

SCREEN DETAIL

 $\frac{1}{4}$ "=1'-0"



NOTE: ALL DIMENSIONS ARE TO FACE OF CURB ALL SIDEWALKS SHALL BE 3,000 PSI CONC MIN 5.5 SACK MIX. ALL RADII ARE 4'-6" U.N.O. ANY DISCREPANCIES BETWEEN THE PLAN &

TO THE CIVIL ENGINEERING.

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

5. BUILDING HEIGHT: ONE STORY - 16'-11" 6. LOT COVERAGE: 2.2% F.A.R. = 0.002:1

9. TOTAL PARKING PROVIDED: 7 SPACES

3. PROPERTY AREA (GROSS): 11,141.4 SF 0.26 AC

7. PARKING REQUIRED: 1 SPACE/500 = 5 SPACES REQUIRED

10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 6,855 SF

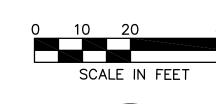
8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED

1. ZONING: PD 50

2. PROPOSED USE: OFFICE

4. BUILDING AREA: 2,430 SF

THE CIVIL ENGINEER'S PLANS SHALL DEFER





PRICING & CONSTRUCTION

GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
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- 4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

OWNER CARI FOOTE & ASSOCIATES, LLC

203 SEQUOIA RD ROCKWALL, TEXAS 75032 CASE #SP2018-036

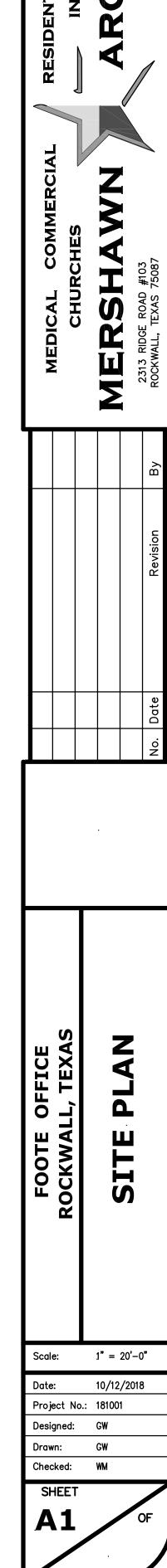
GARNER ADDITION

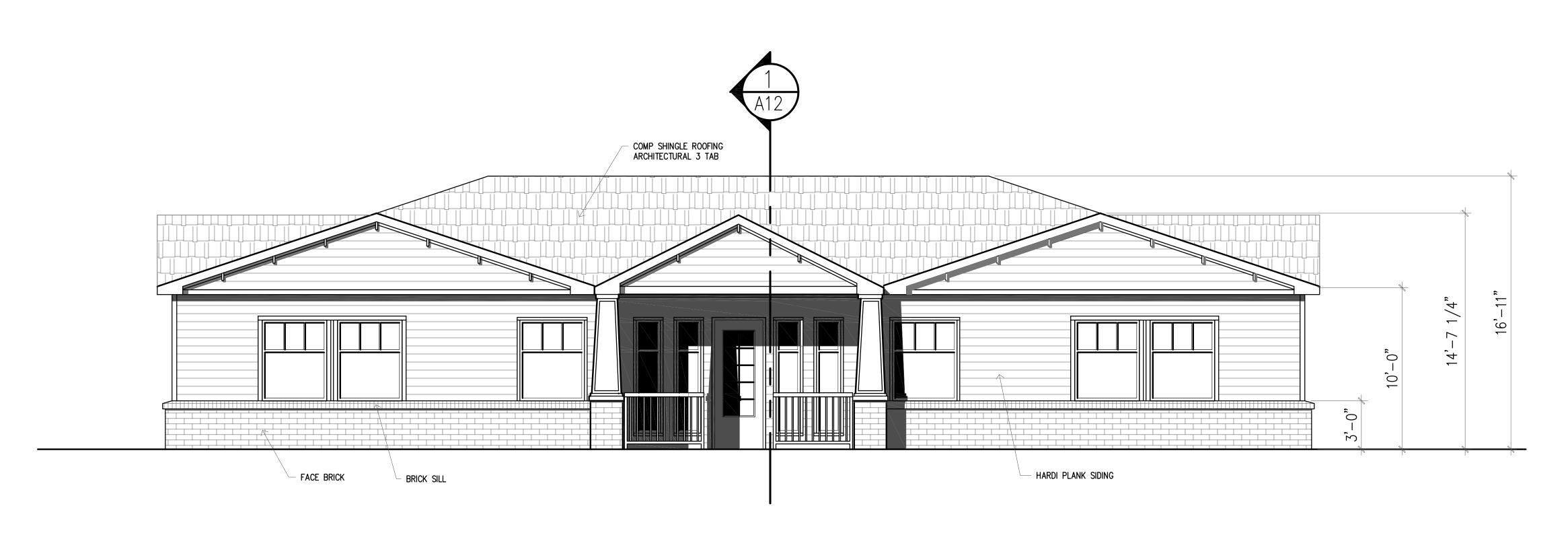
BEING A 1.00 AC. TRACT OF LAND SITUATED IN THE

GARNER ADDITION BLOCK 26

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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EAST ELEVATION (GOLIAD FRONTAGE)

100% MASONRY 39% STONE 61% HARDI PLANK

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

ZONING: PD 50
 PROPOSED USE: OFFICE

3. PROPERTY AREA (GROSS): 11,141.4 SF 0.26 AC

4. BUILDING AREA: 2,430 SF 5. BUILDING HEIGHT: ONE STORY - 16'-11"

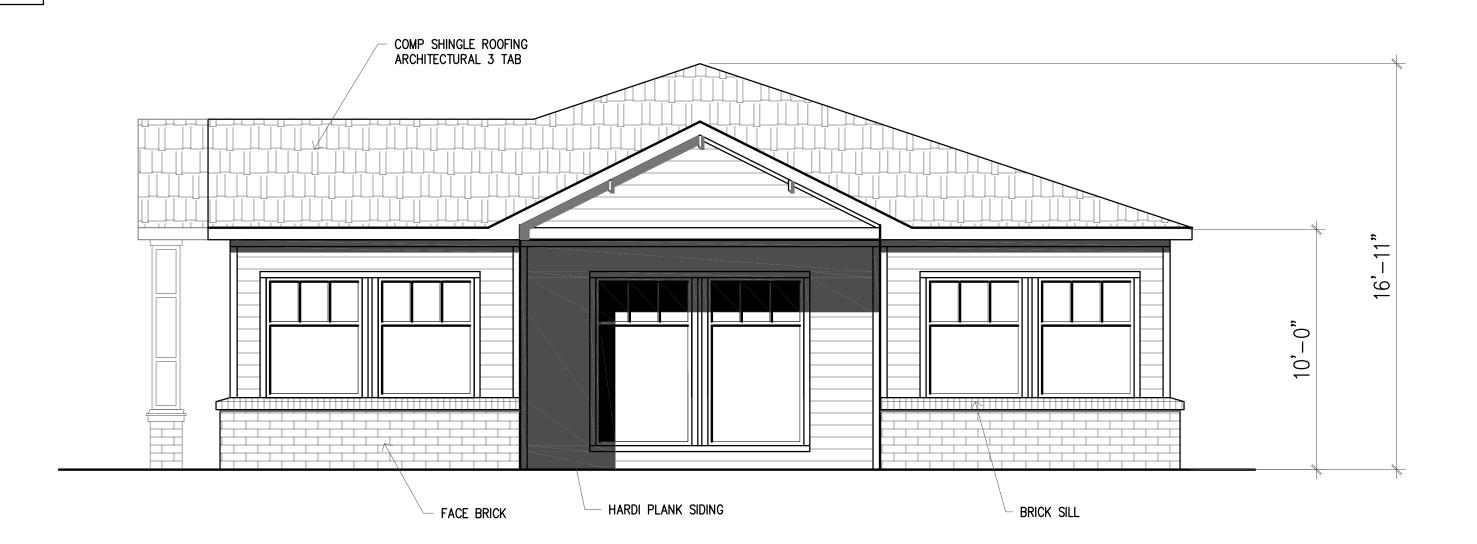
6. LOT COVERAGE: 2.2% F.A.R. = 0.002:1

7. PARKING REQUIRED: 1 SPACE/500 = 5 SPACES REQUIRED

8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED

9. TOTAL PARKING PROVIDED: 7 SPACES

10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 6,855 SF



NORTH ELEVATION **100% MASONRY 34% STONE 66% HARDI PLANK**

PRICING & CONSTRUCTION

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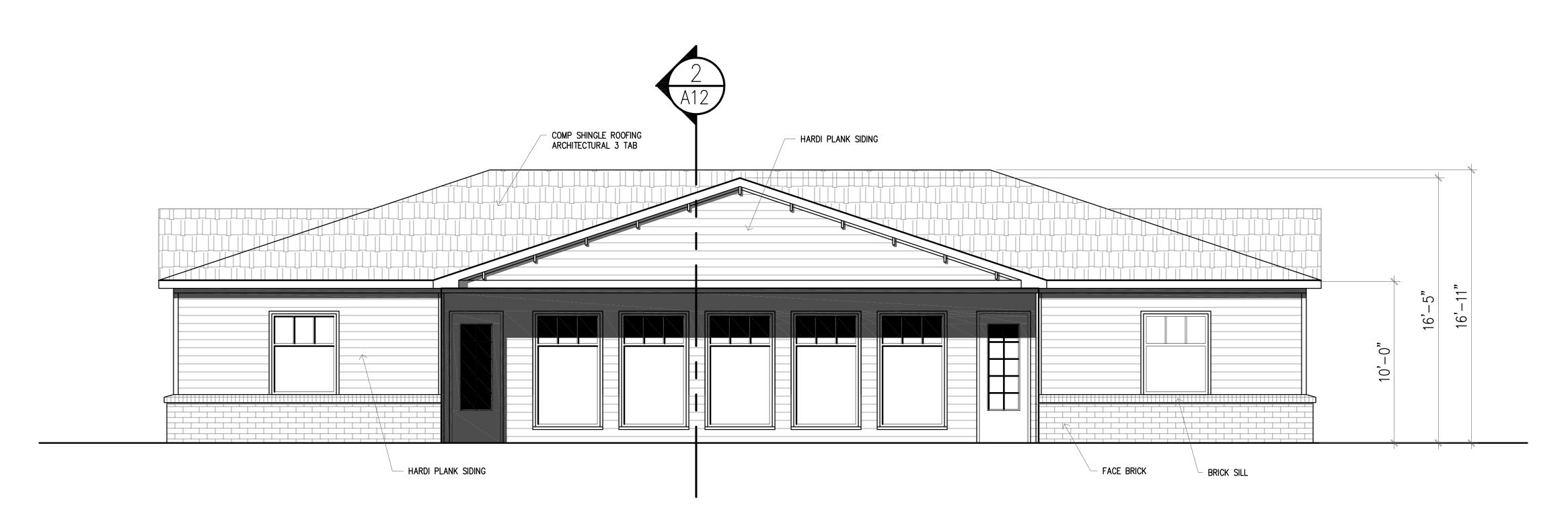
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ATION

Scale: 1/4" = 1'-0"Date: 10/12/2018 Project No.: 181001 Designed: GW Drawn: GW

SHEET

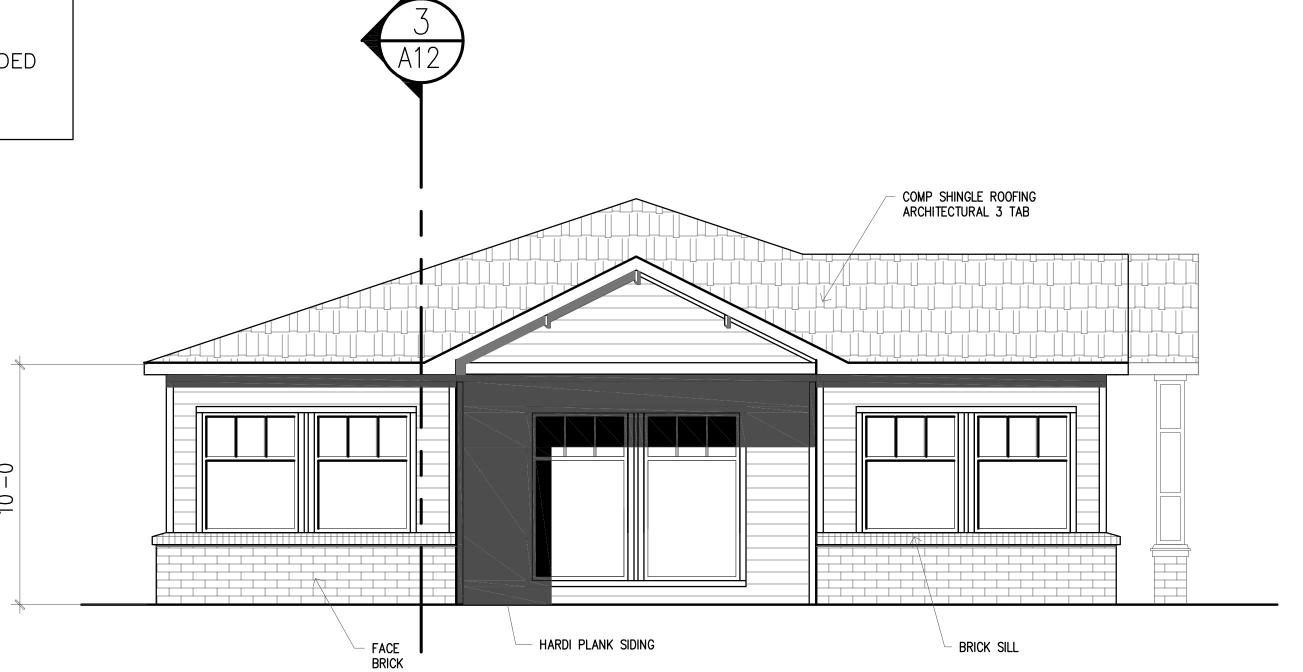
Checked: WM



WEST ELEVATION 100% MASONRY 58% STONE 42% HARDI PLANK

ABSTRACT NO. 9 — WILLIAM BLEVINS SURVEY

1. ZONING: PD 50
2. PROPOSED USE: OFFICE
3. PROPERTY AREA (GROSS): 11,141.4 SF 0.26 AC
4. BUILDING AREA: 2,430 SF
5. BUILDING HEIGHT: ONE STORY — 16'—11"
6. LOT COVERAGE: 2.2% F.A.R. = 0.002:1
7. PARKING REQUIRED: 1 SPACE/500 = 5 SPACES REQUIRED
8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0—25 SPACES 1 PROVIDED
9. TOTAL PARKING PROVIDED: 7 SPACES
10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 6,855 SF



SOUTH ELEVATION 100% MASONRY 34% STONE 66% HARDI PLANK

PRICING & CONSTRUCTION

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ARCHITE

MEDICAL COMMERCIA CHURCHES
MERSAN

No. Date Revision By



FOOTE OFFICE
ROCKWALL, TEXAS

RIOR ELEVATION

Scale: 1/4" = 1'-0"

Date: 10/12/2018

Project No.: 181001

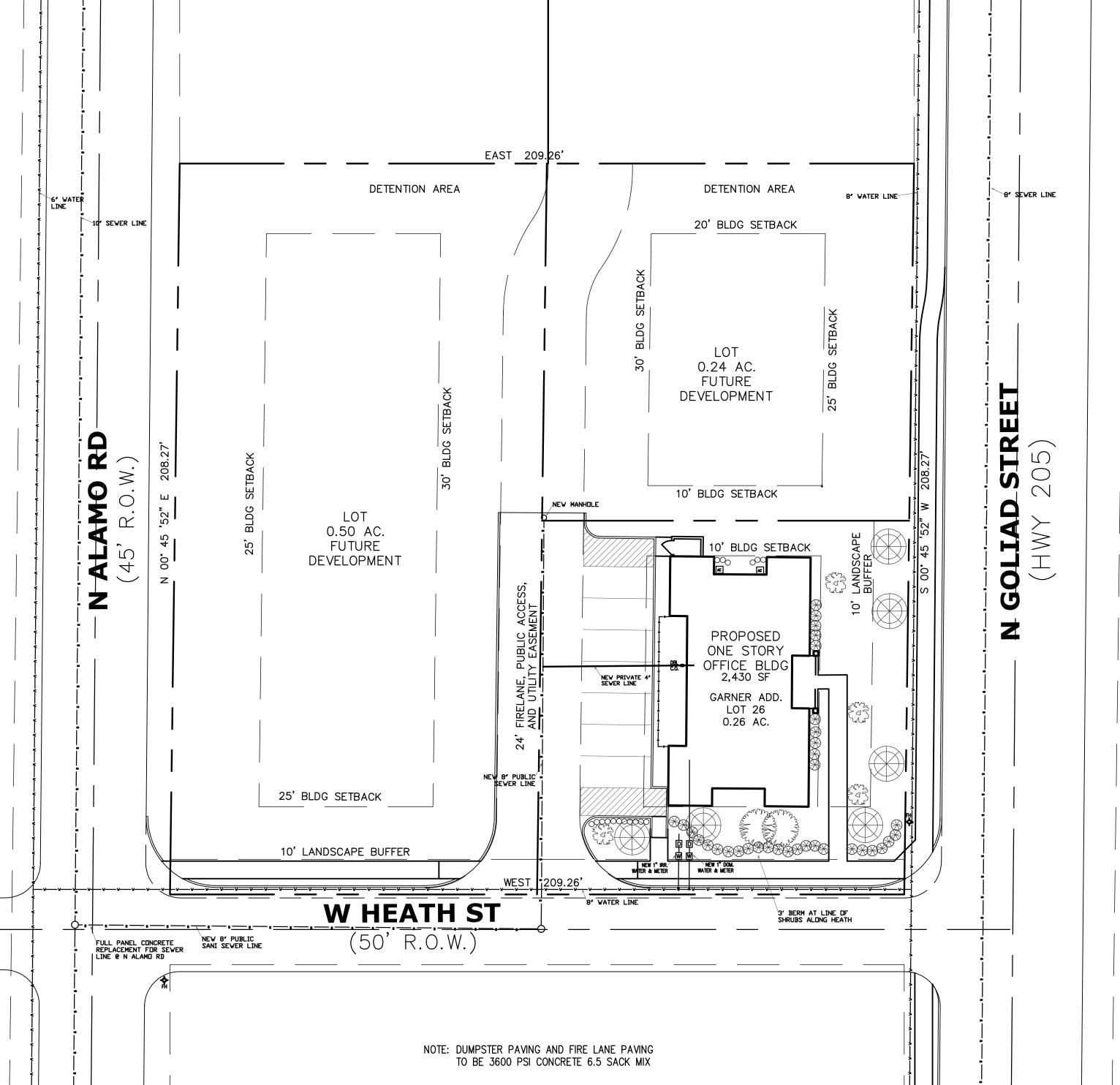
Project No.: 181001

Designed: GW

Drawn: GW

Checked: WM

SHEET A5



REQUIRED

YES

2,785 SF

STREET TREES

LANDSCAPE BUFFER

1 CANOPY PER 50' LINEAR OF R.O.W.

SCREENING OF OFF STREET PARKING

TOTAL LANDSCAPE AREA 15% REQUIRED

PROVIDED

4,286 SF

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

5. BUILDING HEIGHT: ONE STORY - 16'-11"

9. TOTAL PARKING PROVIDED: 7 SPACES

6. LOT COVERAGE: 2.2% F.A.R. = 0.002:1

3. PROPERTY AREA (GROSS): 11,141.4 SF 0.26 AC

7. PARKING REQUIRED: 1 SPACE/500 = 5 SPACES REQUIRED

10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 6,855 SF

8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED

. ZONING: PD 50

2. PROPOSED USE: OFFICE

4. BUILDING AREA: 2,430 SF

EXISTING TREE TO REMAIN REFER TO TREE MITIGATION PLAN LIVE OAKS (6)



INSTALLED WITH A MIN. 4" CALIPER

RED BUD (4) 4' HIGH @ INSTALLATION

- INDIAN HAWTHORNE (34) PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
- BOXWOOD BUSH (17) PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

NOTE: 56 TREES PROVIDED TOWARDS MITIGATION TOTALING 168" CALIPER 194" REMAINING.

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

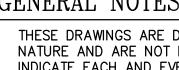
TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

> BEING A 1.00 AC. TRACT OF LAND SITUATED IN THE GARNER ADDITION BLOCK 26 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

> > 203 SEQUOIA RD ROCKWALL, TEXAS 75032 CASE #SP2018-036

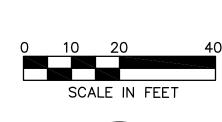
GARNER ADDITION

OWNER CARI FOOTE & ASSOCIATES, LLC



- OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
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- 4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL COORDINATING ALL COMPONENTS TO DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO FOR WORKING SYSTEMS AS NEEDED.

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PRICING & CONSTRUCTION

GENERAL NOTES:

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WRITING) BEFORE BIDDING THIS PROJECT.

SUBCONTRACTORS ARE RESPONSIBLE FOR INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL

DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED

Checked: WM SHEET

Scale: 1'' = 20' - 0''

Date: 10/12/2018

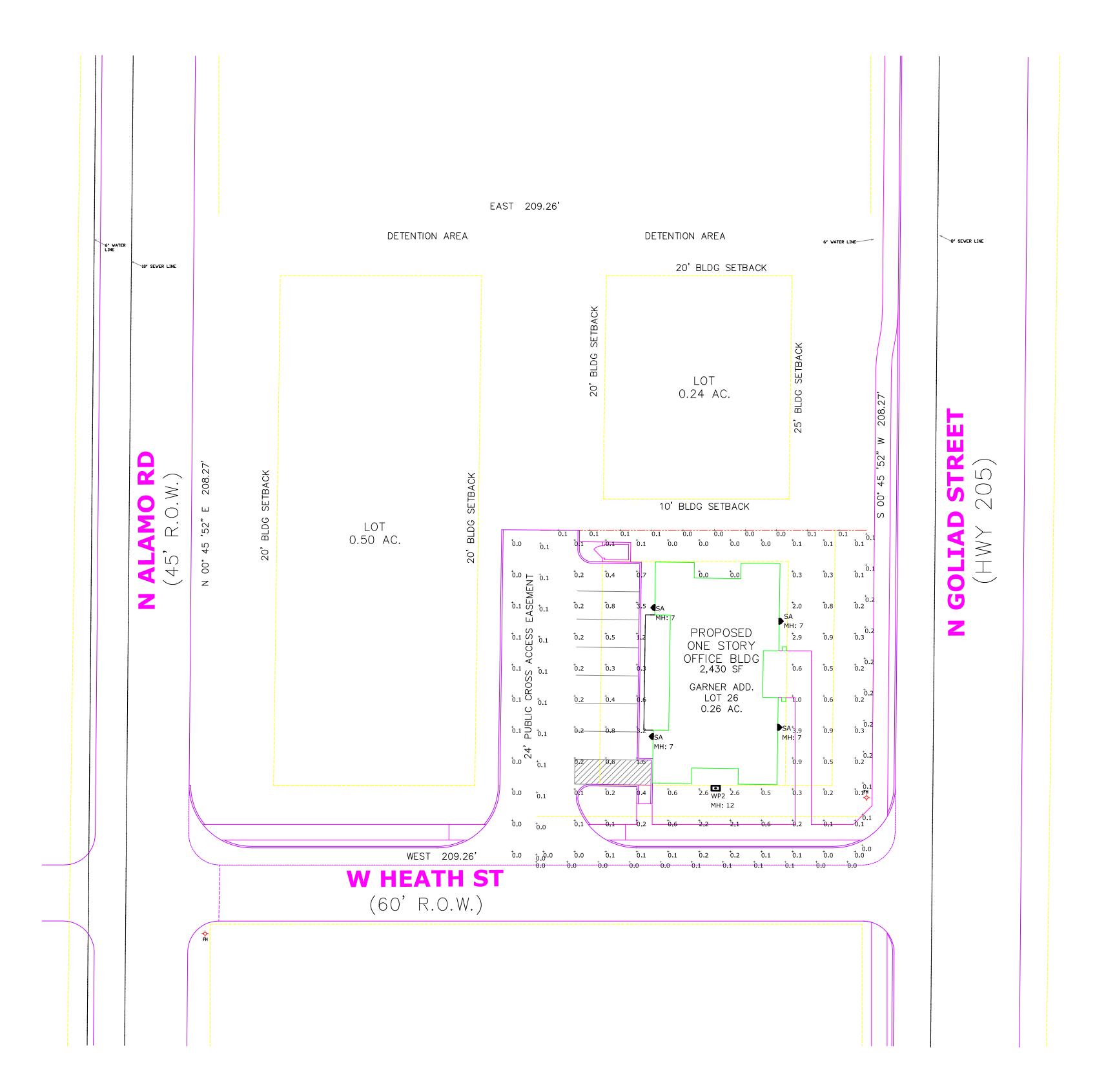
Project No.: 181001

Designed: GW

Drawn: GW

OFFI(.L, TE)

FOOTE OCKWAI



Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
N.A	Fc	0.1	0.2	0.0	N.A.
0	Fc	0.5	3.9	0.0	N.A.
	• • • • • • • • • • • • • • • • • • • •	N.A Fc	N.A Fc 0.1	N.A Fc 0.1 0.2	N.A Fc 0.1 0.2 0.0

Luminaire S	naire Schedule									
Symbol	Туре	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Loss Factor	User Defined Factor			
•	WP2	1	LITHONIA WST LED P1 40K VW MVOLT [FINISH]	1659	12	0.800	1.000			
>	SA	4	BROWNLEE 7600-NT-C49LED-35K	2998	48.06	0.800	1.000			

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

1. ZONING: PD 50

2. PROPOSED USE: OFFICE

3. PROPERTY AREA (GROSS): 11,141.4 SF 0.26 AC

4. BUILDING AREA: 2,430 SF

5. BUILDING HEIGHT: ONE STORY — 16'-11"

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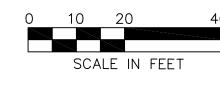
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LA JOLLA POINTE ADDITION PHASE 2

BEING A 1.00 AC. TRACT OF LAND SITUATED IN THE GARNER ADDITION BLOCK 26 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

> OWNER CARI FOOTE & ASSOCIATES, LLC 203 SEQUDIA RD ROCKWALL, TEXAS 75032 CASE #SP2018-000

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FOOTE OFFICE ROCKWALL, TEXA

1" = 20' - 0"Scale:

Date: 10/12/2018 Project No.: 181001 Designed: GW

Drawn: GW Checked: WM

SHEET