





**EAST ELEVATION ( GOLIAD FRONTAGE )**  
**100% MASONRY 39% STONE 61% HARDI PLANK**

ABSTRACT NO. 9 – WILLIAM BLEVINS SURVEY

1. ZONING: PD 50
2. PROPOSED USE: OFFICE
3. PROPERTY AREA (GROSS): 11,141.4 SF 0.26 AC
4. BUILDING AREA: 2,430 SF
5. BUILDING HEIGHT: ONE STORY – 16'-11"
6. LOT COVERAGE: 2.2% F.A.R. = 0.002:1
7. PARKING REQUIRED: 1 SPACE/500 = 5 SPACES REQUIRED
8. HANDICAP REQUIRED 1 ACCESSIBLE IN 0-25 SPACES 1 PROVIDED
9. TOTAL PARKING PROVIDED: 7 SPACES
10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 6,855 SF



**NORTH ELEVATION**  
**100% MASONRY 34% STONE 66% HARDI PLANK**

**PRICING & CONSTRUCTION**  
**GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

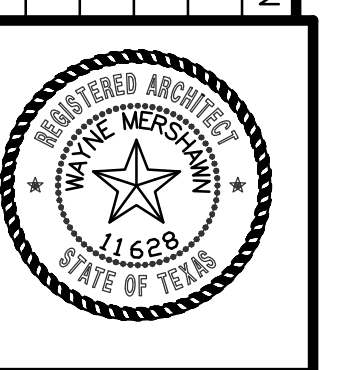
RESIDENTIAL RESTAURANTS  
 INSTITUTIONAL  
**ARCHITECTS**

MEDICAL COMMERCIAL  
 CHURCHES  
**MERSHAWN**

2313 RIDGE ROAD #103  
 ROCKWALL, TEXAS 75087

PHONE: 972-722-9302  
 FAX: 972-249-2081

No.	Date	Revision	By



FOOTE OFFICE  
 ROCKWALL, TEXAS

**EXTERIOR ELEVATIONS**

Scale: 1/4" = 1'-0"

Date: 10/12/2018

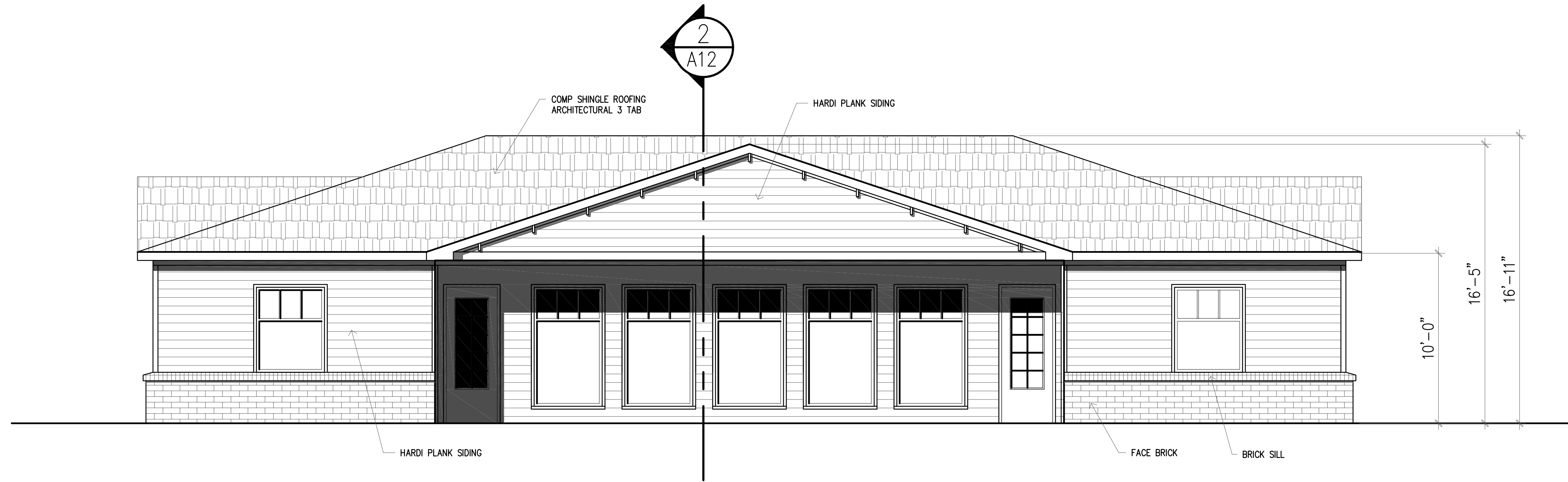
Project No.: 181001

Designed: GW

Drawn: GW

Checked: WM

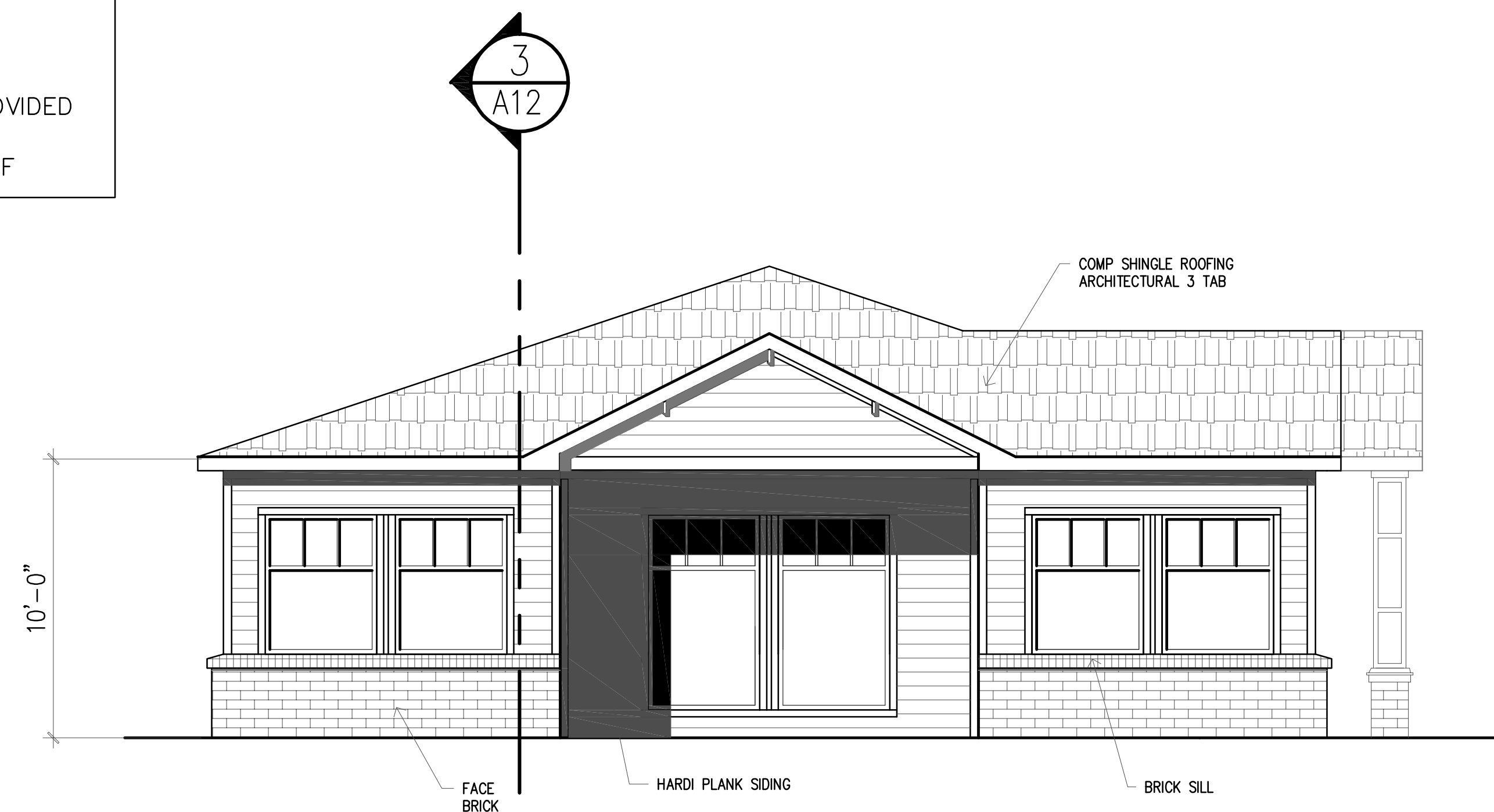
SHEET  
**A4** OF  
**17**



**WEST ELEVATION**  
**100% MASONRY 58% STONE 42% HARDI PLANK**

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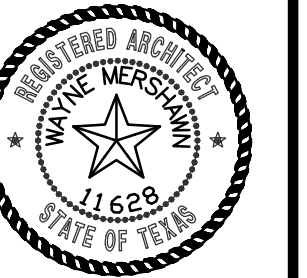


**SOUTH ELEVATION**  
**100% MASONRY 34% STONE 66% HARDI PLANK**

**PRICING & CONSTRUCTION**  
**GENERAL NOTES:**

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 ROCKWALL, TEXAS  
**EXTERIOR ELEVATIONS**

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