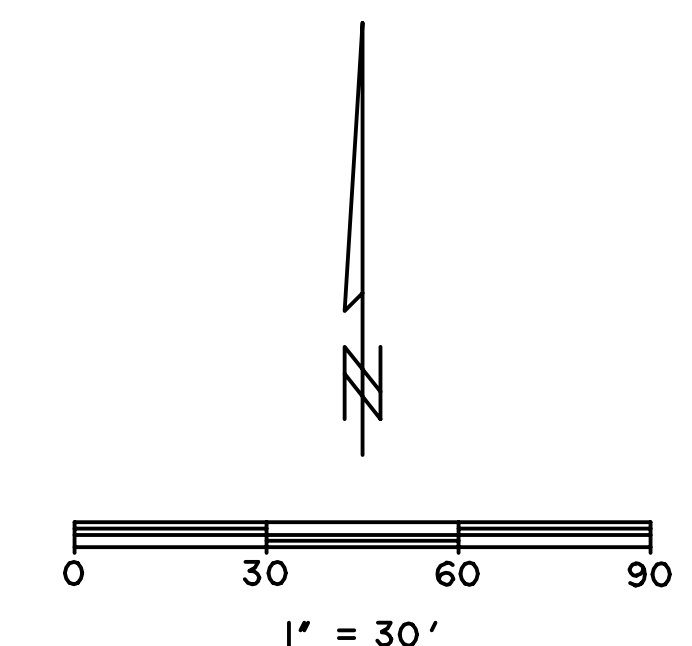
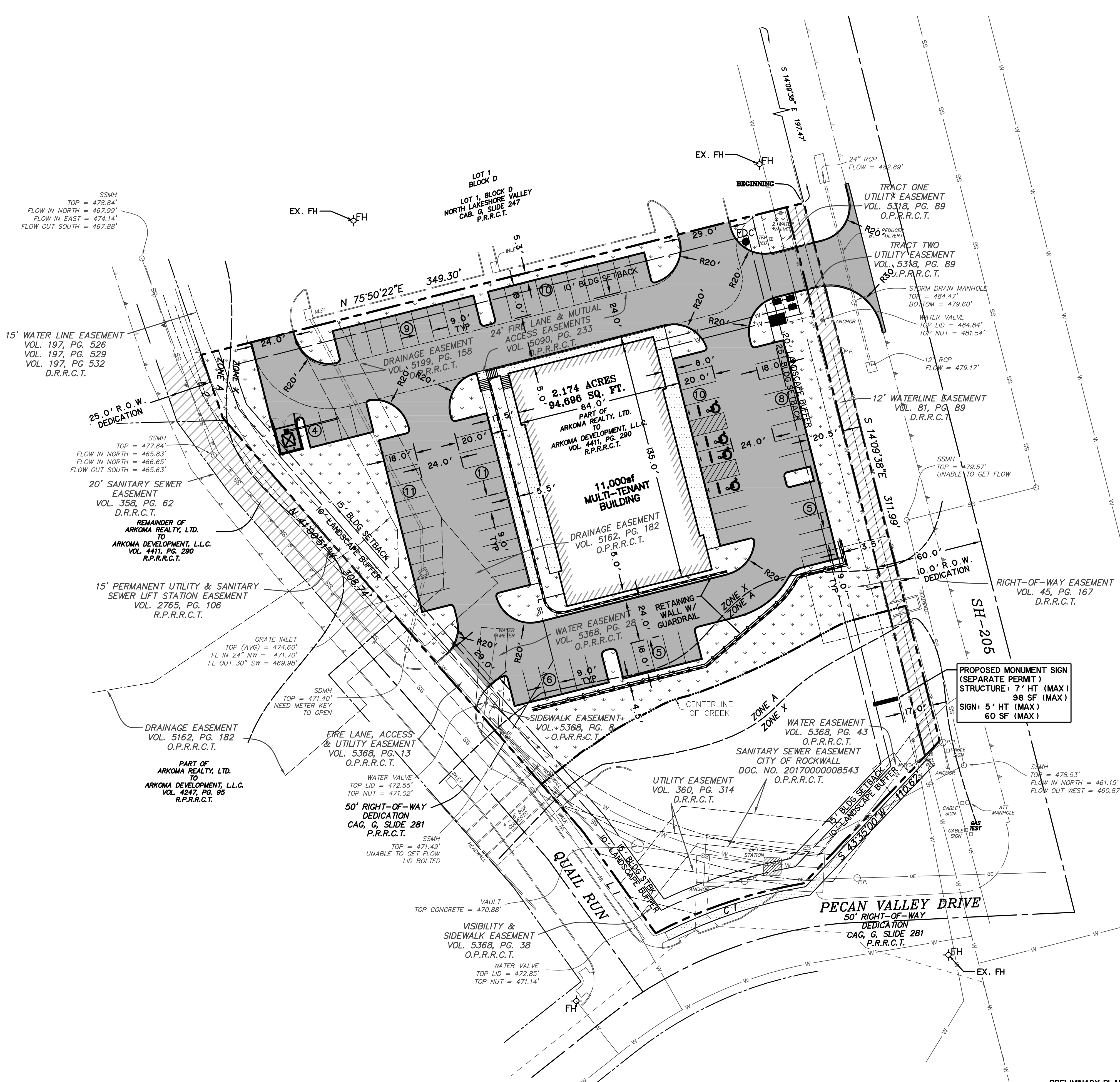
GRAND CENTRAL CROSSING, LLC
 CONTACT: CHAD DUBOSE
 8350 N CENTRAL EXPWY, STE I300
 DALLAS, TEXAS 75206
 PHONE: (214) 891-3215
 FAX: (214) 891-3203
 CHAD@JTEVANS.COM

ENGINEER

WIER & ASSOCIATES
 CONTACT: JAKE FEARS, P.E.
 2201 E. LAMAR BLVD., SUITE #200E
 ARLINGTON, TX 76006
 PHONE: (817) 467-7700
 FAX: (817) 467-7713
 JAKEF@WIERASSOCIATES.COM

Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W



SITE DATA CHART	
ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	MIXED-USE (COMMERCIAL)
LOT AREA	NORTH (ARTIFICIAL): 2.174± AC (94,696 SF) SOUTH (ARTIFICIAL): 1.682± AC (73,271 SF) TOTAL: 0.492± AC (21,425 SF)
BUILDING AREA	RETAIL: 8,000 SF RESTAURANT: 3,000 SF TOTAL: 11,000 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 15' QUAIL RUN RD: 15' INTERNAL: 10'
PARKING REQ'D	8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 = 30 TOTAL = 62
ACCESSIBLE PARKING PROVIDED	4
TOTAL PARKING PROVIDED	79
BUILDING/LOT COVERAGE	15.0%
LANDSCAPE AREA	22,807 SF
LANDSCAPE COVERAGE	31.1%

**SITE PLAN
 MIXED-USE DEVELOPMENT
 3005 N. GOLIAD ST
 ROCKWALL, TEXAS**

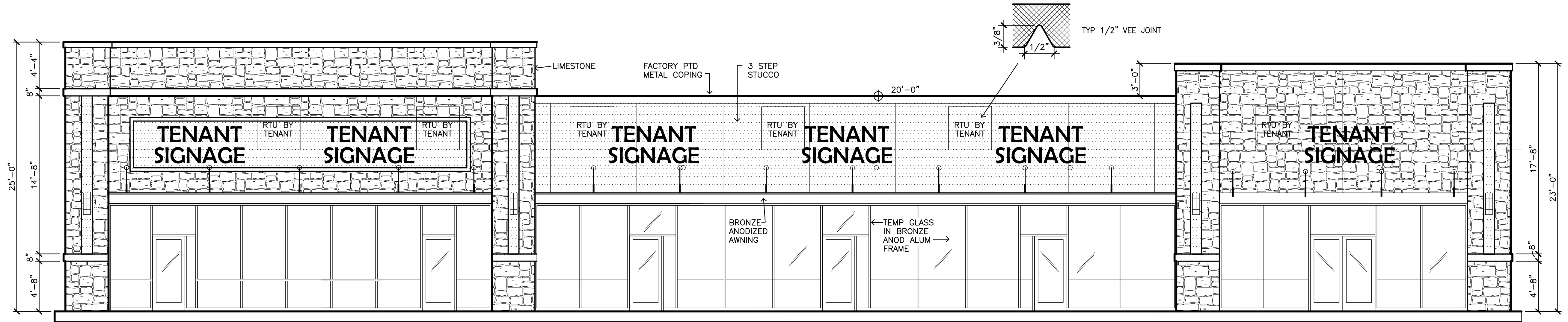
ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

July 1, 2019

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS

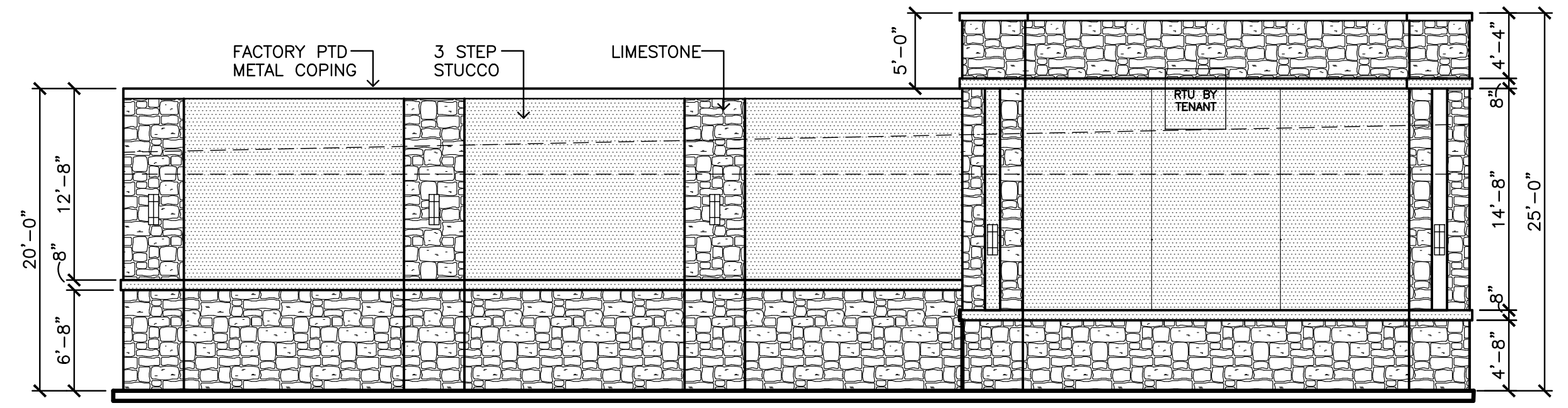
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION. BIDDING OR PERMIT PURPOSES. Prepared By/Or Under Direct Supervision Of Jacob H. Fears, PE Texas Registration No. 99376 On Date Shown Below.



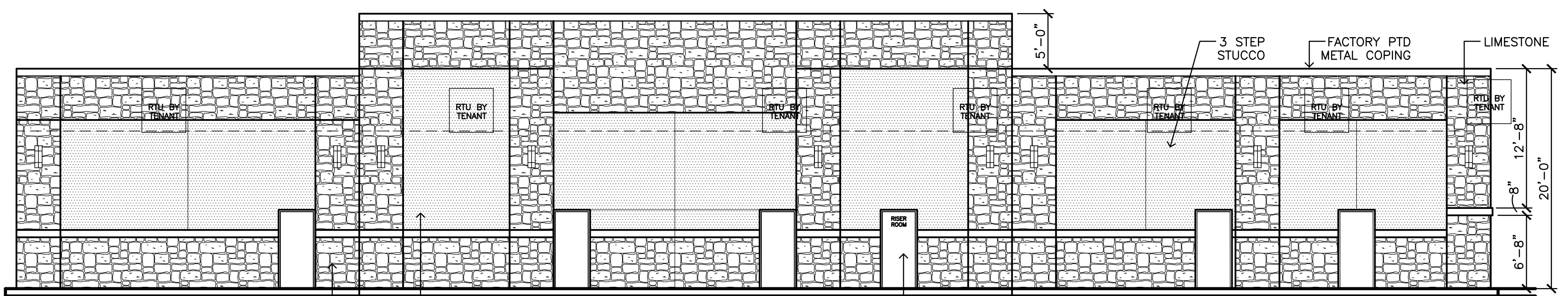
1 east elevation
 scale: 3/16" = 1'-0"

EAST FACADE: 1,503 SF (NO WINDOWS & DOORS)
 STONE: 859 SF, 57%
 3 STEP STUCCO: 644 SF, 43%



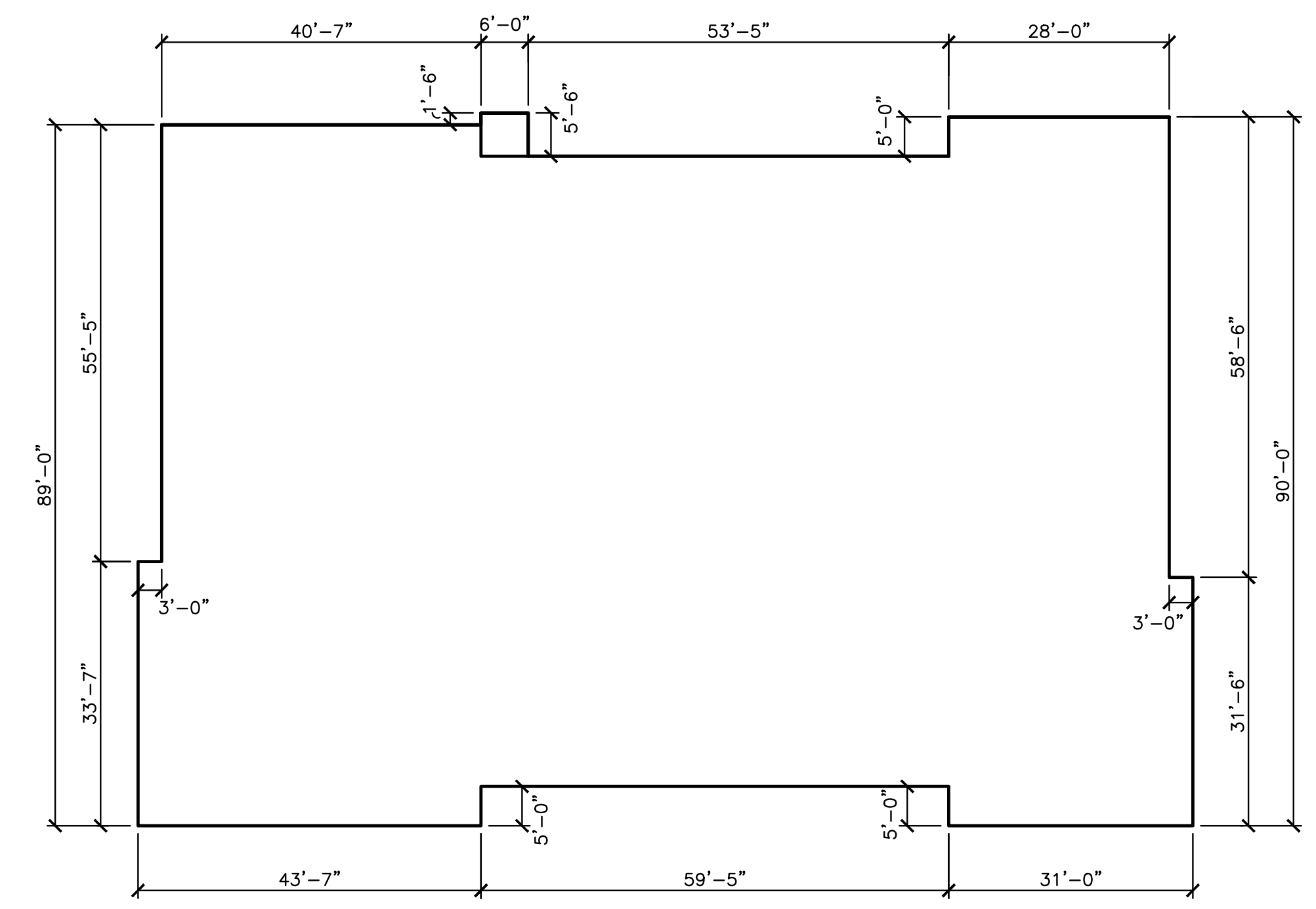
2 south elevation
 scale: 7/8" = 1'-0"

SOUTH FACADE: 1,930 SF
 STONE: 1,034 SF, 53%
 3 STEP STUCCO: 896 SF, 47%

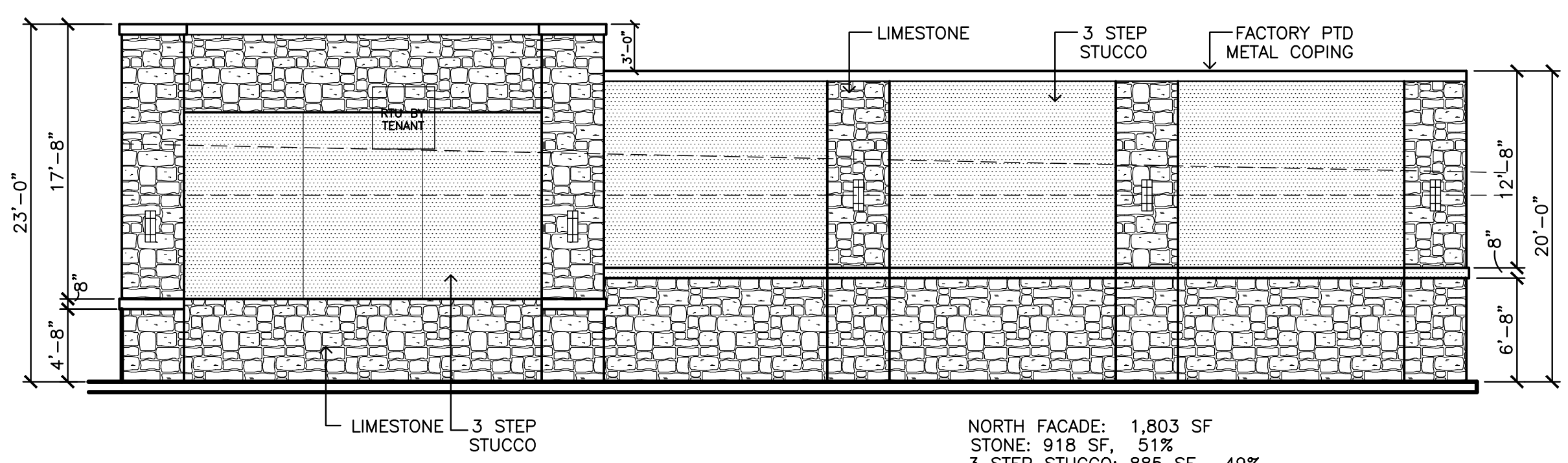


3 west elevation
 scale: 1/8" = 1'-0"

WEST FACADE: 2,949 SF
 STONE: 1,598 SF, 54%
 3 STEP STUCCO: 1,460 SF, 46%



5 articulation floor plan
 scale: 3/32" = 1'-0"



4 north elevation
 scale: 1/8" = 1'-0"

NORTH FACADE: 1,803 SF
 STONE: 918 SF, 51%
 3 STEP STUCCO: 885 SF, 49%

EXTERIOR MATERIAL SELECTIONS
 LIMESTONE
 STUCCO: SW "VIRTUAL TAUPE" 7039
 STOREFRONT AND AWNINGS: BRONZE ANODIZED ALUMINUM

Owner:
 DA ENNIS 45 PARTNERS LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 Ridge Road
 Rockwall, Texas

Scale: as noted
 Issue For:
 Site plan submittal 6-6-19
 Site plan REVISIONS 7-1-19

Sheet Number:
A1
 Exterior Elev's



wireless
store RETAIL

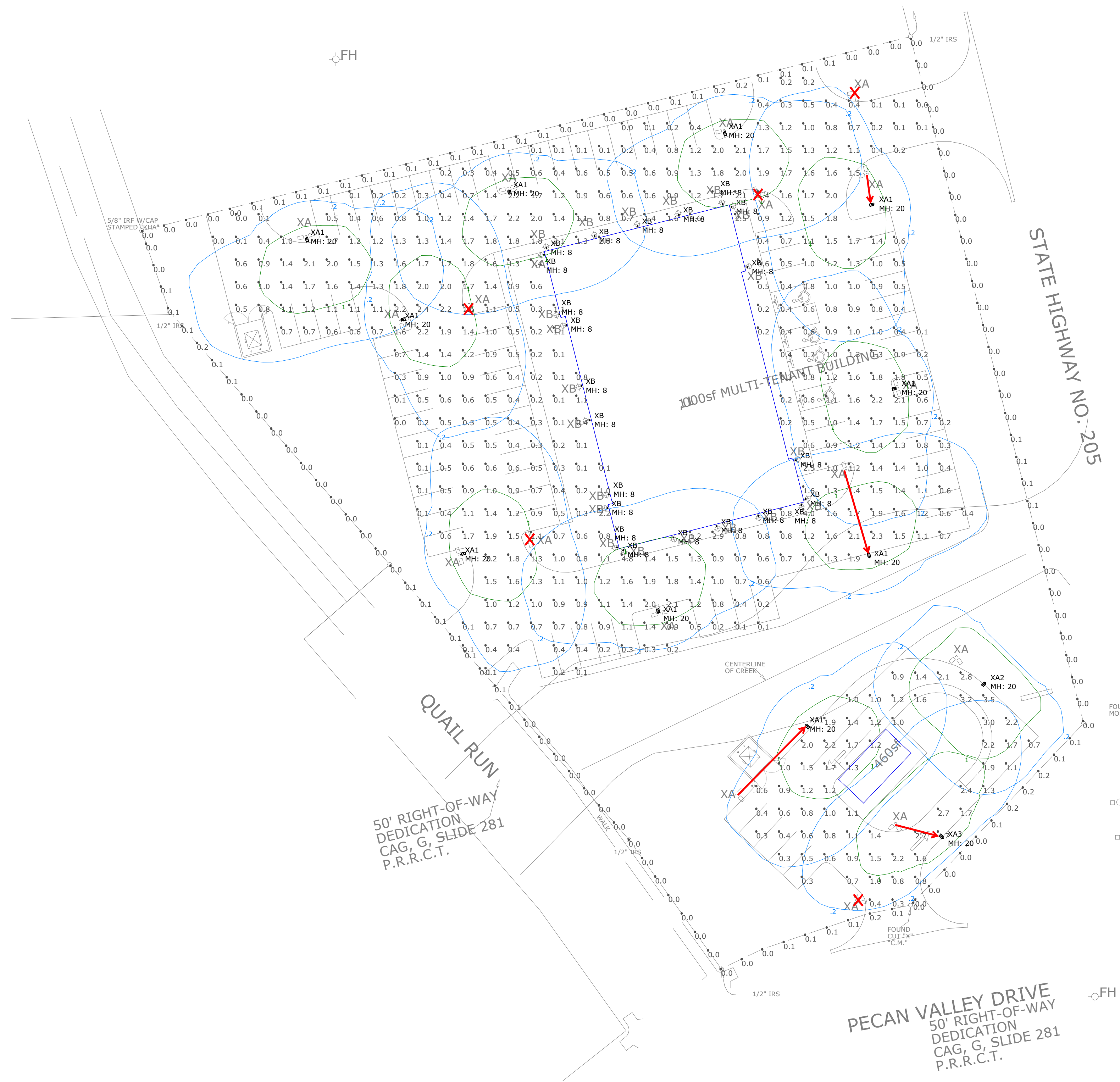
DONUTS

DENTAL

RESTAURANT

CD

STUDIO DESIGN



Calculation Summary						
Calculation Grid Location	Calc. Height (ft.)	Units	Avg	Max	Min	Avg/Min
MAIN PARKING	0	Fc	1.0	4.8	0.0	N.A.
PROPERTY LINE	N.A.	Fc	0.1	0.2	0.0	N.A.
SOUTH PARKING	0	Fc	1.3	3.5	0.0	N.A.

Luminaire Schedule							
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Loss Factor	User Defined Factor
XA1	10	10	LITHONIA DSX0 LED P3 40K T4M MVOLT [MOUNTING] HS [FINISH]	6417	71	0.800	1.000
XA2	1	1	LITHONIA DSX0 LED P3 40K T55 MVOLT [MOUNTING] HS [FINISH]	7283	71	0.800	1.000
XA3	1	1	LITHONIA DSX0 LED P3 40K BLC MVOLT [MOUNTING] [FINISH]	6925	71	0.800	1.000
XB	22	22	LITHONIA OLLWD LED P1 40K MVOLT [FINISH]	264	8.6	0.800	1.000

- Notes:
1. Surface reflectances: Vertical/Horizontal - 50/20.
 2. Calculation values are as height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH."
 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

