

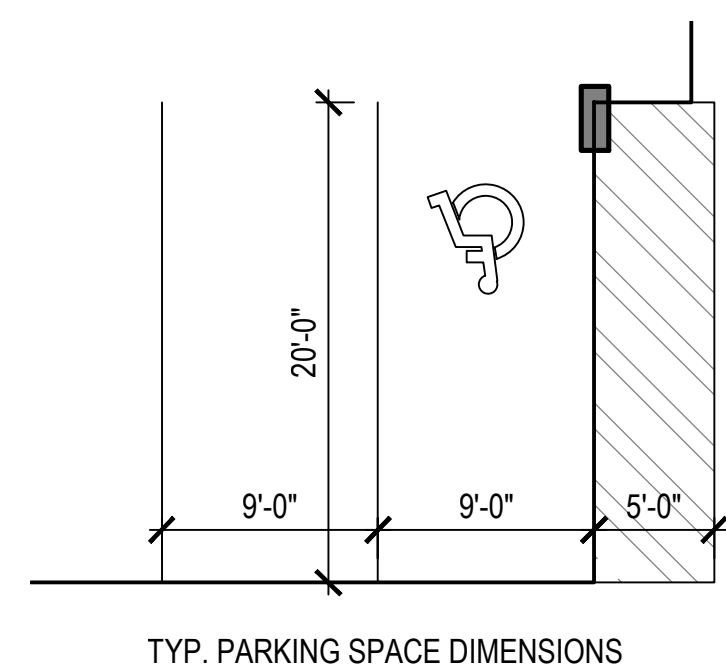
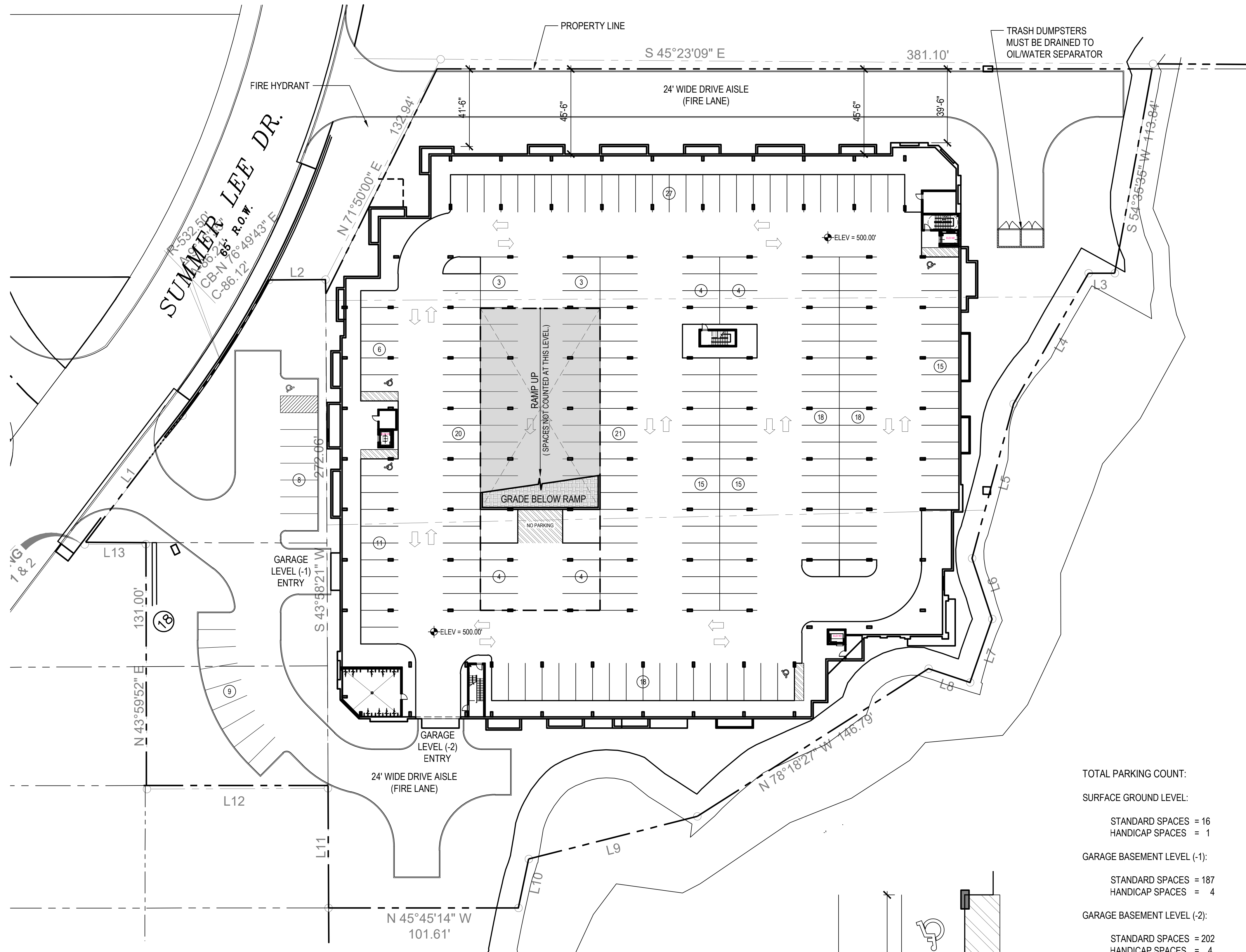
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HARBOR HILL
2400 SUMMER LEE DRIVE
ROCKWALL, TEXAS 75032
OVERALL AREA SITE MAP

| |
|--|
| Issue Dates: |
| HUD INVITATION 03-05-2018 |
| ISSUED FOR PRICING 08-16-2018 |
| ISSUED FOR REVIEW 10-01-2018 |
| HUD INVITATION 10-12-2018 |
| ISSUED FOR DEVELOPMENT REVIEW 11-16-2018 |
| DEVELOPMENT REVIEW REVISIONS 12-04-2018 |

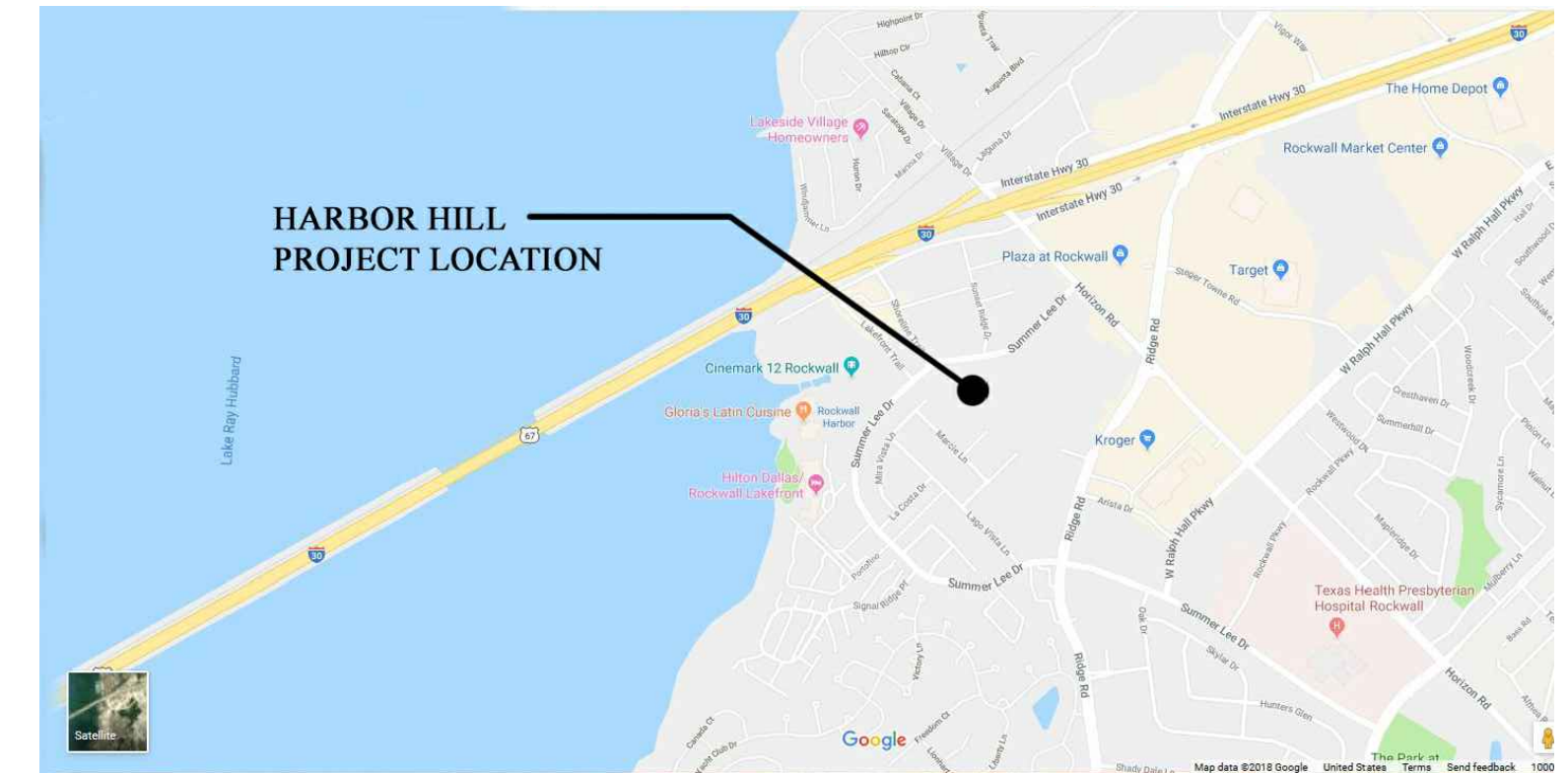
Scale:
Drawn By: RGM
Checked by: BM

Sheet
A200
Project No.
SP2018-037



TYP. PARKING SPACE DIMENSIONS

TOTAL PARKING COUNT:
 SURFACE GROUND LEVEL:
 STANDARD SPACES = 16
 HANDICAP SPACES = 1
 GARAGE BASEMENT LEVEL (-1):
 STANDARD SPACES = 187
 HANDICAP SPACES = 4
 GARAGE BASEMENT LEVEL (-2):
 STANDARD SPACES = 202
 HANDICAP SPACES = 4
 TOTAL STANDARD PARKING = 405
 TOTAL HANDICAP PARKING = 5
 TOTAL PARKING SPACES = 410

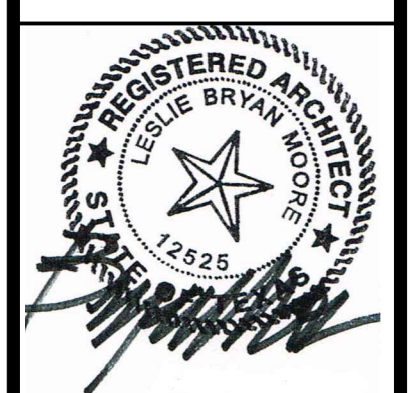


| Harbor Hill BLDG. TABULATIONS | | | | | DBA Architects 09/26/18 | |
|-------------------------------|-----------|-----------|-----------|-----------|-------------------------|-----------------|
| UNIT TYPE | LEVEL 1 | LEVEL 2 | LEVEL 3 | LEVEL 4 | TOTALS | GROUP TOTALS |
| E1 | 4 | 4 | 4 | 4 | 16 | |
| E1-Air 1 | 3 | 3 | 3 | 3 | 12 | 28 11% |
| A1 | 3 | 3 | 4 | 3 | 13 | |
| A1-Air 1 | 1 | 2 | 1 | 2 | 6 | |
| A1-Air 2 | 1 | 1 | 1 | 1 | 4 | |
| A2 | 2 | 2 | 2 | 2 | 8 | |
| A2-Air 1 | 2 | 2 | 2 | 2 | 8 | |
| A3 | 1 | 1 | 1 | 1 | 4 | |
| A3-Air 1 | 2 | 2 | 2 | 2 | 8 | |
| A4 | 0 | 3 | 4 | 4 | 11 | |
| A4-Air 1 | 1 | 1 | 1 | 1 | 4 | |
| A5 | 9 | 9 | 9 | 9 | 36 | |
| A6 | 1 | 1 | 1 | 1 | 4 | |
| A7 | 1 | 1 | 1 | 1 | 4 | 110 42% |
| B1 | 2 | 2 | 2 | 2 | 8 | |
| B1-Air 1 | 4 | 4 | 4 | 4 | 16 | |
| B1-Air 2 | 0 | 0 | 1 | 1 | 2 | |
| B2 | 7 | 7 | 8 | 8 | 30 | |
| B2-Air 1 | 4 | 4 | 4 | 4 | 16 | |
| B2-Air 2 | 1 | 1 | 1 | 1 | 4 | |
| B3 | 6 | 6 | 6 | 6 | 24 | |
| B3-Air 1 | 0 | 0 | 0 | 0 | 0 | |
| B3-Air 2 | 1 | 1 | 1 | 1 | 4 | |
| B4 | 1 | 1 | 1 | 0 | 3 | |
| B4-Air 1 | 1 | 1 | 1 | 1 | 4 | |
| B5 | 1 | 1 | 1 | 1 | 4 | |
| B6 | 2 | 2 | 2 | 2 | 8 | |
| C1 | 0 | 0 | 0 | 0 | 0 | 123 46% |
| C2 | 1 | 1 | 1 | 1 | 4 | |
| TOTALS | 62 | 66 | 69 | 68 | 265 | 265 100% |

| COMMON AREAS | |
|------------------------------|---------------|
| 1ST FLOOR COMMON AREA: 7,568 | |
| LEASING: | 2,357 |
| CLUBHOUSE: | 1,676 |
| FITNESS: | 2,748 |
| 2ND FLOOR COMMON AREA: 1,863 | |
| BUSINESS CENTER: | 605 |
| INTERNET CAFE: | 1,258 |
| 4TH FLOOR ROOF PLAZA: 1,151 | |
| TOTALS | 10,582 |

| OVERALL BUILDING SQUARE FOOTAGES | | |
|----------------------------------|--------|----------------|
| GARAGE | | 193,166 |
| LOWER LEVEL | 96,539 | |
| UPPER LEVEL | 96,627 | |
| LEVEL 1 | | 77,352 |
| LEVEL 2 | | 77,419 |
| LEVEL 3 | | 77,459 |
| LEVEL 4 | | 77,459 |
| TOTAL | | 502,855 |

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 81°28'02" E | 86.50' |
| L2 | S 46°08'17" E | 30.14' |
| L3 | N 45°45'14" W | 14.04' |
| L4 | S 74°06'26" W | 80.60' |
| L5 | S 59°17'11" W | 85.54' |
| L6 | S 25°51'46" W | 34.19' |
| L7 | S 63°27'09" W | 35.91' |
| L8 | N 27°26'18" W | 23.40' |
| L9 | N 59°56'19" W | 92.98' |
| L10 | S 56°07'51" W | 26.76' |
| L11 | N 43°58'21" E | 64.01' |
| L12 | N 46°00'51" W | 96.85' |
| L13 | N 46°00'51" W | 32.72' |



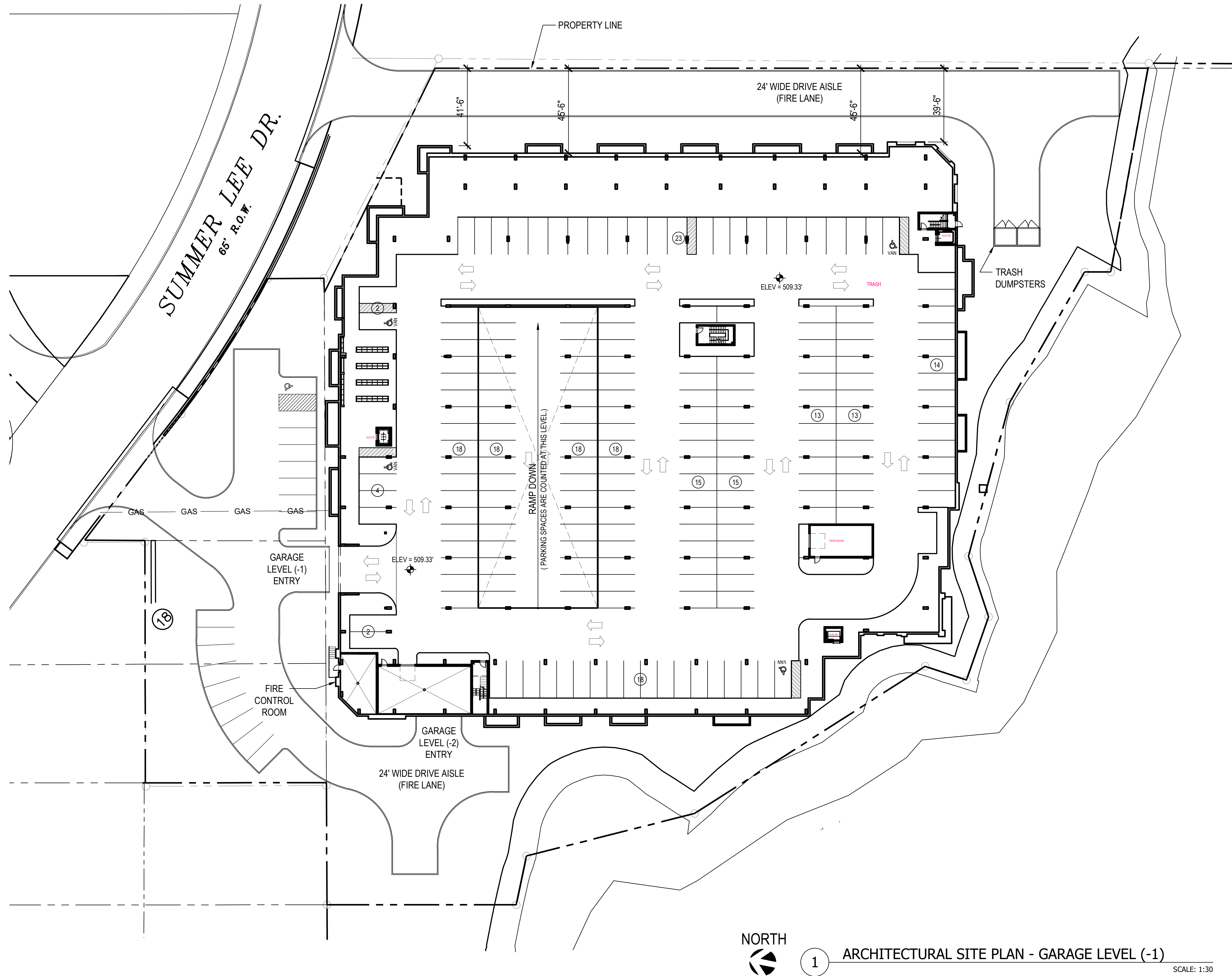
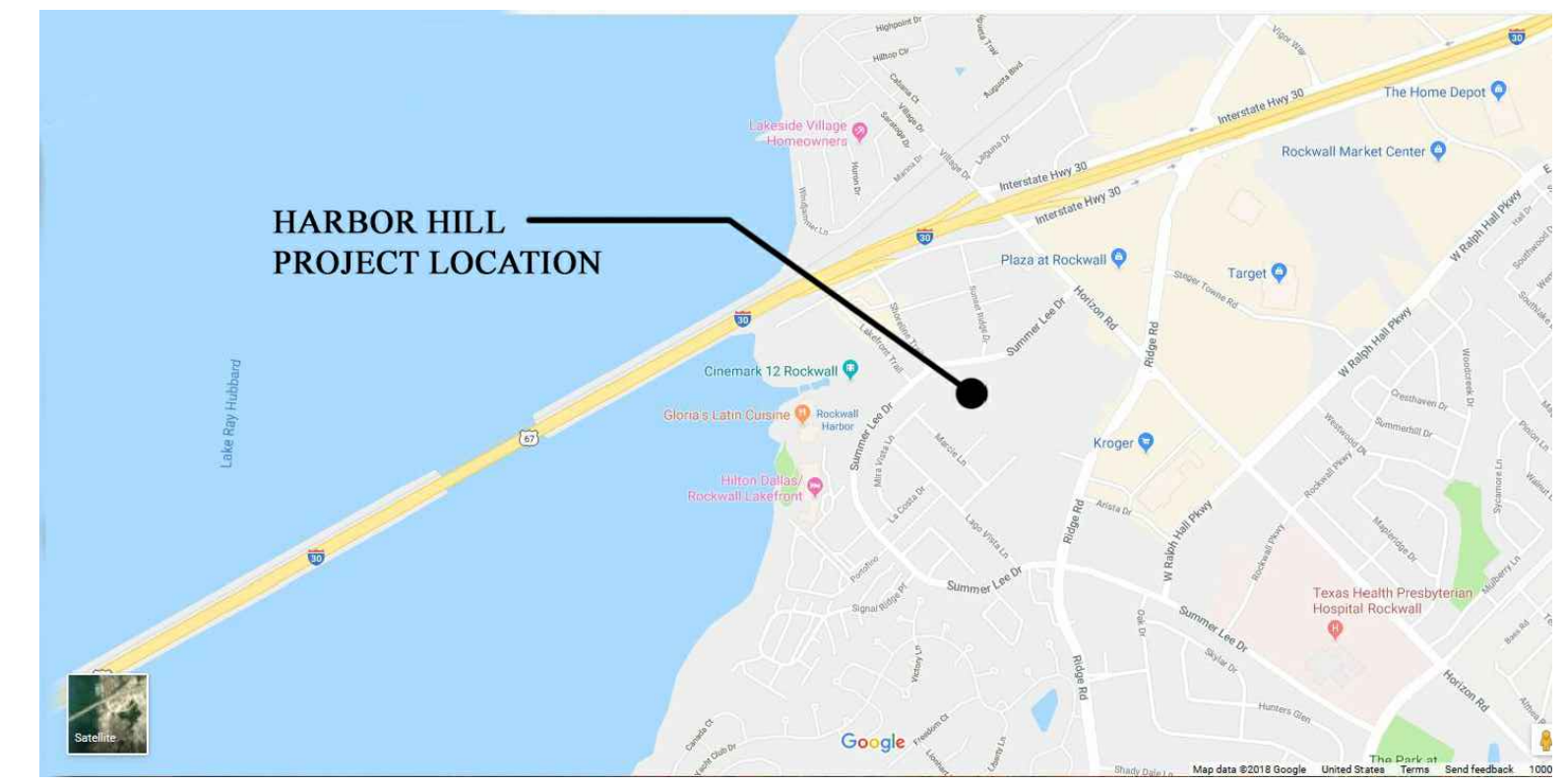
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HARBOR HILL
 2400 SUMMER LEE DRIVE
 ROCKWALL, TEXAS 75032

Issue Dates:
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 ISSUED FOR REVIEW 10-01-2018
 HUD INVITATION 10-12-2018
 ISSUED FOR DEVELOPMENT REVIEW 11-16-2018
 DEVELOPMENT REVIEW REVISIONS 12-04-2018

Scale:
 Drawn By: RGM
 Checked by: BM

DEVELOPMENT REVIEW - REVISIONS: 12-04-18



1 ARCHITECTURAL SITE PLAN - GARAGE LEVEL (-1) SCALE: 1:30

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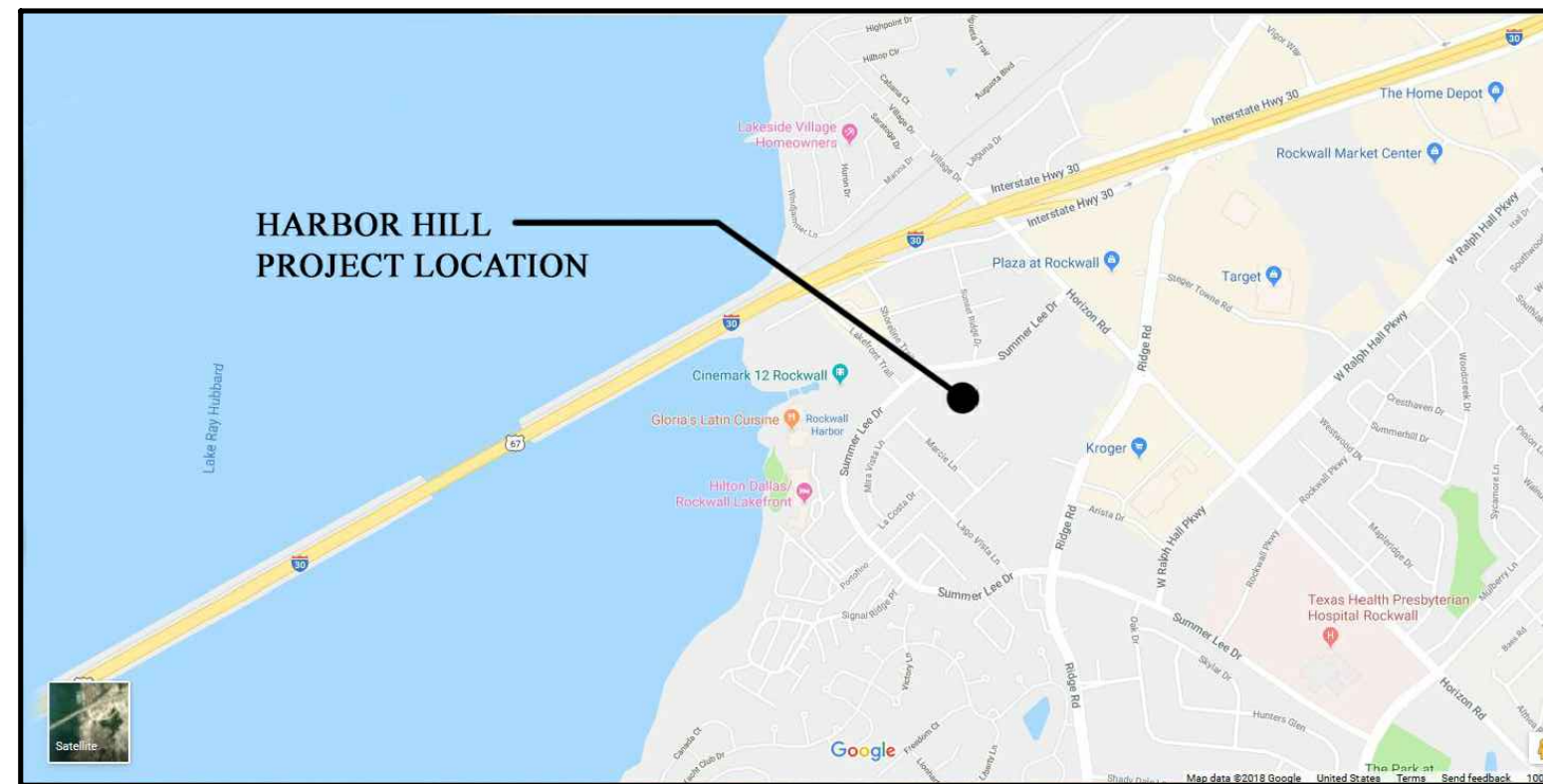
HARBOR HILL
2400 SUMMER LEE DRIVE
ROCKWALL, TEXAS 75032

| |
|--|
| Issue Dates: |
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| DEVELOPMENT REVIEW REVISIONS 12-04-2018 |

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Drawn By: RGM
Checked by: BM

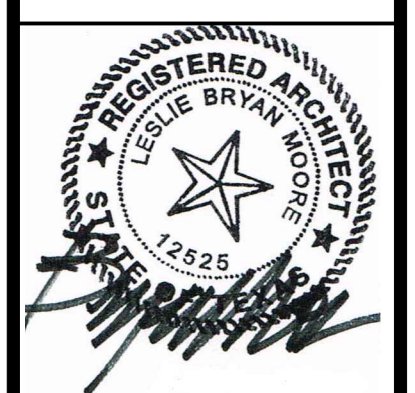
Sheet
A202
Project No.
SP2018-037

DEVELOPMENT REVIEW - REVISIONS: 12-04-18



NORTH
 1 ARCHITECTURAL SITE PLAN - BUILDING LEVEL 1
 SCALE: 1:30

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HARBOR HILL
 2400 SUMMER LEE DRIVE
 ROCKWALL, TEXAS 75032
ARCHITECTURAL SITE PLAN
BUILDING LEVEL 1

| Issue Dates: |
|--|
| HUD INVITATION 03-05-2018 |
| ISSUED FOR PRICING 08-16-2018 |
| ISSUED FOR REVIEW 10-01-2018 |
| HUD INVITATION 10-12-2018 |
| ISSUED FOR DEVELOPMENT REVIEW 11-16-2018 |
| DEVELOPMENT REVIEW REVISIONS 12-04-2018 |

Scale:
 Drawn By: RGM
 Checked by: BM

Sheet
A203
 Project No.
SP2018-037

DEVELOPMENT REVIEW - REVISIONS: 12-04-18

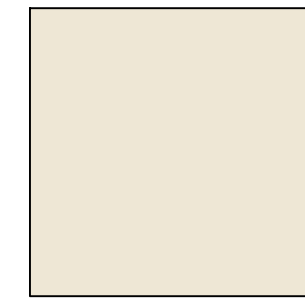
EXTERIOR COLORS



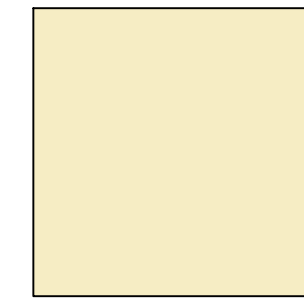
CONCRETE ROOF TILE:
BORAL - TEJAS ESPANA -
BRAZOS BLEND



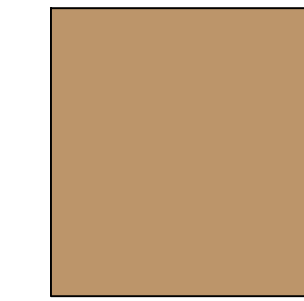
EXTERIOR STONE VENEER:
ELDORADO STONE -
MOUNTAIN LEDGE



3 COAT STUCCO SYSTEM:
COLOR #1: BEHR - EGGSHELL - MS33
(TYP. AT ALL HORIZONTAL BANDING.)

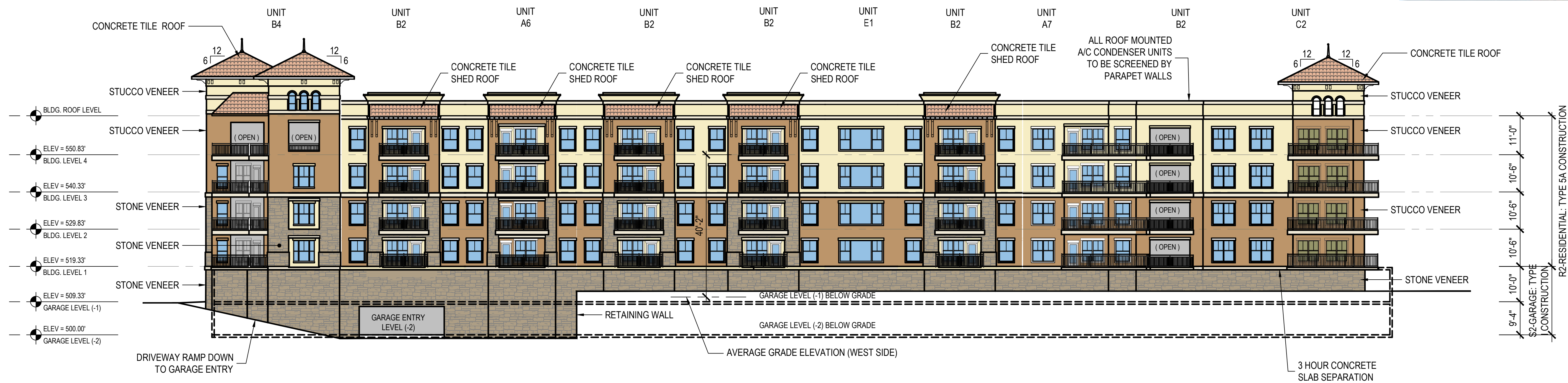
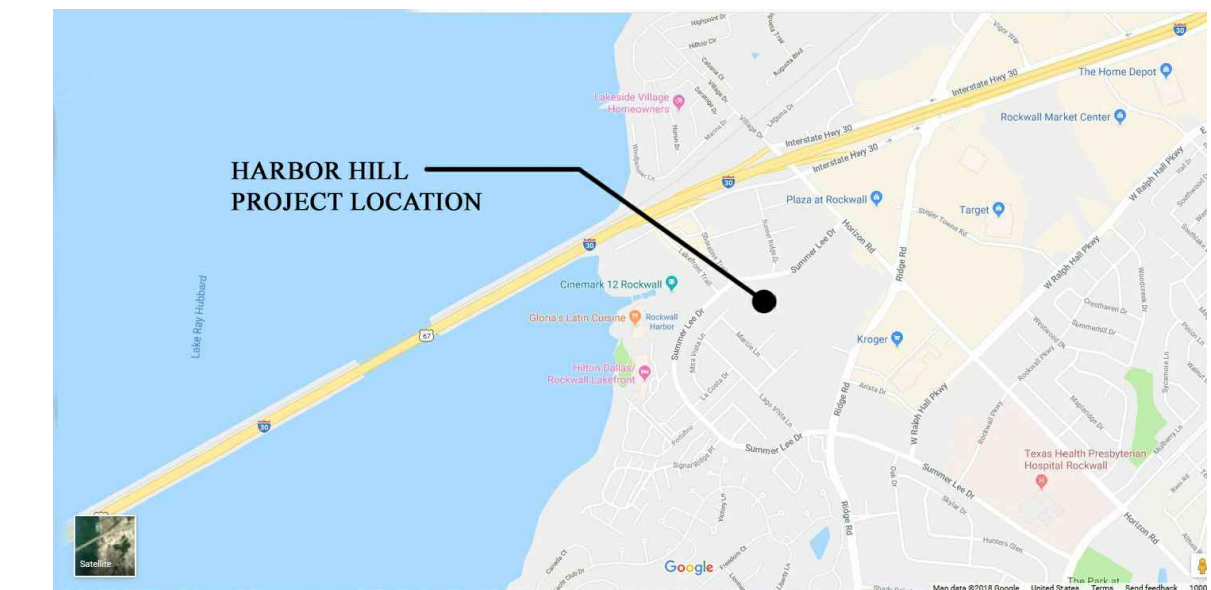


3 COAT STUCCO SYSTEM:
COLOR #2 : BEHR - VANILLA - MS-34
(TYP. AT MAJOR FIELD AREA,
BACK WALLS.)



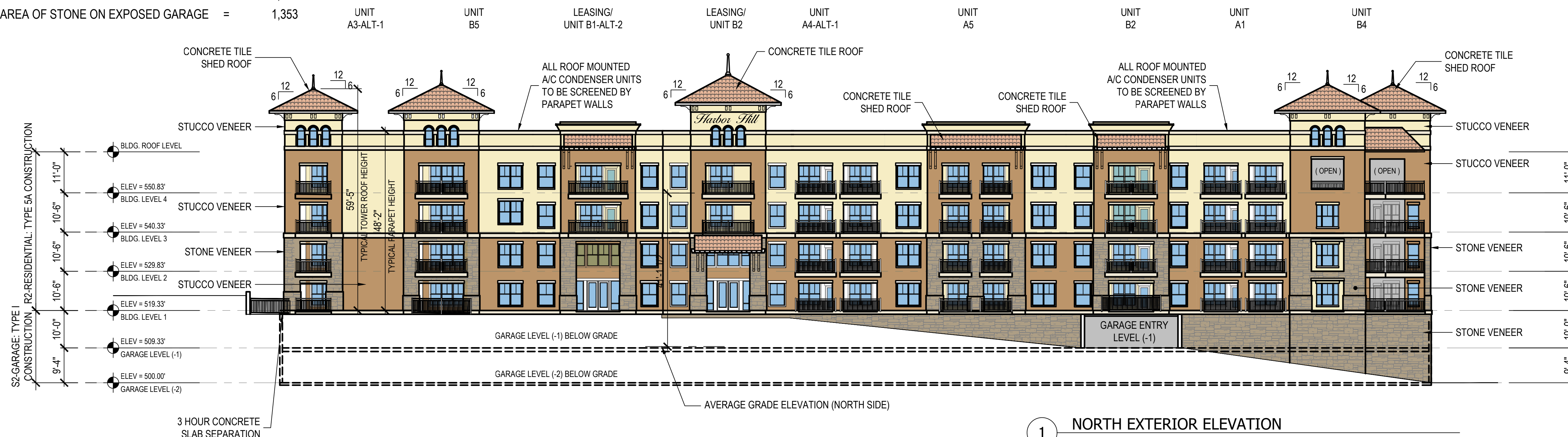
3 COAT STUCCO SYSTEM:
COLOR #3: BEHR - CANYONLAND - MS-37
(TYP. ALL ALL MINOR FIELD AREAS,
COLUMNS & RECESSED WINDOWS.)

WEST ELEVATION EXTERIOR MATERIAL FOOTAGES:
TOTAL SURFACE SQUARE FOOTAGE = 15,038
AREA OF STUCCO MATERIAL = 10,957
AREA OF STONE ON BUILDING FASCIADE = 1,096
AREA OF STONE ON EXPOSED GARAGE = 2,985



2 WEST EXTERIOR ELEVATION (LAKE SIDE) SCALE: 1/16" = 1'-0"

NORTH ELEVATION EXTERIOR MATERIAL FOOTAGES:
TOTAL SURFACE SQUARE FOOTAGE = 13,140
AREA OF STUCCO MATERIAL = 10,585
AREA OF STONE ON BUILDING FASCIADE = 1,202
AREA OF STONE ON EXPOSED GARAGE = 1,353



1 NORTH EXTERIOR ELEVATION SCALE: 1/16" = 1'-0"

DBA
 ARCHITECTS
1712 BENTLEY SUITE 210 DALLAS, TEXAS 75207 972.440.4400



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HARBOR HILL
 2400 SUMMER LEE DRIVE
 ROCKWALL, TEXAS 75032
EXTERIOR ELEVATION
NORTH & WEST VIEWS

| |
|--|
| Issue Dates: |
| HUD INVITATION 03-05-2018 |
| ISSUED FOR PRICING 08-16-2018 |
| ISSUED FOR REVIEW 10-01-2018 |
| HUD INVITATION 10-12-2018 |
| ISSUED FOR DEVELOPMENT REVIEW 11-16-2018 |
| DEVELOPMENT REVIEW REVISIONS 12-04-2018 |

Scale:
Drawn By: RGM
Checked by: BM

Sheet
A501
Project No.
SP2018-037

DEVELOPMENT REVIEW - ARB REVISIONS: 12-14-18

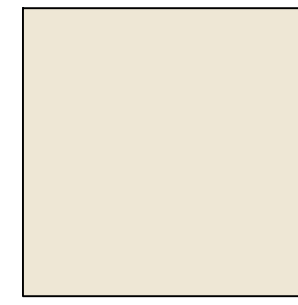
EXTERIOR COLORS



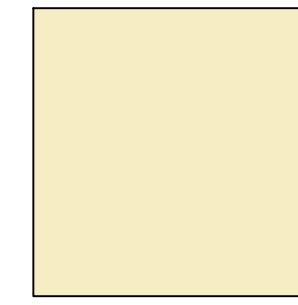
CONCRETE ROOF TILE:
BORAL - TEJAS ESPANA -
BRAZOS BLEND



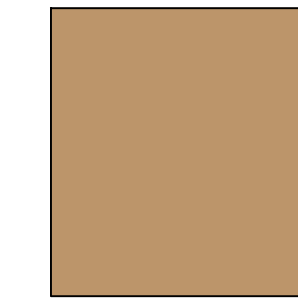
EXTERIOR STONE VENEER:
ELDORADO STONE -
MOUNTAIN LEDGE



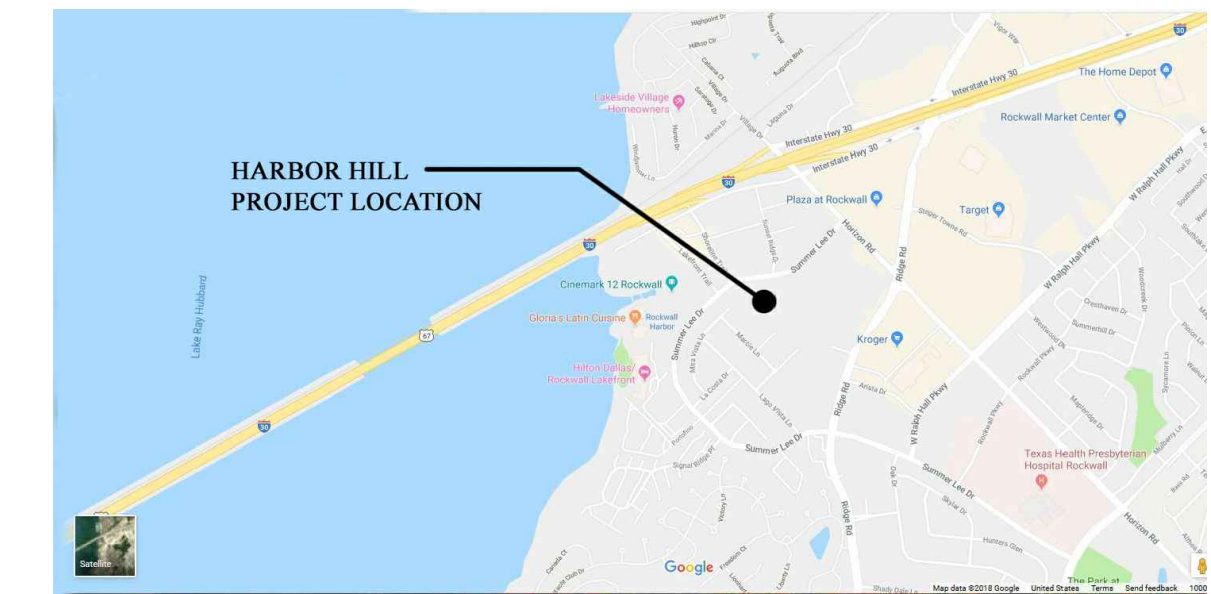
3 COAT STUCCO SYSTEM:
COLOR #1: BEHR - EGG SHELL - MS33
(TYP. AT ALL HORIZONTAL BANDING.)



3 COAT STUCCO SYSTEM:
COLOR #2 : BEHR - VANILLA - MS-34
(TYP. AT MAJOR FIELD AREA,
BACK WALLS.)



3 COAT STUCCO SYSTEM:
COLOR #3: BEHR - CANYONLAND - MS-37
(TYP. ALL ALL MINOR FIELD AREAS,
COLUMNS & RECESSED WINDOWS.)



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1112 EASTWAY SUITE 210 DALLAS, TEXAS 75201 972.442.4400



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HARBOR HILL
 2400 SUMMER LEE DRIVE
 ROCKWALL, TEXAS 75032
EXTERIOR ELEVATION
EXTERIOR PERIMETER

Issue Dates:

| | |
|-------------------------------|------------|
| HUD INVITATION | 03-05-2018 |
| ISSUED FOR PRICING | 08-16-2018 |
| ISSUED FOR REVIEW | 10-01-2018 |
| HUD INVITATION | 10-12-2018 |
| ISSUED FOR DEVELOPMENT REVIEW | 11-16-2018 |
| DEVELOPMENT REVIEW REVISIONS | 12-04-2018 |

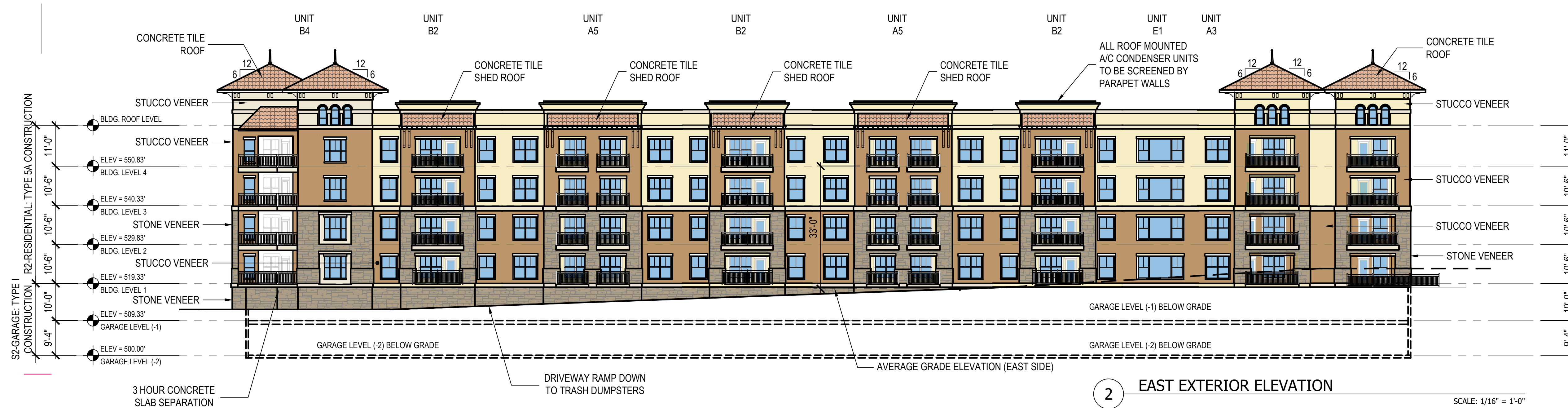
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Checked by: BM

Sheet
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Project No.
SP2018-037

DEVELOPMENT REVIEW - ARB REVISIONS: 12-14-18

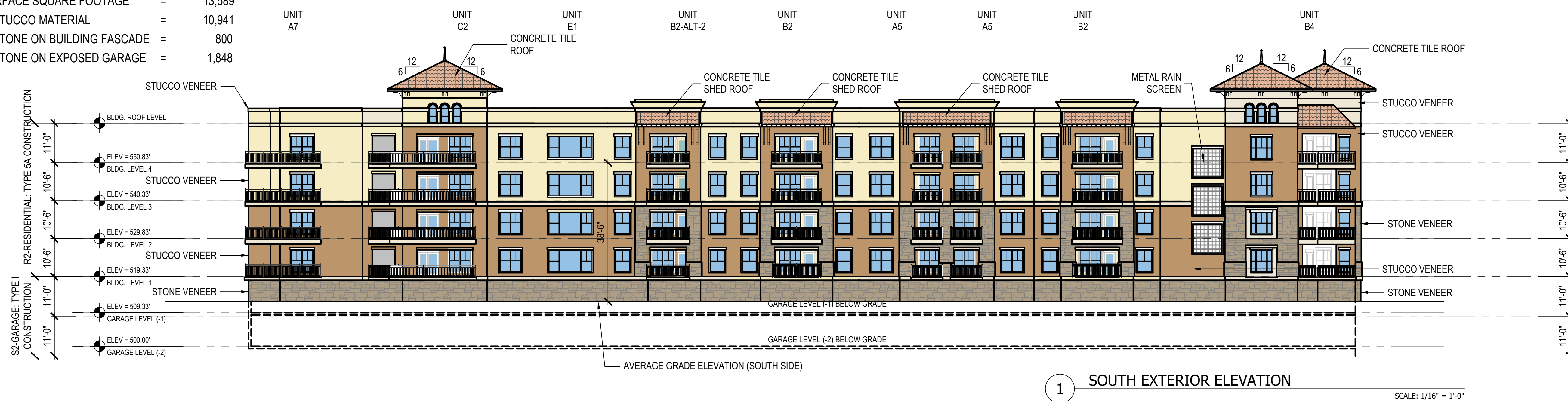
EAST ELEVATION EXTERIOR MATERIAL FOOTAGES:

| | | |
|----------------------------------|---|--------|
| TOTAL SURFACE SQUARE FOOTAGE | = | 12,387 |
| AREA OF STUCCO MATERIAL | = | 10,203 |
| AREA OF STONE ON BUILDING FASCAD | = | 1,433 |
| AREA OF STONE ON EXPOSED GARAGE | = | 751 |



SOUTH ELEVATION EXTERIOR MATERIAL FOOTAGES:

| | | |
|----------------------------------|---|--------|
| TOTAL SURFACE SQUARE FOOTAGE | = | 13,589 |
| AREA OF STUCCO MATERIAL | = | 10,941 |
| AREA OF STONE ON BUILDING FASCAD | = | 800 |
| AREA OF STONE ON EXPOSED GARAGE | = | 1,848 |



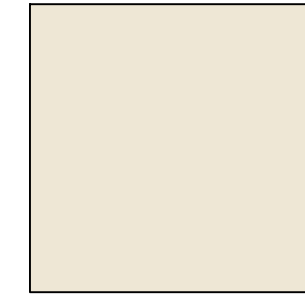
EXTERIOR COLORS



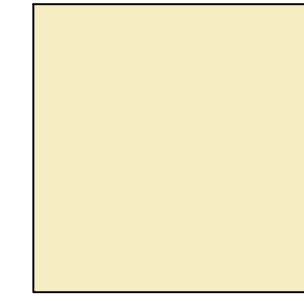
CONCRETE ROOF TILE:
BORAL - TEJAS ESPANA -
BRAZOS BLEND



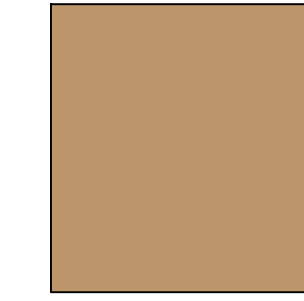
EXTERIOR STONE VENEER:
ELDORADO STONE -
MOUNTAIN LEDGE



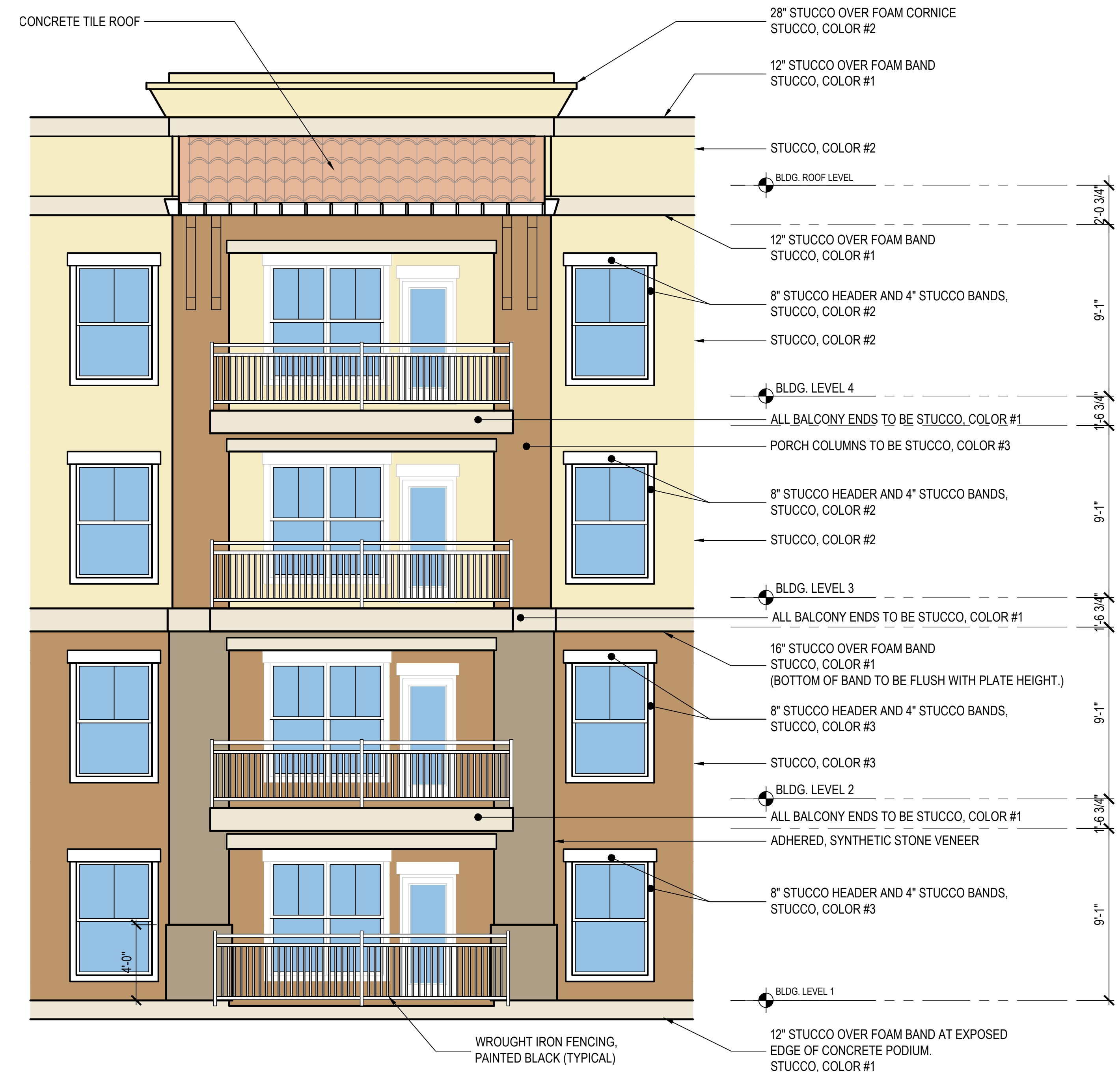
3 COAT STUCCO SYSTEM:
COLOR #1: BEHR - EGGSHELL - MS33
(TYP. AT ALL HORIZONTAL BANDING.)



3 COAT STUCCO SYSTEM:
COLOR #2 : BEHR - VANILLA - MS-34
(TYP. AT MAJOR FIELD AREA,
BACK WALLS.)



3 COAT STUCCO SYSTEM:
COLOR #3: BEHR - CANYONLAND - MS-37
(TYP. ALL ALL MINOR FIELD AREAS,
COLUMNS & RECESSED WINDOWS.)



1 TYPICAL APPLICATION OF MATERIALS

SCALE: 1/4" = 1'-0"

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HARBOR HILL
2400 SUMMER LEE DRIVE
ROCKWALL, TEXAS 75082
EXTERIOR ELEVATION
MATERIAL LEGENDS

| Issue Dates: |
|--|
| HUD INVITATION 03-05-2018 |
| ISSUED FOR PRICING 08-16-2018 |
| ISSUED FOR REVIEW 10-01-2018 |
| HUD INVITATION 10-12-2018 |
| ISSUED FOR DEVELOPMENT REVIEW 11-16-2018 |
| DEVELOPMENT REVIEW REVISIONS 12-04-2018 |

Scale:
Drawn By: RGM
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Sheet
A500
Project No.
SP2018-037

DEVELOPMENT REVIEW - ARB REVISIONS: 12-14-18

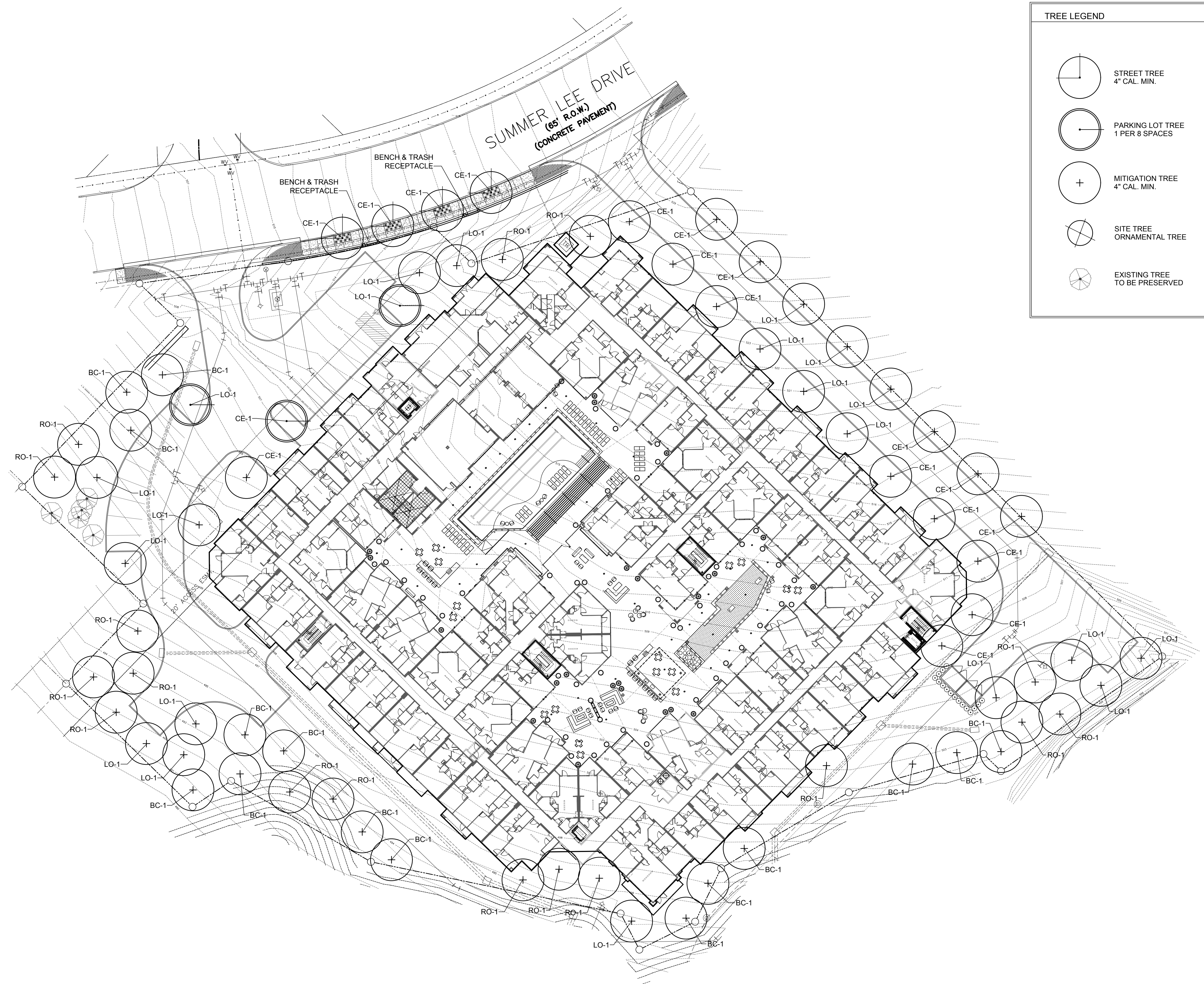


Harbor Hill

| | |
|--|--|
| LANDSCAPE REQUIREMENTS | |
| THIS PLAN MEETS OR EXCEEDS THE FOLLOWING STANDARDS: | |
| PD-32 HARBOR DISTRICT INTERIOR SUBDISTRICT | |
| LOT INFO | |
| TOTAL SITE AREA: 3.97 AC (173,010 S.F.) TOTAL DEVELOPED AREA: 3.97 AC (173,010 S.F.) TOTAL IMPERVIOUS SURFACE: 123,980 S.F. (72%) TOTAL PERVIOUS SURFACE: 49,030 S.F. (28%) | |
| LANDSCAPE PERCENTAGE | |
| REQUIRED: 25% LANDSCAPE PERCENTAGE 173,010 S.F. X 25% = 43,252 S.F. (0.99 AC) PROVIDED: 49,030 S.F. (28%) | |
| PARKING LOT LANDSCAPE | |
| REQUIRED: (1) TREE PER 8 SURFACE PARKING SPOTS 17 SURFACE PARKING / 8 = 2.1 TREES PROVIDED: (4) TREES | |
| PARKING GARAGES | |
| REQUIRED: A MINIMUM OF 25% OF EXPOSED GARAGE FACADE MUST BE SCREENED WITH VINES ON A GREENSCREEN OR CABLE TYPE SYSTEM PROVIDED: 25%+ EXPOSED GARAGE FACADE SCREENED WITH VINES | |
| STREET FRONTAGE | |
| REQUIRED: 8' SIDEWALK WITH 5' X 10' TREE LEAVE-OUTS 30' O.C. SUMMER LEE DR. TO USE CEDAR ELM TREES ALONG R.O.W. PROVIDED: (4) TREES IN 5' X 10' TREE LEAVEOUTS | |

| | |
|--|--|
| IRRIGATION NOTES | |
| THE OWNER SHALL BE RESPONSIBLE FOR THE HEALTH AND VITALITY OF PLANT MATERIAL THROUGH IRRIGATION OF ALL LANDSCAPED AREAS, TURF AND PLANT MATERIALS, AND SHALL: | |
| 1. PROVIDE A MOISTURE LEVEL IN AN AMOUNT AND FREQUENCY ADEQUATE TO SUSTAIN GROWTH OF THE PLANT MATERIALS ON A PERMANENT BASIS. | |
| 2. BE IN PLACE AND OPERATIONAL AT THE TIME OF THE LANDSCAPE INSPECTION FOR CERTIFICATE OF OCCUPANCY. | |
| 3. BE MAINTAINED AND KEPT OPERATIONAL AT ALL TIMES TO PROVIDE FOR EFFICIENT WATER DISTRIBUTION. | |
| COMPLIANCE WITH STATE LAW. ALL IRRIGATION SYSTEMS SHALL COMPLY WITH THE IRRIGATION CODE OF CHAPTER 10, ARTICLE XVI OF THE CITY OF ROCKWALL CODE OF ORDINANCES, AND ALL APPLICABLE STATE LAWS, AS MAY BE AMENDED. | |

| | |
|----------------------------------|--|
| GENERAL NOTES | |
| NO TREES WITHIN 5' OF UTILITIES. | |

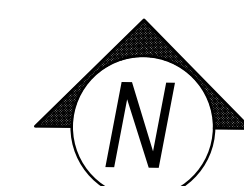
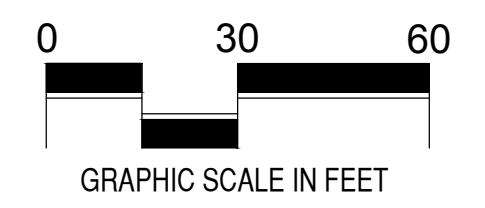


| | |
|--------------------|------------------------------------|
| TREE LEGEND | |
| | STREET TREE 4" CAL. MIN. |
| | PARKING LOT TREE 1 PER 8 SPACES |
| | MITIGATION TREE 4" CAL. MIN. |
| | SITE TREE ORNAMENTAL TREE |
| | EXISTING TREE TO BE PRESERVED |

| PLANT LIST | | | | | |
|--------------------|------|--------------------|--------------|--------------|-------------|
| SYM. | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | REMARKS |
| SHADE TREES | | | | | |
| BC | 15 | Taxodium distichum | Bald Cypress | 4"-4.5" Cal. | 16-18' Ht. |
| LO | 21 | Quercus virginiana | Live Oak | 4"-4.5" Cal. | 14'-16' Ht. |
| CE | 19 | Ulmus crassifolia | Cedar Elm | 4"-4.5" Cal. | 12-14' Ht. |
| RO | 17 | Quercus shumardii | Red Oak | 4"-4.5" Cal. | 14'-16' Ht. |

1 LANDSCAPE PLAN

SCALE: 1" = 30'-0"



| | |
|-------------------|----------------------------|
| ISSUES: | |
| ① | 11-15-18 ISSUE FOR PERMIT |
| ○ | |
| ○ | |
| ○ | |
| ○ | |
| REVISIONS: | |
| ▲ | 12-04-18 PER CITY COMMENTS |
| ▲ | |
| ▲ | |
| ▲ | |

CLIENT:
DBA Architects
111 S. KENTUCKY
SUITE 210
MCKINNEY, TX 75069

CONTACT:
REUBEN MENDIOLA
(800) 900-4905
reuben@dba-architects.com

HARBOR HILL
ROCKWALL, TEXAS

mgg
landscape architects
MEEKS DESIGN GROUP, INC.
1755 N. COLLINS BLVD., SUITE 300
RICHARDSON, TX 75080
PH (972) 690-7474
F (972) 690-7878



ISSUE FOR PERMIT

HARBOR HILL LUXURY RESIDENCES

ROCKWALL, TEXAS

JOB NUMBER: DBA-1601

LANDSCAPE PLAN

LPO.01

| |
|--|
| LANDSCAPE REQUIREMENTS |
| THIS PLAN MEETS OR EXCEEDS THE FOLLOWING STANDARDS: |
| PD-32 HARBOR DISTRICT INTERIOR SUBDISTRICT |
| STREET FRONTAGE |
| REQUIRED: 8' SIDEWALK WITH 5' X 10' TREE LEAVE-OUTS 30' O.C. TREES 30' O.C. ADJACENT SIDE OF R.O.W. GLEN HILL WAY TO USE CEDAR ELM TREES ALONG R.O.W. PROVIDED: (15) TREES IN 5' X 10' TREE LEAVEOUTS (13) TREES ADJACENT SIDE OF R.O.W. |

| |
|----------------------------------|
| GENERAL NOTES |
| NO TREES WITHIN 5' OF UTILITIES. |

| | |
|--------------------|------------------------------------|
| TREE LEGEND | |
| | STREET TREE 4" CAL. MIN. |
| | PARKING LOT TREE 1 PER 8 SPACES |
| | MITIGATION TREE 4" CAL. MIN. |
| | SITE TREE ORNAMENTAL TREE |
| | EXISTING TREE TO BE PRESERVED |

| | |
|-------------------|----------------------------|
| ISSUES: | |
| | 11-15-18 ISSUE FOR PERMIT |
| | |
| | |
| REVISIONS: | |
| | 12-04-18 PER CITY COMMENTS |
| | |
| | |

CLIENT:
DBA Architects
111 S. KENTUCKY
SUITE 210
MCKINNEY, TX 75069

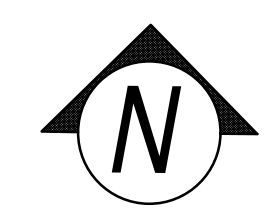
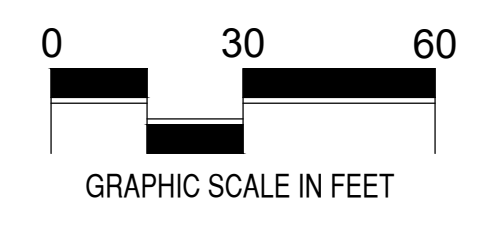
CONTACT:
REUBEN MENDIOLA
(800) 900-4905
reuben@dba-architects.com



| PLANT LIST | | | | | |
|--------------------|------|--------------------|--------------|--------------|-------------|
| SYM. | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | REMARKS |
| SHADE TREES | | | | | |
| BC | 00 | Taxodium distichum | Bald Cypress | 4"-4.5" Cal. | 16'-18' Ht. |
| LO | 00 | Quercus virginiana | Live Oak | 4"-4.5" Cal. | 14'-16' Ht. |
| CE | 28 | Ulmus crassifolia | Cedar Elm | 4"-4.5" Cal. | 12'-14' Ht. |
| RO | 00 | Quercus shumardii | Red Oak | 4"-4.5" Cal. | 14'-16' Ht. |

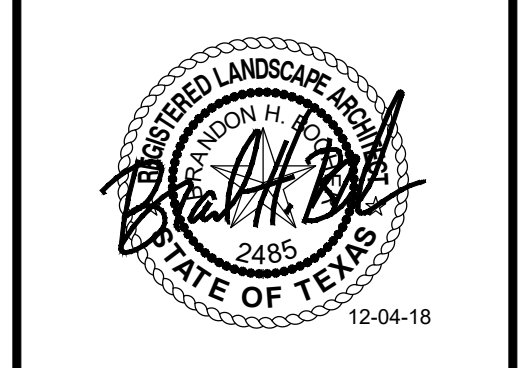
1 LANDSCAPE PLAN

SCALE: 1" = 30'-0"



HARBOR HILL
ROCKWALL, TEXAS

mgb
landscape architects
MEEKS DESIGN GROUP, INC.
1755 N. COLLINS BLVD., SUITE 300
RICHARDSON, TX 75080
PH (972) 690-7474
F (972) 690-7878



ISSUE FOR PERMIT

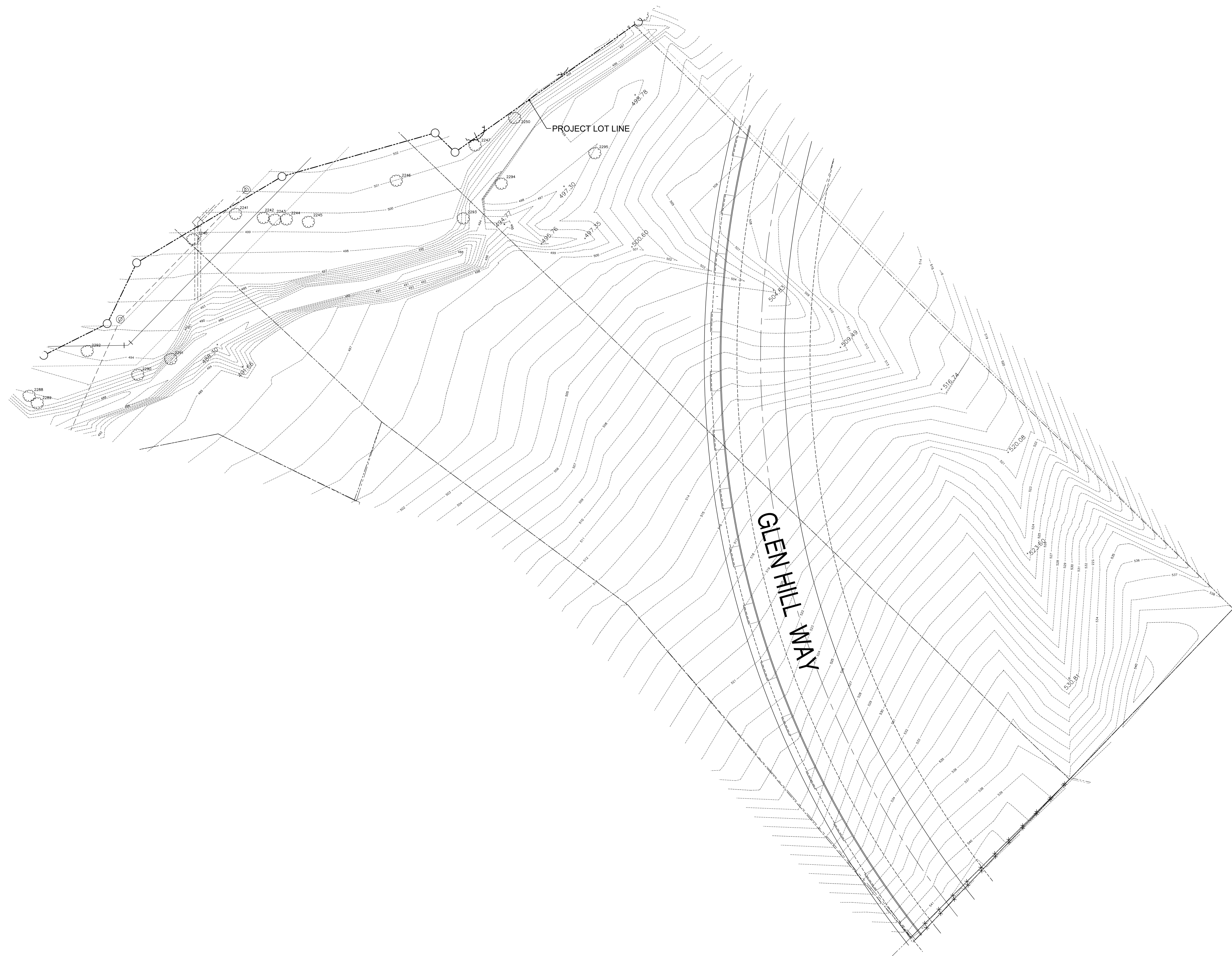
HARBOR HILL LUXURY RESIDENCES

ROCKWALL, TEXAS

JOB NUMBER: DBA-1601

LANDSCAPE PLAN

LP0.02



| TREE LEGEND | |
|-------------|--|
| | 215 EXISTING TREE TO BE PRESERVED |
| | 215 EXISTING TREE TO BE REMOVED |
| | 215 EXISTING TREE OUTSIDE OF PROPERTY LINE |

| ISSUES: | |
|------------|----------------------------|
| ① | 11-15-18 ISSUE FOR PERMIT |
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| REVISIONS: | |
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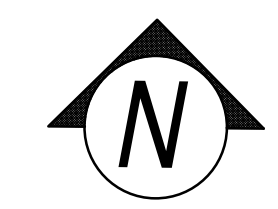
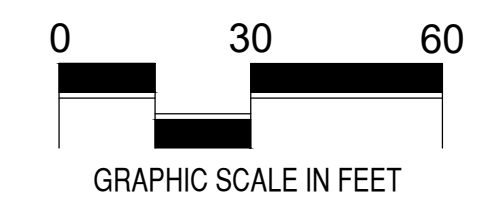


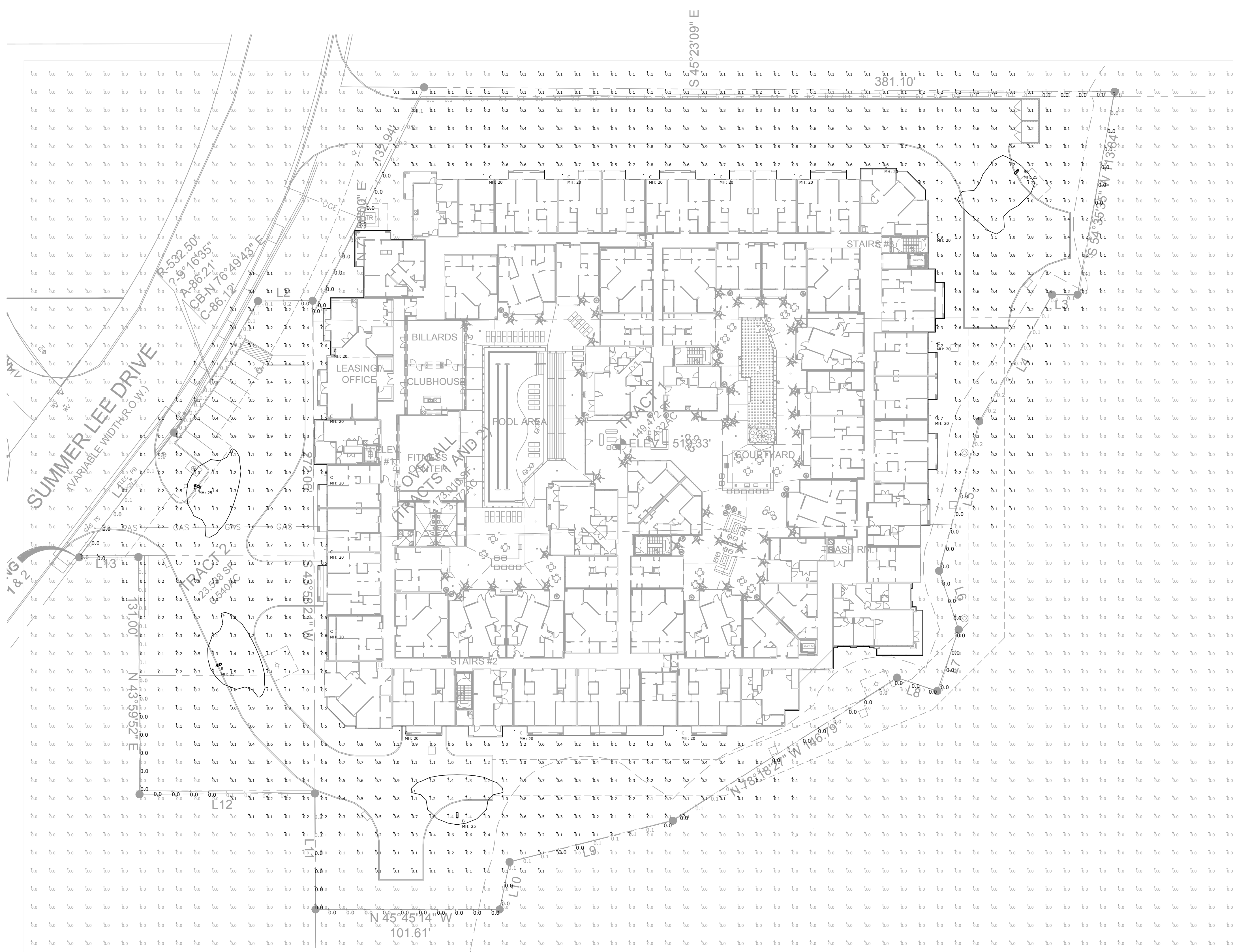
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HARBOR HILL LUXURY RESIDENCES
 ROCKWALL, TEXAS
 JOB NUMBER: DBA-1601

TREE SURVEY/ MITIGATION
 LP0.04

① **TREE SURVEY/MITIGATION**
 SCALE: 1" = 30'-0"

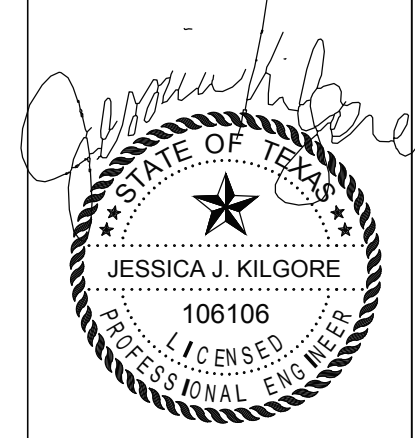




| Symbol | Type | Qty | Manufacturer / Catalog Number | Total Lumen Output | Total Input Watts | Ballast Factor | Light Lost Factor | User Defined Factor |
|--------|------|-----|---|--------------------|-------------------|----------------|-------------------|---------------------|
| | B2 | 1 | LITHONIA_DSX1 LED P1 40K TFFM MVOLT MOUNT HS FINISH | 5436 | 54 | 1.000 | 1.000 | 1.000 |
| | B | 3 | LITHONIA_DSX1 LED P1 40K T3M MVOLT MOUNT HS FINISH | 5481 | 54 | 1.000 | 1.000 | 1.000 |
| | C | 17 | SPRING CITY_ALMLCH LE040 VOLT X2 40 CR3 FINISH | 3986 | 40 | 1.000 | 0.500 | 0.500 |

MEP GENERAL NOTES

- ALL CONSTRUCTION TO CONFORM TO INTERNATIONAL, STATE AND LOCAL CODES AND ORDINANCES CURRENTLY ADOPTED BY THE AUTHORITY HAVING JURISDICTION (AHJ).
- CONTRACTORS TO CONFIRM ALL SPECIFICATIONS HEREIN WITH ACTUAL EQUIPMENT IN FIELD PRIOR TO INSTALLATION.
- REVIEW PLAN SHEET "MEP" - MEP NOTES PRIOR TO PERMITTING, BIDDING AND CONSTRUCTION.
- THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.
- SEE CIVIL AND ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL FIXTURES AND STRUCTURES.
- SEE ARCHITECTURAL FINISH OUT SCHEDULES FOR SPECIFIC MODELS, COLORS AND DESIGN NOT DEFINED HEREIN.
- WITH OWNER APPROVAL, CONTRACTOR MAY CHANGE SPECIFIED EQUIPMENT BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS.
- CONTRACTOR TO CONTACT AME ENGINEERING, INC. AT 817-663-4122 PRIOR TO ANY SIGNIFICANT DESIGN REVISIONS.
- DETAILS LABELED "TYPICAL" ON THE DRAWINGS SHALL APPLY TO ALL SITUATION OCCURRING ON THE PROJECT THAT ARE OR SIMILAR TO THOSE SPECIFICALLY DETAILED. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF DETAIL. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE REFERENCED AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER OF RECORD.



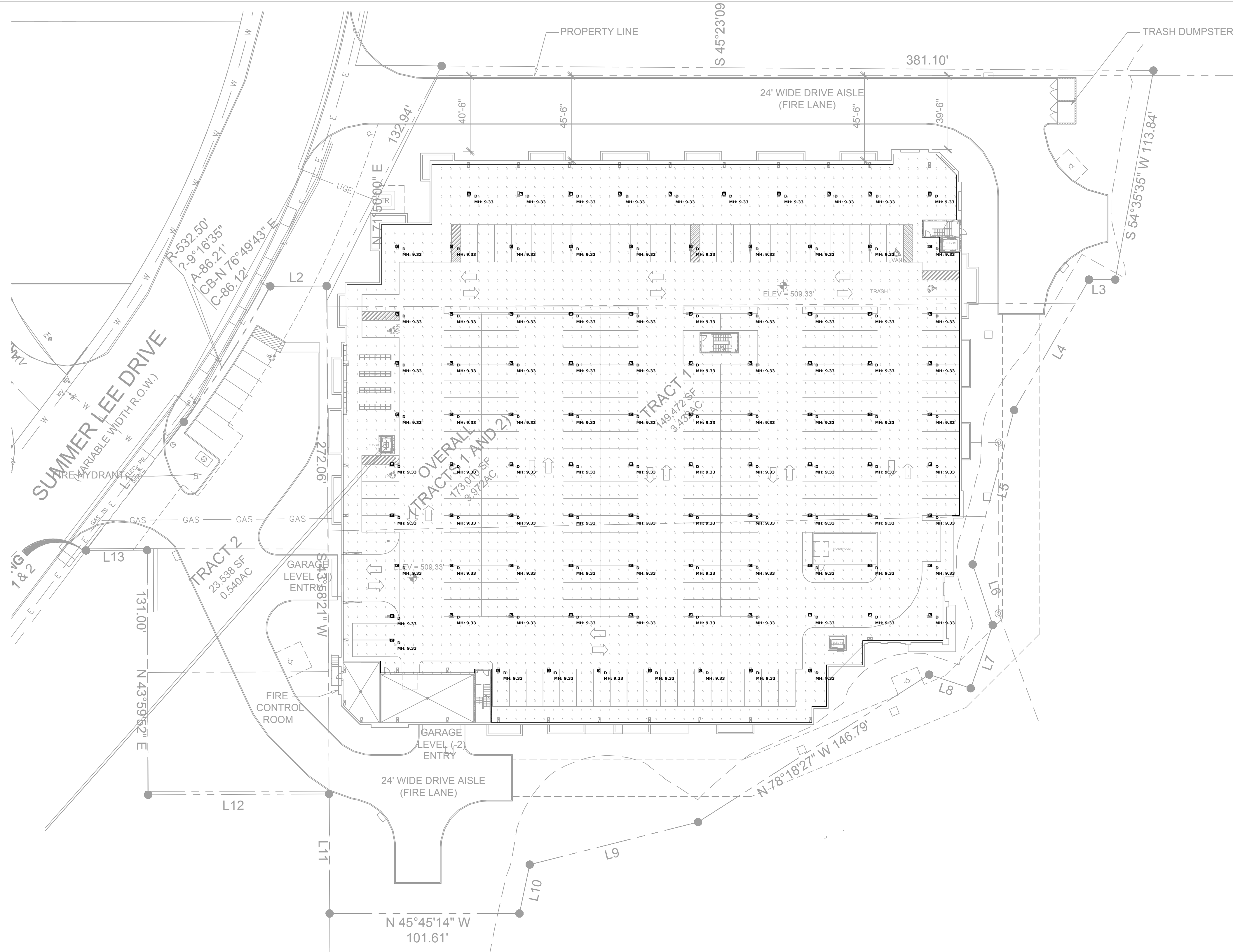
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HARBOR HILL
 2400 SUMMER LEE DRIVE
 ROCKWALL, TEXAS 75082

| | |
|-----------------|----------------|
| CONTACT NAME | DBA ARCHITECTS |
| CONTACT COMPANY | DBA ARCHITECTS |
| CONTACT PHONE | 888-900-4905 |
| ISSUES | |

| | |
|-----------------|--|
| SHEET REVISIONS | |
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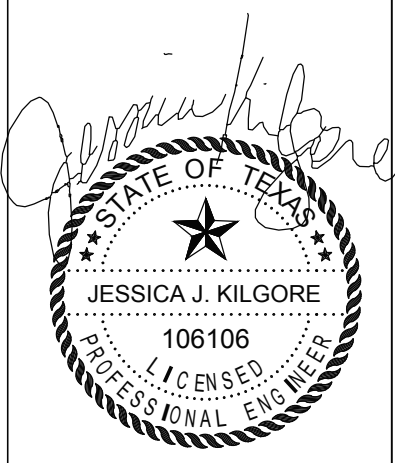
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| DESIGNED | CRC |
| CHECKED | JJK |
| IBC | 2015 |
| IECC | 2014 |
| NEC | 2015 |
| SCALE | 1"=30' |



| Luminaire Schedule | | | | | | | | |
|--------------------|------|-----|--------------------------------------|--------------------|-------------------|----------------|-------------------|---------------------|
| Symbol | Type | Qty | Manufacturer / Catalog Number | Total Lumen Output | Total Input Watts | Ballast Factor | Light Lost Factor | User Defined Factor |
| □ | D | 98 | XELEUM_XB PG 14 40W 40K U Y 65 MOUNT | 5385 | 39.9 | 1.000 | 0.855 | 1.000 |

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 ROCKWALL, TEXAS 75082

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 CONTACT COMPANY: DBA ARCHITECTS
 CONTACT PHONE: 888-900-4905

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| IBC | 2015 |
| IECC | 2014 |
| NEC | 2015 |
| SCALE | 1"=30' |

**LEVEL: -1 GARAGE
 PHOTOMETRIC
 LIGHTING PLAN**

E1.2
 PROJECT 1400

