

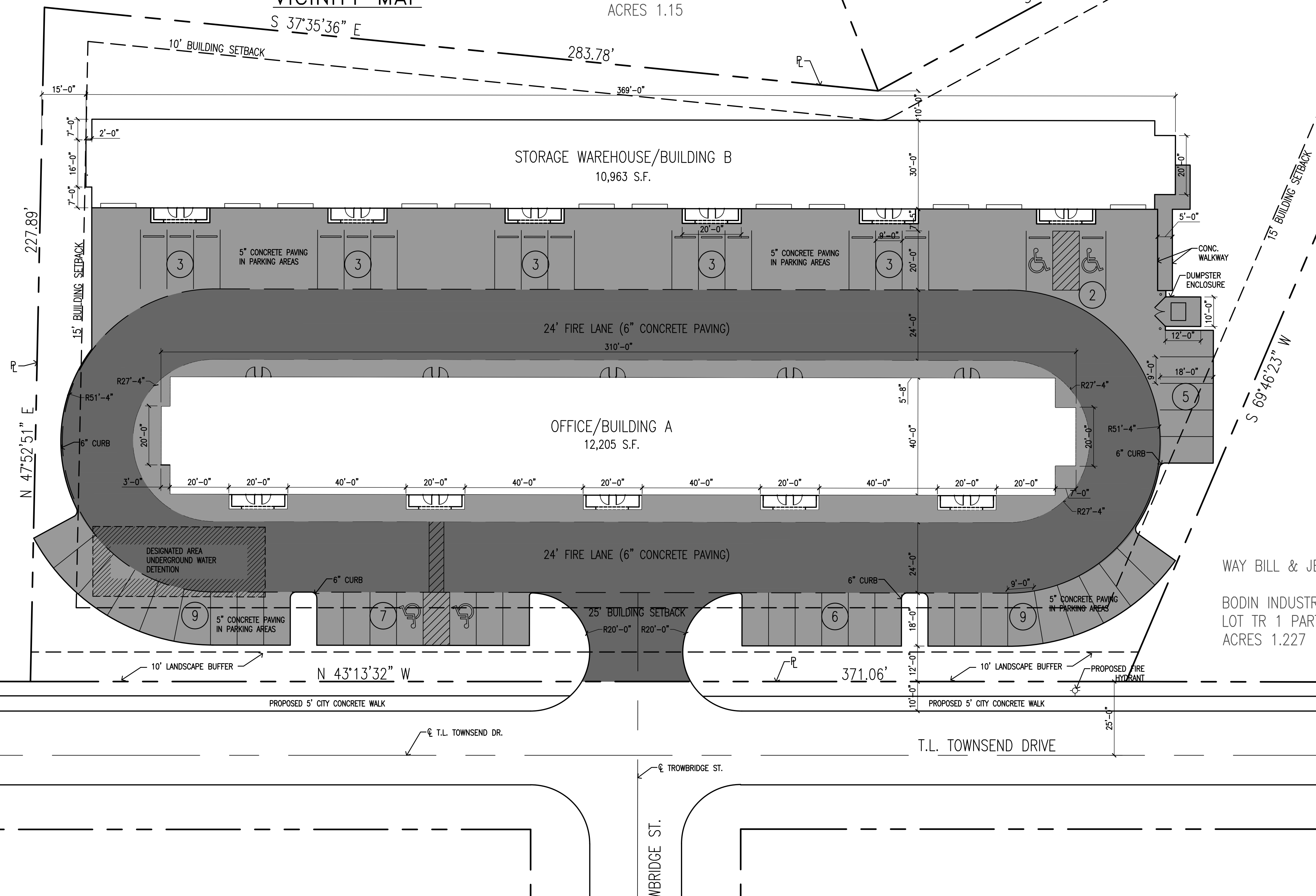
VICINITY MAP

PROJECT LOCATION

BODIN CONCRETE LP
 BODIN INDUSTRIAL TRACT, BLOCK A, LOT 5
 ACRES 1.15

OWENS REAL ESTATE INVESTMENTS LLC

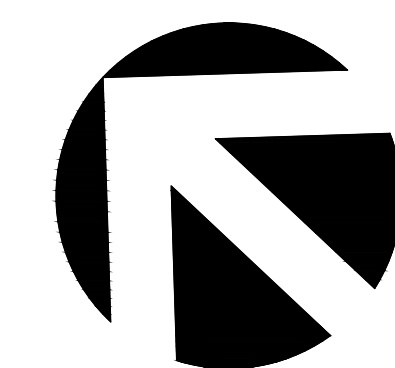
BODIN INDUSTRIAL TRACT LOT 1-GO
 ACRES 1



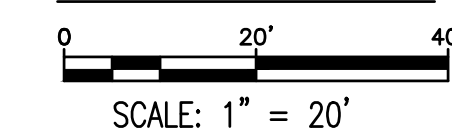
SITE SUMMARY		
DESCRIPTION	AREA	LOT PERCENTAGE
LOT	2.21 S.F.	100 %
IMPERVIOUS		
BLDG. A / OFFICE TOTAL AREA	12,139 S.F.	12.6%
BLDG. B / WAREHOUSE TOTAL AREA	10,900 S.F.	11.3 %
PAVEMENT AREA	41,897 S.F.	43.5 %
PERVIOUS		
LANDSCAPE AREA	33,331 S.F.	32.5 %
SIDEWALK AREA	0	0.0 %
MAX. BUILDING HEIGHT PROPOSED	22 FT	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	12,139 S.F.	42
WAREHOUSE (1:1000 S.F.)	10,800 S.F.	11
PARKING PROVIDED		53

REDI MIX LLC
 BODIN INDUSTRIAL TRACT, LOT TR 2-A PT & 1A PT
 ACRES 2.841

WAY BILL & JERRY
 BODIN INDUSTRIAL TRACT LOT TR 1 PART
 ACRES 1.227



SITE PLAN



OWNER:
 PLATINUM CONSTRUCTION
 CONTACT: ANNALYSE VALK
 1450 T.L. Townsend Rd
 Site 100
 Rockwall, TX 75032
 (972) 722-2590

ARCHITECT:
 RAMSAY & REYES, LLC
 CONTACT: STEVEN REYES
 2235 Ridge Rd.
 Rockwall, TX 75087
 (972)345-1684



RAMSAY & REYES
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



NO.	REVISIONS	DATE

PROJECT NAME AND ADDRESS:
PLATINUM BUSINESS PARK II
 1491 T.L. TOWNSEND
 ROCKWALL, TX 75087
 BODIN INDUSTRIAL SUBDIVISION

PROJECT No.	17031
DRAWN BY	S.R.
CHECKED BY	R.R.
DATE	6/5/2019
SCALE	1" = 20'
SHEET NO.	2 of 10

DRAWING NAME:
SITE PLAN

DRAWING NO.
S-1

CASE NO. SP2019-018



RAMSAY & REYES
 ARCHITECTURE - MANAGEMENT
 2335 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



NO.	REVISIONS	DATE

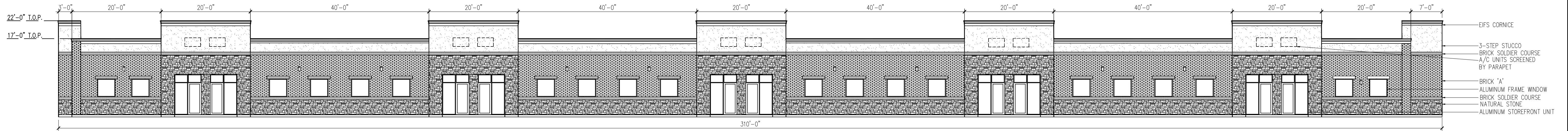
PLATINUM BUSINESS PARK II
 1491 T.L. TOWNSEND
 ROCKWALL, TX 75087
 BODIN INDUSTRIAL SUBDIVISION

PROJECT No.	17031
DRAWN BY	S.R.
CHECKED BY	R.R.
DATE	6/5/2019
SCALE	AS SHOWN
SHEET NO.	3 of 10

BLDG. A ELEVATION

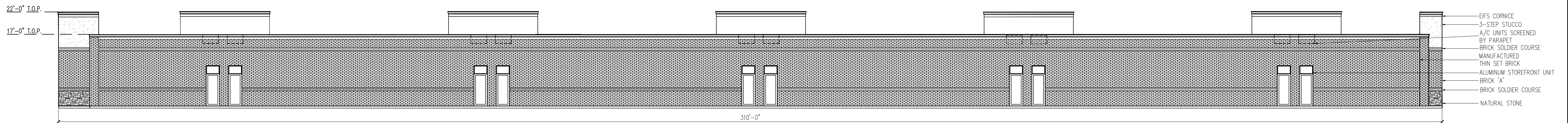
A-1
 CASE NO. SP2019-018

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		5,565	
DOORS & WINDOWS (DEDUCTED)		920	
ACCOUNTABLE AREA		4,645	100%
MASONRY (BRICK 'A')		2,022	43%
STONE		1,390	30%
MASONRY (3-STEP STUCCO)		882	19%
EIFS (MOLDING)		351	8%



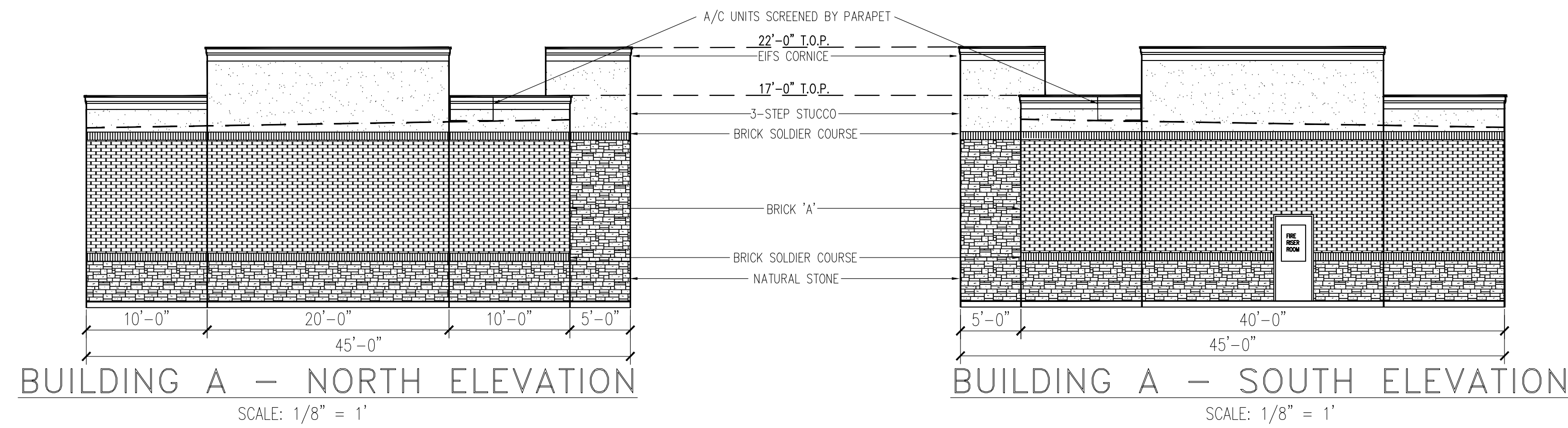
BUILDING A - WEST ELEVATION (FACES T.L. TOWNSEND)
 SCALE: 3/32" = 1'

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		5,036	
DOORS & WINDOWS (DEDUCTED)		300	
ACCOUNTABLE AREA		4,736	100%
MASONRY (BRICK 'A')		83	2%
MFR THIN SET BRICK (BRICK 'B')		4,174	88%
STONE		45	1%
MASONRY (3-STEP STUCCO)		85	2%
EIFS (MOLDING)		351	7%



BUILDING A - EAST ELEVATION
 SCALE: 3/32" = 1'

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		971	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		971	100%
MASONRY (BRICK 'A')		480	49%
STONE		216	23%
MASONRY (3-STEP STUCCO)		213	22%
EIFS (MOLDING)		62	6%



BUILDING A - NORTH ELEVATION
 SCALE: 1/8" = 1'

BUILDING A - SOUTH ELEVATION
 SCALE: 1/8" = 1'

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		971	
DOORS & WINDOWS (DEDUCTED)		21	
ACCOUNTABLE AREA		950	100%
MASONRY (BRICK 'A')		478	50%
STONE		205	21%
MASONRY (3-STEP STUCCO)		211	22%
EIFS (MOLDING)		56	7%

DESCRIPTION	AREA	LOT PERCENTAGE
LOT	2.21 S.F.	100 %
IMPERVIOUS		
BLDG. A / OFFICE TOTAL AREA	12,139 S.F.	12.6%
BLDG. B / WAREHOUSE TOTAL AREA	10,900 S.F.	11.3 %
PAVEMENT AREA	41,897 S.F.	43.5 %
PERVIOUS		
LANDSCAPE AREA	33,331 S.F.	32.5 %
SIDEWALK AREA	0	0.0 %
MAX. BUILDING HEIGHT PROPOSED	22 FT	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	12,139 S.F.	42
WAREHOUSE (1:1000 S.F.)	10,800 S.F.	11
PARKING PROVIDED		53



RAMSAY & REYES
 ARCHITECTURE - MANAGEMENT
 2335 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087

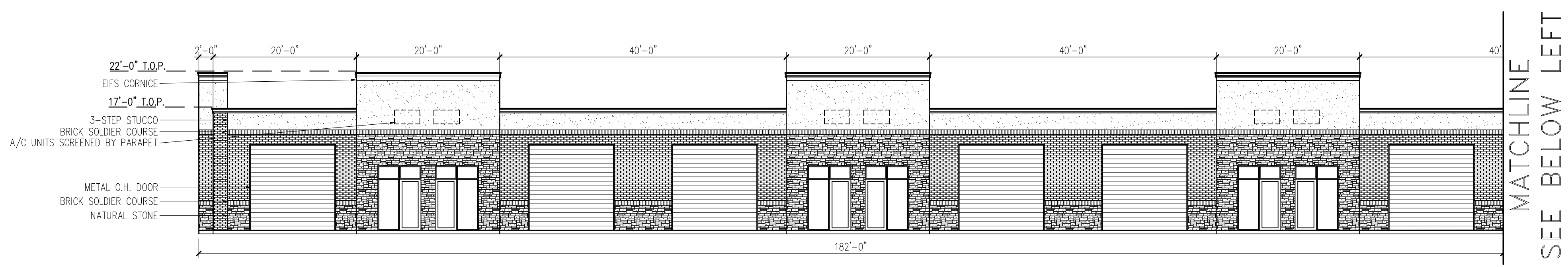


PLATINUM BUSINESS PARK II
 1491 T.L. TOWNSEND
 ROCKWALL, TX 75087
 BODIN INDUSTRIAL SUBDIVISION

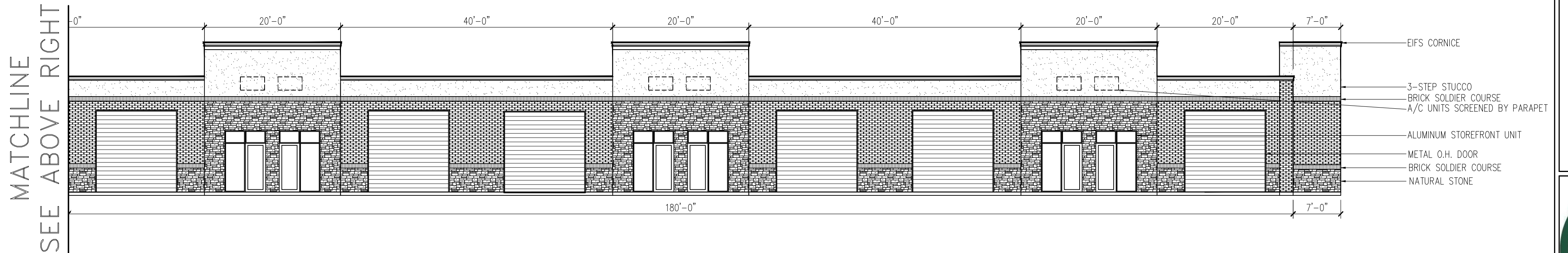
PROJECT No. 17031
 DRAWN BY S.R.
 CHECKED BY R.R.
 DATE 6/5/2019
 SCALE AS SHOWN
 SHEET NO. 4 of 10

DRAWING NAME:
BLDG. B ELEVATION

DRAWING NO.
A-2
 CASE NO. SP2019-018

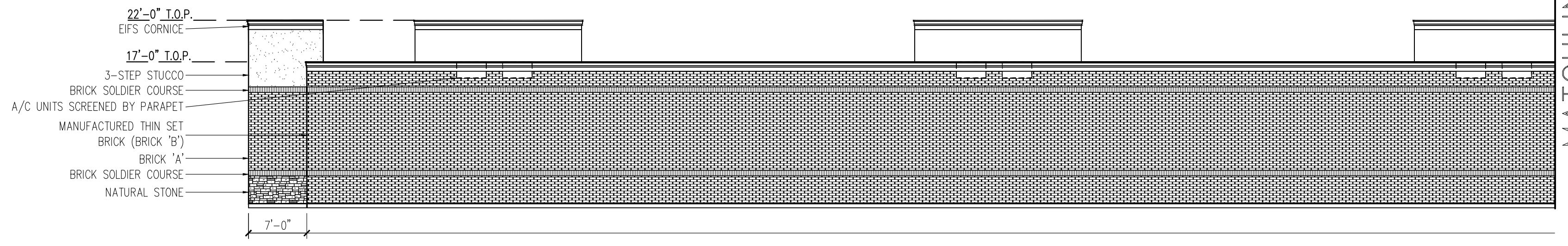


MATERIAL USAGE (%) - BLDG B WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		6,732	
DOORS & WINDOWS (DEDUCTED)		2,376	
ACCOUNTABLE AREA		4,356	100%
MASONRY (BRICK 'A')		1,487	34%
STONE		1,304	30%
MASONRY (3-STEP STUCCO)		1,158	27%
EIFS (MOLDING)		407	9%

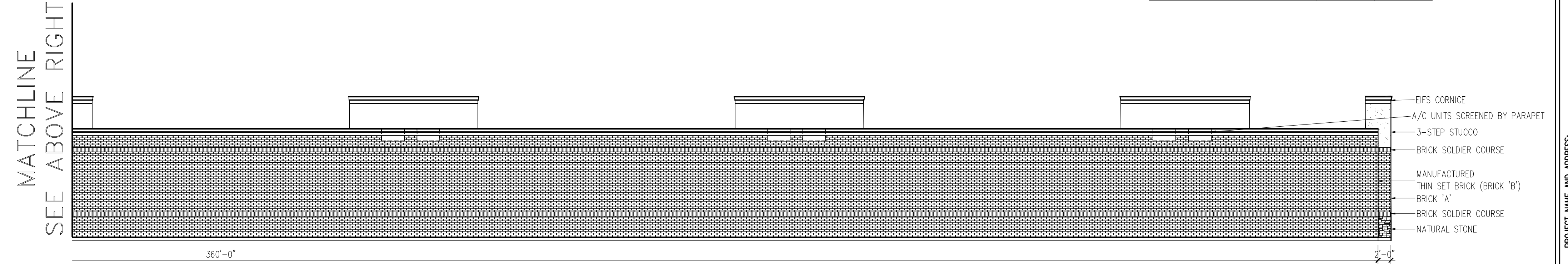


BUILDING B - WEST ELEVATION (FACING REAR OF BLDG. A)
 SCALE: 3/32" = 1'

SITE SUMMARY		
DESCRIPTION	AREA	PERCENTAGE
LOT	2.21 S.F.	100 %
IMPERVIOUS		
BLDG. A / OFFICE TOTAL AREA	12,139 S.F.	12.6%
BLDG. B / WAREHOUSE TOTAL AREA	10,900 S.F.	11.3 %
PAVEMENT AREA	41,897 S.F.	43.5 %
PERVIOUS		
LANDSCAPE AREA	33,331 S.F.	32.5 %
SIDEWALK AREA	0	0.0 %
MAX. BUILDING HEIGHT PROPOSED	22 FT	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	12,139 S.F.	42
WAREHOUSE (1:1000 S.F.)	10,800 S.F.	11
PARKING PROVIDED		53

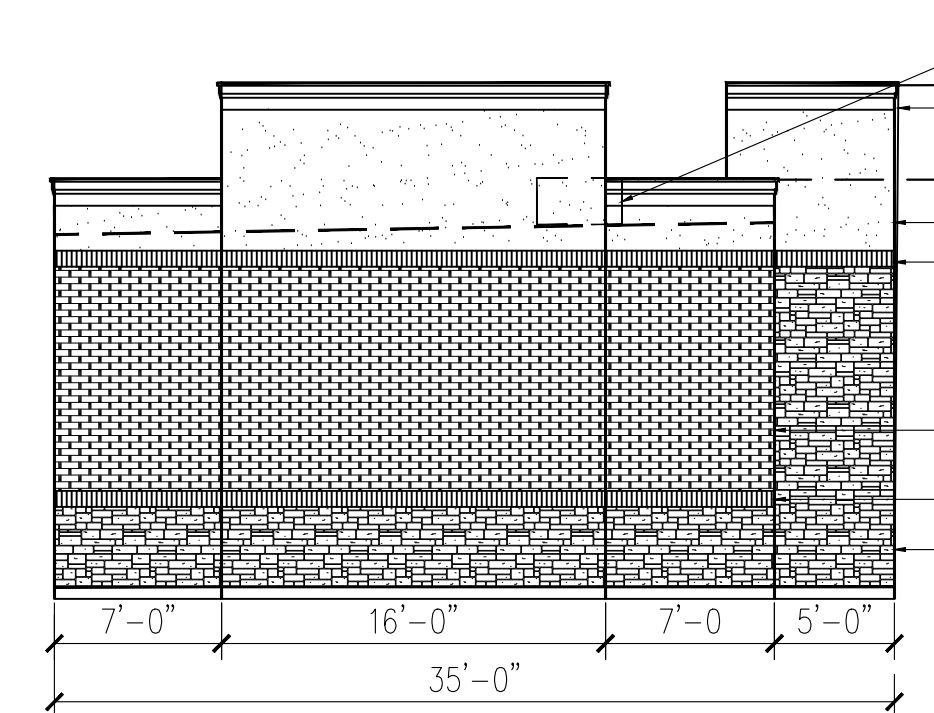


MATERIAL USAGE (%) - BLDG B. EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		6,732	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		6,732	100%
MASONRY (BRICK 'A')		6,252	93%
MFR THIN SET BRICK (BRICK 'B')		23	0.3%
STONE		407	6%
EIFS (MOLDING)		50	0.7%

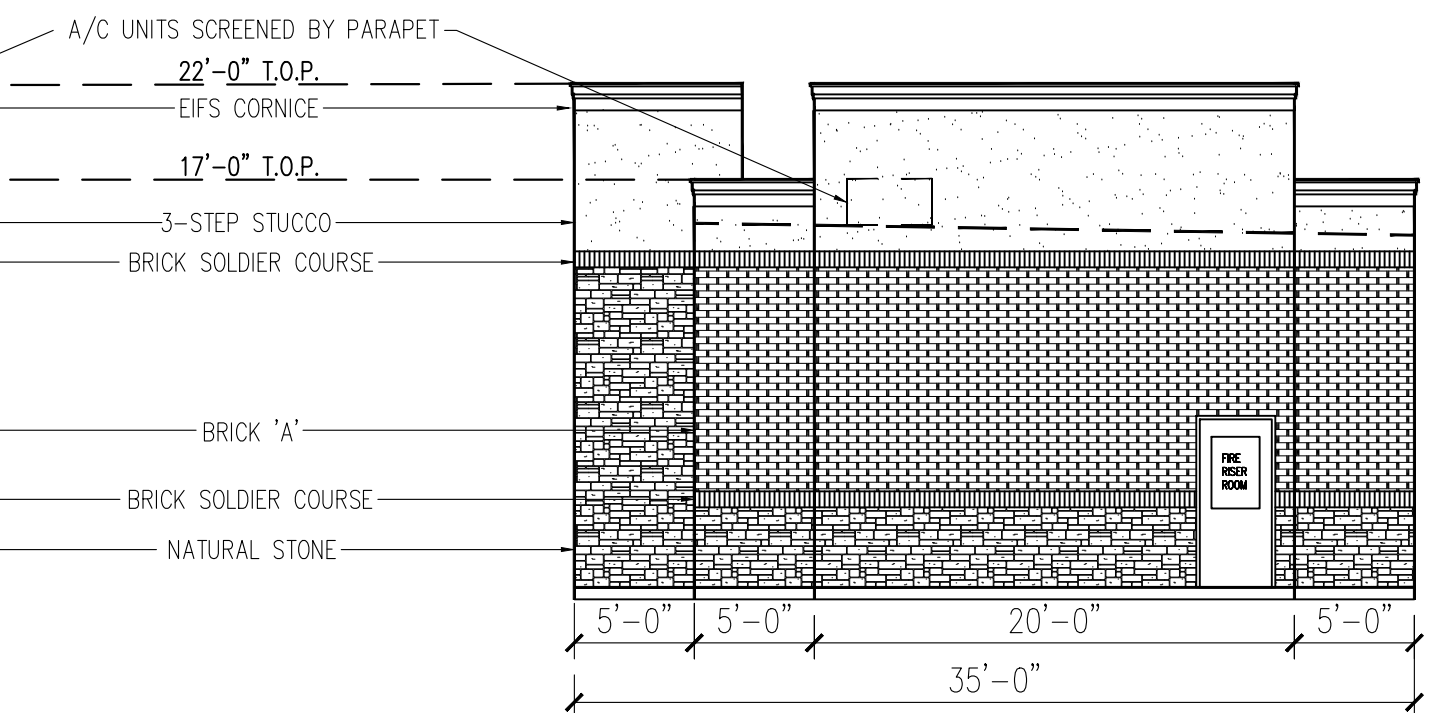


BUILDING B - EAST ELEVATION
 SCALE: 3/32" = 1'

MATERIAL USAGE (%) - BLDG B. NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		680	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		680	100%
STONE		166	24%
MASONRY (3-STEP STUCCO)		182	28%
MASONRY (BRICK 'A')		287	42%
EIFS (MOLDING)		39	6%



BUILDING B - NORTH ELEVATION
 SCALE: 1/8" = 1'



BUILDING B - SOUTH ELEVATION
 SCALE: 1/8" = 1'

MATERIAL USAGE (%) - BLDG B. SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		693	
DOORS & WINDOWS (DEDUCTED)		21	
ACCOUNTABLE AREA		672	100%
STONE		156	23%
MASONRY (3-STEP STUCCO)		167	25%
MASONRY (BRICK 'A')		310	46%
EIFS (MOLDING)		39	6%



RAMSAY & REYES
 ARCHITECTURE - MANAGEMENT
 2335 RIDGE RD, STE. 200
 ROCKWALL, TEXAS 75087



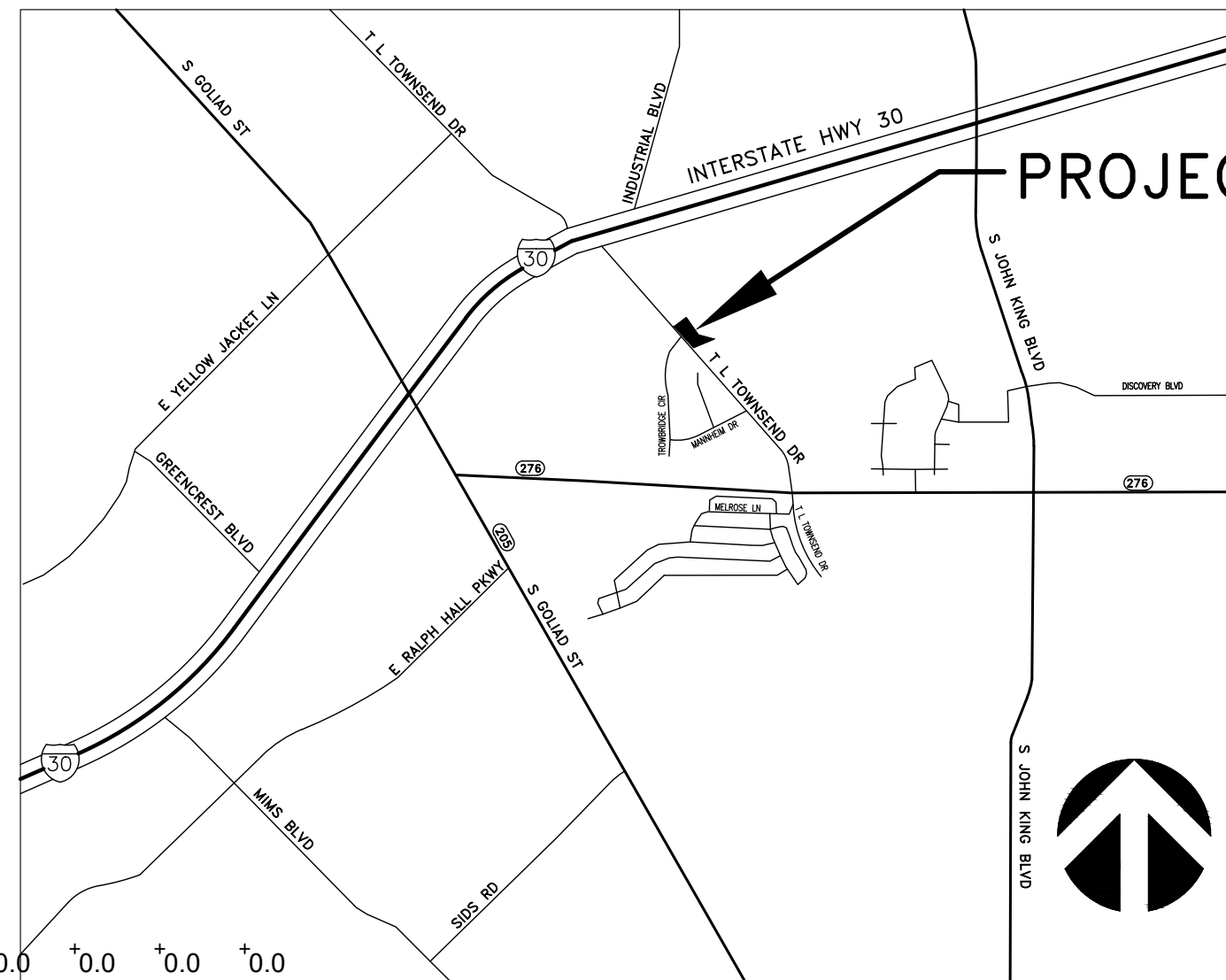
NO.	REVISIONS	DATE

PROJECT NAME AND ADDRESS:
PLATINUM BUSINESS PARK II
 1491 T.L. TOWNSEND
 ROCKWALL, TX 75087
 BODIN INDUSTRIAL SUBDIVISION

PROJECT NO.	17031
DRAWN BY	S.R.
CHECKED BY	R.R.
DATE	6/5/2019
SCALE	1" = 20'
SHEET NO.	6 of 10

DRAWING NAME:
PHOTOMETRIC SITE PLAN

DRAWING NO.
E-1
 CASE NO. SP2019-018

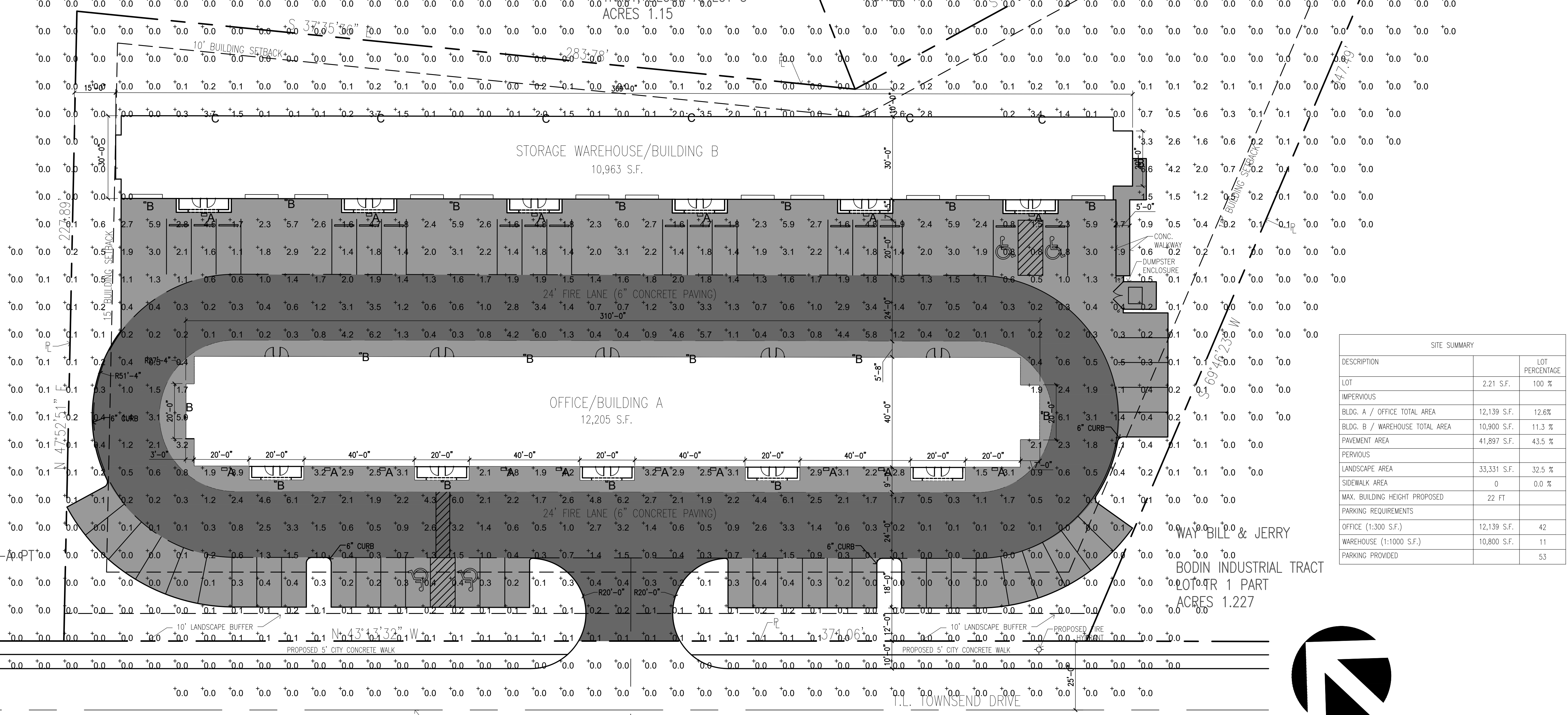


PROJECT LOCATION

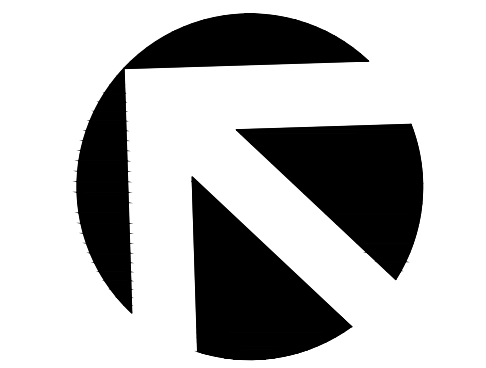
VICINITY MAP

BODIN CONCRETE LP
 BODIN INDUSTRIAL TRACT, BLOCK A, LOT 5
 ACRES 1.15

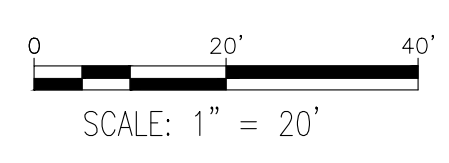
OWENS REAL ESTATE INVESTMENTS LLC
 BODIN INDUSTRIAL TRACT LOT 1-6
 ACRES 1.00



SITE SUMMARY		
DESCRIPTION	AREA	LOT PERCENTAGE
LOT	2,21 S.F.	100 %
IMPERVIOUS		
BLDG. A / OFFICE TOTAL AREA	12,139 S.F.	12.6%
BLDG. B / WAREHOUSE TOTAL AREA	10,900 S.F.	11.3 %
PAVEMENT AREA	41,897 S.F.	43.5 %
PERVIOUS		
LANDSCAPE AREA	33,331 S.F.	32.5 %
SIDEWALK AREA	0	0.0 %
MAX. BUILDING HEIGHT PROPOSED	22 FT	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	12,139 S.F.	42
WAREHOUSE (1:1000 S.F.)	10,800 S.F.	11
PARKING PROVIDED		53



PHOTOMETRIC SITE PLAN



REDI MIX LLC
 BODIN INDUSTRIAL TRACT, LOT TR 2-4
 & 1A PT
 ACRES 2.841

WAY BILL & JERRY
 BODIN INDUSTRIAL TRACT
 LOT 4R 1 PART
 ACRES 1.227

ROWBRIDGE ST.

T.L. TOWNSEND DRIVE



RAMSAY & REYES
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REVISIONS	DATE

PROJECT NAME AND ADDRESS:
PLATINUM BUSINESS PARK II
1491 T.L. TOWNSEND
ROCKWALL, TX 75087
BODIN INDUSTRIAL SUBDIVISION

PROJECT No.	17031
DRAWN BY	S.R.
CHECKED BY	R.R.
DATE	6/5/2019
SCALE	N/A
SHEET NO.	7 of 10

DRAWING NAME:
OUTDOOR LIGHT SPECS.

DRAWING NO.
E-2
CASE NO. SP2019-018

PROJECT:	TYPE:
PLATINUM BUSINESS PARK II	A
PREPARED BY:	DATE:
RAMSAY & REYES ARCHITECTURE - MANAGEMENT 2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087	6/4/2019



FEATURES & SPECIFICATIONS

INTENDED USE — For building- and wall-mounted applications.
CONSTRUCTION — Dugrid, die-cast, single-piece aluminum housing. Die-cast door/frame has a 1/8" thick tempered glass lens. Door/frame is fully gasketed with one-piece solid silicone.
Finish: Standard finish is textured dark bronze (DBZ) corrosion-resistant polyester powder finish, with other architectural colors available. Shipping is also available.
OPTICS — Hydroformed reflector for superior uniformity and control. Medium throw (MT) full cutoff distribution only.
ELECTRICAL — Compact fluorescent utilizes an electronic, high frequency ballast. Compact fluorescent socket is four-pin positive latching thermoplastic, UL listed. Quick-disconnect plug easily disconnects reflector from ballast and fixture from supply wires.
INSTALLATION — Easily installed using provided mounting strap. Mount to any non-combustible vertical surface over a 4" round or square recessed socket box (by others). Back access through slotted gasket.
LISTINGS — Listed and labeled to UL standards. Listed and labeled to CSA standards (see Options), NOM Certified (see Options), IP65 rated. See location listed.
WARRANTY — 1-year limited warranty. Complete warranty terms located at www.aaculbybrands.com/Customerservice/terms_and_conditions.aspx.
Note: Specifications subject to change without notice.

Catalog Number:	
Notes:	
Type:	



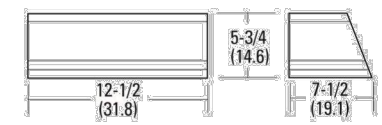
Decorative Wall-Mounted Lighting

WSTM

COMPACT FLUORESCENT:
260TT
26-42TRT



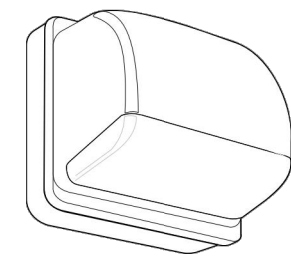
Specifications:
Length: 12-1/2 (31.8)
Depth: 7-1/2 (19.1)
Height: 5-3/4 (14.6)
Weight: 14.6 lbs (6.35 kg)



FEATURES & SPECIFICATIONS

INTENDED USE — For entrances, stairwells, corridors and other pedestrian areas.
CONSTRUCTION — Rear housing is rugged, corrosion-resistant, die-cast aluminum. Front cover is one-piece UV-resistant injection molded polycarbonate, internally painted. Captive external hardware is specially treated for corrosion resistance and includes slotted hex-head and tamperproof fasteners.
Finish: Dark Bronze (DBZ) corrosion resistant polyester powder.
OPTICS — One-piece die-formed reflector is diffused aluminum. Reflector is clear UV stabilized polycarbonate, providing 85 cutoff distribution and maximum lateral light output. Front cover is sealed and gasketed to inhibit the entrance of outside contaminants.
ELECTRICAL — Ballast: Metal halide; high reactance. High power factor: 90S, 50S, 70S, 120V are reactor, normal power factor. High reactance, high power factor (XHP), optional for 50S, 120V, 208, 240, 277, 347 and TB are standard XHP. Ballasts are 100% factory tested. UL listed 660W, 600V and 4W pulse rated. All components are heat-sinked directly to the cast housing for maximum heat dissipation.
Socket: Parsstat, horizontally oriented medium-base socket with copper alloy, nickel-plated screw shell and center contact.
INSTALLATION — Mount to any vertical surface or to a 4" round square outlet box. Back access through gasketed slot. Top wiring access through 1/2" threaded conduit entry. (Through-wiring requires use of a conduit tee).
LISTINGS — UL listed for wet locations. IP65 rated. UL listed to US and Canadian safety standards (see Options), NOM Certified.
WARRANTY — 1-year limited warranty. Complete warranty terms located at www.aaculbybrands.com/Customerservice/terms_and_conditions.aspx.
Note: Actual performance may differ as a result of end-use environment and application. Specifications subject to change without notice.

Catalog Number:	
Notes:	
Type:	

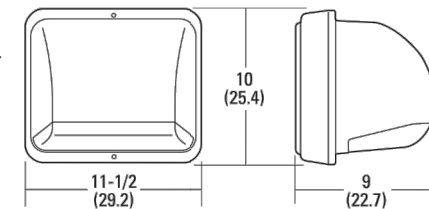


Cutoff Mini Wall Packs

TWAC

METAL HALIDE: 50-100W
HIGH PRESSURE SODIUM: 50W

Specifications:
Height: 10 (25.4)
Width: 11-1/2 (29.2)
Depth: 8-15/16 (22.7)
*Weight: 10 lbs. (4.53 kg)
All dimensions are inches (centimeters) unless otherwise indicated.
*Weight as configured in example below.



ORDERING INFORMATION For shortest lead times, configure product using **standard options (shown in bold)**. **Example:** TWAC 50M 120 LPI

Series	Wattage	Voltage	Ballast	Options	Finish	Lamp*
TWAC	Metal halide	120	(blank) Magnetic	Shipped installed in fixture	(blank) Dark bronze	LPI Lamp included
	50W	208	XHP High reactance, high power factor ¹	SF Single fuse (120, 277, 347V) ²	DNA Natural aluminum	LIP Lamp Less
	70W	240	CWI Constant wattage isolated	DF Double fuse (208, 240V) ³	DBZ Black	
	100W	277		EC Emergency circuit ⁴	DMB Medium bronze	
	High ampacity sodium	347		QBS Quartz retrace system ⁵	DWH White	
50S	23050HZ		CSA Listed and labeled to comply with Canadian Standards	DSS Sandstone		
			NOM NOM Certified ⁶	CEC Shipped separately ⁷	DTD Textured dark bronze	
			FE Photoeye ⁸	WG Wire guard ⁹	DBR-DK Textured dark bronze	
					DBR-BK Textured black	
					DMR-DK Textured natural aluminum	
					DWHC-DK Textured white	

PROJECT:	TYPE:
PLATINUM BUSINESS PARK II	B
PREPARED BY:	DATE:
RAMSAY & REYES ARCHITECTURE - MANAGEMENT 2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087	6/4/2019

- Notes:
- Not available with 347V.
 - Must specify CWI in Canada.
 - Optional multi-tap ballast (120, 208, 240, 277V). In Canada (120, 277, 347V) ships as 120/347.
 - Consult factory for available wattages.
 - Optional for 120V HPS only (in a 320).
 - Not available with TB.
 - Maximum allowable wattage lamp included.
 - May be ordered as an accessory as TWACWG II.
 - Finish applied to housing only.
 - Must be specified.

OUTDOOR TWAC-M-S



Contractor Select™
LIL LED
Wall Mount Lighting



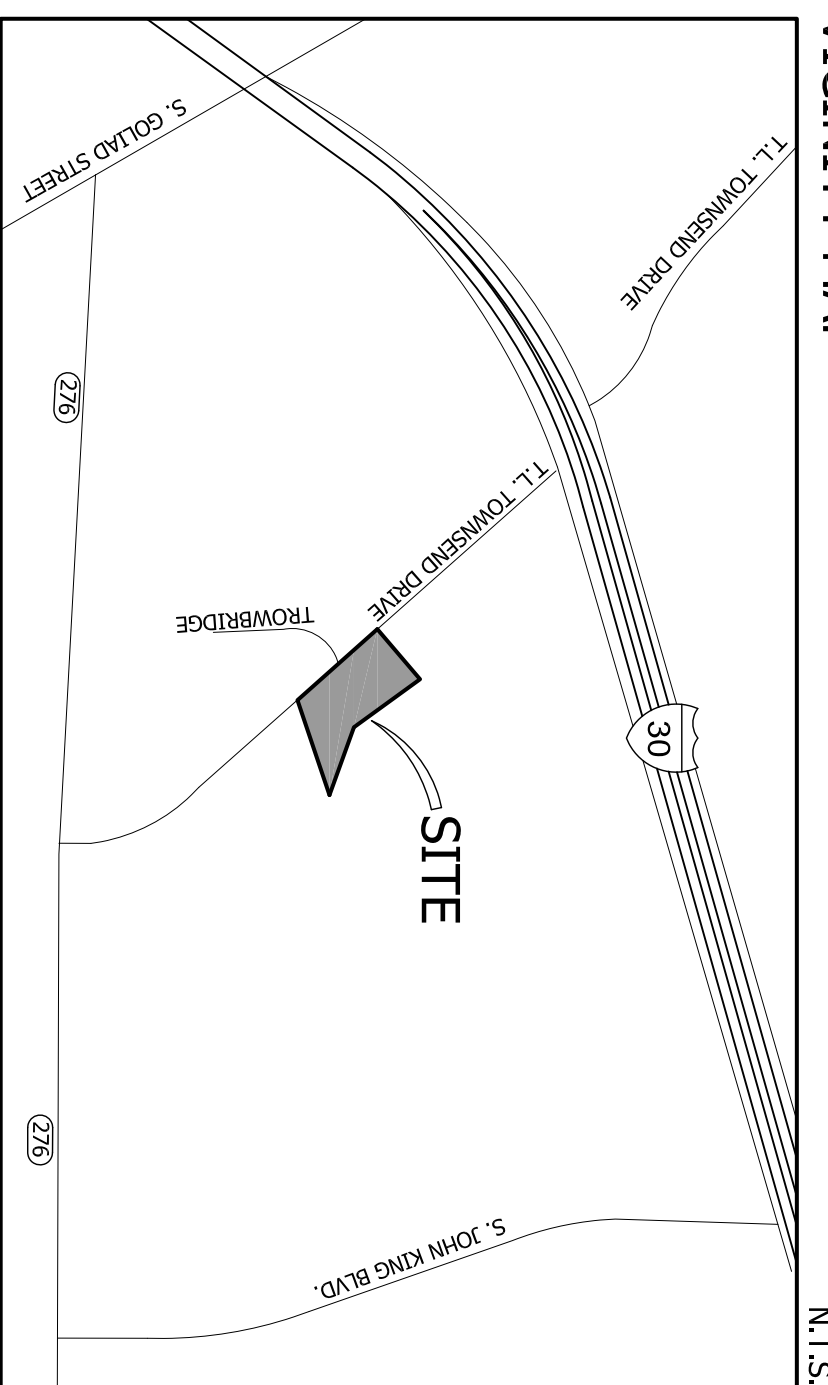
The Lithonia Lighting™ LIL Wall pack is just 5 inch x 5 inch in size and delivers 800 lumens using only 8 watts. It is the ideal, compact "over-the-door" lighting solution for commercial and residential applications.

- FEATURES:**
- Replaces up to 100W incandescent lamps, saves 90% energy
 - Elegant and compact LED solution. Photosell and battery pack options available
 - Back box accessory available for conduit wiring

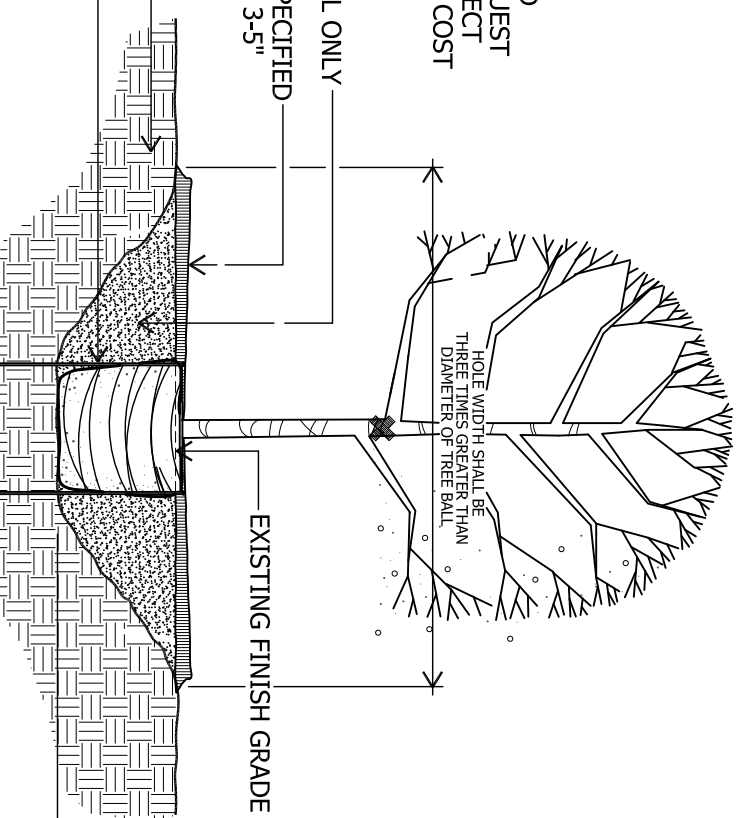


Catalog Number:	
Notes:	
Type:	

VICINITY MAP



DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION
 TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST



TREE PLANTING

SHADE TREE - 3" CAL. and smaller not to scale

SITE SUMMARY		
DESCRIPTION	LOT	PERCENTAGE
LOT	2.21 S.F.	100 %
IMPERVIOUS		
BLDG. A / OFFICE TOTAL AREA	12,139 S.F.	12.6%
BLDG. B / WAREHOUSE TOTAL AREA	10,900 S.F.	11.3 %
PARKING AREA	41,897 S.F.	43.5 %
PERVIOUS		
LANDSCAPE AREA	33,331 S.F.	32.5 %
SIDEWALK AREA	0	0.0 %
BUILDING HEIGHT	22 FT	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	12,139 S.F.	42
WAREHOUSE (1:1000 S.F.)	10,900 S.F.	11
PARKING PROVIDED		53

EXISTING TREE MITIGATION



DESIGNATED MITIGATION TREE
 TOTAL - 18 - 4" CALIBER

CITY REQUIREMENTS

STREET FRONTAGE
 10' LANDSCAPE BUFFER REQUIRED
 10' LANDSCAPE BUFFER PROVIDED

STREET TREES
 1 PER 50 LF STREET FRONTAGE
 T.L. TOWNSEND
 371.06' = 7.42 = 8 TREES REQUIRED
 50
 8 TREES PROVIDED

PARKING LOT LANDSCAPING
 5% INTERIOR LANDSCAPE REQUIRED
 45,948 SF x 5% = 2,298 SF REQUIRED
 3,232 SF PROVIDED (7.03%)

1 TREE PER 10 SPACES
 46 SPACES = 4.6 = 5 TREES REQUIRED
 10
 5 TREES PROVIDED

TOTAL LANDSCAPE AREA
 20% TOTAL LANDSCAPE REQUIRED
 96,268 SF x 20% = 19,254 SF REQUIRED
 TOTAL SITE
 33,331 SF PROVIDED (34.62%)

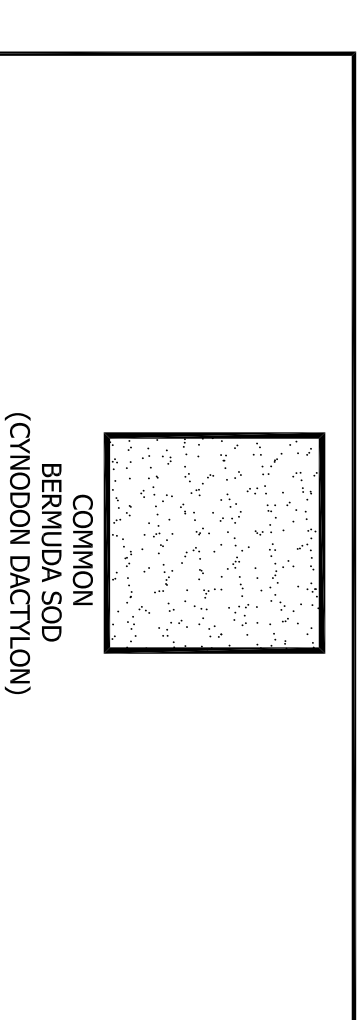
LANDSCAPE NOTES

1. PLANT LIST FOR THIS SHEET ONLY.
2. CONTRACTOR TO VERIFY ALL QUANTITIES.
3. ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL REMOVE ANY VEGETATION.
4. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, THE SODS AND MULCH SHALL BE REMOVED AND ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6". RAKING OUT ALL DEAD VEGETATION.
5. AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6". RAKING OUT ALL DEAD VEGETATION.
6. APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:
 VITAL EARTH COMPOST
 BACK-TO-EARTH SOIL CONDITIONER
 LIVING EARTH COMPOST
 SOIL BUILDING SYSTEMS COMPOST
 SILVER CREEK MATERIALS COMPOST
7. TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDED NATIVE CEDAR MULCH.
8. ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER PLANT LIST.
9. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM. COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. (SEE ATTACHED IRRIGATION DESIGN AND SCHEDULES AND IRRIGATION SCHEDULE UNDER ARTICLE NO. 0151 VICS (LDBNSD IRRSOLUTIONS ACT.1), S.B. NO. 259.

PLANTLIST

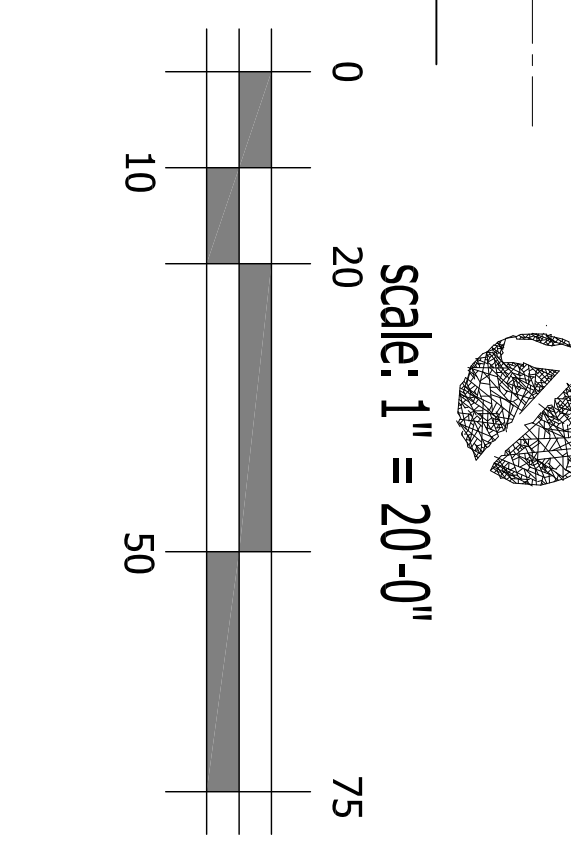
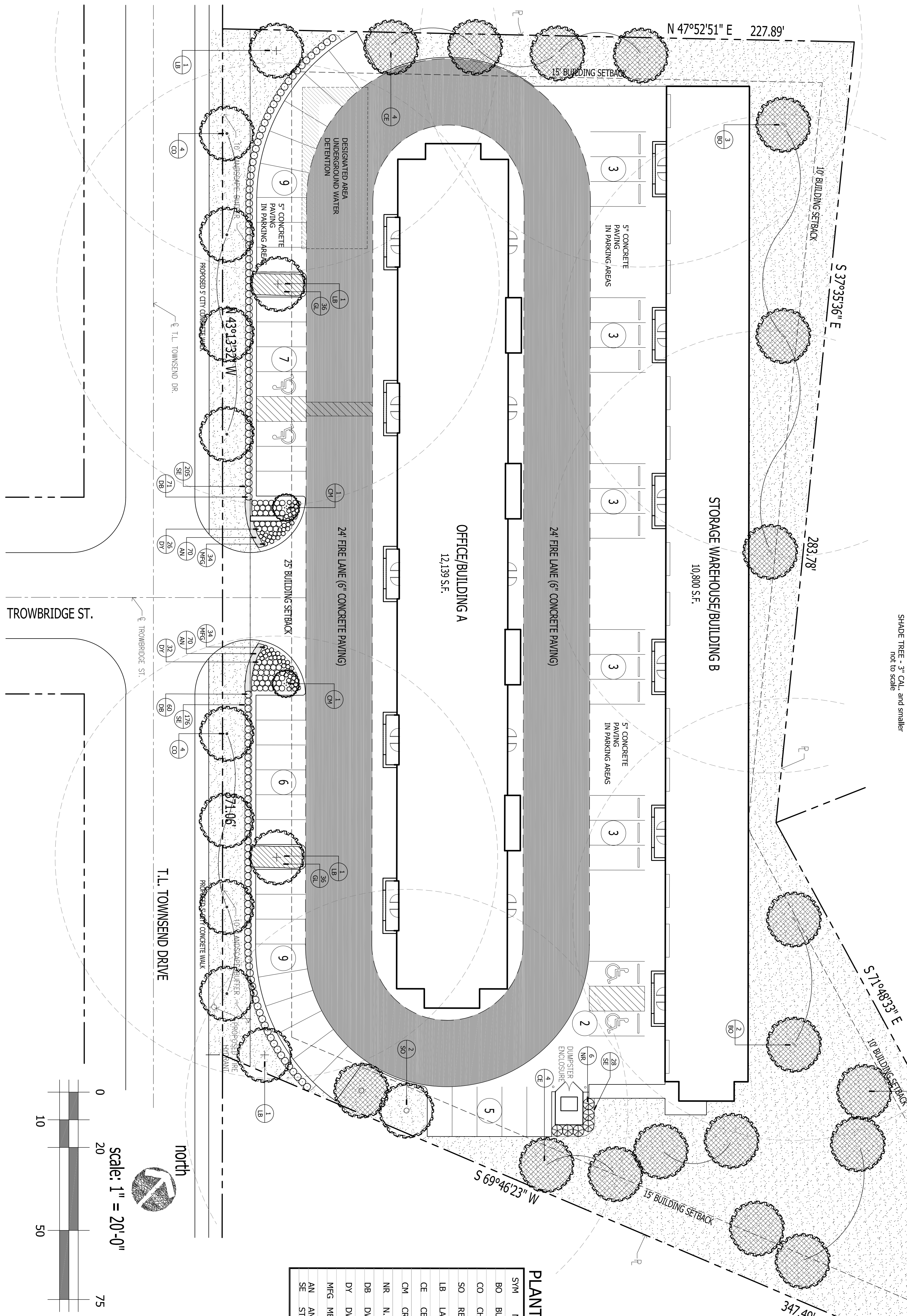
SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
BO	BURR OAK	5	3" CAL.	10-12'	5-6'	NURSERY GROWN	
CO	QUERCUS MACROCARPA	8	3" CAL.	10-12'	5-6'	NURSERY GROWN	
SO	QUERCUS MULHENBERGII	2	3" CAL.	10-12'	5-6'	NURSERY GROWN	
LB	RED OAK	2	3" CAL.	10-12'	5-6'	NURSERY GROWN	
CE	QUERCUS SHUMARDI	4	3" CAL.	10-12'	6-7'	NURSERY GROWN	
CM	ULMUS GRASSIFOLIUA	12	3" CAL.	10-12'	6-7'	NURSERY GROWN	
CM	GRAPE MYRTLE	2	30 GAL.	8-10"	4-5"	CONTAINER GROWN	
NR	LAGERSTROEMIA INDICA	6	BASHAW PINK	42"	24"	CONT. GROWN	4'oc
DB	N.R. STEVENS HOLLY	6	7 GAL.	42"	24"	CONT. GROWN	4'oc
DB	DIVE BURKHOLD HOLLY	131	5 GAL.	18"	15"	FULL	30"oc
DY	DIVE BURKHOLD HOLLY	131	5 GAL.	18"	15"	FULL	30"oc
DY	DIVE YALOWHOLIA	36	5 GAL.	12"	12"	FULL	24"oc
MFG	MEX. VERNONIA	68	1 GAL.	12"	10"	FULL	18"oc
AN	MASSIELLA TENUSSISSIMA	140	4" POT.			TYPE TO BE DETERMINED	9"oc
SE	STEEL EDGING	204	4" LIN. FT.			REF. DETAIL	

LANDSCAPE LEGEND



SOD INSTALLATION NOTES:

1. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
2. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLDS AND DEBRAS.
3. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
4. ALL SOD SHALL BE LAID WITH ALTERNATING JOINTS.
5. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE. FILLING JOINTS WITH COARSE SAND AS REQUIRED.



appr. by:
 drawn by:
 date: 05-16-19

revisions
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 06-04-19



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LANDSCAPE PLAN

BODIN TRACT
 T.L. TOWNSEND DRIVE
 ROCKWALL, TEXAS

file name:
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 10-16-19
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