

LOCATION MAP
SCALE: N.T.S.

SITE DATA TABLE	
TOTAL SITE AREA	0.653 AC (28,452 SF)
TOTAL BUILDING SIZE	4,924 SF
SITE ZONING DISTRICT	GR - GENERAL RETAIL
SITE OVERLAY DISTRICT	SH-205 OVERLAY DISTRICT
PROPOSED LAND USE	COMMERCIAL (AUTO REPAIR GARAGE, MINOR)
FRONT BUILDING SETBACK (S. GOLIAD)	25 FT
FRONT BUILDING SETBACK (YELLOW JACKET)	15 FT
SIDE BUILDING SETBACK	0 FT (PROVIDED BLDG IS FIRE RETARDANT)
TYPICAL PARKING SPACE	9' x 18'
CODE REQUIRED PARKING SPACES	2 SPACES PER SERVICE BAY = 16 SPACES
CODE REQUIRED ADA SPACES	1 SPACE
PROVIDED PARKING SPACES	20 SPACES
PROVIDED ADA SPACES	1 SPACE
EXISTING IMPERVIOUS AREA	26,234 SF (92.20%)
PROPOSED IMPERVIOUS AREA	19,933 SF (70.06%)
NET IMPERVIOUS AREA	-6,301 SF (-22.14%)

LEGEND	
	PROP. HEAVY DUTY PAVEMENT
	PROP. SIDEWALK
	PROP. FIRE LANE
	PROPERTY BOUNDARY
	PROPERTY BOUNDARY TO BE REMOVED VIA PLAT
	BUILDING SETBACK
	STREET CENTERLINE
	EXST. WATER
	PROP. WATER
	EXST. SANITARY MAIN
	EXST. SANITARY LATERAL
	PROP. SANITARY LATERAL
	EXST. FIRE HYDRANT
	EXST. POWER POLE
	TR TO REMAIN
	TBR TO BE REMOVED
	TBA TO BE ABANDONED

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADI ARE 4' UNLESS OTHERWISE NOTED.
 - ALL PROPOSED SIDEWALKS, LANDINGS, AND BARRIER-FREE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
 - HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
 - CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
 - FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES IMMEDIATELY PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY RELOCATION WHERE NECESSARY AND PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT THEIR OWN EXPENSE.
 - ON-SITE DETENTION IS NOT REQUIRED BASED PRE-DEVELOPMENT PERVIOUS/IMPERVIOUS COVER AREAS COMPARED TO POST-DEVELOPMENT COVER AREAS. PROPOSED IMPROVEMENTS INCREASE THE AMOUNT OF PERVIOUS AREA COVER.
 - ALL PAVED AREAS SHALL BE CONCRETE. HEAVY DUTY PAVED AREAS SHALL BE 6" CONCRETE OVER 6" LIME STABILIZED CLAY. ALL PAVED AREAS NOT INDICATED AS HEAVY DUTY SHALL BE STANDARD DUTY CONCRETE. STANDARD DUTY CONCRETE SHALL BE 5" CONCRETE OVER 6" LIME STABILIZED CLAY.
 - PROPOSED TRASH ENCLOSURE MUST BE SCREENED FROM SH 205 (S GOLIAD) AND SHALL BE 4-SIDED WITH AN OPAQUE SELF-LATCHING GATE.

SURVEYOR:
BOHLER ENGINEERING
6017 MAIN STREET
FRISCO, TX 76107
PHONE: (469) 458-7300
CONTACT: BILLY LOGSDON
DATE: JULY 2018

APPLICANT:
BRAKES PLUS, LLC
1800 SOUTHPARK DR
BIRMINGHAM, AL 35244
PHONE: (205) 387-1164
CONTACT: JOHN DAVIS

OWNER:
DYNAMIC DEVELOPMENT
1725 21ST ST
SANTA MONICA, CA 90404
PHONE: (310) 662-5167
CONTACT: DANIEL J. PORTER

ENGINEER:
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FRISCO, TX 75034
PHONE: (469) 458-7300
CONTACT: MATHIAS HAUBERT

BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING DESIGN ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

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REVISIONS			
REV	DATE	COMMENT	BY

811

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: TD180033
DRAWN BY: MJH
CHECKED BY: JGR
DATE: 10/12/18
SCALE: 1"=30'
CAD I.D.: SPO

PROPOSED SITE PLAN

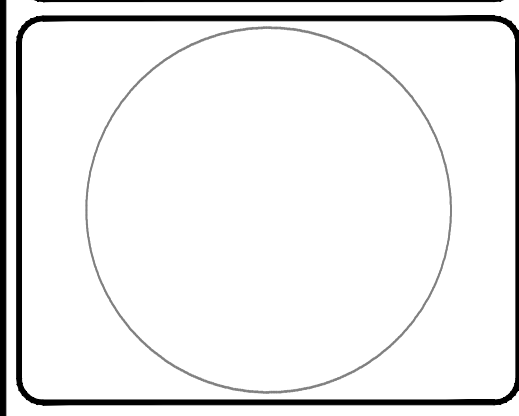
FOR

BRAKES PLUS

LOCATION OF SITE
1902 S. GOLIAD ST
LOTS 1 & 2, BLOCK A, BILLY PEOPLES ADDITION NO. 1
ROCKWALL, TX 75087
ROCKWALL COUNTY

BOHLER ENGINEERING

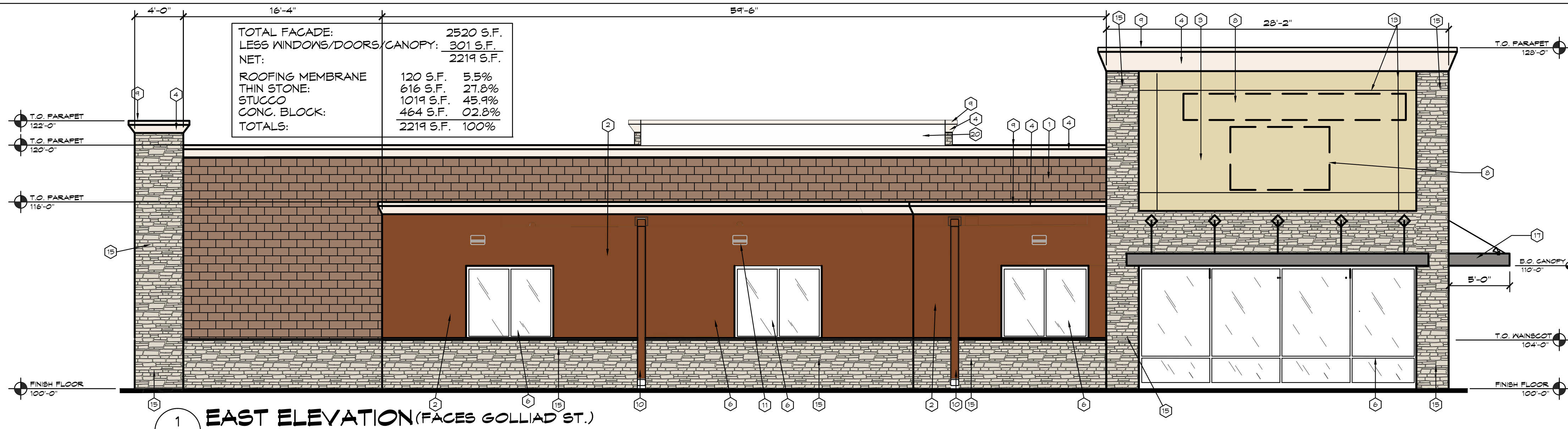
6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com



SHEET TITLE:
SITE PLAN

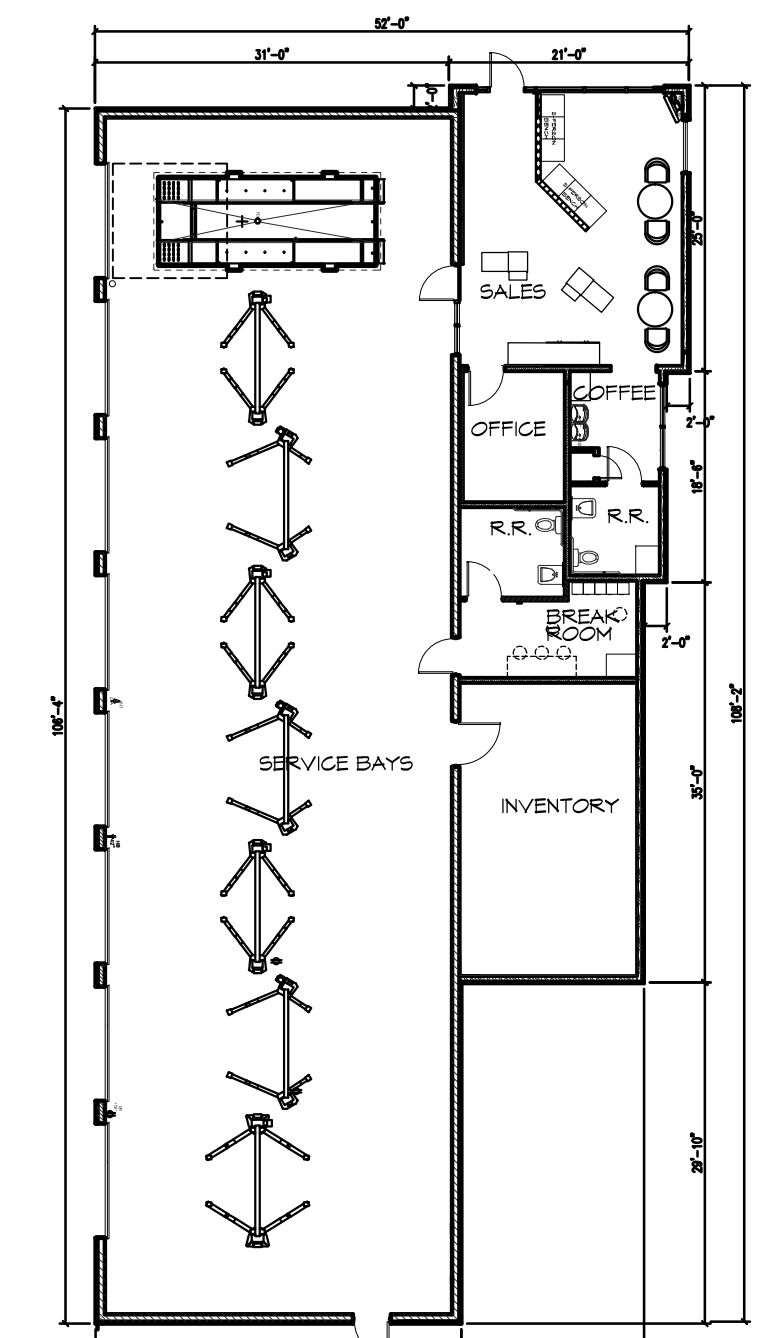
SHEET NUMBER:
-

CASE NUMBER: SP2018-030



1 EAST ELEVATION (FACES GOLLIAD ST.)
1 3/16"=1'-0"

- KEYNOTES**
1. SPLIT FACE CONCRETE BLOCK - MAHOGANEY
 2. 3 PART STUCCO - INTEGRAL COLOR TO MATCH SHERWIN WILLIAM #2835 CRAFTSMAN BROWN
 3. 3 PART STUCCO - INTEGRAL COLOR TO MATCH SHERWIN WILLIAMS #2034 BIRDSEYE MAPLE
 4. 3 PART STUCCO - INTEGRAL COLOR TO MATCH SHERWIN WILLIAMS #6105 DIVINE WHITE
 5. MTL. MAN DOOR. PAINT TO MATCH ADJACENT MATERIAL COLOR
 6. ALUMINUM/GLASS STOREFRONT CLEAR ANODIZED ALUMINUM
 7. ALUMINUM SECTIONAL OVERHEAD DOORS CLEAR ANODIZED ALUMINUM
 8. AREA FOR INTERNALLY-ILLUMINATED "BRAKES PLUS" SIGNAGE
 9. PRE-FINISHED METAL CAP FLASHING PREFINISHED TO MATCH FINISH #4
 10. DOWNSPOUT AND OVERFLOW SCUPPER - PAINT TO MATCH ADJACENT MATERIAL
 11. DECORATIVE LIGHT FIXTURE AT 12'-0" AFF.
 12. KEY DROP BOX
 13. 1 1/2" X 3/4" EIFS REVEAL
 14. NOT USED
 15. THIN STONE BY ALAMO STONE - DELIOTTE
 16. MECH. GRILLE - PAINT TO MATCH ADJACENT MATERIAL
 17. METAL ANNING - BERRIDGE "ZINC-COTE"
 18. HVAC UNIT ON ROOF BEHIND PARAPET
 19. LINE OF ROOF
 20. ROOFING MEMBRANE

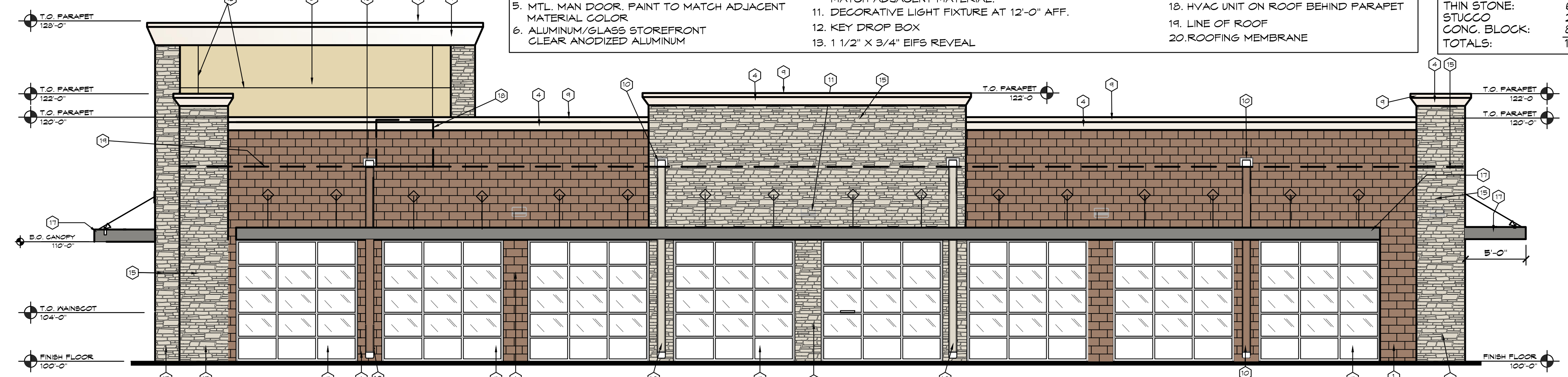


6 BUILDING KEY PLAN
1 NO SCALE

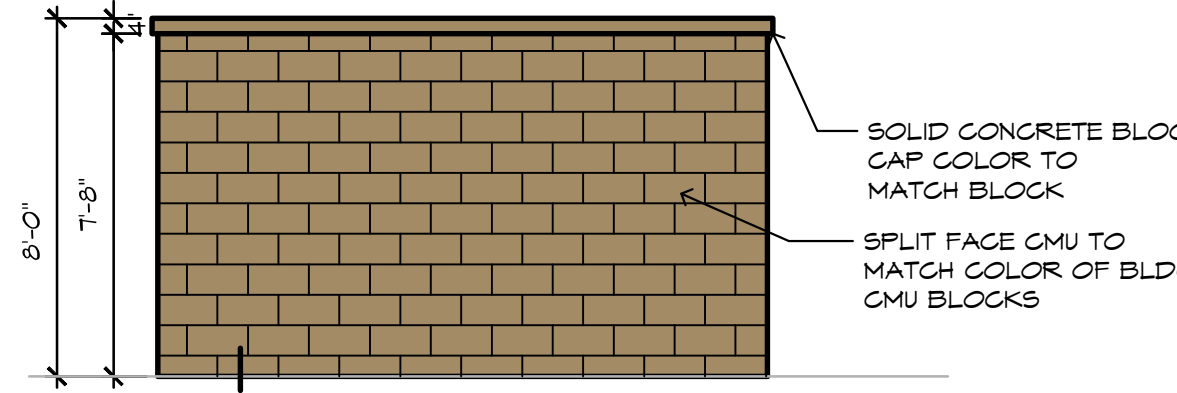
TOTAL FAÇADE:	2672 S.F.
LESS WINDOWS/DOORS/CANOPY:	898 S.F.
NET:	1774 S.F.
THIN STONE:	684 S.F. 38.6%
STUCCO:	251 S.F. 14.1%
CONC. BLOCK:	839 S.F. 47.3%
TOTALS:	1774 S.F. 100%

NOTE: TRASH ENCLOSURE SHALL BE SUCH THAT DUMPSTER SHALL NOT BE VISIBLE FROM SH205 AND IH-30.

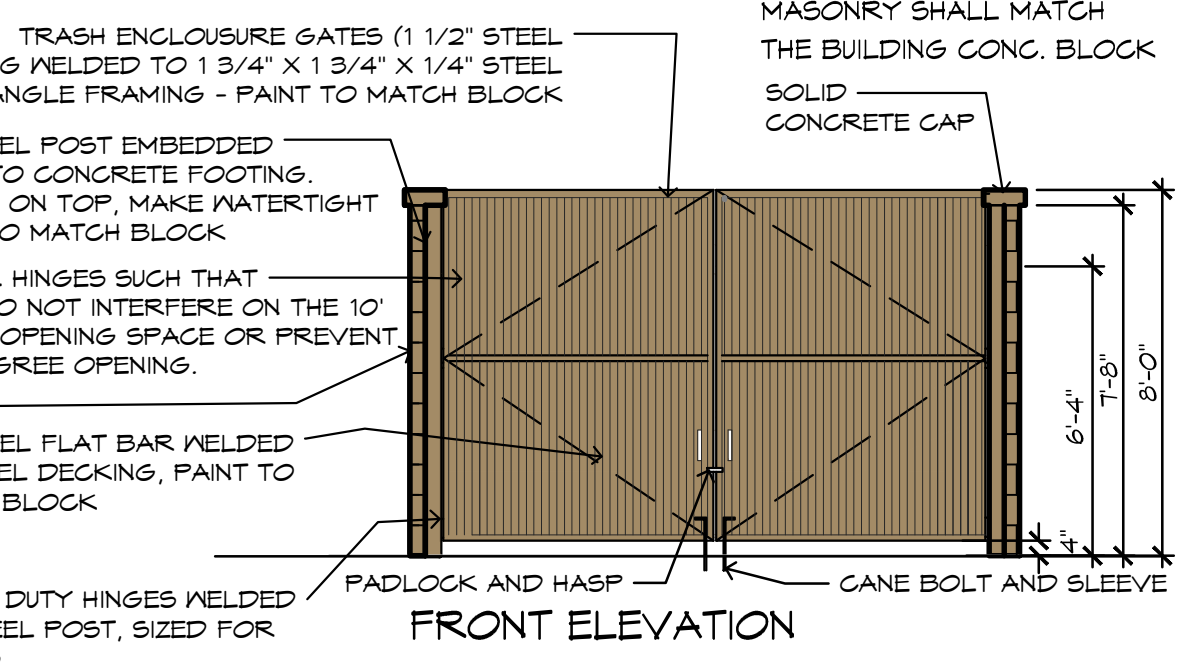
NOTE: ROOF IS NOT VISIBLE IN ELEVATION VIEW AS ROOF IS FLAT BEHIND THE PARAPET BUT WILL BE A WHITE TPO SINGLE MEMBRANE ROOF.



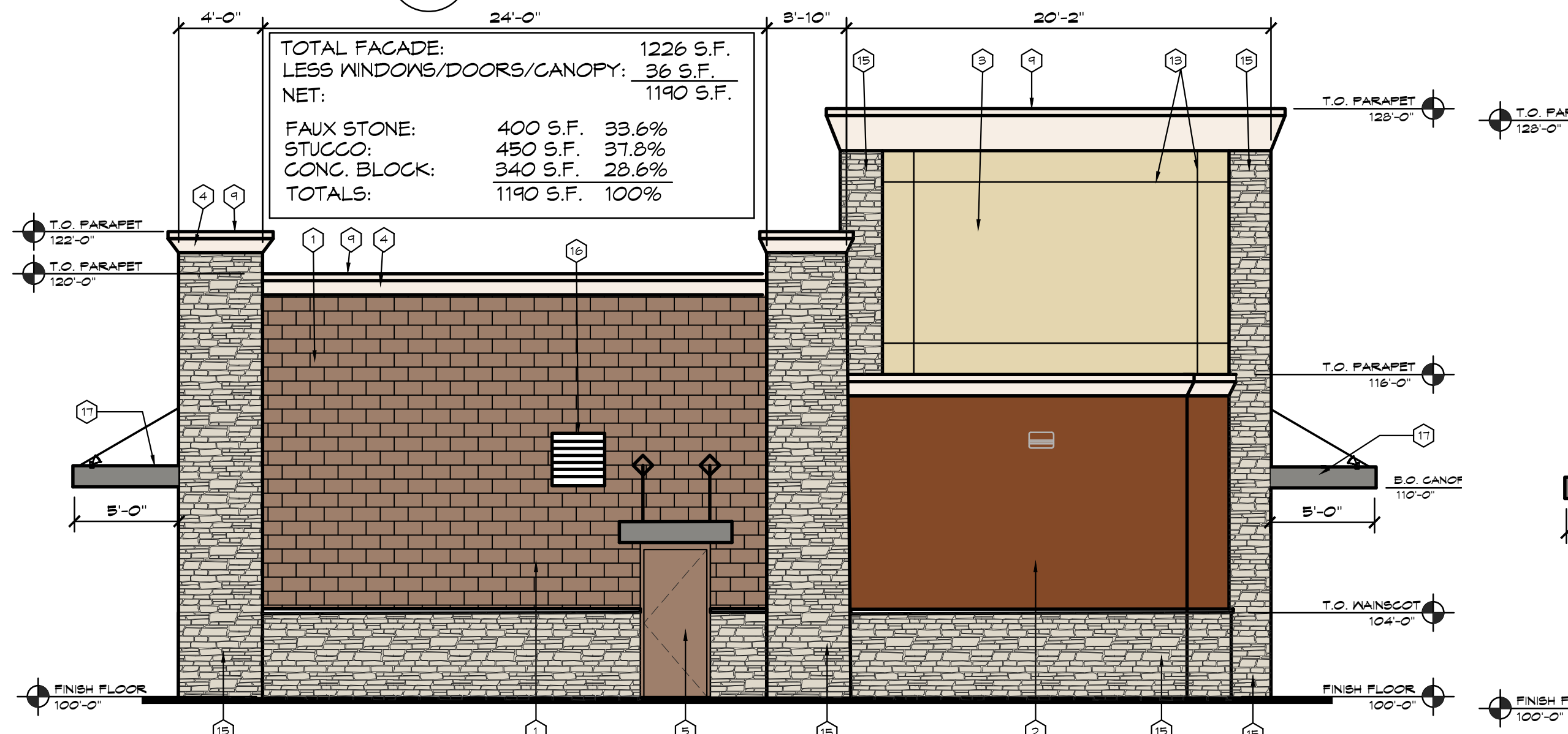
2 WEST ELEVATION
1 3/16"=1'-0"



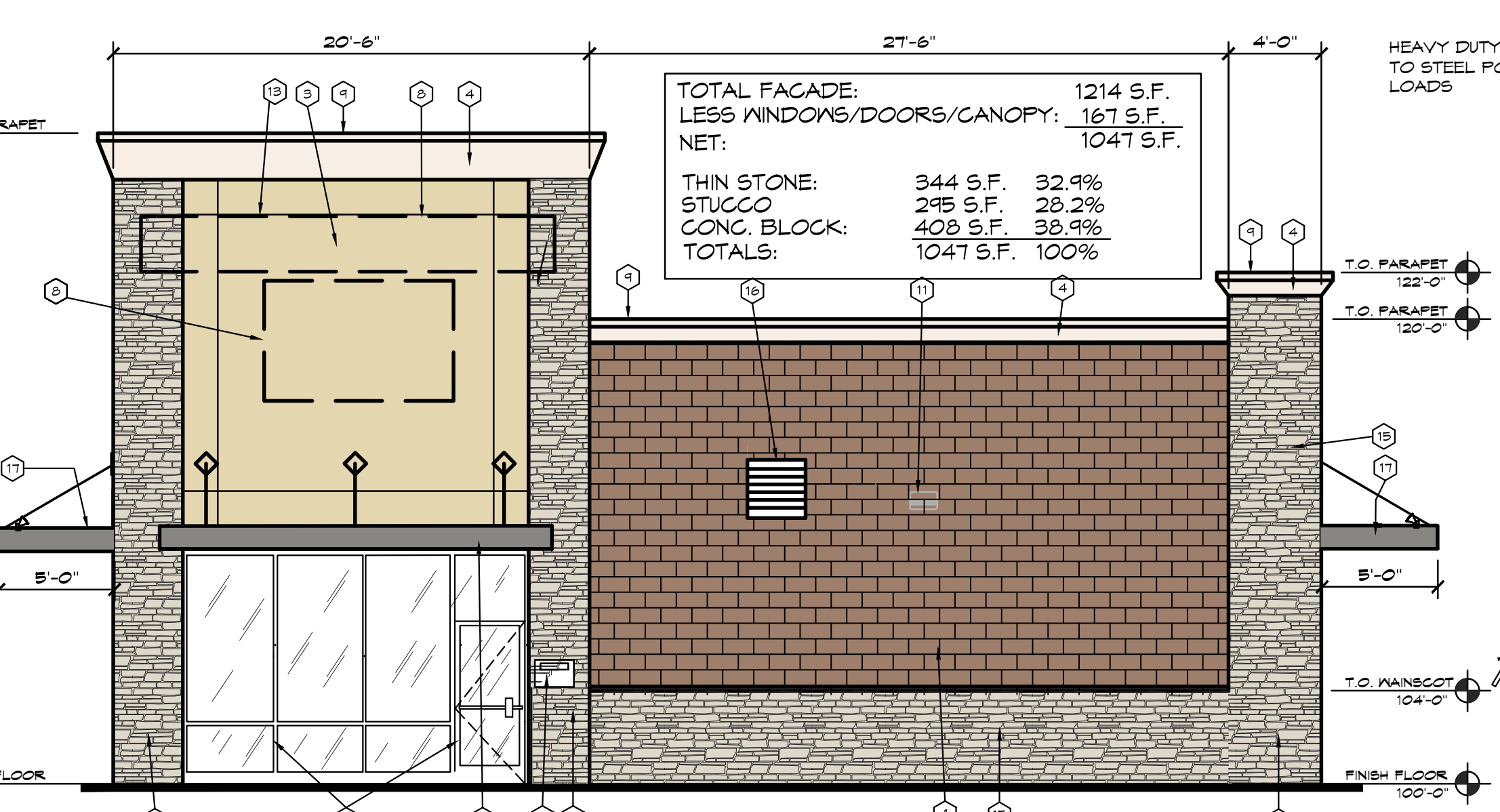
REAR/SIDE ELEVATION



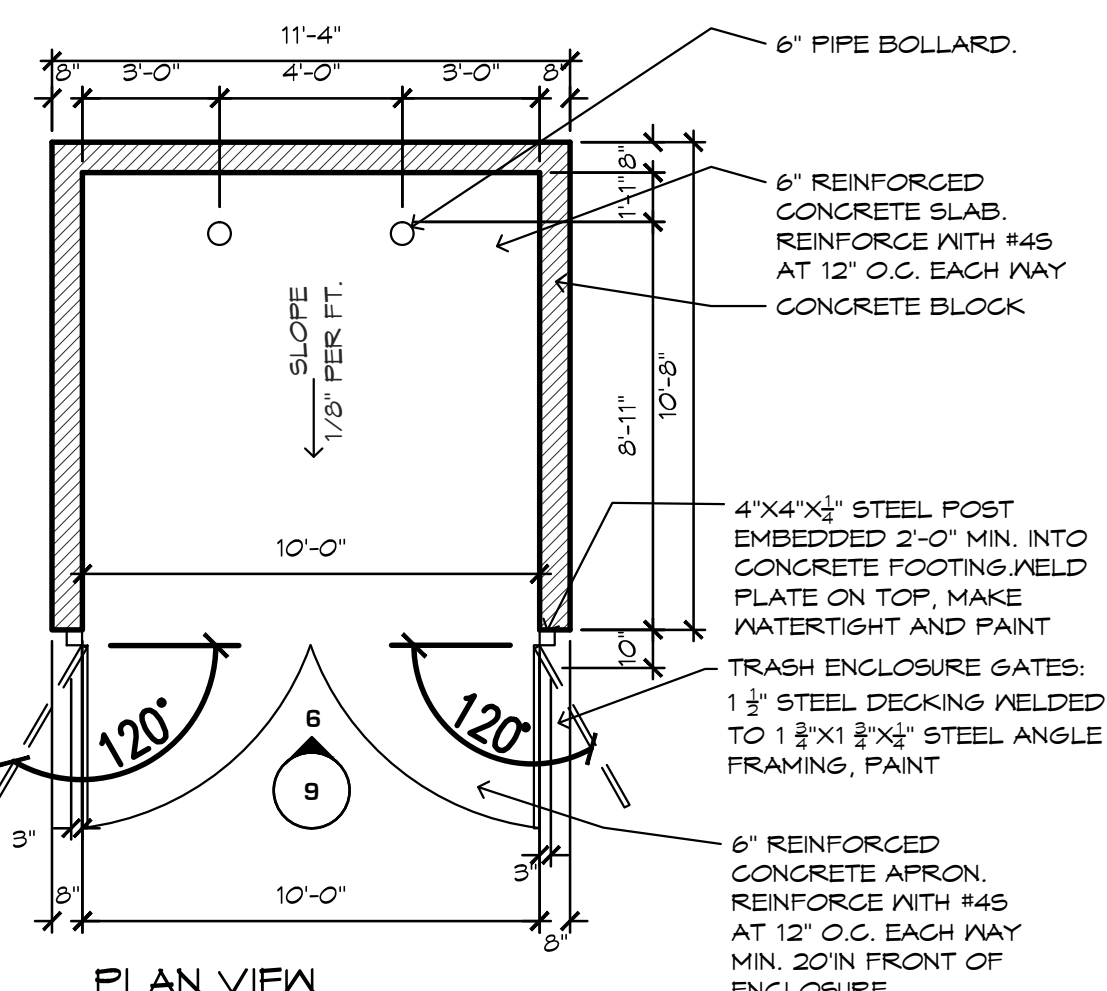
FRONT ELEVATION



3 SOUTH ELEVATION
1 3/16"=1'-0"



4 NORTH ELEVATION (FACES YELLOW JACKET LANE)
1 3/16"=1'-0"



5 TRASH ENCLOSURE DETAIL
1 3/16"=1'-0"

BRAKES PLUS
YELLOW JACKET LN. & S. GOLLIAD ST.
ROCKWALL, TEXAS

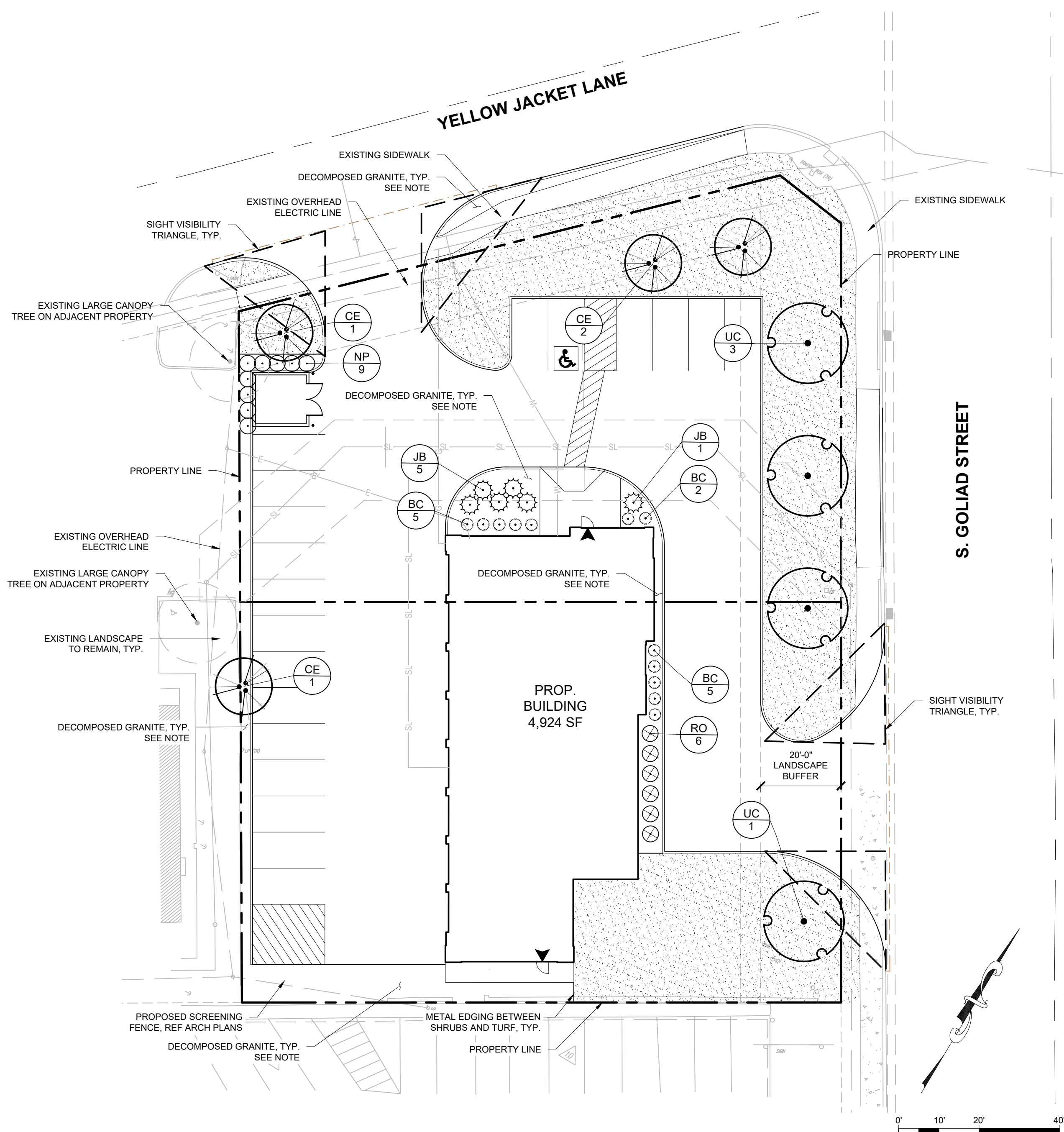
ARCHITECT OF RECORD

REVISION	DATE	COMMENTS
	10.30.18	RESUBMITTAL TO PLANNING
	11.05.18	RESUBMITTAL TO PLANNING

ARCDDJOB #:
CLIENTJOB #:
DRAWN BY: NLH
CHECKED BY: NLH
DATE OF ISSUE: 10.09.18

ARCHITECT
NORMAN L. HERMAN
5265 RIO GRANDE ST.
SUITE 200
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SHEET
1
EXTERIOR ELEVATIONS



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	CE	4	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	CONT.	3-5 CANES, 3" OVERALL	6'-8" HT
	UC	4	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL.	10'-12" HT
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
	BC	12	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	3 GAL	SEE PLAN	
	JB	6	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	3 GAL	5' OC	
	NP	9	NERIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	3 GAL	4' OC	
	RO	6	ROSMARINUS OFFICINALIS	ROSEMARY	3 GAL	SEE PLAN	
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.		
	CD	8,328 SF	CYNODON DACTYLON	BERMUDA GRASS	HYDROMULCH		

LANDSCAPE CALCULATIONS

CURRENT ZONING:	GR (GENERAL RETAIL)
TOTAL SITE AREA:	28,452 SF
LANDSCAPE AREA REQUIRED:	4,288 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	8,808 SF (31% OF SITE AREA)
TOTAL IMPERVIOUS AREA (EXCLUDING BUILDING):	14,720 SF
BUILDING AREA:	4,924 SF
LANDSCAPE BUFFER STRIP	
LANDSCAPE BUFFER STRIP REQUIRED @ GOLIAD ST.:	20'
LANDSCAPE BUFFER STRIP PROVIDED @ GOLIAD ST.:	20'
STREET LANDSCAPING	
YELLOW JACKET LN. TREES REQUIRED (1 PER 50 LF):	3 (109 LF / 50 = 3)
YELLOW JACKET LN. TREES PROVIDED:	3 (3" CAL.) *
GOLIAD ST. TREES REQUIRED (1 PER 50 LF):	4 (154 LF / 50 = 4)
GOLIAD ST. TREES PROVIDED (1 PER 50 LF):	4 (4" CAL.)
RIGHT-OF-WAY LANDSCAPING	
R/W LANDSCAPE REQUIRED (GRASS OR GROUNDCOVER)	PROVIDED
PARKING LOT LANDSCAPING	
TOTAL PARKING SPACES REQUIRED:	16 SPACES
TOTAL PARKING SPACES PROVIDED:	20 SPACES
PARKING LOT LANDSCAPING REQUIRED:	N/A (LESS THAN 20,000 SF / 2 ROWS)
NO PARKING SPACE FURTHER THAN 80' FROM CANOPY TREE	PROVIDED *
IRRIGATION	
PROPOSED IRRIGATION DESIGN WILL MEET THE REQUIREMENTS OF THE UDC.	

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ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

DECOMPOSED GRANITE MULCH

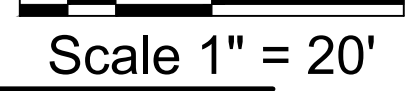
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF DECOMPOSED GRANITE MULCH (3/4" SCREENED, TAN COLOR TO MATCH BUILDING TONES) OVER LANDSCAPE FABRIC IN ALL PLANTING AND LANDSCAPE AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

TREE PLANTING NEAR UTILITIES

NO TREE SHALL BE PLANTED WITHIN 5' OF PUBLIC UTILITIES.

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN), BEFORE STARTING WORK. THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN TURF AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (DeWITT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- INSTALL 14G, GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



NOTE:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES AS SUCH. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.



BOHLER ENGINEERING NC, PLLC

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SUSTAINABLE DESIGN • PERMITTING SERVICES • TRANSPORTATION SERVICES

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RICHMOND, VA
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SAN ANTONIO, TX
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WASHINGTON, DC

REVISIONS			
REV	DATE	COMMENT	BY

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: TD180033
DRAWN BY: CMR
CHECKED BY: RM
DATE: 10/31/18
SCALE:
CAD I.D.:

PROP. SITE PLAN DOCUMENTS

FOR

BRAKES PLUS

LOCATION OF SITE
SW CORNER OF S. GOLIAD ST AND YELLOW JACKET LN
LOTS 1 & 2, BLOCK A, BILLY PEOPLES ADDITION NO. 1
ROCKWALL, TX 75087
ROCKWALL COUNTY

BOHLER ENGINEERING

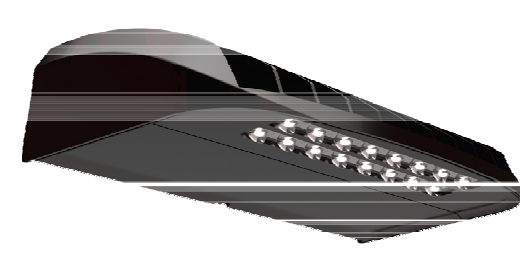
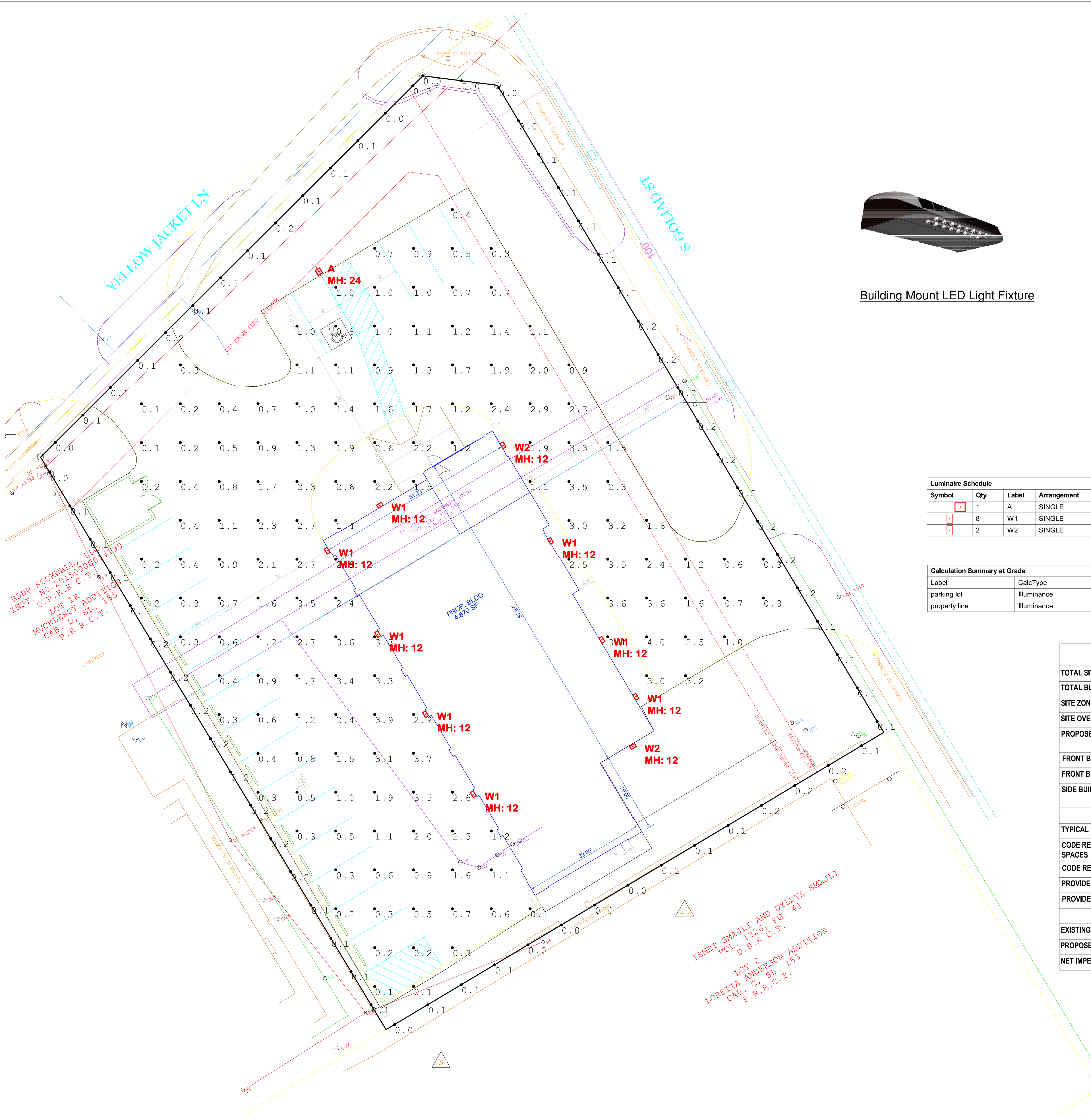
6017 MAIN STREET
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com

REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
3358
10/31/18

SHEET TITLE:
LANDSCAPE PLANTING

SHEET NUMBER:
L-1.0

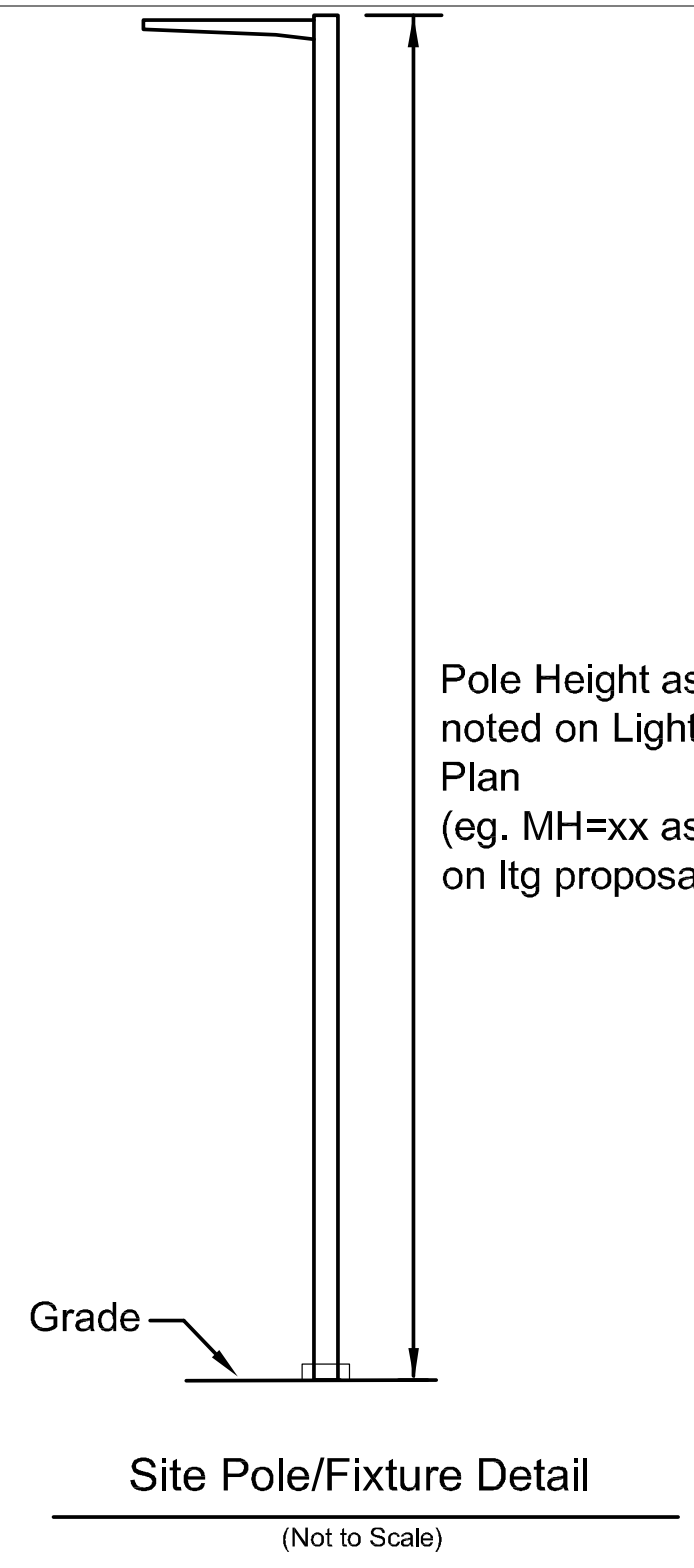
CASE NUMBER:



Building Mount LED Light Fixture



Site Pole Mounted fixture



Pole Height as noted on Lighting Plan (eg. MH=xx as noted on Itg proposal)

Symbol	Qty	Label	Arrangement	Description	LLF	Lum. Watts	Lum. Lumens
⊠	1	A	SINGLE	XLCS-FTE-LED-SS-50-(voltage)-(finish)-HSS mtd. on 24'-0 pole	0.890	96	5677
□	8	W1	SINGLE	XWM-FT-LED-03L-50K-(voltage)-(finish)	0.890	28.2	3461
□	2	W2	SINGLE	XWM-3-LED-03L-50K-(voltage)-(finish)	0.890	28.2	3487

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
parking lot	Illuminance	Fc	1.46	4.0	0.1	14.60	40.00
property line	Illuminance	Fc	0.11	0.2	0.0	N.A.	N.A.

SITE DATA TABLE	
TOTAL SITE AREA	0.653 AC (28,452 SF)
TOTAL BUILDING SIZE	4,924 SF
SITE ZONING DISTRICT	GR - GENERAL RETAIL
SITE OVERLAY DISTRICT	SH-205 OVERLAY DISTRICT
PROPOSED LAND USE	COMMERCIAL (AUTO REPAIR GARAGE, MINOR)
FRONT BUILDING SETBACK (S. GOLIAD)	25 FT
FRONT BLDG. SETBACK (YELLOW JACKET)	15 FT
SIDE BUILDING SETBACK	0 FT (PROVIDED BLDG IS FIRE RETARDANT)
TYPICAL PARKING SPACE	9' x 18'
CODE REQUIRED PARKING SPACES	2 SPACES PER SERVICE BAY = 16 SPACES
CODE REQUIRED ADA SPACES	1 SPACE
PROVIDED PARKING SPACES	20 SPACES
PROVIDED ADA SPACES	1 SPACE
EXISTING IMPERVIOUS AREA	26,234 SF
PROPOSED IMPERVIOUS AREA	19,933 SF
NET IMPERVIOUS AREA	-6,301 SF

DISCLAIMER: ——— CALCULATED VALUES:
Calculations have been performed according to IESNA & CIE standards and procedures. In the provided information and to ensure the accuracy of the calculations, lighting calculations were performed using the following assumptions: measuring techniques and field conditions such as surface and temperature variations. Field data used to generate the calculations such as room dimensions, reflections, etc. If the real environment conditions do not match the input data, the results provided, including the predicted illuminance values, may vary. The calculations of illuminance values are based on the data provided. The results listed in this report are for informational purposes only and do not constitute a warranty. Differences may occur between measured values and calculated values.

Rev	Date	Comments
A	10/17/17	Site Lighting Proposal
B	10/31/18	Updated per comment review



Brakes Plus - Rockwall, Texas Site Lighting Proposal