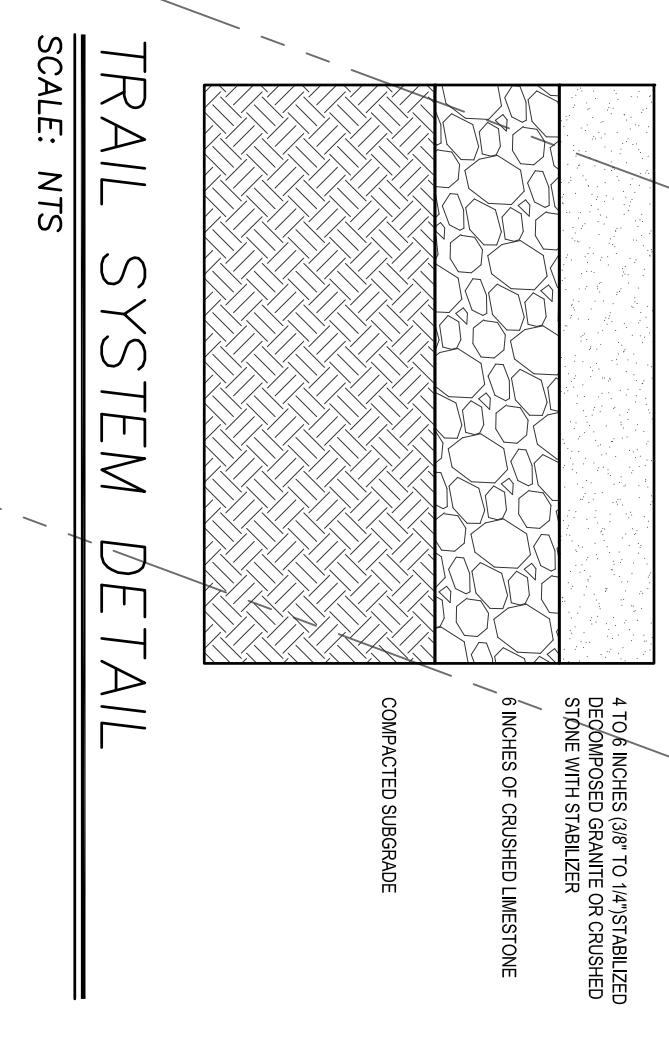


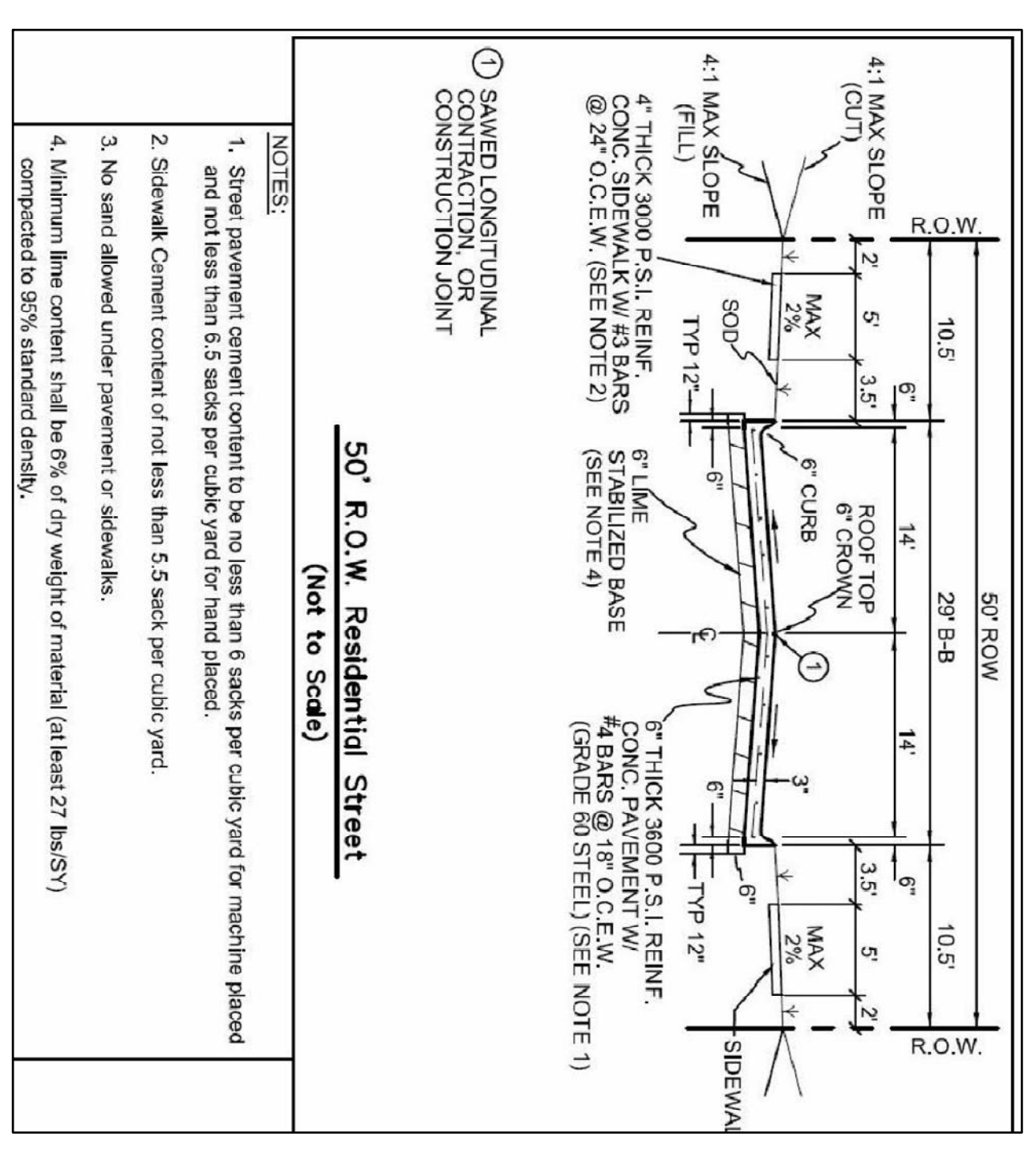
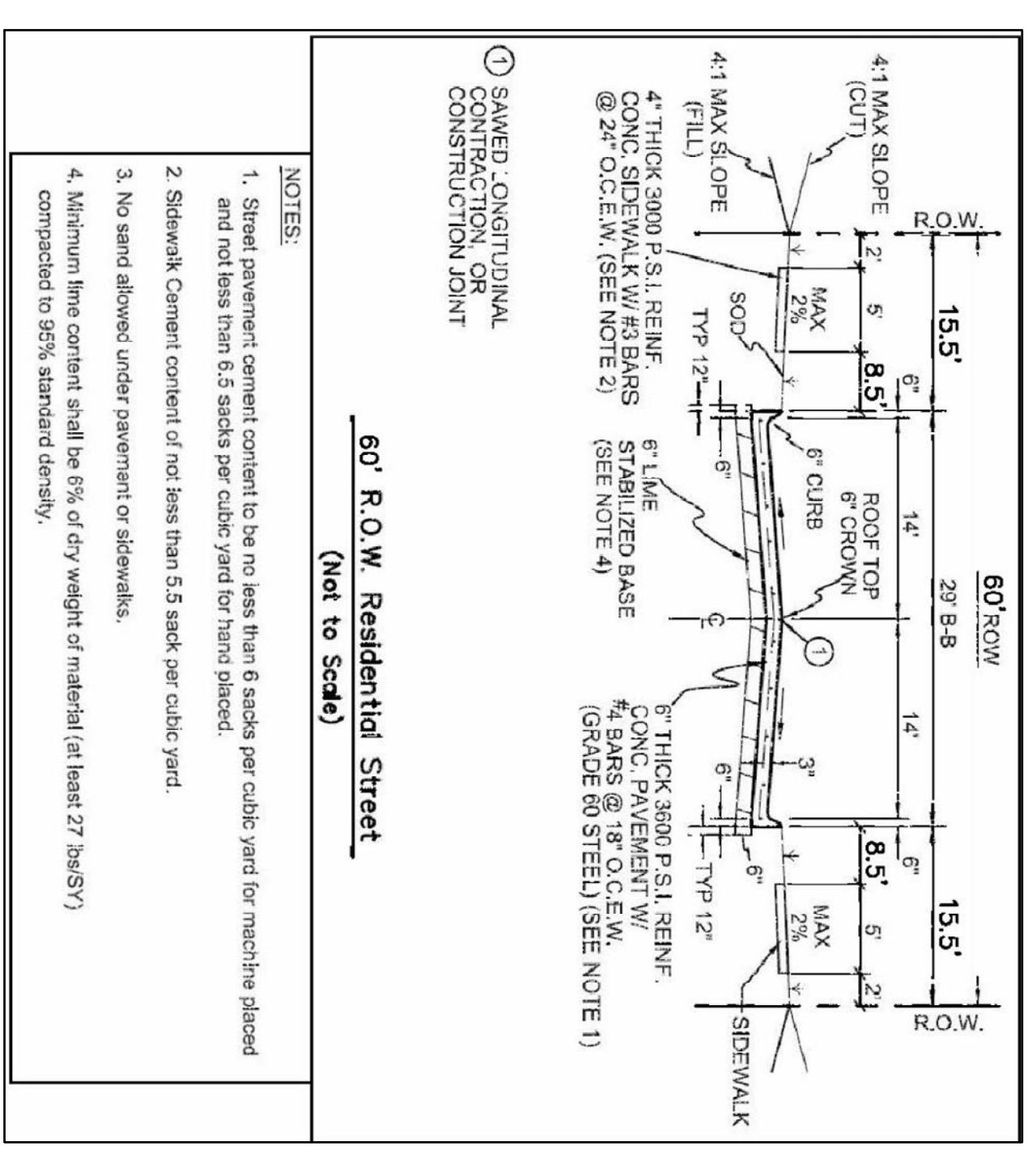
OVERALL SITE PLAN
SCALE: 1" = 50'-0"



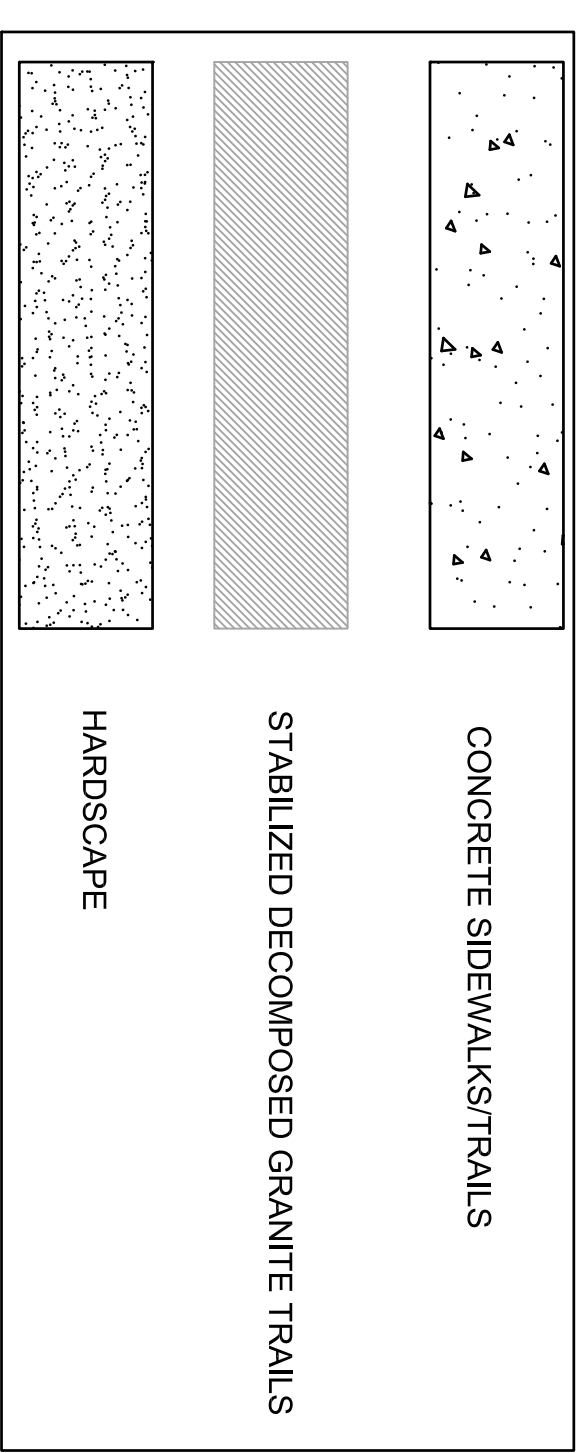
SHEET NOTES

- SUBDIVISION - THE STANDARD - 15.826 ACRES - ZONING - PD-68
NUMBER OF DWELLING UNITS (DU) - 46
- OPEN SPACE:
GROSS AREA: 13.03 AC. OR 567,644 S.F.
OPEN AREA: 3.50 AC. OR 152,415 S.F.
OPEN AREA: 26.98% OF GROSS AREA
46 DU - 3.53 DU/AC.
- NOTES:
1. ALL LOTS ARE WITHIN 800 FT. OF AN OPEN SPACE OR A PUBLIC PARK.
2. SUBDIVISION ENTRANCE SIGNAGE IS LOCATED AT THE SE CORNER OF S. GOLIAD ST. AND LOT 4.
3. ROOT BARRIERS WILL BE INSTALLED WHERE TREES ARE TO BE INSTALLED WITHIN ROW.
4. NO TREES WITHIN 5 FT. OF UTILITIES.

HARDSCAPE DETAILS



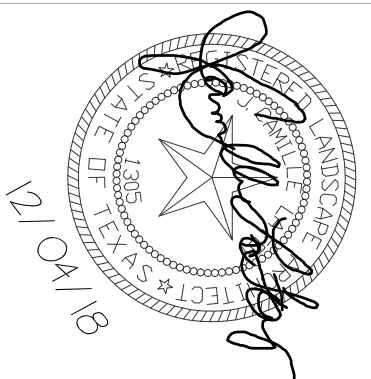
HARDSCAPE, SIDEWALKS/TRAILS KEY



Case No. SP2018-040

DOUPHRATE & ASSOCIATES, INC.
ENGINEERING PROJECT MANAGEMENT SURVEYING
2836 RIDGE ROAD ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9006

JCL
J. CAMILLE LA FOY
LANDSCAPE ARCHITECTURE CONSULTING
101C NORTH GREENVILLE AVENUE, #242
ALLEN, TEXAS 75002
214-562-4036



SITE PLAN
The Standard
Goliad St. and Justin Rd.
Rockwall, Texas

10016
Project Status
2018/10/03
Revisions
No. Date

Sheet
L1.02

