

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
G2	12°35'10"	620.00'	136.19'	135.92'	S51°48'46"E

LINE TABLE		
LINE #	BEARING	DISTANCE
L9	S79°07'41"W	7.21'
L10	N23°10'29"E	32.93'
L11	N66°36'24"W	31.00'
L12	N23°10'29"E	27.95'
L13	N82°38'15"W	11.76'
L14	S68°52'14"W	13.20'
L15	S75°08'27"W	12.97'
L16	S36°32'06"W	17.64'

- REFER TO LANDSCAPE PLANS FOR PAVER DETAILS
- LAKEFRONT TRAIL CITY PAVING
- SIDEWALK PAVEMENT (TYP.)
4"-3,000 PSI CONCRETE
5.5 SACK MINIMUM
W/ #3 BARS AT 24" C-C
BOTH WAYS
- HEAVY DUTY PAVEMENT
7"-3,600 PSI CONCRETE
6.5 SACK MINIMUM
W/ #3 BARS AT 18" O.C.E.W.

SITE DATA TABLE	
HARBOR VILLAGE - ROCKWALL	
HARBOR - ROCKWALL ADDITION	6.200 ACRES
LOT 9A, BLOCK A	270,065 SQ-FT
BUILDING AREA	127,000 SQ-FT
USE	DWELLING UNITS
COVERAGE	47.03%
TOTAL NUMBER OF UNITS	375 UNITS
REQUIRED PARKING RATIO	1.5 PER UNIT
PARKING PROVIDED	563 SPACES
OFF-STREET PARKING PROVIDED	563 SPACES
ON-STREET PARKING PROVIDED	34 SPACES
TOTAL PARKING PROVIDED	597 SPACES
OFF-STREET PROVIDED PARKING RATIO	1.5 PER UNIT
HANDICAP REQUIRED	12 SPACES
HANDICAP PROVIDED	12 SPACES
OVERFLOW PARKING PROVIDED	180 SPACES
* PARKING PROVIDED TOTAL INCLUDES ACCESSIBILITY PARKING	

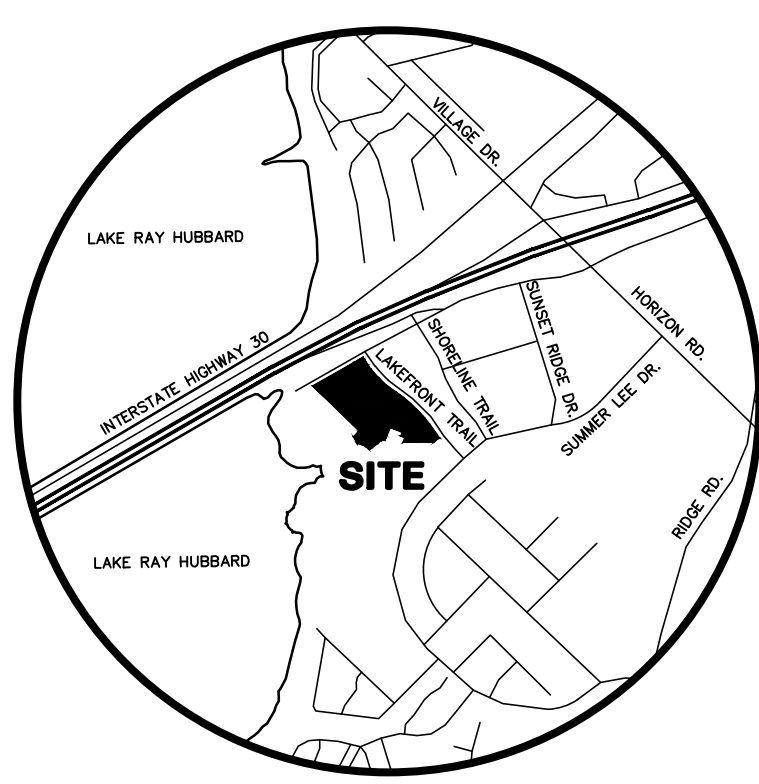
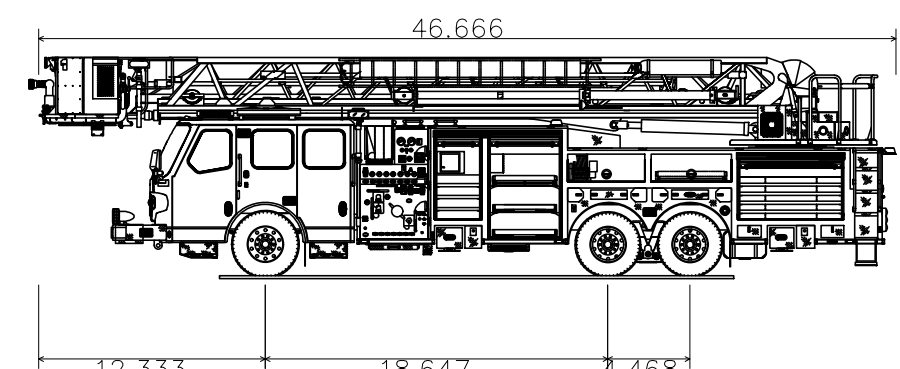
HARBOR VILLAGE DWELLING UNITS - BUILDING TABULATION LEGEND										
TYPE	AREA (SF)	NO.	% UNITS	TOTAL AREA (SF)	1 st Floor	2 nd Floor	3 rd Floor	4 th Floor	5 th Floor	
L1	807	16	4.27%	12,912	8	8	0	0	0	0
E1	590	40	10.67%	23,600	8	8	8	8	8	8
A1	670	70	18.67%	46,900	11	14	15	15	15	15
A2	742	84	22.40%	62,328	16	17	17	17	17	17
A3	849	16	4.27%	13,584	2	2	4	4	4	4
B1	1,086	56	14.93%	60,816	8	9	13	13	13	13
B2	1,206	42	11.20%	50,652	7	8	9	9	9	9
B3(a)	1,291	14	3.73%	18,074	3	3	3	3	2	2
B3(d)	1,315	10	2.67%	13,150	2	2	2	2	2	2
B4(a)	1,243	5	1.33%	6,215	1	1	1	1	1	1
B4(c)	1,169	5	1.33%	5,845	1	1	1	1	1	1
B6	1,244	17	4.53%	21,148	3	3	4	4	3	3
TOTAL	375	100.00%	335,224	70	76	77	77	77	75	75

INTERSTATE HIGHWAY 30
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

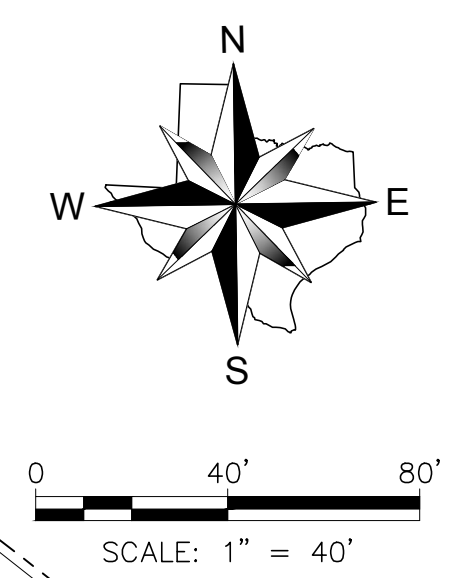
LOT 9A, BLOCK A
6.200 AC.
(270,065 S.F.)

LOT 9B, BLOCK A
1.158 AC.
(50,453 S.F.)



E-ONE HP100 Platform
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

46.666ft
8.333ft
10.651ft
1.269ft
6.000ft
45.00'



*****NOTICES TO CONTRACTOR*****

EXISTING UNDERGROUND/BURIED PUBLIC, PRIVATE, AND FRANCHISE UTILITIES/FACILITIES AFFECT THIS SITE, AND ARE DEPICTED ON THE PLANS PER THE BEST AVAILABLE INFORMATION AT THE TIME THE PLANS WERE PRODUCED. WINKELMANN & ASSOC., INC. SHALL NOT BE RESPONSIBLE FOR KNOWING THE EXACT LOCATION OF ALL FACILITIES OR DEPICTING EXACT LOCATIONS OF SAID FACILITIES ON THE PLANS BEYOND WHAT IS STATED ABOVE.

CONTRACTOR(S) SHALL CALL "811" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK ON THE SITE, AND SHALL NOT BEGIN ANY EXCAVATION OR DEMOLITION ACTIVITIES UNTIL AFTER SAID FACILITIES HAVE BEEN MARKED AND/OR FLAGGED PER "811" OR THE FACILITY OWNERS.

CONTRACTOR(S) SHALL BE WHOLLY RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO SAID FACILITIES DUE TO WORK BEING DONE WITHOUT FOLLOWING THE PROCEDURES ABOVE.



$\Delta=009^{\circ}44'28''$
 $R=680.00'$
 $L=115.61'$
 $Ch L=115.47'$
 $Ch B=S40^{\circ}10'38''E$

$\Delta=002^{\circ}30'4''$
 $R=680.00'$
 $L=29.80'$
 $Ch L=29.80'$
 $Ch B=S36^{\circ}10'38''E$

- LEGEND**
- PP Power Pole
 - GW Guy Wire
 - MH Manhole
 - WV Water Valve
 - TP Telephone Pedestal
 - WM Water Meter
 - FH Fire Hydrant
 - LP Light Pole
 - IV Irrigation Valve
 - CO Clean Out
 - AC Air Conditioner
 - CB Cable Box
 - SB Signal Box
 - SP Signal Pole
 - SN Sign
 - CM Control Monument
 - IRF Iron Rod Found
 - IRS Iron Rod Set
 - CIRS Iron Rod Set w/ cap "WAI"
 - CIRF Iron Rod Found w/ cap
 - XCS "X" Cut in Concrete Set
 - XCF "X" Cut in Concrete Found
 - PKS PK Nail Set
 - PKF PK Nail Found
 - PKS Sanitary Sewer
 - SS Storm Sewer
 - SW Transformer pad
 - TF Transformer pad
 - GM Gas Meter
 - GMK Gas Marker
 - TSN Traffic Sign
 - UGC Underground Cable Marker
 - EB Electric Box
 - EM Electric Meter

CASE NO. SP2018-043

DEVELOPER
PEGASUS ABLON
KEVIN HICKMAN
8222 DOUGLAS AVENUE,
SUITE 390
DALLAS, TX 75225
214-389-6901

OWNER
ROCKWALL RENTAL PROPERTIES, LP
1608 WEST MOORE,
DRAWER B
TERREL, TX 75160
972-210-0331

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS • SURVEYORS
1111 GILBERT BLVD., SUITE 305
DALLAS, TEXAS 75243
(972) 490-7099
FAX (972) 490-7098
Professional Registration No. 89
Professional Registration No. 107866-00
Professional Registration No. 107866-00
Professional Registration No. 107866-00
Professional Registration No. 107866-00

STATE OF TEXAS
Professional Engineer
01-04-2019

SITE PLAN
HARBOR VILLAGE
ROCKWALL, TEXAS

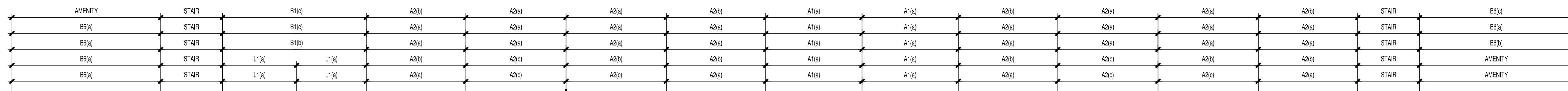
NO.	DATE	REVISION
1	01/04/2019	SITE PLAN RESUBMITTAL
2	12/14/2018	SITE PLAN SUBMITTAL
3		MC
4		MD
5		APPROV

LAST SAVED BY: MAULIOLAND January 3, 2019



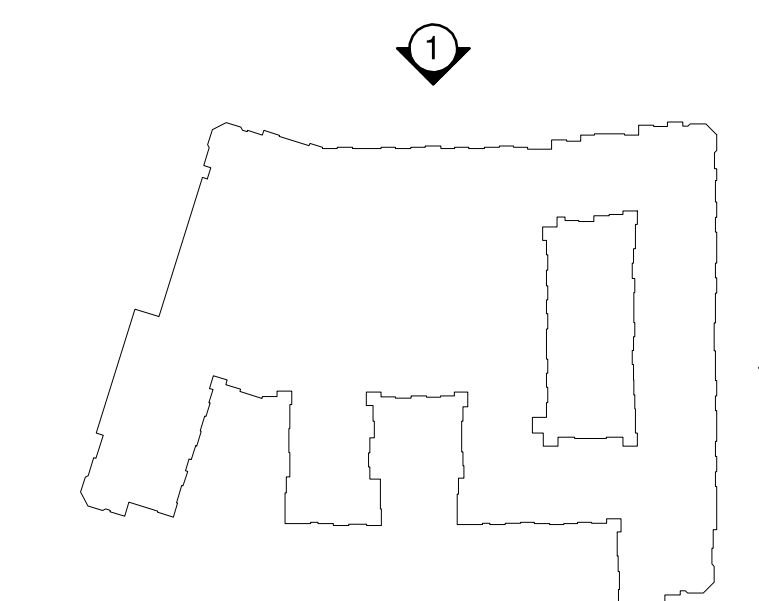
1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	6,248 S.F.	40%
BRICK	3,690 S.F.	24%
STONE	3,472 S.F.	22%
SPLIT FACE CMU	2,211 S.F.	14%
TOTAL	15,621 S.F.	100%



2 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	5,665 S.F.	40%
BRICK	3,838 S.F.	27%
STONE	2,836 S.F.	20%
SPLIT FACE CMU	1,824 S.F.	13%
TOTAL	14,163 S.F.	100%



3 BUILDING KEY

CASE NO. SP2018-043

REVISIONS

HARBOR VILLAGE
 DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON

ISSUED FOR:
 SITE PLAN APPROVAL
 01-04-19

BGO ARCHITECTS
 4202 Beltway Drive
 Addison, TX 75001
 214.520.8878
 bgoarchitects.com

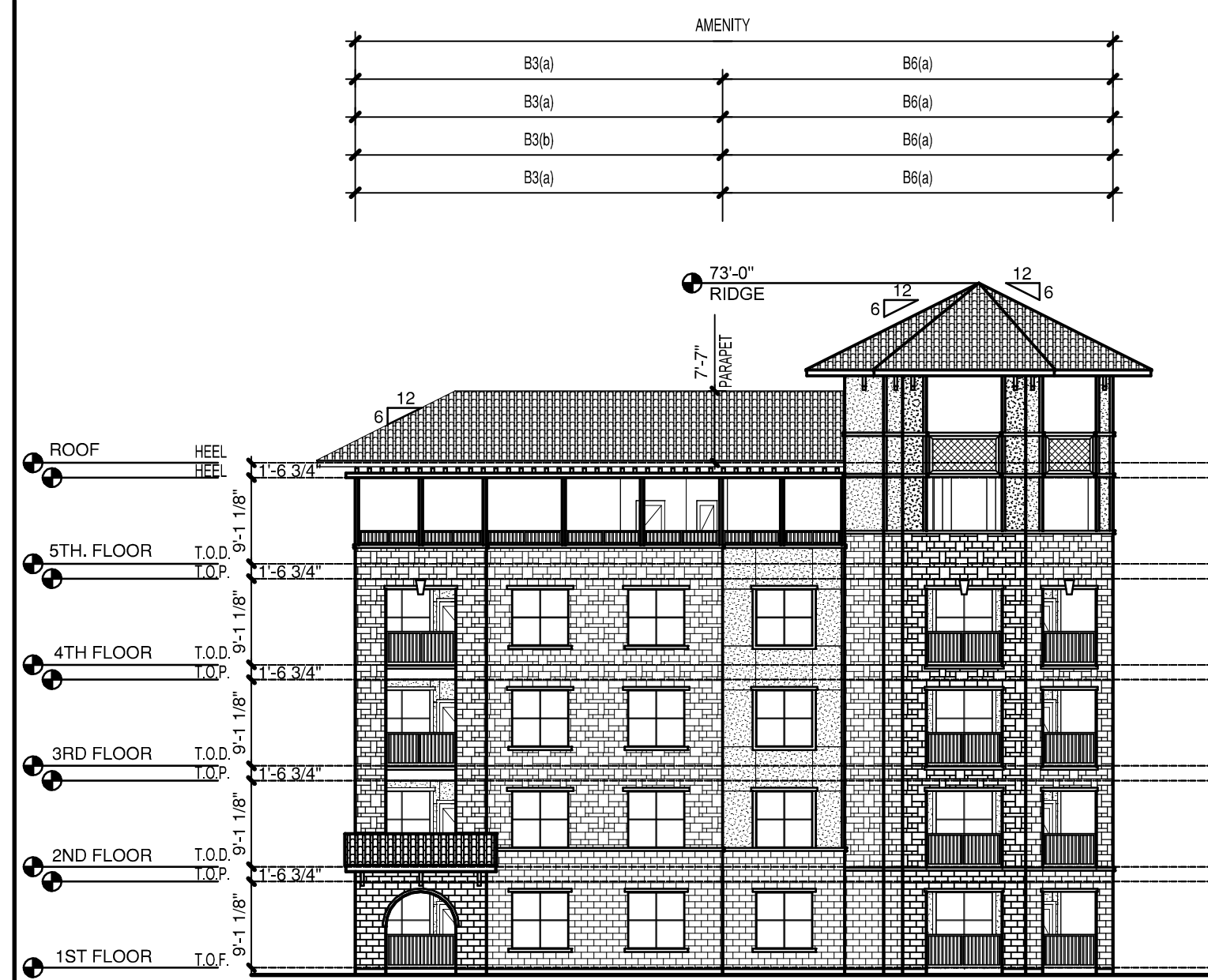
DATE
 12-14-18

PROJECT
 17126

SHEET NUMBER

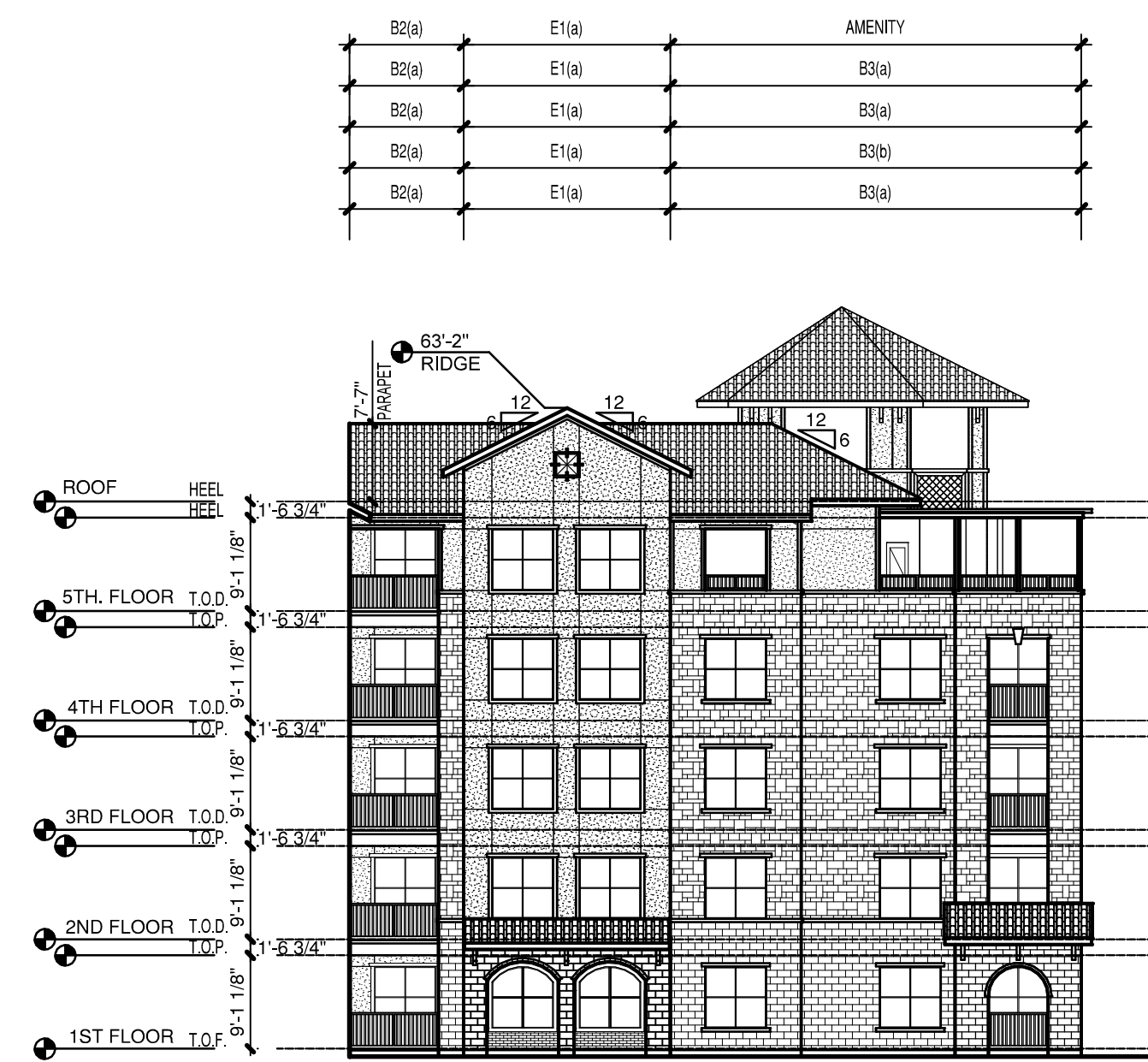
A4-10
 BUILDING
 ELEVATION

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1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	794 S.F.	29%
BRICK	0 S.F.	0%
STONE	1,410 S.F.	51%
SPLIT FACE CMU	576 S.F.	20%
TOTAL	2,780 S.F.	100%



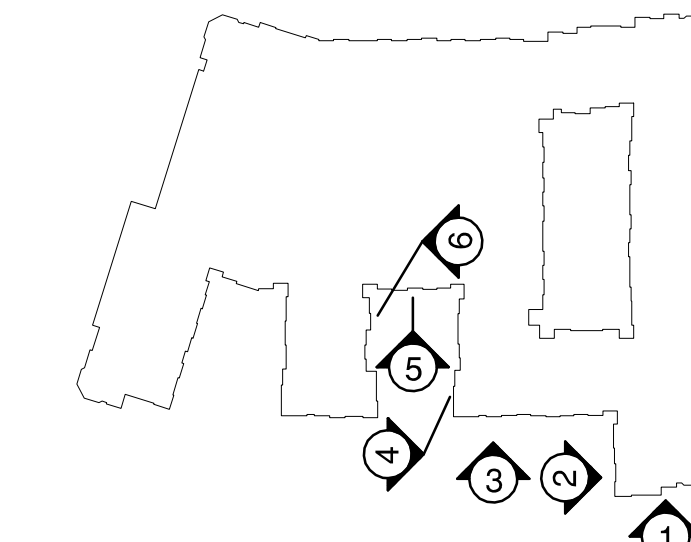
2 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	996 S.F.	43%
BRICK	0 S.F.	0%
STONE	933 S.F.	40%
SPLIT FACE CMU	417 S.F.	17%
TOTAL	2,346 S.F.	100%



3 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	2,014 S.F.	40%
BRICK	930 S.F.	19%
STONE	1,408 S.F.	28%
SPLIT FACE CMU	676 S.F.	13%
TOTAL	5,028 S.F.	100%

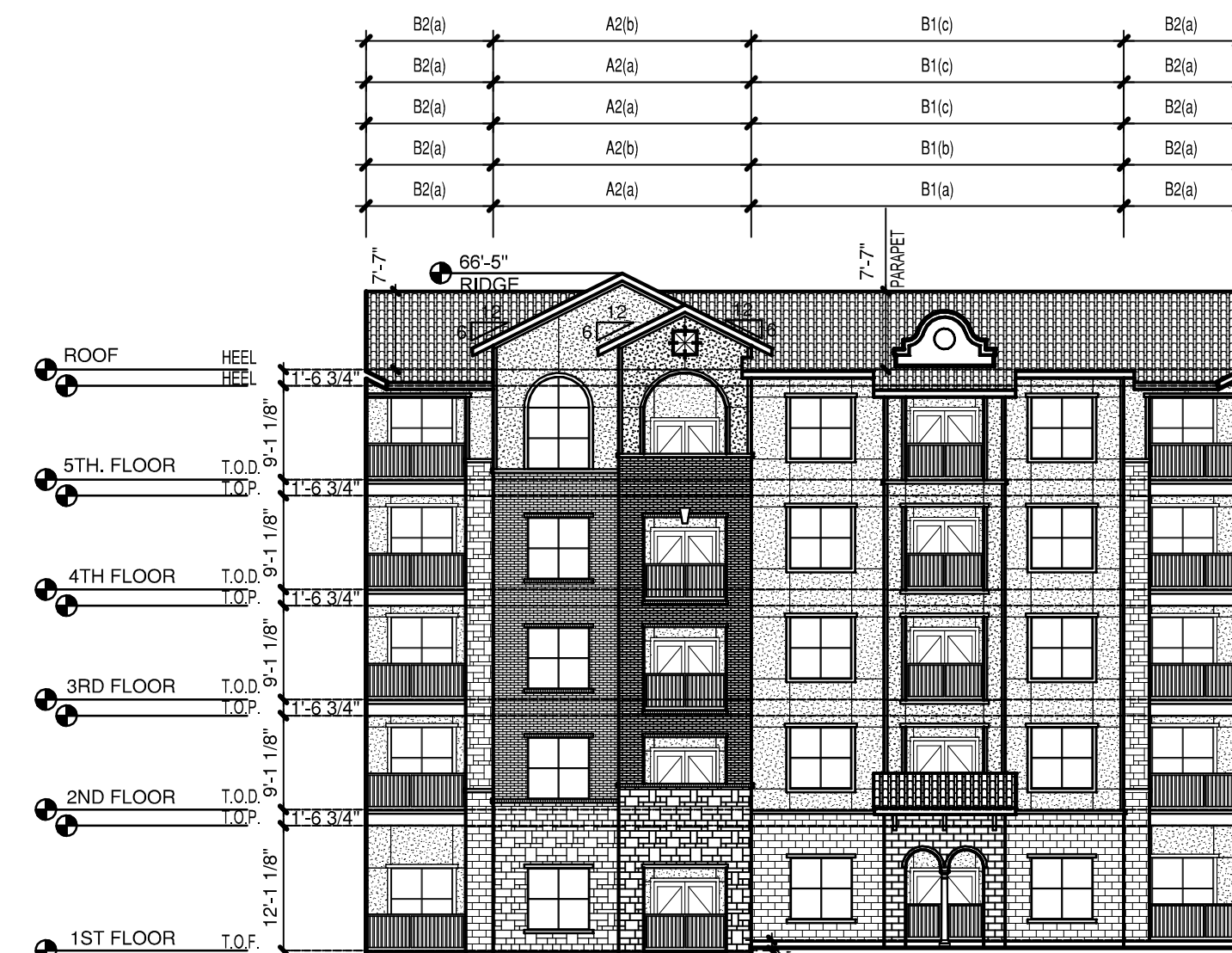


7 BUILDING KEY



4 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,831 S.F.	46%
BRICK	365 S.F.	10%
STONE	992 S.F.	25%
SPLIT FACE CMU	766 S.F.	19%
TOTAL	3,954 S.F.	100%



5 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,425 S.F.	52%
BRICK	492 S.F.	18%
STONE	434 S.F.	16%
SPLIT FACE CMU	373 S.F.	14%
TOTAL	2,724 S.F.	100%



6 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,134 S.F.	27%
BRICK	1,024 S.F.	24%
STONE	1,515 S.F.	35%
SPLIT FACE CMU	596 S.F.	14%
TOTAL	4,269 S.F.	100%

TOTAL SOUTH-WEST ELEVATION (A4-11 # 1,3,5) (A4-12 # 1,3,5)	
TOTAL BLDG. FACADE:	19,391 SF.
TOTAL STONE AMOUNT:	6,721 SF.
TOTAL STONE %:	35%

CASE NO. SP2018-043

REVISIONS

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR PEGASUS ABLON

ISSUED FOR:
SITE PLAN APPROVAL
01-04-19

BGO ARCHITECTS

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12-14-18

PROJECT

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SHEET NUMBER

A4-11

BUILDING ELEVATION

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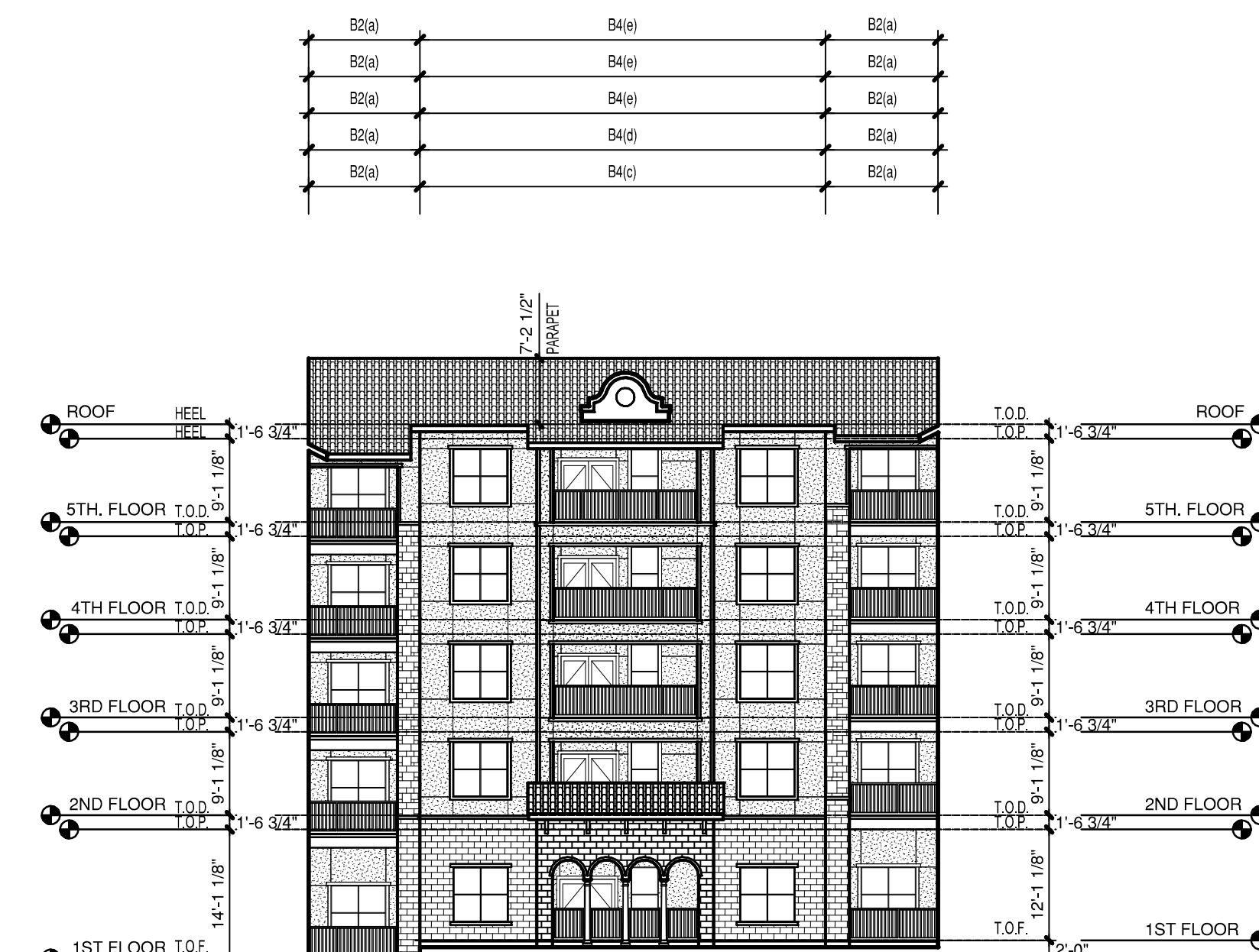
1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	778 S.F.	22%
BRICK	0 S.F.	0%
STONE	1,712 S.F.	50%
SPLIT FACE CMU	1,004 S.F.	28%
TOTAL	3,494 S.F.	100%



2 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	2,215 S.F.	52%
BRICK	394 S.F.	9%
STONE	850 S.F.	20%
SPLIT FACE CMU	819 S.F.	19%
TOTAL	4,278 S.F.	100%



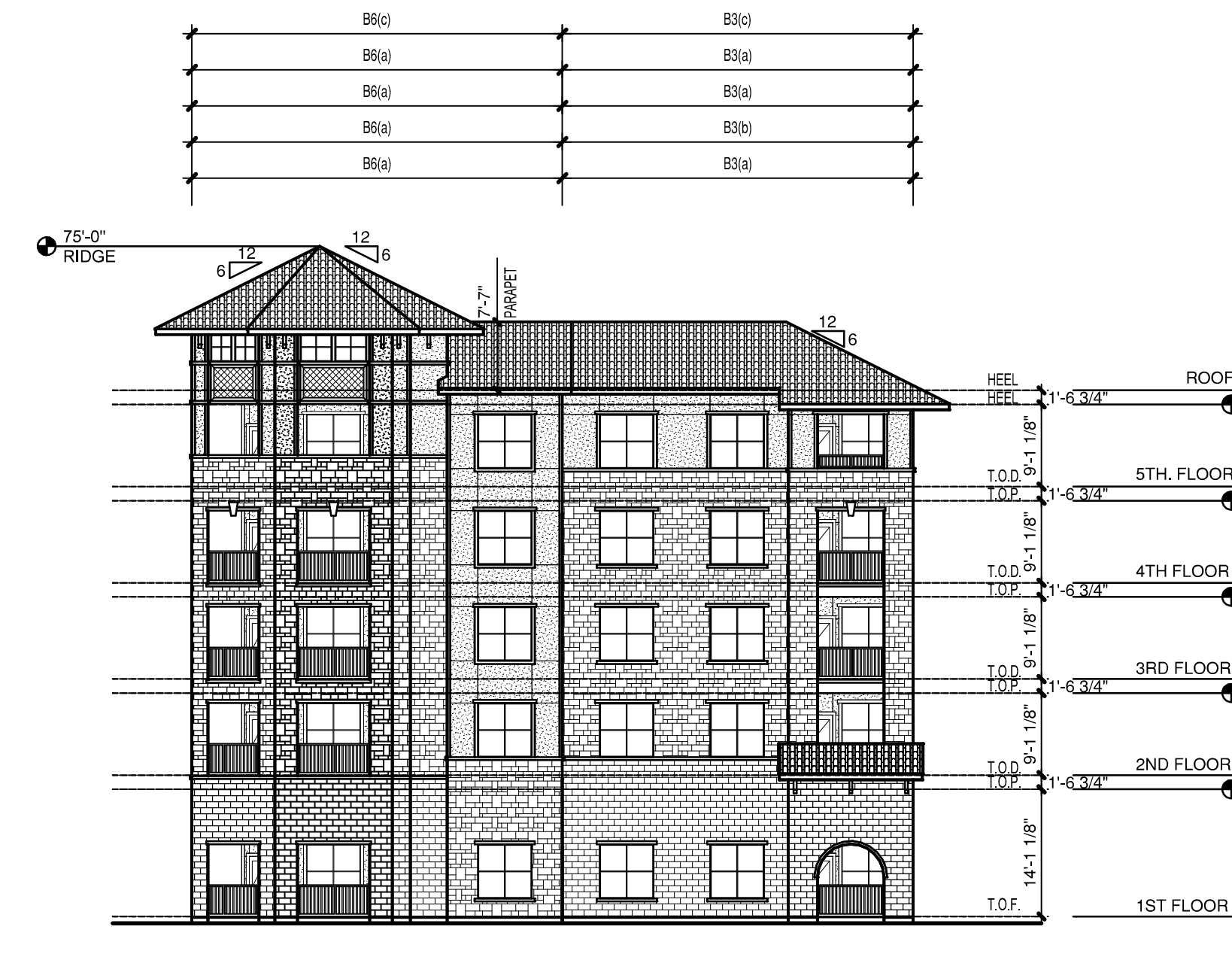
3 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,283 S.F.	68%
BRICK	0 S.F.	0%
STONE	161 S.F.	9%
SPLIT FACE CMU	443 S.F.	23%
TOTAL	1,887 S.F.	100%



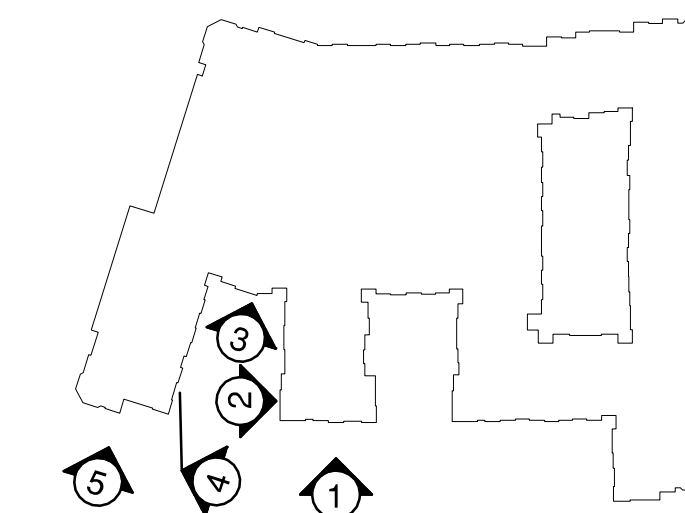
4 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	2,155 S.F.	43%
BRICK	492 S.F.	10%
STONE	1,012 S.F.	20%
SPLIT FACE CMU	1,359 S.F.	27%
TOTAL	5,018 S.F.	100%



5 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,089 S.F.	31%
BRICK	0 S.F.	0%
STONE	1,596 S.F.	46%
SPLIT FACE CMU	793 S.F.	23%
TOTAL	3,478 S.F.	100%



6 BUILDING KEY

TOTAL SOUTH-WEST ELEVATION (A4-11 # 1,3,5) (A4-12 # 1,3,5)	
TOTAL BLDG. FACADE:	19,391 SF.
TOTAL STONE AMOUNT:	6,721 SF.
TOTAL STONE %:	35%

CASE NO. SP2018-043

REVISIONS

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON

ISSUED FOR:
SITE PLAN APPROVAL
01-04-19

BGO ARCHITECTS

4202 Beltway Drive
Addison, TX 75001
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DATE

12-14-18

PROJECT

17126

SHEET NUMBER

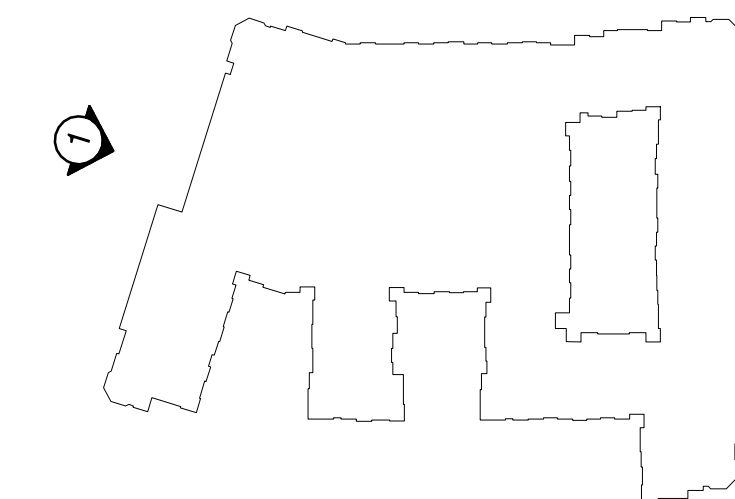
A4-12

BUILDING
ELEVATION



1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	6,792 S.F.	47%
BRICK	1,481 S.F.	10%
STONE	2,914 S.F.	20%
SPLIT FACE CMU	3,380 S.F.	23%
TOTAL	14,567 S.F.	100%



2 BUILDING KEY

CASE NO. SP2018-043

REVISIONS

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR PEGASUS ABILON

ISSUED FOR:
SITE PLAN APPROVAL
01-04-19

BGO ARCHITECTS

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DATE

12-14-18

PROJECT

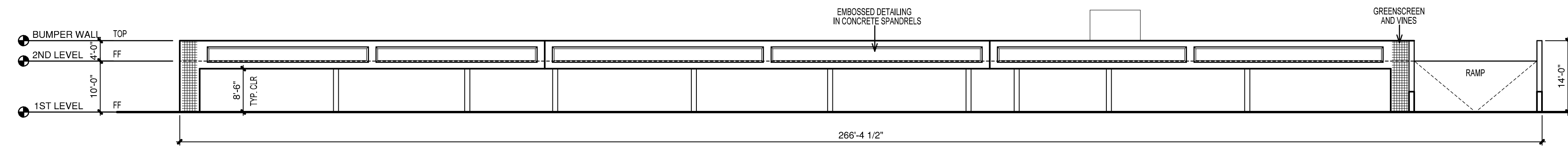
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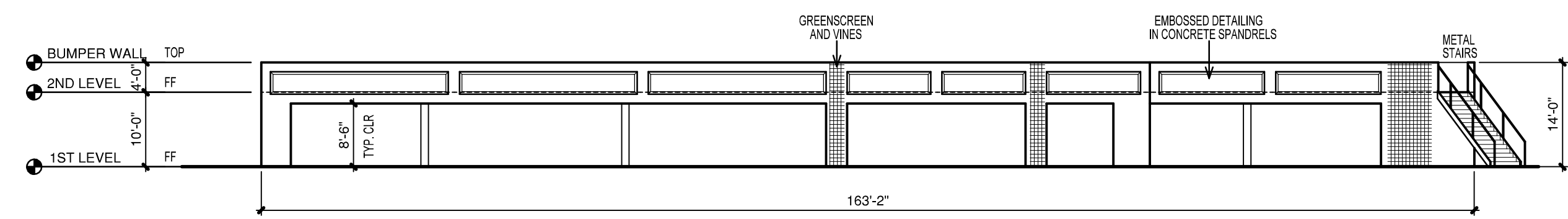
A4-13

BUILDING ELEVATION

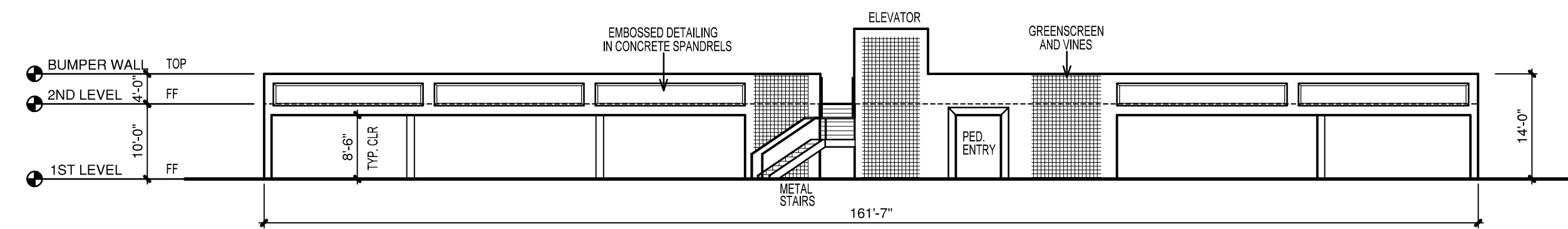
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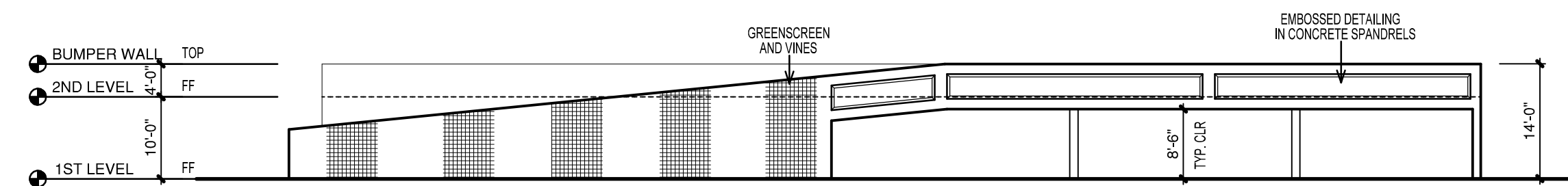
1 TWO-LEVEL PARKING STRUCTURE - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



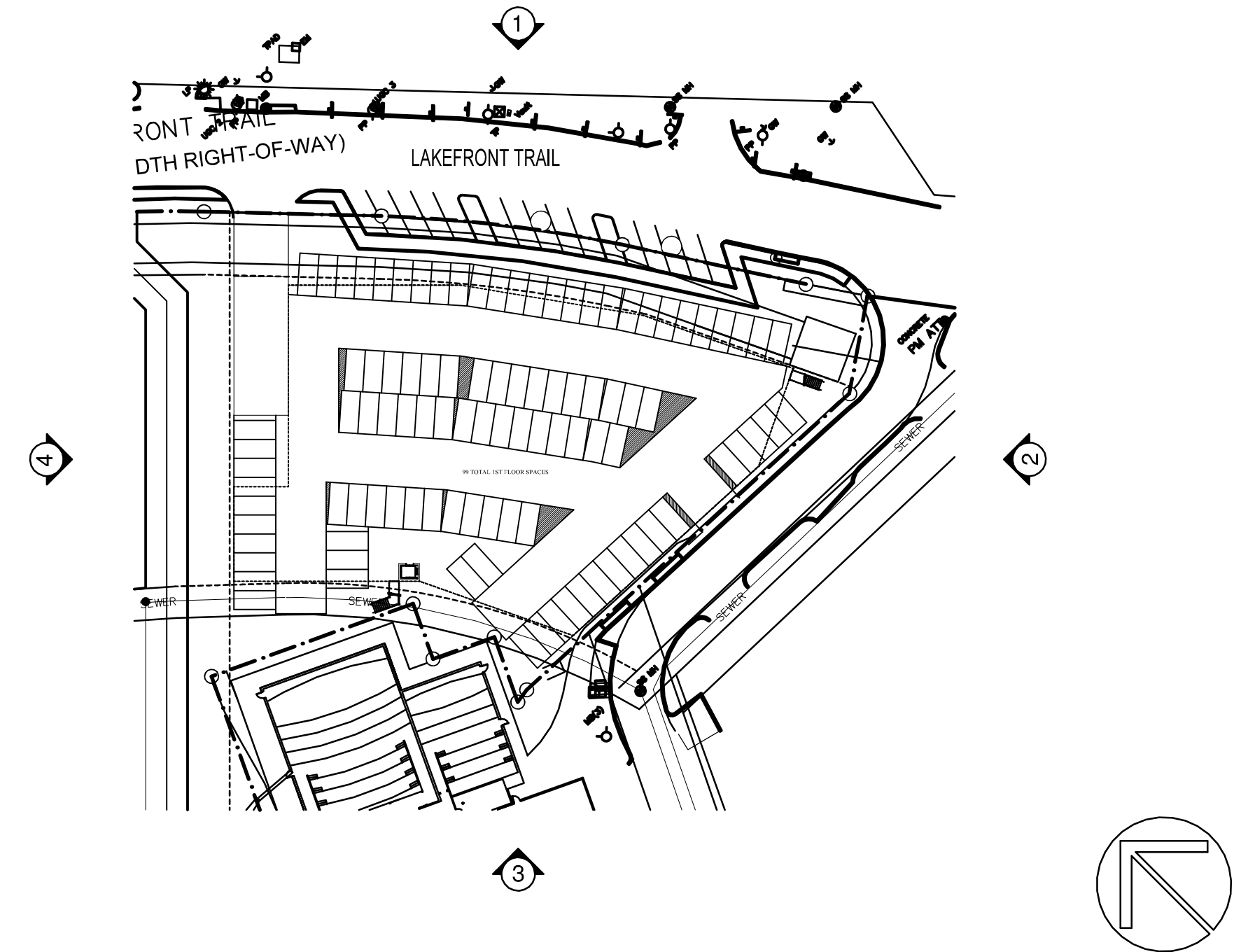
2 TWO-LEVEL PARKING STRUCTURE - EAST ELEVATION
SCALE: 1/16" = 1'-0"



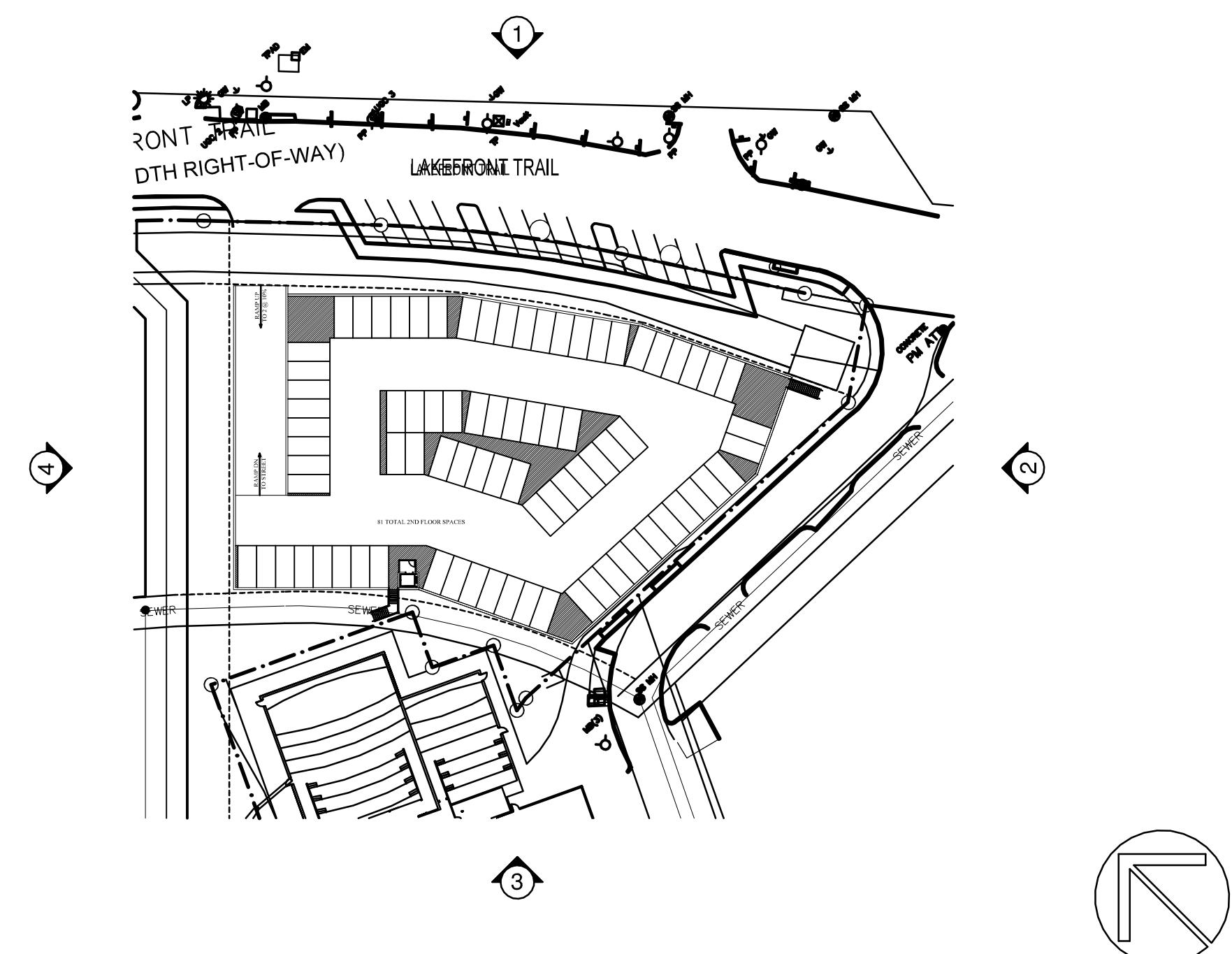
3 TWO-LEVEL PARKING STRUCTURE - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 TWO-LEVEL PARKING STRUCTURE - WEST ELEVATION
SCALE: 1/16" = 1'-0"



5 TWO-LEVEL PARKING STRUCTURE - 1ST LEVEL & SITE



6 TWO-LEVEL PARKING STRUCTURE - 2ND LEVEL & SITE

REVISIONS

NO.	DATE	DESCRIPTION

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR PEGASUS ABILON

ISSUED FOR: SITE PLAN APPROVAL
01-04-19

BGO ARCHITECTS

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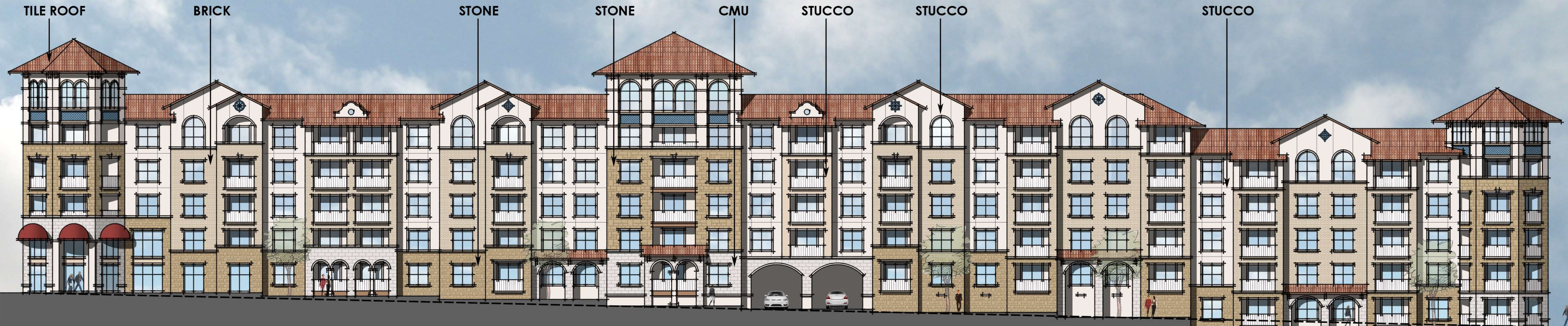
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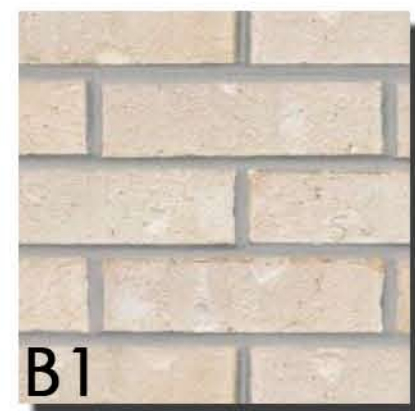
A4-20

PARKING GARAGE ELEVATIONS

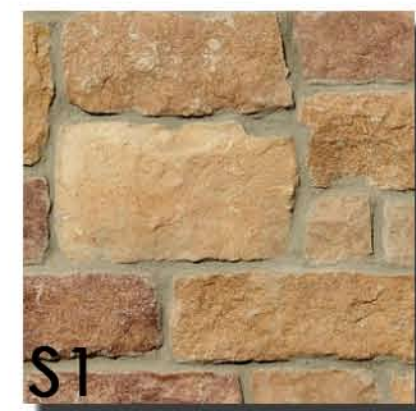
CASE NO. SP2018-043



BL
BLOCK
FEATHERLINE
TEXAS CREAM



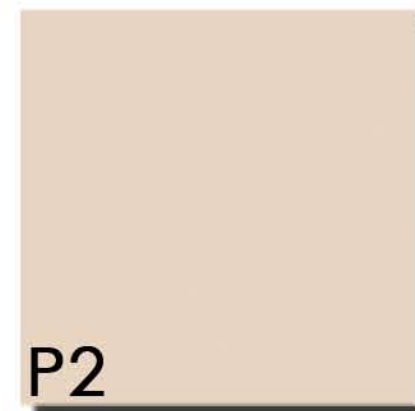
B1
BRICK
ACME
WINTERSTONE
KING SIZE



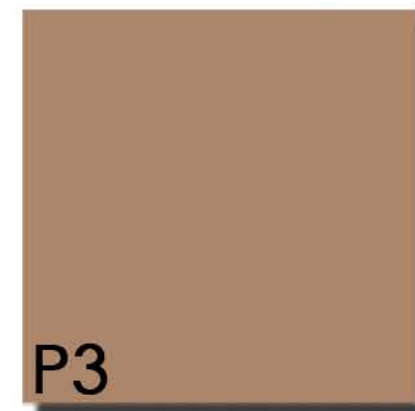
S1
STONE
NEVLSTONE
AUSTIN STONE
KALAHARI



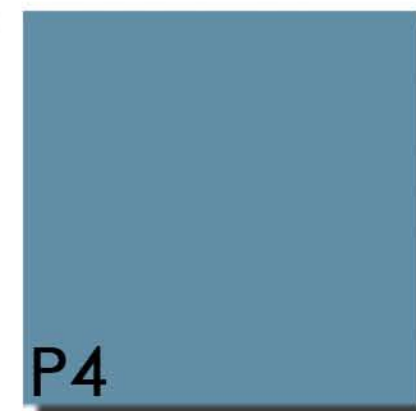
P1
STUCCO BODY, WINDOW
TRIM, DOOR TRIM
SHERWIN WILLIAMS
IBIS WHITE
SW 7000



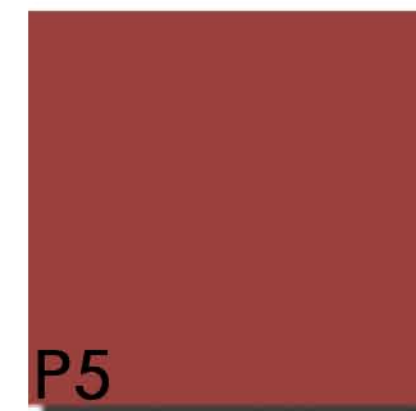
P2
STUCCO BODY, WINDOW
TRIM, BANDING
SHERWIN WILLIAMS
PATIENCE
SW 7555



P3
FASCIA, EAVES, SOFFIT,
GUTTER, BRACKETS, TRIM
SHERWIN WILLIAMS
MEADOWLARK
SW 7522



P4
ORNAMENTS, TILE
SHERWIN WILLIAMS
LEISURE BLUE
SW6515



P5
FABRIC AWNINGS
SHERWIN WILLIAMS
SALUTE
SW 7582



P6
RAILINGS, METAL FEATURE
SHERWIN WILLIAMS
GARRET GRAY
SW 6075



W1
WINDOWS
PLY-GEN OR EQUAL
WHITE



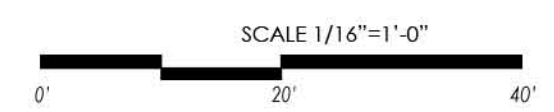
R1
BARREL CONCRETE ROOF
TILE
EAGLE ROOFING PRODUCTS
CAPISTRANO PROFILE
LCC 8806 TUSCON BLEND

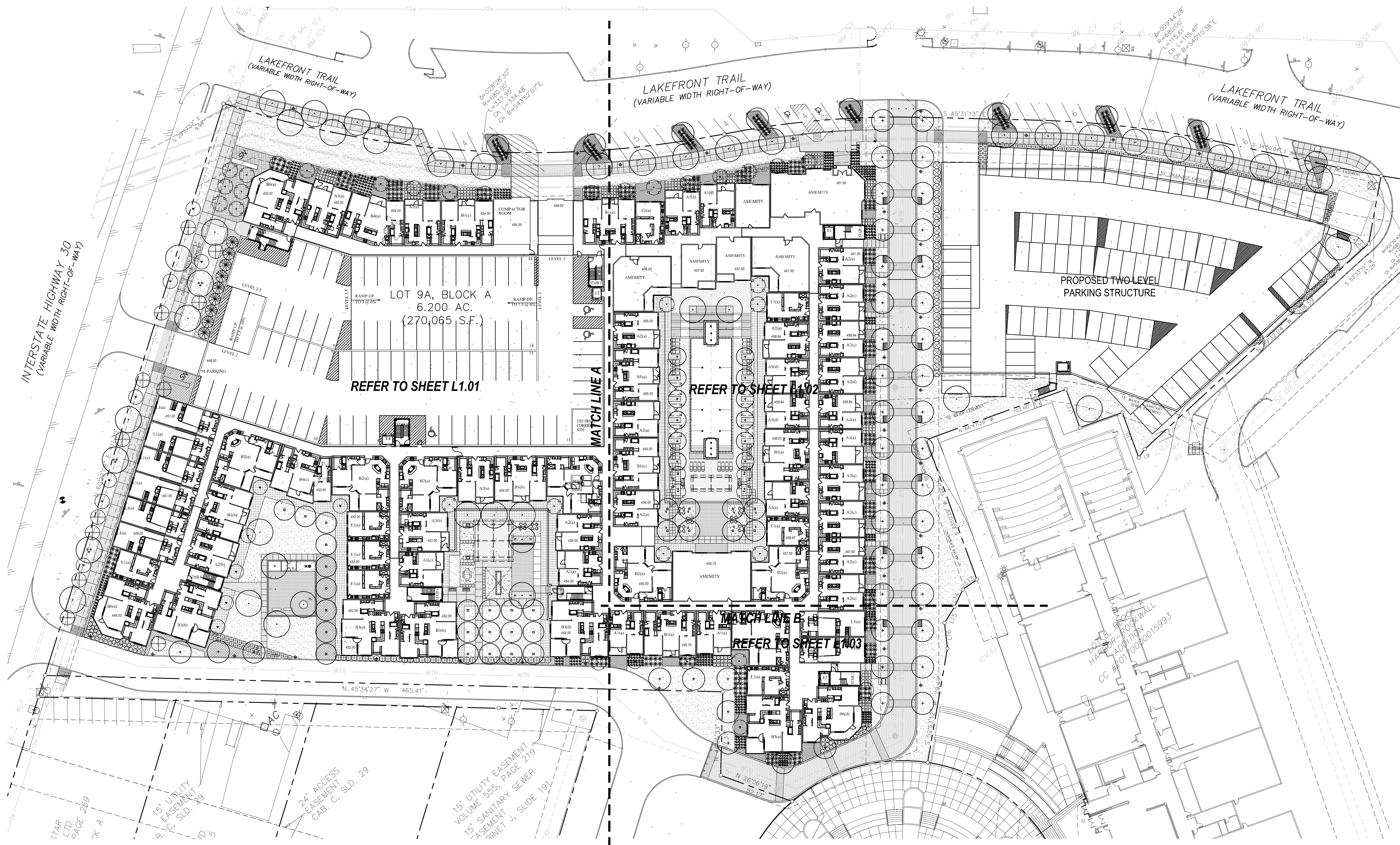


D1
DOWNSPOUT
SENIX OR EQUAL
RAFFIA BEIGE

HARBOR VILLAGE DWELLING UNITS MATERIAL BOARD

ROCKWALL, TEXAS





INTERSTATE HIGHWAY 30
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LOT 9A, BLOCK A
6.200 AC.
(270,065 S.F.)
REFER TO SHEET L1.01

PROPOSED TWO LEVEL
PARKING STRUCTURE

MATCHLINE A

REFER TO SHEET L1.02

MATCHLINE B
REFER TO SHEET L1.03

NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
C2	12°35'10"	620.00'	136.19'	135.92'	S51°48'46"E

LINE #	BEARING	DISTANCE
L9	S79°07'41"W	7.21'
L10	N23°10'29"E	32.93'
L11	N66°36'24"W	31.00'
L12	N23°10'29"E	27.95'
L13	N82°38'15"W	11.76'
L14	S68°52'14"W	13.20'
L15	S75°08'27"W	12.97'
L16	S36°32'06"W	17.64'

LANDSCAPE TABULATIONS: PD-32

SITE REQUIREMENTS (site area 270,065 s.f.)
Requirements: 15% site area to be landscaped

Required: 40,059 s.f. (15%)
Provided: 55,414 s.f. (20.5%)

STREET REQUIREMENTS:
Requirements: (2) canopy trees and (4) accent trees per 100 L.F. of IH 30 Frontage

IH 30 FRONTAGE ROAD (411.30 L.F. / IH 30 OVERLAY)
Required: (8) canopy trees, 4" cal. (32) accent trees, 8" ht. / 10' ht.
Provided: (8) canopy trees, 4" cal. (32) accent trees, 4" ht.

Requirements: (1) canopy tree, Live Oak per 30 L.F. in 4' x 8' leave-out of frontage; PD 32

LAKE FRONT TRAIL (707.73 L.F.)
Required: (24) canopy trees
Provided: (24) canopy trees

PARKING LOT: N/A TWO STORY PARKING GARAGE

ALL TREES TO BE LOCATED 5' FROM WATER, SEWER AND STORM SEWER LINES

ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL HEAD-IN PARKING

IRRIGATION WILL BE PROVIDED AND MEET UDC REQUIREMENTS

OVERFLOW PARKING LOT: 180 SPACES:

Required: (1) tree, 3" cal. 65 gallon per (8) spaces

REQUIRED: (23) trees, 3" cal. 65 gallon

PROVIDED: (25) trees, 3" cal. 65 gallon INDICATED ON-SITE WITH *

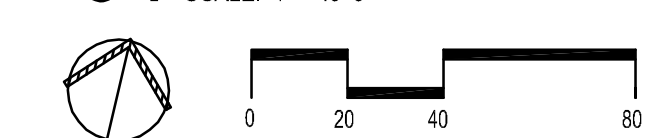
OWNER:
ROCKWALL RENTAL PROPERTIES, LP
1608 West Morse
Drewer 9
Terrell, Texas 75160
(972) 210-0331

DEVELOPER:
PEGASUS ABLON
8222 DOUGLAS AVENUE,
SUITE 300 DALLAS, TX 75225
(214) 389-6901

ENGINEER/SURVEYOR:
WINKELMANN & ASSOCIATES INC. 6750
HILLCREST PLAZA DR., # 325 DALLAS, TEXAS
75230
(972) 490-7090



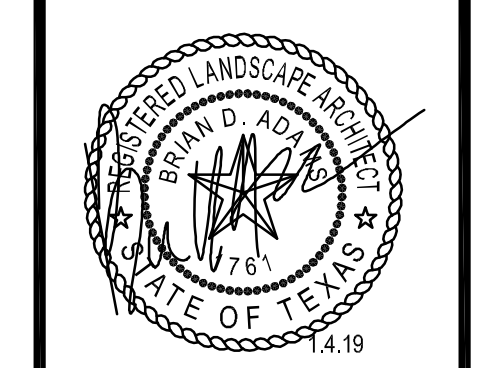
01 OVERALL LANDSCAPE SITE PLAN
SCALE: 1" = 40'-0"



CASE NO. SP2018-043

NO.	DATE	DESCRIPTION
1	JAN. 4, 2019	

HARBOR VILLAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



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BGO ARCHITECTS
4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE
12-14-18

PROJECT
17126

SHEET NUMBER
L1.00

SHEET NAME
= SANSETRIF

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CONCRETE NOTES

- All concrete shall be in accordance with the A.C.I. standard "Building Code Requirements for Reinforced Concrete" (A.C.I. 318) latest revision.
- All reinforcing steel shall be new domestic deformed billet steel conforming to ASTM A615, Grade 60 (60,000 PSI yield point).
- Reinforcing bar supports and spacers shall be provided in accordance with the Manual of Standard Practice by the Concrete Reinforcing Steel Institute.
- Concrete shall have a minimum compressive strength at 28 days of 3000 PSI.
- Grade beam concrete protection of reinforcement shall be 2" minimum top and sides, 3" minimum bottom.
- Maximum nominal coarse aggregate sizes for concrete in the slabs-on-grade shall be 3/4".
- Concrete slumps shall be 4" maximum, 2" minimum.
- Mortar for walls shall be Type M ASTM C-270, consisting of one (1) part hydrated Type S Lime, and not more than 3/4 parts well graded masonry sand with all proportions by volume.

PAVESTONE NOTES

- Contractor shall adhere to the Manufacturer's Installation Guidelines, Specifications, and any other requirements outlined by the Manufacturer for all paver installation.
- It shall be the responsibility of the Contractor to obtain a copy of the Manufacturer's Specifications prior to commencing any work.
- Type 'A' Pavers to be: Type and Color to be selected by Landscape Architect.
- Type 'B' Pavers to be: Type and Color to be selected by Landscape Architect.
- 'PAVESTONE' Pavers available from: Pavedstone Company
Mr. Joey Guedea (800) 245-7283.
- Pattern as indicated on drawings.
- Contractor shall submit a 'PAVESTONE' Standard Color Sample Board to the Landscape Architect / Owner for color selection prior to placing order.
- The final color selection shall be made by the Landscape Architect on-site.
- The Contractor shall construct a sample panel 10'-0" by 10'-0" on-site, at no expense to the Owner, for approval by the Landscape Architect / Owner prior to commencing work.
- The Landscape Architect reserves the right to reject any and all work executed by the Contractor which does not meet his/her expectations and the Manufacturer's Specifications.
- The Contractor shall make any modifications required by the Landscape Architect at no expense to the Owner.

INTEGRAL COLORED CONCRETE NOTES

- Color shall be integral concrete.
'Chromix Admixtures' or equal as supplied by:
L.M. Scofield Company
1-800-222-4100
- Contractor shall provide sample standard colors board and installation specifications from L.M. Scofield for review by the Architect and Owner prior to installation.
- Contractor shall adhere to Manufacturer's Installation Guidelines, Specifications, and other requirements for all Color-Conditioned Concrete installation.
- It shall be the responsibility of the Contractor to obtain a copy of the Manufacturer's Specifications prior to commencing any work.
- The architect reserves the right to reject any and all work executed by the Contractor which does not meet his/her expectations and Manufacturer's Specifications.
- The Contractor shall construct a sample panel 3'-0" x 3'-0" on site, at no expense to the Owner, for approval by the Architect / Owner prior to commencing work.

DECOMPOSED GRANITE NOTES

- Provide Decomposed Granite with 'Stabilizer' Binder additive surfacing as indicated on drawings.
- Submit representative samples of items specified for approval by Landscape Architect, Architect and Owner.
- Decomposed Granite base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and various stages of decomposed earth base.
- Filter Fabric: Fabric shall be 'Miracscape', non-woven needle punched fabric made from polypropylene, non-biodegradable, inert to soil chemicals, acids and alkalines over a pH range of 3 - 12, as manufactured by MIRAFI Inc., or approved equal.
- 'Stabilizer' Binder additive to be provided by:
Stabilizer Solutions
1 (800) 336-2468; www.stabilizersolutions.com
Blend to be 12 - 16 lbs. of Stabilizer per ton of Decomposed Granite, thoroughly mixed throughout.
- Provide grade stakes at 10 foot centers to insure grade points indicated on drawings are met. Insure scope of subgrade and finish surface meets cross sections indicated in details.
- Prepare subgrade by excavating existing material soils to a maximum depth of 4".
- After excavation, rototill or scarify top 1 inch of subgrade and compact to 95% standard proctor using double drum, single drum or automatic hand tampers.
- Install filter fabric in bottom of excavation to limits of path.
- Place four (4) inches of Decomposed Granite with 'Stabilizer' Binder over a dry sub-base. Do not install on wet sub-base. Provide compaction of material to maximum limits with automatic hand tampers in one inch lifts, unless noted otherwise on details. Compact to achieve a light material matrix.
- Provide twenty (20) 50 lbs. bags of pre-mixed Decomposed Granite for future use in repair and maintenance.
- The Contractor shall construct a sample panel 5'-0" x 5'-0" on site, at no expense to the Owner, for approval by the Landscape Architect / Owner prior to commencing work.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

IRRIGATION REPAIR SPECIFICATIONS: IF NEEDED FOR ANY OFF-SITE REPAIRS

- Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
- Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, sleeving, etc.

LAWN REPAIR NOTES: IF NEEDED FOR ANY OFF-SITE REPAIRS

- All lawn areas damaged during construction to be repaired with solid sod and raked free of debris.
- Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to fill voids.
- Roll repaired areas to achieve a smooth, even surface, free from unnatural undulations.

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

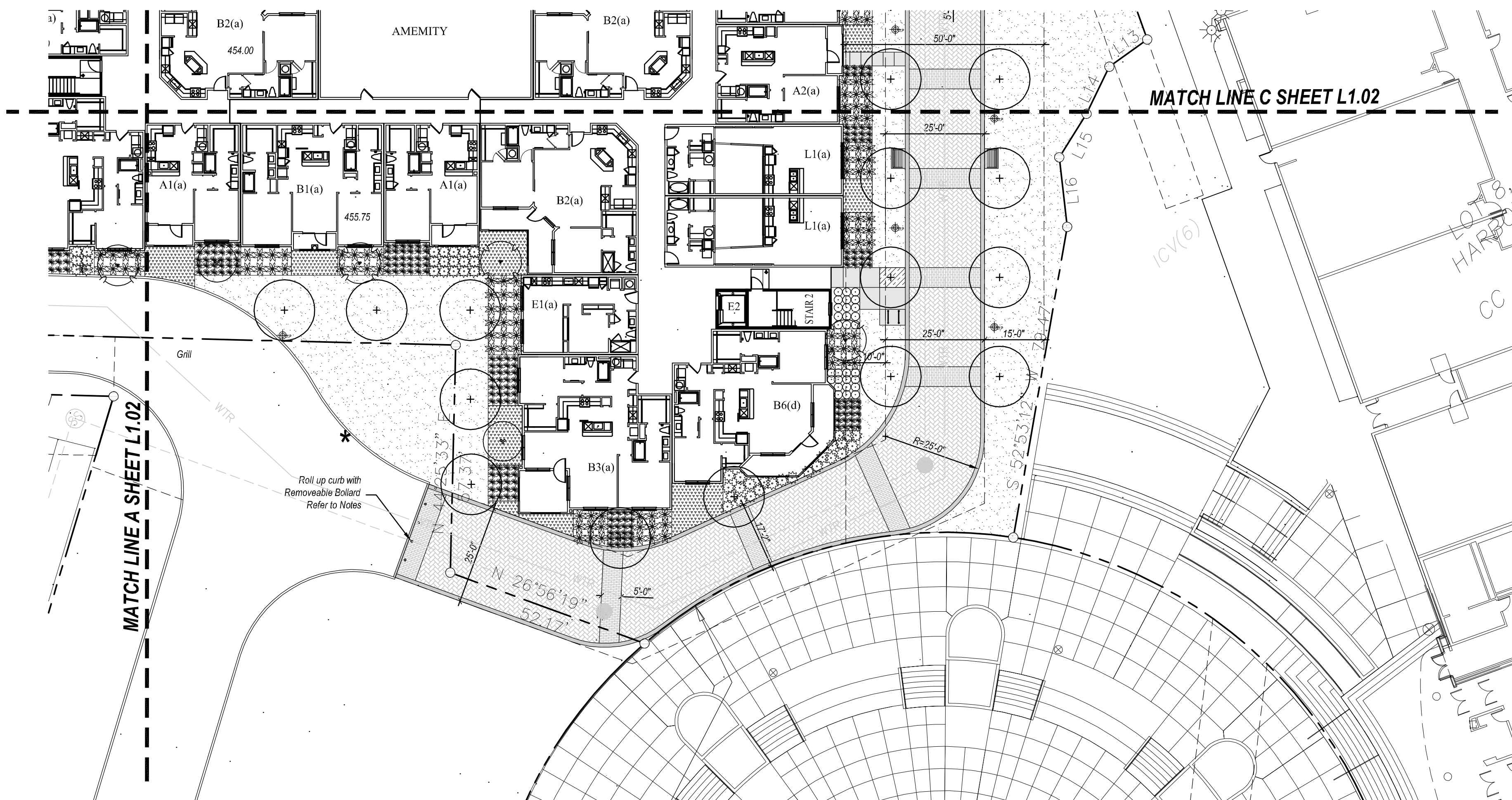
PLANT LIST

TREES	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	65	Bald Cypress	Taxodium distichum	4" cal.	container grown, 15' ht., 5' spread min.
	36	Crape Myrtle 'Dallas Red'	Lagerstroemia indica 'Dallas Red'	2" cal.	container grown, 3-5 cane, no cross caning
	42	Live Oak	Quercus virginiana	4" cal.	container grown, 15' ht., 5' spread min.
	9	Magnolia 'DD Blanchard'	Magnolia sp. 'DD Blanchard'	12" ht.	container grown, full to base
	29	October Glory Red Maple	Acer sp. 'October Glory'	3" cal.	container grown, 13' ht., 4' spread min.
	3	Red Oak 'Shumard'	Quercus shumardii	4" cal.	B&B, 14" ht., 4'-5' spread min.
	15	Redbud	Cercis canadensis	2" cal.	B&B, single trunk, 10' ht. min.
	12	Vitex	Vitex agnes-castes	8" ht.	B&B or container, tree form, 3-5 cane

SHRUBS	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	67	Cherry Laurel	Prunus caroliniana	5" ht.	container, full plant, 4" o.c.
	157	Nellie R. Stevens holly	Ilex sp. 'Nellie R. Stevens'	36" ht.	container, full plant, 36" o.c.
	360	Softleaf Yucca	Yucca recurvifolia	5 gal.	container, full plant, 36" o.c.
	88	Switchgrass	Panicum sp. 'Heavy Metal'	3 gal.	container, full top of container, 36" o.c.
	126	Gulf Muhly	Muhlenbergia capillaris	3 gal.	container, full top of container, 30" o.c.
	493	Hamel Grass	Pennisetum alopecuroides	3 gal.	container, full top of container, 24" o.c.
	265	Salvia 'Furman's Red'	Salvia greggii 'Furman's Red'	5 gal.	container, full plant, 24" o.c.
	1053	Mexican Feathergrass	Nassella tenuisemma	3 gal.	container, full top of container, 18" o.c.

GROUNDCOVERS	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	2,249	Berkeley Sedge	Carex obovata	4" pots	container, full top of container, 12" o.c.
	3,124	Wintercreeper	Euzoymus fortunei coloratus	4" pots	container, (3) 12" runners min, 12" o.c.
		Common Bermudagrass	Cynodon dactylon	roll sod	solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



GRAPHIC PLANT LEGEND

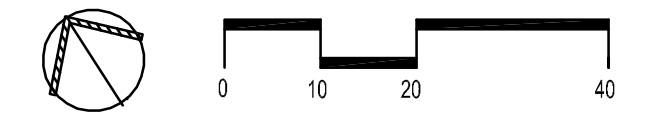
- BALD CYPRESS
- RED OAK
- CEDAR ELM
- LIVE OAK
- OCTOBER GLORY RED MAPLE
- VITEX
- REDBUD
- CREPE MYRTLE
- CHERRY LAUREL
- NELLIE R. STEVENS HOLLY
- HEAVY METAL SWITCHGRASS
- GULF MUHLY
- RED YUCCA
- HAMELN GRASS
- SALVIA
- MEXICAN FEATHER GRASS
- BERKELEY SEDGE
- WINTERCREEPER
- LAWN, SOLID SOD
- PLANTING BEDS
Shrubs and Groundcover

GRAPHIC SITE LEGEND

- PAVESTONE PAVER TYPE 'A'
'Holland 98 Parkway Provencaia'
'Antique Terra-cotta' 8 cm
Herringbone Pattern on concrete sub-base
- PAVESTONE PAVER TYPE 'B'
'Holland 98 Parkway Provencaia'
'Antique Terra-cotta' 8 cm
Running Band Pattern on concrete sub-base
- PAVESTONE PAVER TYPE POOL COURTYARD
ON CONCRETE SUB-BASE
- CONCRETE WALK: Light Sandblast / Sawcut Joints
INTEGRAL COLOR: 'COACHELLA SAND'
- CONCRETE WALK: Light Sandblast / Sawcut Joints
INTEGRAL COLOR: 'CHARCOAL'
- PEDESTRIAN BENCHES
REFER TO NOTES
- PEDESTRIAN SCALE LIGHTS
REFER TO NOTES



01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

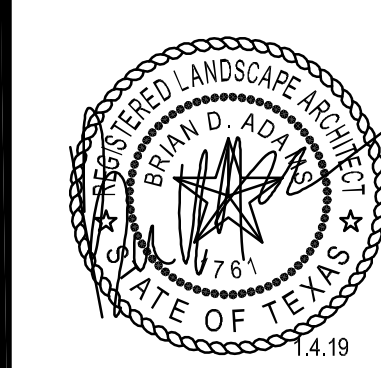


CASE NO. SP2018-043

REVISIONS

NO.	DATE	DESCRIPTION
1	JAN. 4, 2019	

HARBOR VILLAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



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landscape architects, inc.
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Email smr@smr-la.com

BGO ARCHITECTS

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214.520.8878
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DATE
12-14-18

PROJECT
17126

SHEET NUMBER
L1.03
SHEET # = SANSERIFF
= SANSERIFF

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SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- E. File Certificates of inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gapped open, then watered thoroughly.
 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be replaced.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

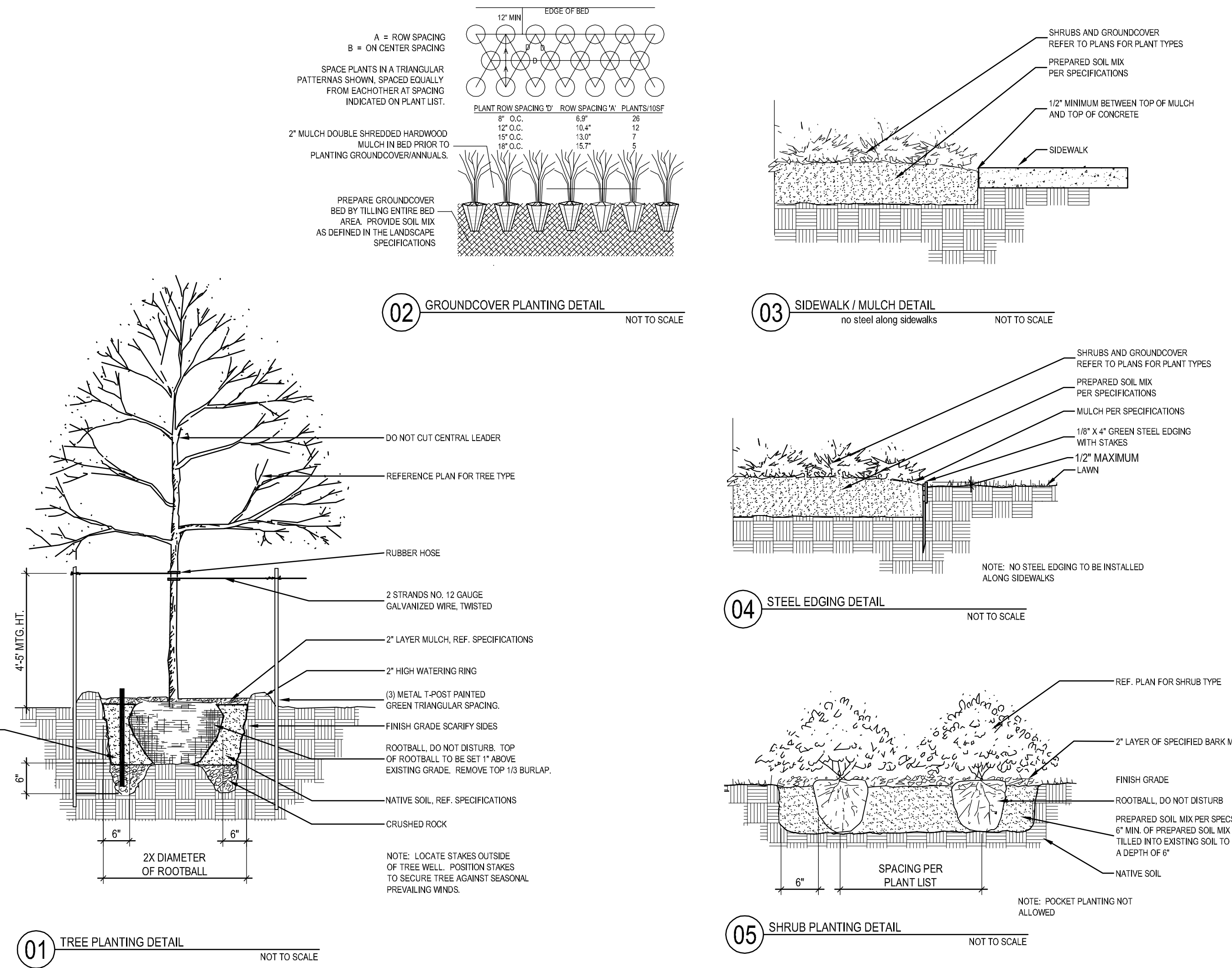
- A. Preparation:
 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dalagrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: FertiLaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
 1. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UR) with a minimum 8% sulphur and 4% iron, plus micronutrients.
 2. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

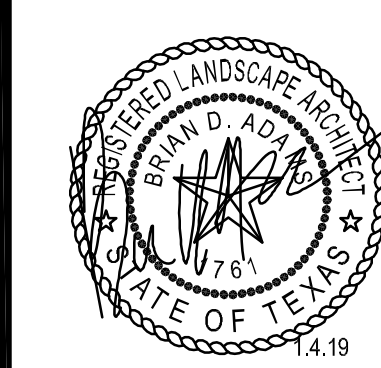
- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 1. Post: Studded T-Post, #1 Armo with anchor plate; 6'-0" length; paint green.
 2. Wire: 12 gauge, single strand, galvanized wire.
 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Milford 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.



REVISIONS

NO.	DATE	DESCRIPTION
1	JAN. 4, 2019	

HARBOR VILLAGE
 DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



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DATE
12-14-18

PROJECT
17126

SHEET NUMBER
L1.04
SHEET # SANSERIFF
= SANSERIFF

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