



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2019-019 P&Z DATE \_\_\_\_\_ CC DATE \_\_\_\_\_ APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input type="checkbox"/> RECIEPT
<input type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPTER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2018-019

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 2205 Ridge Road

Subdivision The Woods at Rockwall

Lot 1R & 2R Block A

General Location Southeast corner of Ridge Rd. & Yellow Jacket Ln.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial (C) District

Current Use Vacant

Proposed Zoning Commercial (C) District

Proposed Use Retail store with gasoline sales

Acreage 2.460

Lots [Current] 2

Lots [Proposed] 2

**Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Mountain Prize, Inc.

Applicant Winstead PC

Contact Person Andrew Malzer

Contact Person Brad Williams

Address 200 Galleria Pkwy SE

Address 500 Winstead Bldg.

Suite 900

2728 N Harwood St.

City, State & Zip Atlanta, GA 30339

City, State & Zip Dallas, TX 75201

Phone +1 (706) 288-7672

Phone +1 (214) 745-5264

E-Mail amalzer@racetrac.com

E-Mail bwilliams@winstead.com

## NOTARY VERIFICATION [REQUIRED]

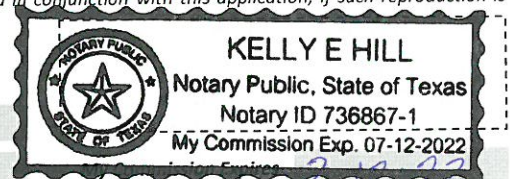
Before me, the undersigned authority, on this day personally appeared Brad Williams [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 3 day of July, 20 18. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 29th day of June, 20 18.

Owner's/Applicant's Signature \_\_\_\_\_

Notary Public in and for the State of Texas \_\_\_\_\_







October 2, 2018

**ATTN:** BRAD WILLIAMS  
WINSTEAD PC  
500 WINSTEAD BLDG,  
Dallas, TX 75201

**RE: AMENDING SITE PLAN (SP2018-019), RaceTrac**

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the Planning and Zoning Commission on 09/25/2018. The following is a record of all recommendations, voting records and conditions of approval:

**RECOMMENDATIONS:**

*If the Planning & Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:*

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;*
- 2) Any construction or building necessary to complete the Site Plan request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

**ARCHITECTURAL REVIEW BOARD RECOMMENDATION:**

*On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed amended building elevations for the site. A motion to recommend approval of the amended building elevations passed by a vote of 7-0. Additionally, the motion included a recommendation of approval for the exception to allow for not meeting the vertical articulation standard for the east facing elevation.*

*On September 25, the applicant provided the Architectural Review Board (ARB) an amended version of the building elevations that were recommended for approval at the July 31, 2018 meeting. The purpose of amended building elevations was to avoid requesting articulation variances. After reviewing the amended elevations, the ARB made a motion to recommend approval. The motion passed by a vote of 5 to 0 with Board Members Neill and Mitchell absent.*

**PLANNING AND ZONING COMMISSION:**

*On September 25, 2018, the Planning and Zoning Commission made a motion to approve the site plan with staff conditions and ARB recommendations by a vote of 7 to 0.*




For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

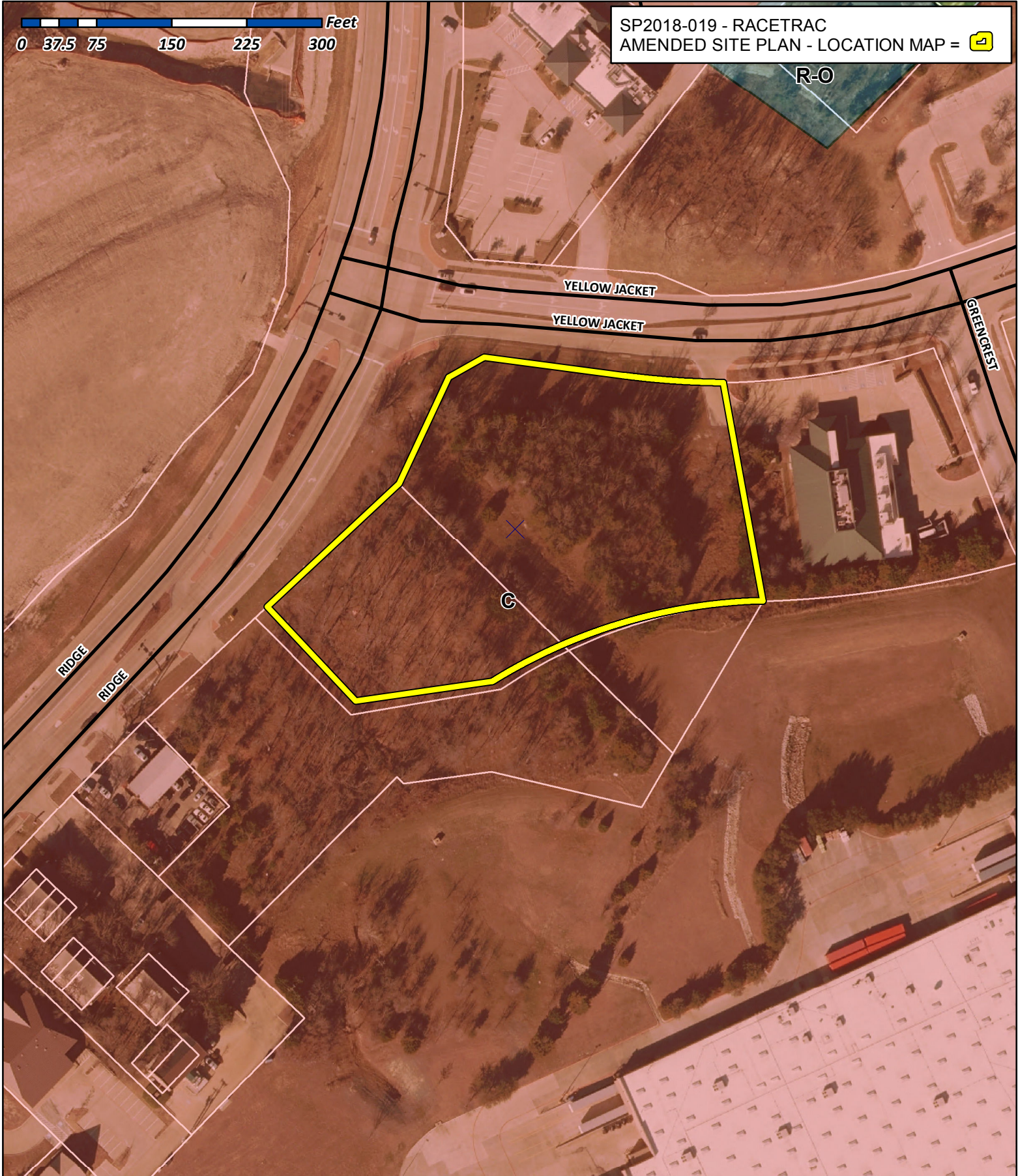
Sincerely,

**David Gonzales, AICP**  
Senior Planner  
Planning & Zoning Department  
City of Rockwall, TX



0 37.5 75 150 225 300 Feet

SP2018-019 - RACETRAC  
AMENDED SITE PLAN - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





2728 N. Harwood Street  
Suite 500  
Dallas, Texas 75201

214.745.5400 OFFICE  
214.745.5390 FAX  
winstead.com

July 3, 2018

Brad R. Williams  
direct 214.745.5264  
email [bwilliams@winstead.com](mailto:bwilliams@winstead.com)

**VIA FEDEX**

David Gonzales, AICP  
Senior Planner  
Rockwall City Hall  
385 S. Goliad Street  
Rockwall, Texas 75087

Re: RaceTrac Petroleum, Inc., Ridge Rd. & Yellow Jacket Ln. (the "Project")

David,

Please see enclosed for a revised site plan application for the Project, including 4 copies of the following full-size plans:

- Site Plan
- Landscape Plan
- Photometric Plan
- Elevations (Color)

Also enclosed is an 11 x 17 rendering illustrating the revised elevations, along with a completed Development Application, check made payable to the City of Rockwall in the amount of \$100.00 to cover the application fee, elevation material calculations, and a CD containing digital copies of the submission materials.

Please let me know if you have any further questions. As always, we look forward to working with you toward completion of the Project.

Sincerely,



Brad Williams

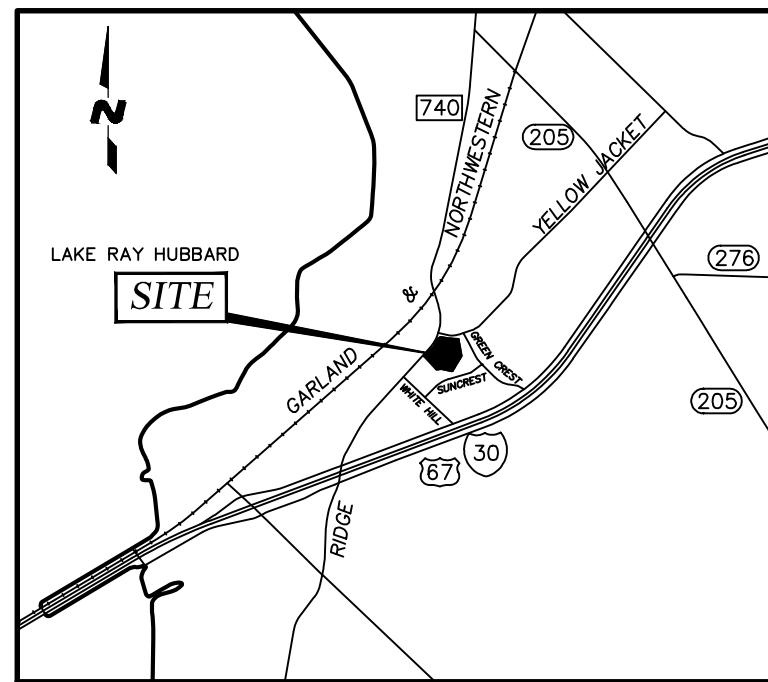
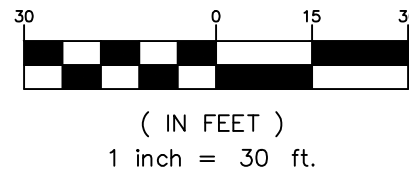
Encls.





**TOCS**  
1-800-245-4545  
bticket@1-call.com

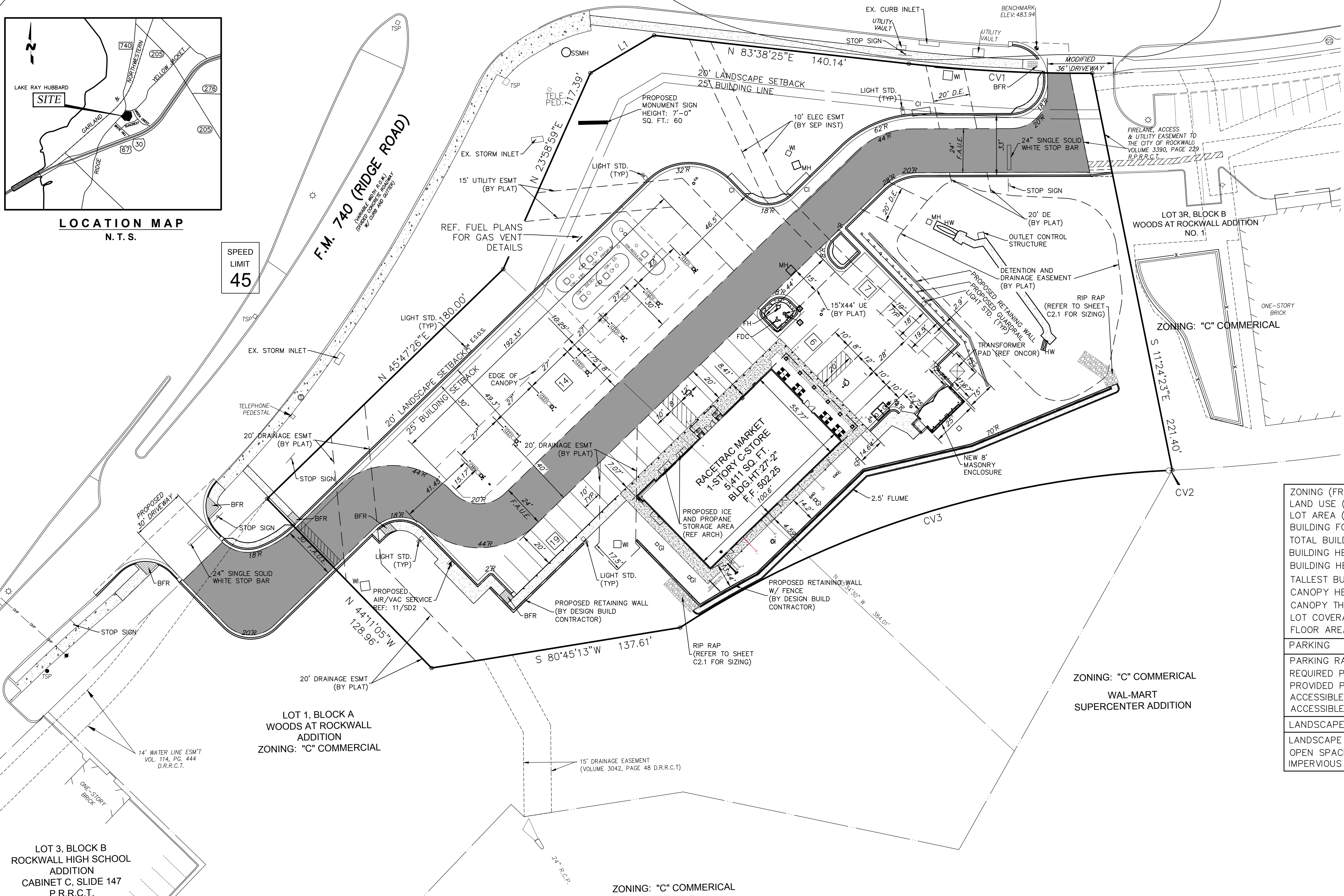
GRAPHIC SCALE



**LOCATION MAP**  
N. T. S.

SPEED LIMIT  
**45**

SPEED LIMIT  
**35**



**SITE NOTES**

1. ALL SIGNS WILL REQUIRE SEPARATE SIGN PERMIT. NO SIGN ALLOWED IN AN EASEMENT OR RIGHT-OF-WAYS.
2. BUILDING TO BE CONSTRUCTED WITH SPRINKLER SYSTEM.
3. ALL PROPOSED OFF-SITE UTILITIES WILL BE CONSTRUCTED AS NEEDED PER SCHEDULE OF DEVELOPMENT OF ADJACENT PROPERTY.
4. NO OVERHANG OF CANOPY IN ANY EASEMENTS OR FIRELANE.

EASEMENT LEGEND	
W.E.	WATER EASEMENT
D.E.	DRAINAGE EASEMENT
D.D.E.	DRAINAGE AND DETENTION EASEMENT
F.A.U.E	FIRE LANE, PUBLIC UTILITY & ACCESS EASEMENT

BOUNDARY LINE DATA TABLE	
L1	N 60°26'48" W 40.41'

BOUNDARY LINE CURVE DATA TABLE					
CV	DELTA	RADIUS	LENGTH	CHORD	BEARING
C1	06°48'23"	845.00'	100.38'	100.32'	S87°02'38" E
C2	00°07'47"	772.78'	1.75'	1.75'	S87°16'29" W
C3	30°19'13"	536.81'	284.07'	280.77'	S72°10'40" W

**SITE DATA SUMMARY TABLE**

ZONING (FROM ZONING MAP)	"C" COMMERCIAL
LAND USE (FROM ZONING ORDINANCE)	CONVENIENCE STORE W/GAS PUMPS
LOT AREA (SQUARE FEET & ACRES)	107,210 S.F. or 2.46 ACRES
BUILDING FOOTPRINT AREA (SQUARE FEET)	5,411 S.F.
TOTAL BUILDING AREA (SQUARE FEET)	5,411 S.F.
BUILDING HEIGHT (# STORIES)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	27'-2" (TOP OF PITCHED ROOF)
CANOPY HEIGHT	22 FEET
CANOPY THICKNESS	4 FEET
LOT COVERAGE (PERCENT)	5.05% [5,411 / 107,210]
FLOOR AREA RATIO (RATIO)	0.05:1 [5,411 / 107,210]
PARKING	
PARKING RATIO (FROM ZONING ORDINANCE)	RETAIL USE (1/250 S.F.)
REQUIRED PARKING (# SPACES)	22 SPACES [5,488 / 250]
PROVIDED PARKING (# SPACES)	46 TOTAL (14 PUMP PARKING SPACES)
ACCESSIBLE PARKING REQUIRED (# SPACES)	1 SPACES
ACCESSIBLE PARKING PROVIDED (# SPACES)	2 SPACES
LANDSCAPE AREA	
LANDSCAPE AREA PROVIDED	51,948 S.F. (48%)
OPEN SPACE PROVIDED	51,948 S.F. (48%)
IMPERVIOUS AREA	55,262 S.F. (52%)

**WATER METER SCHEDULE**

ID	TYPE	SIZE	REMARK
1	DOMESTIC	1.5"	PROPOSED
2	IRRIGATION	1"	PROPOSED

**DEVELOPER**  
RACETRAC  
URBAN STRUCTURE  
3225 CUMBERLAND BLVD.,  
SUITE 100  
ATLANTA, GA 30339  
CONTACT: DREW CUNNINGHAM  
TEL: (770) 431-7600  
EXT.1133

**APPLICANT/ENGINEER**  
URBAN STRUCTURE  
TBPE FIRM # F-13165  
8140 WALNUT HILL LANE, STE 905  
DALLAS, TEXAS 75231  
CONTACT: DOUGLAS BARRILLEAUX, P.E.  
TEL: (214) 295-5775

**SURVEYOR**  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: GARY E. JOHNSON, R.P.L.S.  
TEL: (214) 340-9700

**SITE PLAN**  
**WOODS AT ROCKWALL ADDITION**  
**LOT 1 & 2, BLOCK A**  
**IN THE CITY OF ROCKWALL,**  
**ROCKWALL COUNTY, TEXAS**

TEL: 214-295-5775

**URBAN STRUCTURE**  
8140 Walnut Hill Lane, Suite 905  
Dallas, Texas 75231  
Firm Registration #F53355

**PRELIMINARY**  
NOT FOR CONSTRUCTION,  
BIDDING, OR PERMIT  
PURPOSE.  
PREPARED UNDER THE  
SUPERVISION OF  
DOUGLAS E. BARRILLEAUX  
P.E. # 97518  
ON 06/20/2018

THESE PLANS ARE  
SUBJECT TO FEDERAL  
COPYRIGHT LAWS. ANY  
USE OF SAME WITHOUT  
THE EXPRESSED WRITTEN  
PERMISSION OF  
RACETRAC PETROLEUM,  
INC. IS PROHIBITED.

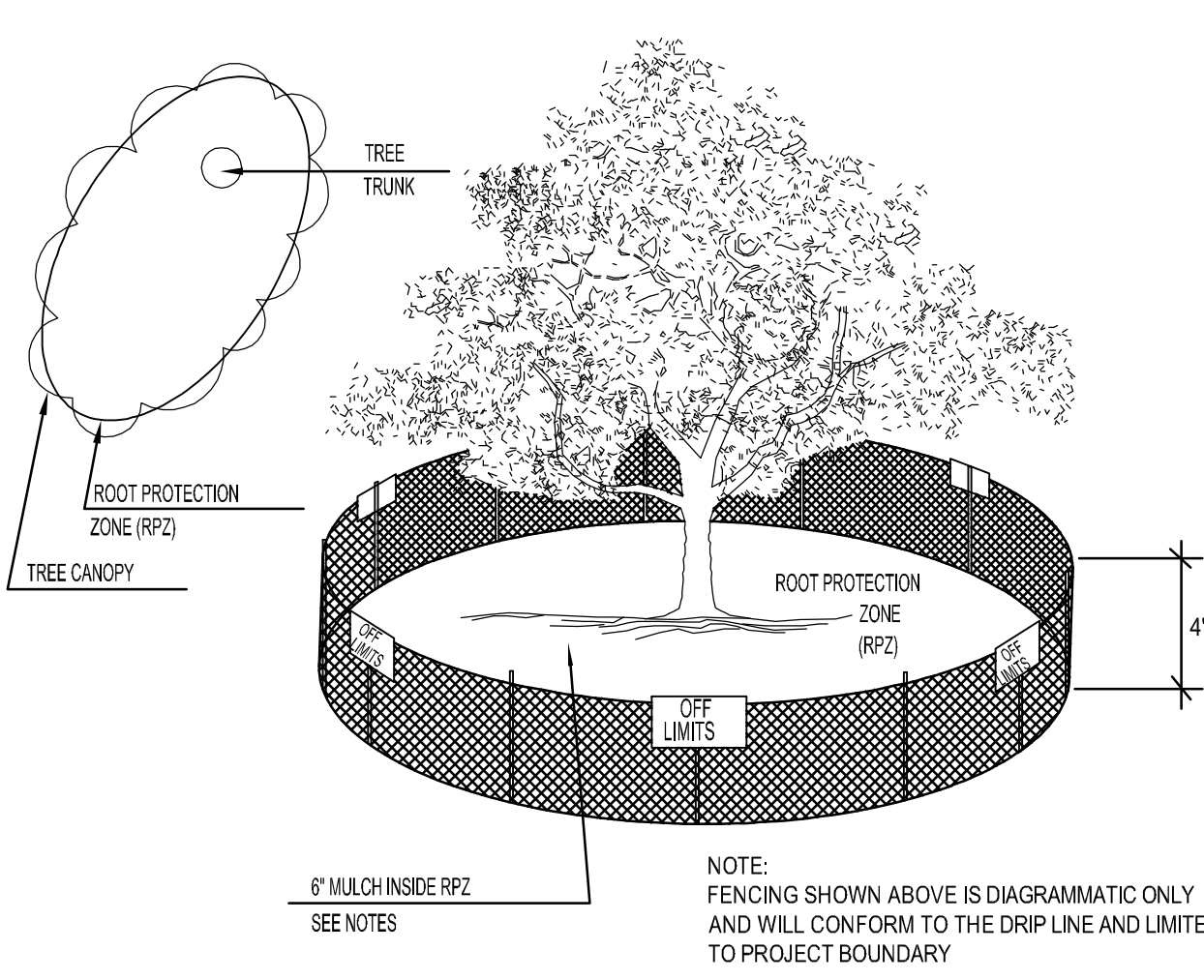
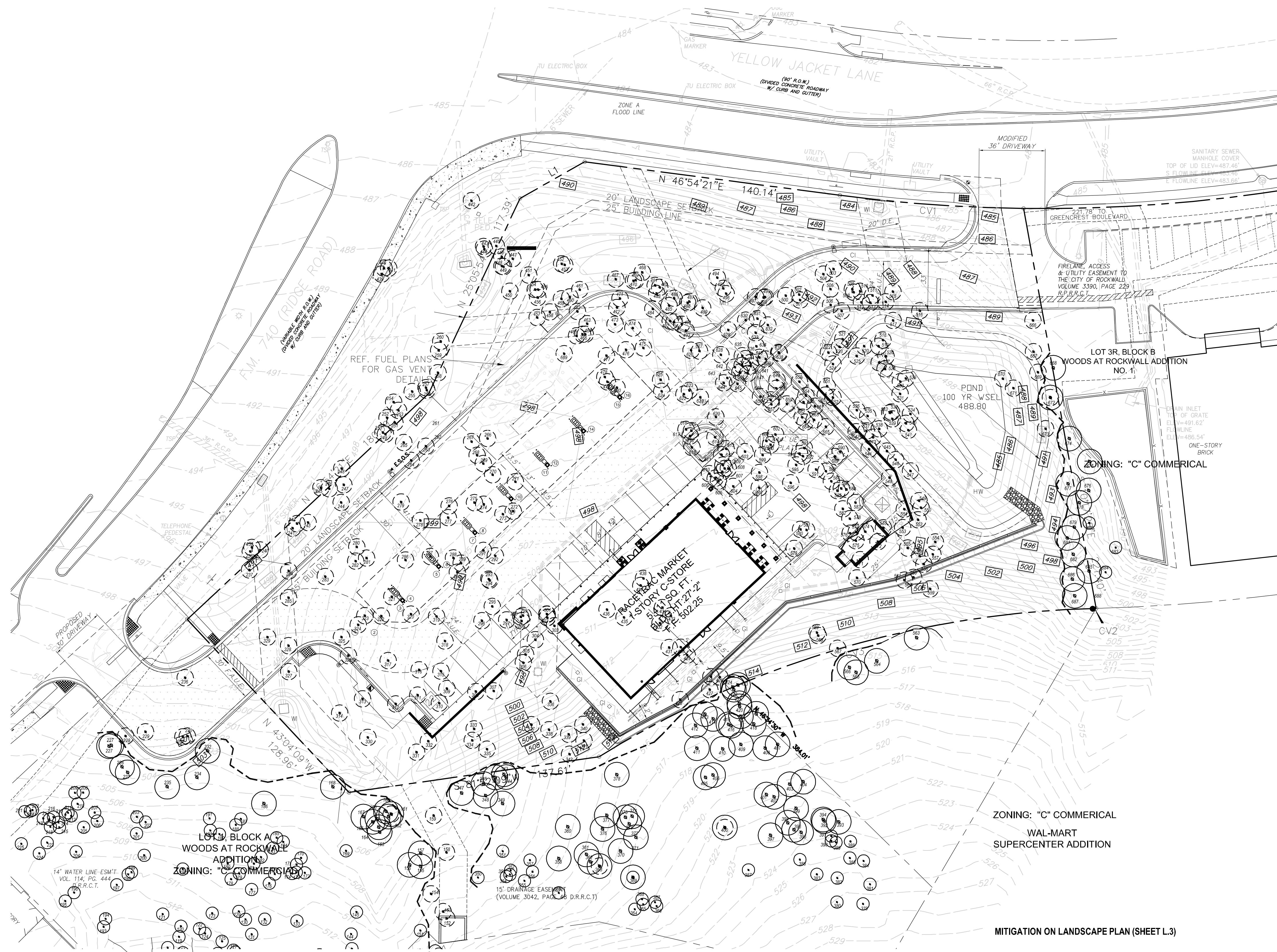
**Racetrac**  
RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

**SITE PLAN**  
RACETRAC MARKET #2345  
2205 RIDGE ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS

DRAWN BY	BTD
DATE	03/28/2018
SCALE	AS SHOWN
DRAWING NAME	C-SITE.dwg
<b>C3</b>	
SHEET NO.	VERSION

Lot 1, Modified, Jan. 28, 2018, 11:44 AM  
Drawing: M:\Civil\Projects\2017\75238 Rockwall Racetrac\Map\Working Files\C-SITE.dwg  
C-SITE 6/20/2018 11:44 AM



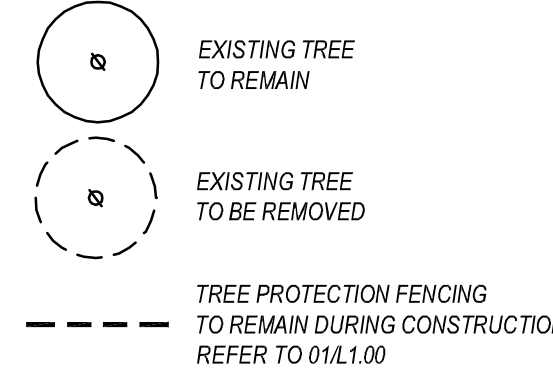


**01 TREE PROTECTION FENCE A**  
NOT TO SCALE

**EXISTING TREE NOTES**

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around drip line (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encased with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

**EXISTING TREE LEGEND**

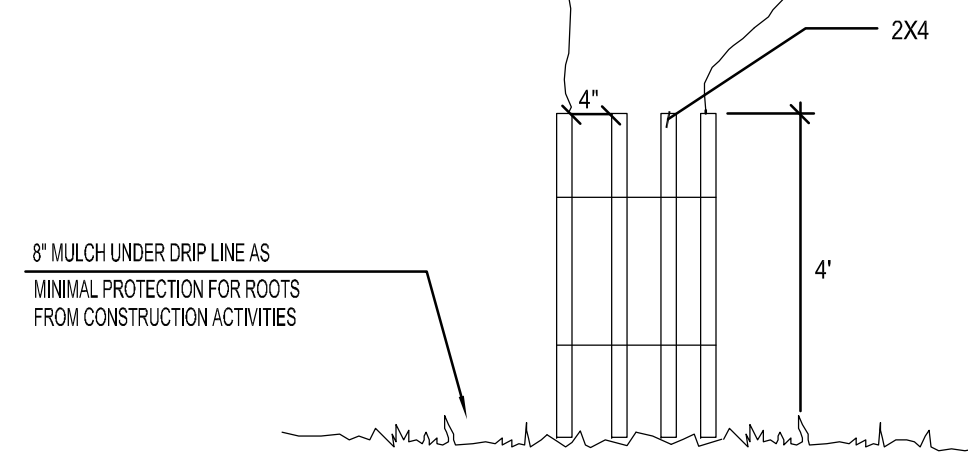


**SITE PLAN**  
**WOODS AT ROCKWALL ADDITION**  
**LOT 1 & 2, BLOCK A**  
**IN THE CITY OF ROCKWALL,**  
**ROCKWALL COUNTY, TEXAS**

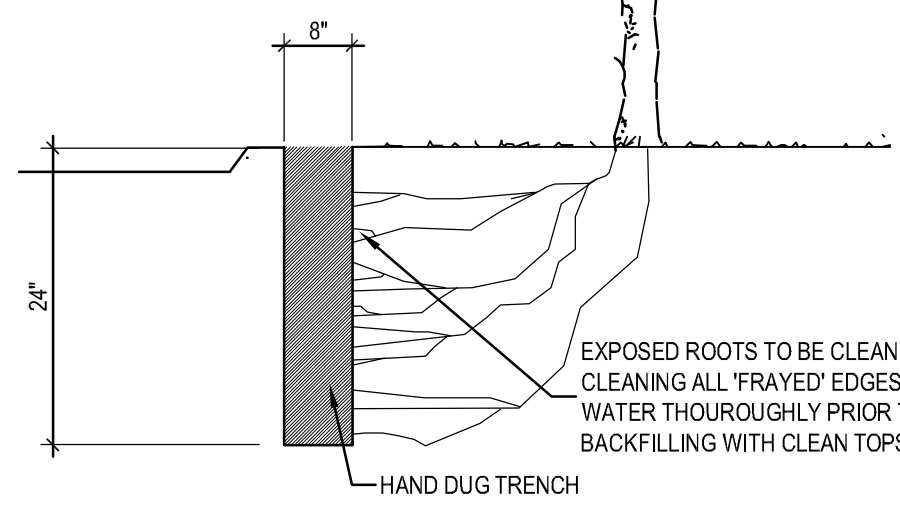
**01 EXISTING TREE PLAN**  
SCALE: 1" = 30'-0"

Tree Description	Quantity	Caliper	Mitigation
(15) 5" CALIPER TREES	75	5"	375
(23) 6" CALIPER TREES	136	6"	816
(22) TREES REQUIRED TO BE 4" CALIPER THAT ARE PROPOSED AS 6" CALIPER (22X2' OVER REQ.)	44	6"	264
<b>CREDIT FOR ON SITE MITIGATION</b>			<b>255</b>
(210) NEEDLEPOINT HOLLY (210 / 5) =		80"	1680
(422) 3 GALON SHRUBS (422 / 10) =		42.2"	1780
(668) PURPLE WINTERCREEPER (668 / 10) =		86.8"	5780
<b>TOTAL CALIPER INCHES PROVIDED</b>			<b>464</b>
<b>TOTAL MITIGATION</b>			<b>3,013</b>
<b>TOTAL MITIGATION REMAINING</b>			<b>2,549</b>
<b>AMOUNT DUE PER INCH (\$125.00)</b>			<b>\$ 318,625</b>

- TREE MITIGATION-**  
Tree mitigation on this project is provided by:
- Increasing the size of required canopy trees from 4" caliper to 6" caliper providing 2" of mitigation for each tree.
  - Providing additional shrubs, 5 gallon in size providing 1" of mitigation for each 5 additional shrubs.
  - Providing additional shrubs 3 gallon in size providing 1" of mitigation for each 10 shrubs.
  - Providing additional ground cover 1 gallon in size providing 1" of mitigation for each 10 ground cover plants



**02 TREE PROTECTION FENCE B**  
NOT TO SCALE



**03 ROOT PRUNING DETAIL**  
N.T.S.

DATE	6.21.18
SCALE	AS SHOWN
DRAWN-BY	BDA
DRAWING NAME:	
<b>L.O</b>	
SHEET NO.	VERSION

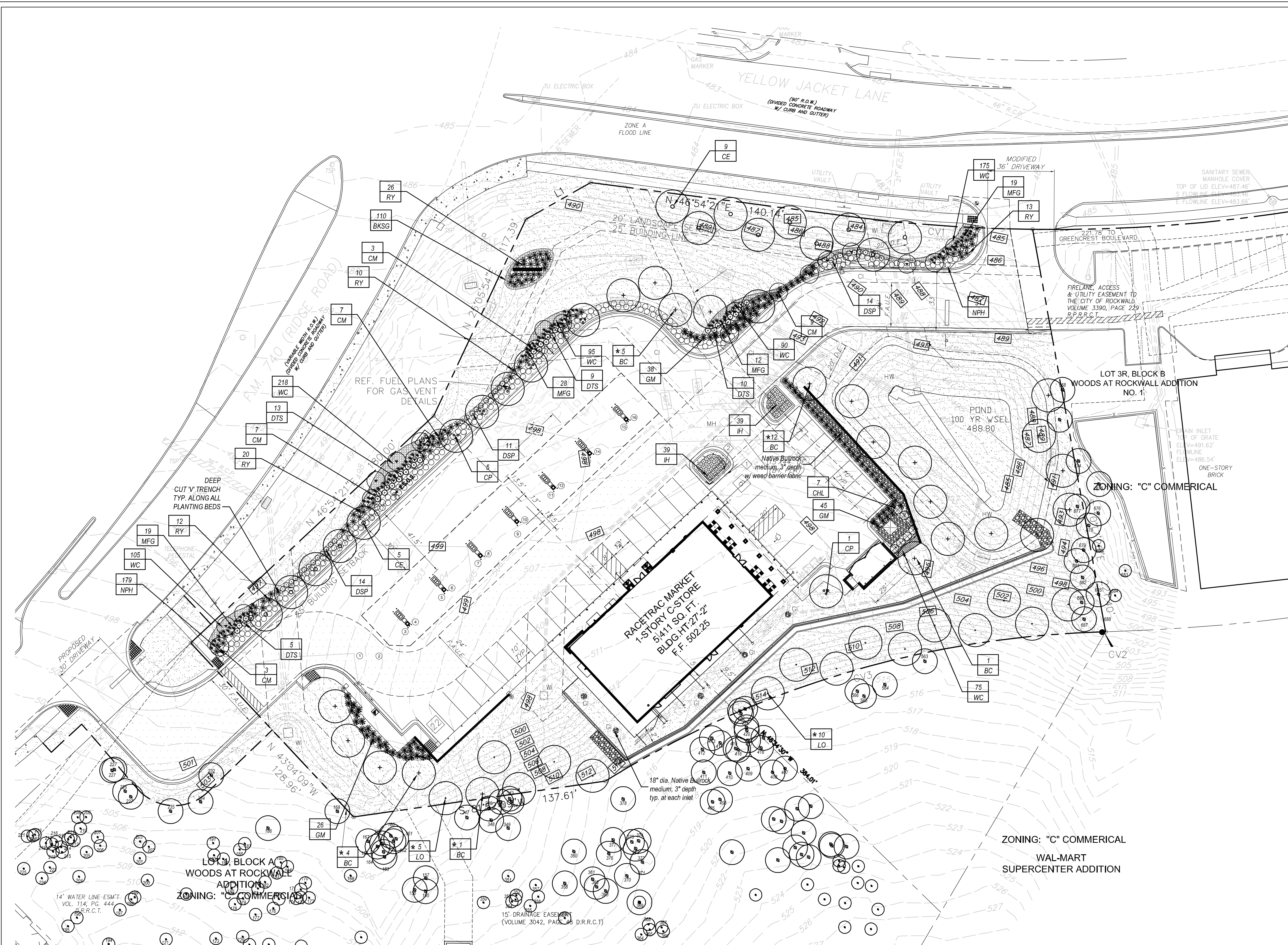
  

**smr**  
landscape architects, inc.  
1708 N. Griffin Street  
Dallas, Texas 75202  
Tel 214.871.0083  
Fax 214.871.0545  
Email smr@smr-lb.com

**RACETRAC**  
RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

**EXISTING TREE PLAN**  
**RACETRAC MARKET #2345**  
2205 RIDGE ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS





**LANDSCAPE NOTES**

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by "V" TRENCH. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

**MAINTENANCE NOTES**

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

**GENERAL LAWN NOTES**

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

**LANDSCAPE TABULATIONS: 740 SCENIC OVERLAY**

**SITE REQUIREMENTS** (site area 107,210 s.f.)  
 Requirements: 15% site area to be landscaped

Required	Provided
16,082 s.f. (15%)	47,309 s.f. (44%)

**FRONT YARD REQUIREMENTS**  
 Requirements: 50% of required landscape must be located in front yard

Required	Provided
8,041 s.f. (50%)	8,041 s.f.

**STREET REQUIREMENTS:**  
 Requirements: (1) canopy trees 3" cal. per 30 l.f. of frontage

Required	Provided
(10) canopy trees, 3" cal.	(10) canopy trees, 3" cal.

**RIDGE ROAD (297.39 l.f.)**  
 Requirements: (1) canopy trees, 3" cal.

Required	Provided
(9) canopy trees, 3" cal.	(9) canopy trees, 3" cal.

**YELLOW JACKET LANE (280.91 l.f.)**  
 Requirements: (1) canopy trees, 3" cal.

Required	Provided
(9) canopy trees, 3" cal.	(9) canopy trees, 3" cal.

**PARKING LOT (35 spaces; 10,322 s.f.)**  
 Requirements: 5% of total parking lot area and (1) tree, 3" cal. per 10 REQUIRED parking spaces (22 REQUIRED)

Required	Provided
(2) trees, 3" cal.	(2) trees, 4" cal.
516 s.f. (5%)	617 s.f. (5.9%)

**ALL TREES TO BE LOCATED 5' FROM WATER, SEWER AND STORM SEWER LINES**

**ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL HEAD-IN PARKING**

**SOLID SOD NOTES**

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

**HYDROMULCH NOTES**

- All lawn areas to be Hydromulch Bermudagrass, unless noted otherwise on drawings.
- Contractor shall scarify, rip, loosen all areas to be hydromulched to a minimum depth of 4" prior to topsoil and hydromulch installation.
- Bermudagrass seed shall be extra hulled and treated lawn type and shall be delivered to the site in its original unopened container, and shall meet Texas State Law requirements.
- Fiber: Shall be one hundred (100%) percent Wood Cellulose Fiber, delivered to the site in its original unopened container, "Comweb" or equal.
- Fiber Tack: Shall be delivered to the site in its original unopened container, and shall be "Terra-Tack one", as manufactured by Growers, Inc. or equal.
- Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1000) square foot.
- Use a 4/8" batter board against all beds areas.
- If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass, at a rate of four (4) pounds per one thousand (1000) square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
- In the event ryegrass is necessary due to time of year installation, it shall be the responsibility of the contractor to scalp existing grass, bag clippings, and scarify soil to a depth of 1" prior to permanent lawn grass installation.
- All lawn areas to be hydromulched, shall have one hundred (100%) percent coverage prior to final acceptance.
- Contractor shall maintain all lawn areas until final acceptance. This shall include but not limited to: mowing, watering, weeding, cultivating, cleaning, and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply as necessary.

**DRAINFIELD MIX LAWN NOTES**

- Installation of Drainfield Mix to be performed by hydro-seeding.
- Final grades to be smooth and level free of debris, rocks over 1" and shall have no ruts or depressions, grading per civil plans.
- Install the following mix at the specified rate of 80 pounds acre or per manufacturer's recommendations.
- Seed mix available from Native American Seed: 1 800 728 4993.

**SITE DATA SUMMARY TABLE**

ZONING (FROM ZONING MAP)	"C" COMMERCIAL
LAND USE (FROM ZONING ORDINANCE)	CONVENIENCE STORE WIGAS PUMPS
LOT AREA (SQUARE FEET & ACRES)	107,210 S.F. / 2.46 ACRES
BUILDING FOOTPRINT AREA (SQUARE FEET)	5,488 S.F.
TOTAL BUILDING AREA (SQUARE FEET)	5,488 S.F.
BUILDING HEIGHT (# STORIES)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	27'-2" (TOP OF PITCHED ROOF)
CANOPY HEIGHT	22 FEET
CANOPY THICKNESS	4 FEET
LOT COVERAGE (PERCENT)	5.12% (5,488 / 107,210)
FLOOR AREA RATIO (RATIO)	0.051 (5,488 / 107,210)
PARKING	RETAIL USE (1250 S.F.)
PARKING RATIO (FROM ZONING ORDINANCE)	22 SPACES (5,488 / 250)
REQUIRED PARKING (# SPACES)	35 TOTAL
PROVIDED PARKING (# SPACES)	1 SPACES
ACCESSIBLE PARKING PROVIDED (# SPACES)	2 SPACES
LANDSCAPE AREA	
LANDSCAPE AREA PROVIDED	47,309 S.F. (44%)
OPEN SPACE PROVIDED	47,309 S.F. (44%)
IMPERVIOUS AREA	59,901 S.F. (56%)

**WATER METER SCHEDULE**

ID	TYPE	SIZE	REMARK
1	DOMESTIC	2"	PROPOSED
2	IRRIGATION	1"	PROPOSED

**DEVELOPER**  
 RACE TRAC  
 3225 CUMBERLAND BLVD., SUITE 100  
 ATLANTA, GA 30339  
 CONTACT: DREW CUNNINGHAM  
 TEL: (770) 431-7600 EXT.1133

**APPLICANT/ENGINEER**  
 URBAN STRUCTURE  
 TBPE FIRM # F-13165  
 8140 WALNUT HILL LANE, STE 905  
 DALLAS, TEXAS 75231  
 CONTACT: DOUGLAS BARRILLEAUX, P.E.  
 TEL: (214) 296-5775

**PLANT LIST**

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
23	BC	Bald Cypress	<i>Taxodium distichum</i>	6" cal.	container grown, 15' ht., 5' spread min.	
14	CE	Cedar Elm	<i>Ulmus crassifolia</i>	6" cal.	container grown, 15' ht., 5' spread min.	
6	CP	Chinese Pistache	<i>Pistachia chinensis</i>	6" cal.	container grown, 15' ht., 5' spread min.	
15	LO	Live Oak	<i>Quercus virginiana</i>	5" cal.	B&B, 14' ht., 5' spread min.	
29	DM	Crape Myrtle 'Dallas Red'	<i>Lagerstroemia indica</i> 'Dallas Red'	2" cal.	container, 3-6 cans, no cross caning	

SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
210	NPH	Needlepoint Holly	<i>Ilex cornuta</i> 'Needlepoint'	5 gal.	container, full plant, 4" o.c. / 2-3" row spacing staggered	
7	CHL	Cherry Laurel	<i>Prunus caroliniana</i>	5" ht.	container, full to base, 5" o.c.	
109	GM	Gulf Muhly	<i>Muhlenbergia capillaris</i>	3 gal.	container, full plant, 36" o.c.	
78	IH	Indian Hawthorne 'Clara'	<i>Raphiolepis indica</i> 'Clara'	3 gal.	container, full plant, 24" o.c.	
81	RY	Red Yucca	<i>Hesperaloe parviflora</i>	3 gal.	container, full plant, 36" o.c.	
39	DSF	Dwarf Spirea 'Super Gold'	<i>Spirea sp.</i> 'SuperGold'	3 gal.	container, full plant, 36" o.c.	
78	MFG	Mexican Feathergrass	<i>Nassella tenuissima</i>	3 gal.	container, full plant, 24" o.c.	
37	DTS	Dwarf Sage 'Lynn's Lowery'	<i>Leucophyllum 'Lynn's Lowery'</i>	5 gal.	container, full plant, 36" o.c.	

**GROUNDCOVERS**

QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
110	BKSG	Berkeley Sedge	<i>Carex divisa</i>	1 gal.	container, full top of container, 12" o.c.
758	WC	Wintercreeper	<i>Euonymus fortunei</i> coloratus	1 gal.	container, (6) 18" runners min. 12" o.c.
		Common Bermudagrass	<i>Cynodon dactylon</i>	roll sod	solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

**BOUNDARY LINE DATA TABLE**

L1	N 60°26'48" W	40.41'
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**BOUNDARY LINE CURVE DATA TABLE**

CV	DELTA	RADIUS	LENGTH	CHORD	BEARING
C1	06°48'23"	845.00'	100.38'	100.32'	S85°55'43" E
C2	00°07'47"	772.78'	1.75'	1.75'	S88°23'25" W
C3	30°19'13"	536.81'	284.07'	280.77'	S73°17'35" W

DATE	6.21.18
SCALE	AS SHOWN
DRAWN-BY	BDA
DRAWING NAME:	
<b>L.2</b>	
SHEET NO.	VERSION

**smr**  
 landscape architects, inc.  
 1708 N. Griffin Street  
 Dallas, Texas 75202  
 Tel: 214.871.0363  
 Fax: 214.871.0545  
 Email: smr@smr-lca.com

**Racetrac**  
 RACETRAC PETROLEUM, INC.  
 3225 CUMBERLAND BOULEVARD SUITE 100  
 ATLANTA, GA 30339  
 (770) 431-7600

**LANDSCAPE PLAN**  
 RACETRAC MARKET #2345  
 2205 RIDGE ROAD  
 LOT 1R & 2R, BLOCK A  
 ROCKWALL, ROCKWALL COUNTY, TEXAS

**01 LANDSCAPE PLAN**  
 SCALE: 1" = 30'-0"

**DATE BEFORE YOU SIGN**

**DATE** 6.21.18

**SCALE** AS SHOWN

**DRAWN-BY** BDA

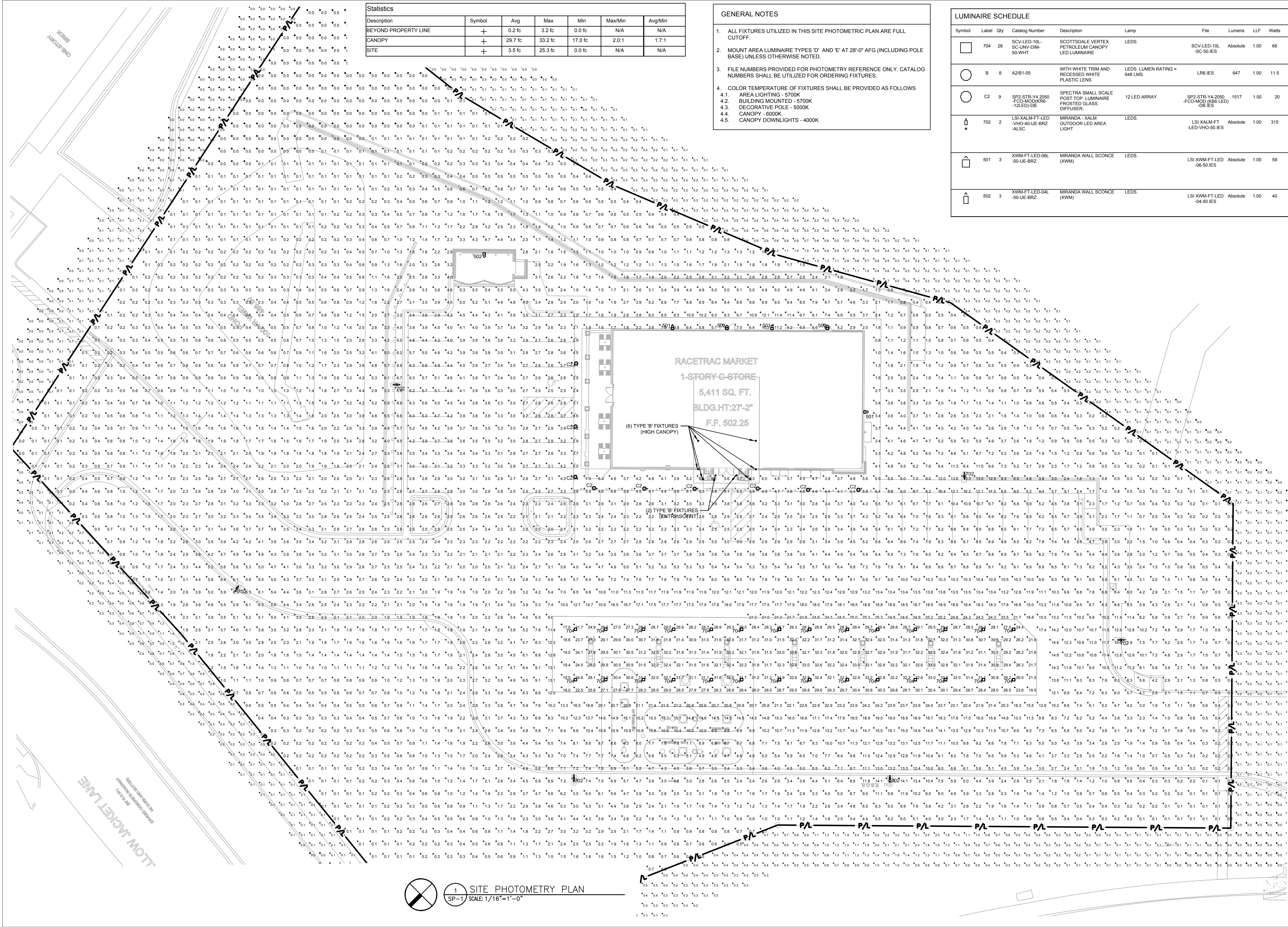
**DRAWING NAME:**

**L.2**

**SHEET NO.** **VERSION**







Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BEYOND PROPERTY LINE	+	0.2 fc	3.2 fc	0.0 fc	N/A	N/A
CANOPY	+	29.7 fc	33.2 fc	17.0 fc	2.0:1	1.7:1
SITE	+	3.5 fc	25.3 fc	0.0 fc	N/A	N/A

- GENERAL NOTES**
- ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL CUTOFF.
  - MOUNT AREA LUMINAIRE TYPES 'D' AND 'E' AT 28'-0" AFG (INCLUDING POLE BASE) UNLESS OTHERWISE NOTED.
  - FILE NUMBERS PROVIDED FOR PHOTOMETRY REFERENCE ONLY. CATALOG NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.
  - COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS
    - AREA LIGHTING - 5700K
    - BUILDING MOUNTED - 5700K
    - DECORATIVE POLE - 5000K
    - CANOPY - 6000K
    - CANOPY DOWNLIGHTS - 4000K

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	704	28	SCV-LED-10L-SC-UNV-DIM-50-WHT	SCOTTSDALE VERTEX PETROLEUM CANOPY LED LUMINAIRE	LEDS.	SCV-LED-10L-SC-50-IES	Absolute	1.00	66
○	B	8	A2/B1-05	WITH WHITE TRIM AND RECESSED WHITE PLASTIC LENS	LEDS. LUMEN RATING = 648 LMS.	LR6-IES	647	1.00	11.5
○	C2	9	SP2-STR-Y4-2050-FCO-MOD-KR6-12LED/DB	SPECTRA SMALL SCALE POST TOP LUMINAIRE FROSTED GLASS DIFFUSER	12 LED ARRAY	SP2-STR-Y4-2050-FCO-MOD-KR6(LED)-DB-IES	1517	1.00	20
□	702	2	LSI-XALM-FT-LED-VHO-40-UE-BRZ-ALSC	MIRANDA - XALM OUTDOOR LED AREA LIGHT	LEDS.	LSI XALM-FT-LED-VHO-50-IES	Absolute	1.00	315
□	501	3	XWM-FT-LED-06L-50-UE-BRZ	MIRANDA WALL SCENCE (XWM)	LEDS.	LSI XWM-FT-LED-06-50-IES	Absolute	1.00	59
□	502	3	XWM-FT-LED-04L-50-UE-BRZ	MIRANDA WALL SCENCE (XWM)	LEDS.	LSI XWM-FT-LED-04-50-IES	Absolute	1.00	40

**Racetrac**  
 THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS: ANY USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED. 2013 RACETRAC PETROLEUM INC.

**DESIGN PROFESSIONALS**

**GPD GROUP, INC.**  
 520 South Main St., Suite 2531  
 Akron, OH 44311  
 330.572.2100 330.572.2101

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
10/09/15	PRELIMINARY PACKAGE
12/07/15	PRELIMINARY REVISIONS
3/21/16	PERMIT SET
12/01/16	REFRESH TO 2016 1101.12
02/15/18	REFRESH TO 2017.0808
06/21/18	PHOTOMETRIC REVISION

**Racetrac**  
 RACETRAC PETROLEUM, INC.  
 3225 CUMBERLAND BOULEVARD  
 SUITE 100  
 ATLANTA, GEORGIA 30339  
 (770) 431-7600

**PROJECT NAME**  
**ROCKWALL**

**ROCKWALL TEXAS 75087**  
 2205 RIDGE ROAD

**RACETRAC STORE NUMBER**  
**#1090**

**PROTOTYPE SERIES 5.5K**  
**2016 BR-LH-MO(-) 0301**

**PLAN MODIFICATION NOTICE**  
 SPB NO. 000 DATE 03.01.16

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

**PROJECT NUMBER**  
 2015157.03

**SHEET TITLE**  
**SITE PHOTOMETRY PLAN**

**SHEET NUMBER**  
**SP-1**

1 SITE PHOTOMETRY PLAN  
 SP-1 SCALE: 1/16"=1'-0"

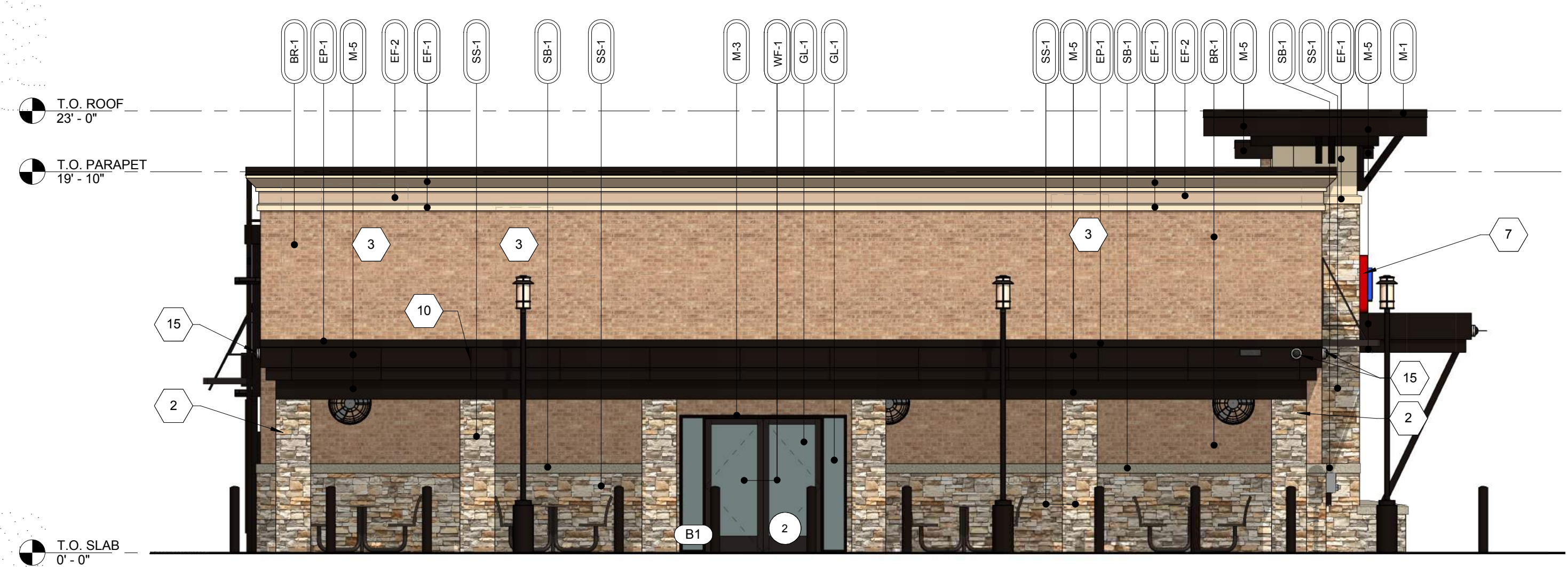
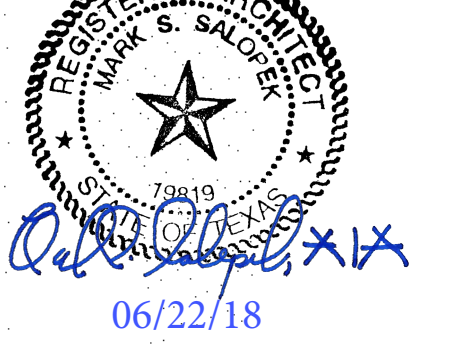


ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/24/16	PERMIT SET
12/01/16	REFRESH TO 2016 1101.01.02
05/05/17	REV. 1 - BLDG DEPT COMMENTS
02/16/18	REFRESH TO 2017.0808
05/30/18	ELEVATION UPDATES

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

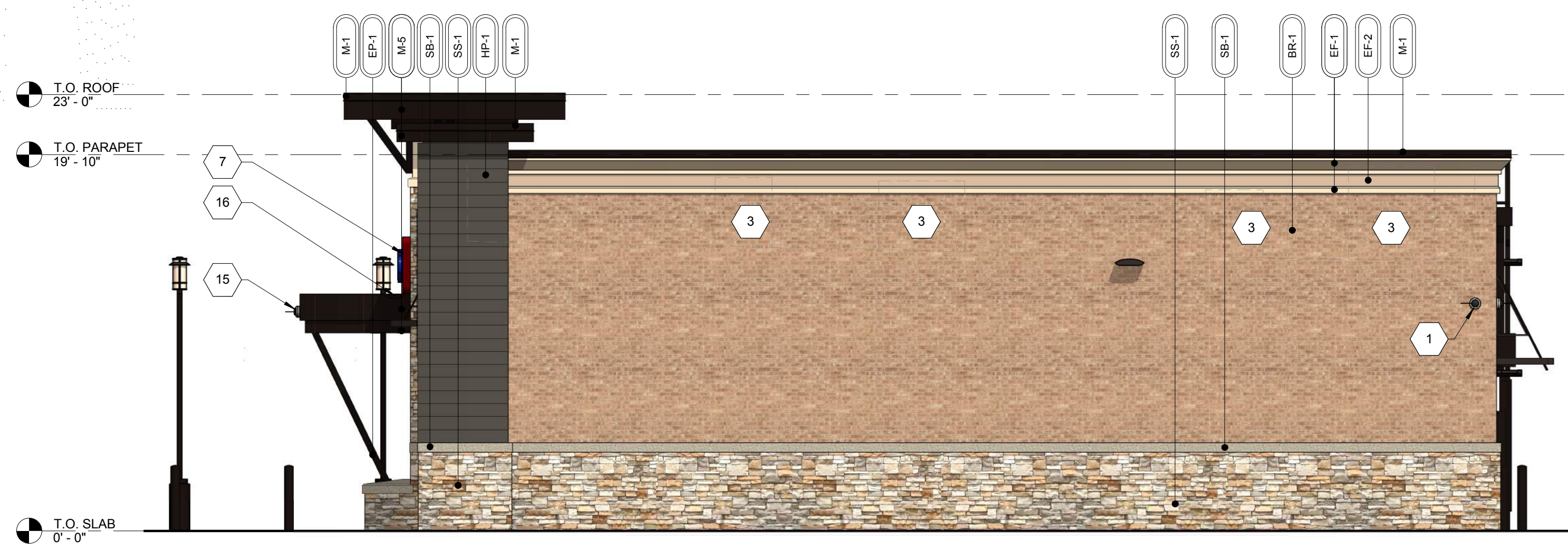
PROFESSIONAL SEAL



**4 LEFT ELEVATION**  
 3/16" = 1'-0"

LEFT ELEVATION (NON-ENTRY) 1,203 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	277	23%
BRICK	688	57%
EIFS	99	8%
GLAZING	0	0%
METAL	64	5%
WOOD	75	7%



**3 RIGHT ELEVATION**  
 3/16" = 1'-0"

RIGHT ELEVATION (ENTRY) 1,200 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	299	25%
BRICK	497	41%
EIFS	112	9%
GLAZING	62	6%
METAL	230	19%
WOOD	0	0%

GENERAL NOTES

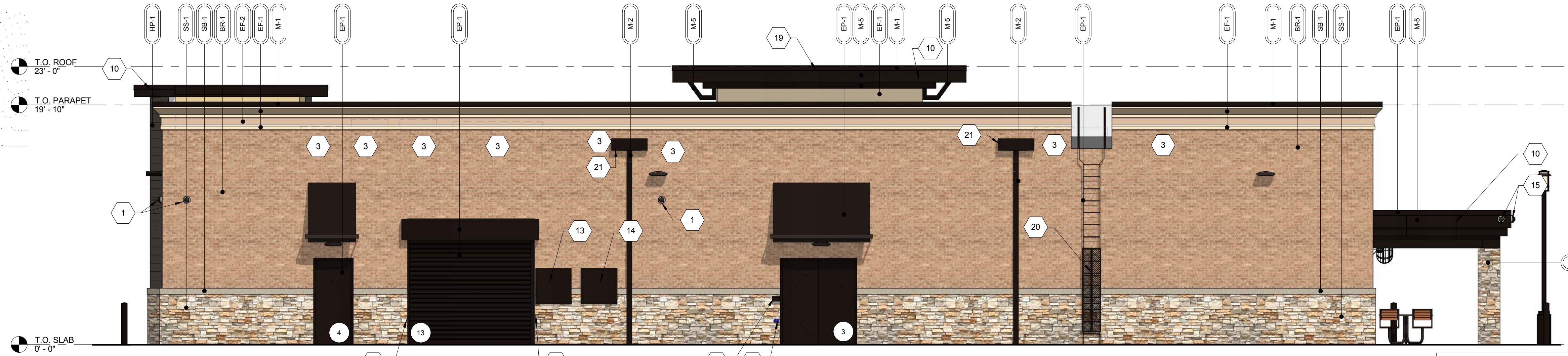
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE EXPANSION JOINTS (EJ) AT ALL LOCATIONS WHERE EIFS ABUTS A DISSIMILAR MATERIAL OR WHERE OTHERWISE REQUIRED BY MANUFACTURER.
- PROVIDE EXPANSION JOINTS (EJ) AS LOCATED ON EXTERIOR ELEVATIONS. SPECIFICATION FOR JOINT SEALANT SHALL BE 'ADOBE TAN' SL-2 BY TREMCO.
- MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C.
- REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
- REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARINGS AND FOR FOUNDATIONS.
- REFER TO REFLECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM JOINT LOCATIONS.

ELEVATION KEY NOTES

- REFER TO SHEET A301 FOR KEYNOTES NOT SHOWN ON THIS SHEET.
- WALL MOUNTED SECURITY CAMERA.
  - 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
  - MECHANICAL EQUIPMENT BEYOND.
  - REFER TO DETAILS FOR CAST STONE SHAPES.
  - HOSE BIBB; REFER TO PLUMBING DRAWINGS.
  - CEILING FAN; REFER TO SPECIFICATIONS.
  - ILLUMINATED SIGN PANEL BY OWNER; PAINT SUPPORT STRUCTURE EP-1.
  - BRONZE BREAK METAL WRAP AT WINDOW JAMS, TYPICAL.
  - ROOFING MEMBRANE TO BE RUN UP CLERESTORY TO UNDERSIDE OF WINDOW. REFER TO WALL SECTION.
  - ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
  - INTERCOM AND SPEAKER.
  - EMERGENCY FUEL SHUT OFF SWITCH. MOUNT TOP OF SIGN AT 50" A.F.F.
  - LOCATION OF ELECTRICAL SERVICE C/T AND METER.
  - GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
  - SECURITY CAMERA MOUNTED TO FASCIA.
  - OVERFLOW SPILL SCUPPER.
  - PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
  - SPILL SCUPPER. REFER TO DETAIL.
  - PROVIDE METAL GUARD GATE AT LADDER TO 8' AFF WITH LOCKING HASP.
  - 4'-0" WIDE X 1'-7" HIGH SCUPPER. REFER TO DETAILS ON SHEET A201.
  - STOP STONE 6" BEFORE ROUGH OPENING.

EXTERIOR MATERIAL SCHEDULE

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
BRICK	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
CAST STONE	MATCH BORAL TUSCAN CAST STONE OR APPROVED OTHER	COLOR 1102 NATURAL STONE; MORTAR COLOR "LIGHT BUFF". SEAL WITH (SL-5) SEALANT.
CEMENT BOARD	ARTISAN V-GROOVE SIDING	PAINT SHERWIN WILLIAMS SEALSINK #7675
EIFS	STO THERM CI	"FINE FINISH" APPLICATION; COLOR TO MATCH SW #6113 "INTERACTIVE CREAM"
GLAZING	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGU AT STOREFRONT 0.28 U-FACTOR, SHGC PF=0.25=0.27 (1/4" PPG SOLARBAN 70-XL LOW-E #2 +1/2" AIR +1/4" CLEAR) OR APPROVED ALTERNATE.
METAL	PREFINISHED* 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-2	COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VISTAWALL (OR APPROVED ALTERNATE)	FG-3000 STOREFRONT SYSTEM (OR APPROVED ALTERNATE)
M-5	REYNOBOND	PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-M2C22A44
M-7	VERSATEX	WP4 TONGUE AND GROOVE
PAINT	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
ROOFING	DUROLAST	50 MIL MEMBRANE ROOFING SYSTEM
STACKED STONE	GRAY GRANBURY QUARRY STONE CHOPPED	DIMENSIONAL LIMESTONE 3"-5" BED DEPTH, WET STACK APPLICATION. MORTAR COLOR "LIGHT BUFF"
STONE BAND	GRAY GRANBURY QUARRY STONE CHOPPED	DIMENSIONAL LIMESTONE CUT TO SIZE PER DETAILS. MORTAR COLOR "LIGHT BUFF"
WINDOW FILM	WF-1	WINDOW FILM; 3M PRESTIGE 70 SOLAR FILM
	WF-2	WINDOW FILM; OPAQUE



**2 REAR ELEVATION**  
 3/16" = 1'-0"

REAR ELEVATION 2,118 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	489	23%
BRICK	1,087	51%
EIFS	182	9%
GLAZING	0	0%
METAL	345	16%
WOOD	15	1%



**1 FRONT ELEVATION**  
 3/16" = 1'-0"

FRONT ELEVATION 2,170 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	536	25%
BRICK	732	34%
EIFS	181	8%
GLAZING	331	15%
METAL	179	8%
WOOD	211	10%

SIGNAGE CONTENT IS CONCEPTUAL ONLY

ELEVATION	SIGNAGE	DIMENSIONS	
FRONT	RT PARALLELOGRAM	13'-5/8" x 3'-0"	40 SF
	BANNER	7'-8" x 5'-6"	42 SF



## RaceTrac Elevation Calculations (July 2018)

### Front Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	536	32%	
Brick	732	44%	
EIFS	181	11%	11%
Fiber Cement	211	13%	
Total	1660	100%	11%

### Rear Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	489	28%	
Brick	1087	61%	
EIFS	182	10%	10%
Fiber Cement	15	1%	
Total	1773	100%	10%

### Right Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	277	24%	
Brick	688	60%	
EIFS	99	9%	9%
Fiber Cement	75	7%	
Total	1139	100%	9%

### Left Elevation

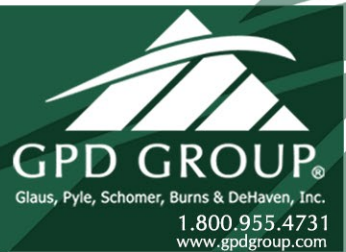
Material	SQ. FT.	% Elevation	% Secondary
Stone	299	33%	
Brick	497	55%	
EIFS	112	12%	12%
Fiber Cement	0	0%	
Total	908	100%	12%





**RACETRAC**  
Rockwall, TX

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF MATERIAL SAMPLES PROVIDED.





## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2018-019	<b>Owner</b> INC., MOUNTAINPRIZE	<b>Applied</b> 6/19/2018 DG
<b>Project Name</b> RaceTrac	<b>Applicant</b> WINSTEAD PC	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b> AMENDING		<b>Expired</b>
<b>Status</b> CITY COUNCIL		<b>Status</b> 6/19/2018 DG

<b>Site Address</b> 2205 RIDGE RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
--------------------------------------	--	---------------

<b>Subdivision</b> THE WOODS AT ROCKWALL	<b>Tract</b> 2	<b>Block</b> A	<b>Lot No</b> 2	<b>Parcel No</b> 5172-000A-0002-00-0R	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/19/2018	6/26/2018	7/19/2018	30	APPROVED	
ENGINEERING	Sarah Hager	6/19/2018	6/26/2018	7/25/2018	36	COMMENTS	(7/25/2018 4:36 PM SH) - 4% Engineering Inspection Fees. - Must meet City Design Standards. - Show drainage/detention easements. No utilities allowed in drainage easements. - Area under the canopy must drain to an oil/water separator or the grease trap as well as the dumpster area. - Walls 3' and over must be designed by a licensed engineer. - All retaining walls must be rock or stone faced. - Show proposed utilities for the site. - No dead end parking allowed. Must have a 15' distance before the dumpsters. - Need a pedestrian railing if the drop is 30" or more. - Fire Lane radius is minimum 20'. - Why is there a stop sign facing FM 740. - Retaining wall with garde rail must be traffic rated by the detention pond. - Please see the attached makr ups.
FIRE	Ariana Hargrove	6/19/2018	6/26/2018	7/19/2018	30	APPROVED	
GIS	Lance Singleton	6/19/2018	6/26/2018	7/19/2018	30	APPROVED	
PLANNING	David Gonzales	6/19/2018	6/26/2018	7/25/2018	36	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
------------------------	---------	------	-----	----------	----------------	---------

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 & 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

\* Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
3. Label revised site plan documents with "Case No. SP2018-019" at the lower right corner.

VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER:

The following variance and excetion requests are from Article V, Section 4, of the UDC:

1. Sec.4.1.C.b: Approval of a variance to the verticle articulation standards to allow for not meeting the vertical articulation for the east(rear) elevation.

\*\* Please address the following Planning Comments for each plan submitted

Site Plan:

1. Relabel firelane as 24-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).
2. Remove label "14" under gas canopy, we do not count as parking spaces.
3. Site Data Summary Table: change total parking spaces to 32, gas canopy spaces are not considered parking spaces.
4. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque
5. Dumpster enclosure walls to match exterior materials found on primary structure

Landscape Plan:

1. Change Landscape Tabulations: 740 Scenic Overlay: Ridge Road indicate minimum 4-caliper inch trees (REQUIRED & PROVIDED).
2. Change label on southern portion of parking lot to indicate '19' spaces (not 22).

Treescape Plan:

1. Provide a note on the plan indicating mitigation satisfied by an Alternative Tree Mitigation plan approved by the City Council

Photometric Plan:

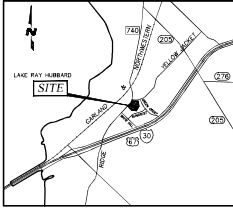
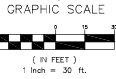
1. Reduce to include entire property on one (1) page with street names.
2. Provide a North arrow on plan.
3. Provide cut sheets for all exterior lighting fixtures
4. Maximum pole height not to exceed 20-ft overall height (includes pole, pole base, etc.). Provide detail.



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Building Elevations:						
1. Requires a recommendation from the Architectural Review Board(ARB) forwarded to the Planning and Zoning Commission for consideration						
2. Provide a materials sample board for ARB review.						
3. See variance and exceptions above						
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com						
Scheduled Meeting Dates to Attend						
Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]						
Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]						
Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]						
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						



**TOCS**  
1-800-245-4545  
tdcs@t1-cal.com



LOCATION MAP  
N.T.S.

SPEED LIMIT 45

SPEED LIMIT 35

**SITE NOTES**

1. ALL SIGNS WILL REQUIRE SEPARATE SIGN PERMIT. NO SIGN ALLOWED IN AN EASEMENT OR RIGHT-OF-WAYS.
2. BUILDING TO BE CONSTRUCTED WITH SPRINKLER SYSTEM.
3. ALL PROPOSED OFF-SITE UTILITIES WILL BE CONSTRUCTED AS NEEDED PER SCHEDULE OF DEVELOPMENT OF ADJACENT PROPERTY.
4. NO OVERHANG OF CANOPY IN ANY EASEMENTS OR FIRELANE.

- 4% Engineering Inspection Fees.
- Must meet City Design Standards.
- Show drainage/detention easements.
- No utilities allowed in drainage easements.
- Area under the canopy must drain to an oil/water separator or the grease trap as well as the dumpster area.
- Walls 3' and over must be designed by a licensed engineer.
- All retaining walls must be rock or stone faced.
- Show proposed utilities for the site.

EASEMENT LEGEND	
W.E.	WATER EASEMENT
D.E.	DRAINAGE EASEMENT
D.D.E.	DRAINAGE AND DETENTION EASEMENT
F.A.U.E.	FIRE LANE, PUBLIC UTILITY & ACCESS EASEMENT

BOUNDARY LINE DATA TABLE	
L1	N 60°26'48" W 40.41'

BOUNDARY LINE CURVE DATA TABLE				
CV	DELTA	RADIUS	LENGTH	CHORD BEARING
C1	06°48'23"	845.00'	100.38'	S87°02'38" E
C2	00°07'47"	772.78'	1.75'	S87°16'29" W
C3	30°19'13"	536.81'	284.07'	S72°10'40" W

**SITE DATA SUMMARY TABLE**

ZONING (FROM ZONING MAP)	"C" COMMERCIAL
LAND USE (FROM ZONING ORDINANCE)	CONVENIENCE STORE W/GAS PUMPS
LOT AREA (SQUARE FEET & ACRES)	107,210 S.F. OR 2.46 ACRES
BUILDING FOOTPRINT AREA (SQUARE FEET)	5,411 S.F.
TOTAL BUILDING AREA (SQUARE FEET)	5,411 S.F.
BUILDING HEIGHT (# STORIES)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	27'-2" (TOP OF PITCHED ROOF)
CANOPY HEIGHT	22 FEET
CANOPY THICKNESS	4 FEET
LOT COVERAGE (PERCENT)	5.05% [5,411 / 107,210]
FLOOR AREA RATIO (RATIO)	0.05:1 [5,411 / 107,210]
PARKING	RETAIL USE (1/250 S.F.)
PARKING RATIO (FROM ZONING ORDINANCE)	22 SPACES [5,488 / 250]
REQUIRED PARKING (# SPACES)	46 TOTAL (14 PUMP PARKING SPACES)
PROVIDED PARKING (# SPACES)	1 SPACES
ACCESSIBLE PARKING REQUIRED (# SPACES)	2 SPACES
ACCESSIBLE PARKING PROVIDED (# SPACES)	
LANDSCAPE AREA	51,948 S.F. (48%)
OPEN SPACE PROVIDED	51,948 S.F. (48%)
IMPERVIOUS AREA	55,262 S.F. (52%)

**WATER METER SCHEDULE**

ID	TYPE	SIZE	REMARK
1	DOMESTIC	1.5"	PROPOSED
2	IRRIGATION	1"	PROPOSED

**DEVELOPER**  
RACE TRAC  
3225 CUMBERLAND BLVD., SUITE 100  
ATLANTA, GA 30339  
CONTACT: DEWE QUINNINGHAM  
TEL: (770) 431-7600  
EXT.1133

**APPLICANT/ENGINEER**  
URBAN STRUCTURE  
TYPE FIRM # F-13165  
8140 WALNUT HILL LANE, STE 905  
DALLAS, TEXAS 75231  
CONTACT: DOUGLAS BARRILLEAUX, P.E.  
TEL: (214) 295-5775

**SURVEYOR**  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: CHRY F. JOHNSON, R.P.L.S.  
TEL:(214) 340-9700

**SITE PLAN**  
**WOODS AT ROCKWALL ADDITION**  
**LOT 1 & 2, BLOCK A**  
**IN THE CITY OF ROCKWALL,**  
**ROCKWALL COUNTY, TEXAS**

**SITE PLAN**  
RACETRAC MARKET #2345  
2206 MARKET ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS

DRAWN BY	BDT
DATE	03/28/2018
SCALE	AS SHOWN
DRAWING NAME	C-010-018
C3	
SHEET NO.	VERSION

**PRELIMINARY**  
NOT FOR CONSTRUCTION,  
SECURING, OR PERMIT  
PURPOSE.  
PREPARED UNDER THE  
SUPERVISION OF  
DOUGLAS F. BARRILLEAUX  
P.L.S. # 97018  
ON 06/20/2018

THESE PLANS ARE  
SUBJECT TO FEDERAL,  
STATE, AND LOCAL  
USE OF BANK WITHOUT  
THE EXPRESSED WRITTEN  
CONSENT OF RACETRAC  
INC. IS PROHIBITED.



RACETRAC-PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600



URBAN STRUCTURE  
8140 Walnut Hill Lane, Suite 905  
Dallas, Texas 75231  
urban@urbanstructure.com

DATE	
REV	
NO.	
DESCRIPTION	

Scale: 1/4" = 30'-0" (1/8" = 15'-0")  
C-SITE: 03/29/2018 11:44 AM  
RaceTrac Market #2345  
2206 Market Road  
Rockwall, TX 75087  
Lot 1R & 2R, Block A  
C-010-018

2728 N. Harwood Street  
Suite 500  
Dallas, Texas 75201

214.745.5400 OFFICE  
214.745.5390 FAX  
winstead.com

July 3, 2018

Brad R. Williams  
direct 214.745.5264  
email [bwilliams@winstead.com](mailto:bwilliams@winstead.com)

**VIA FEDEX**

David Gonzales, AICP  
Senior Planner  
Rockwall City Hall  
385 S. Goliad Street  
Rockwall, Texas 75087

Re: RaceTrac Petroleum, Inc., Ridge Rd. & Yellow Jacket Ln. (the "Project")

David,

Please see enclosed for a revised site plan application for the Project, including 4 copies of the following full-size plans:

- Site Plan
- Landscape Plan
- Photometric Plan
- Elevations (Color)

Also enclosed is an 11 x 17 rendering illustrating the revised elevations, along with a completed Development Application, check made payable to the City of Rockwall in the amount of \$100.00 to cover the application fee, elevation material calculations, and a CD containing digital copies of the submission materials.

Please let me know if you have any further questions. As always, we look forward to working with you toward completion of the Project.

Sincerely,




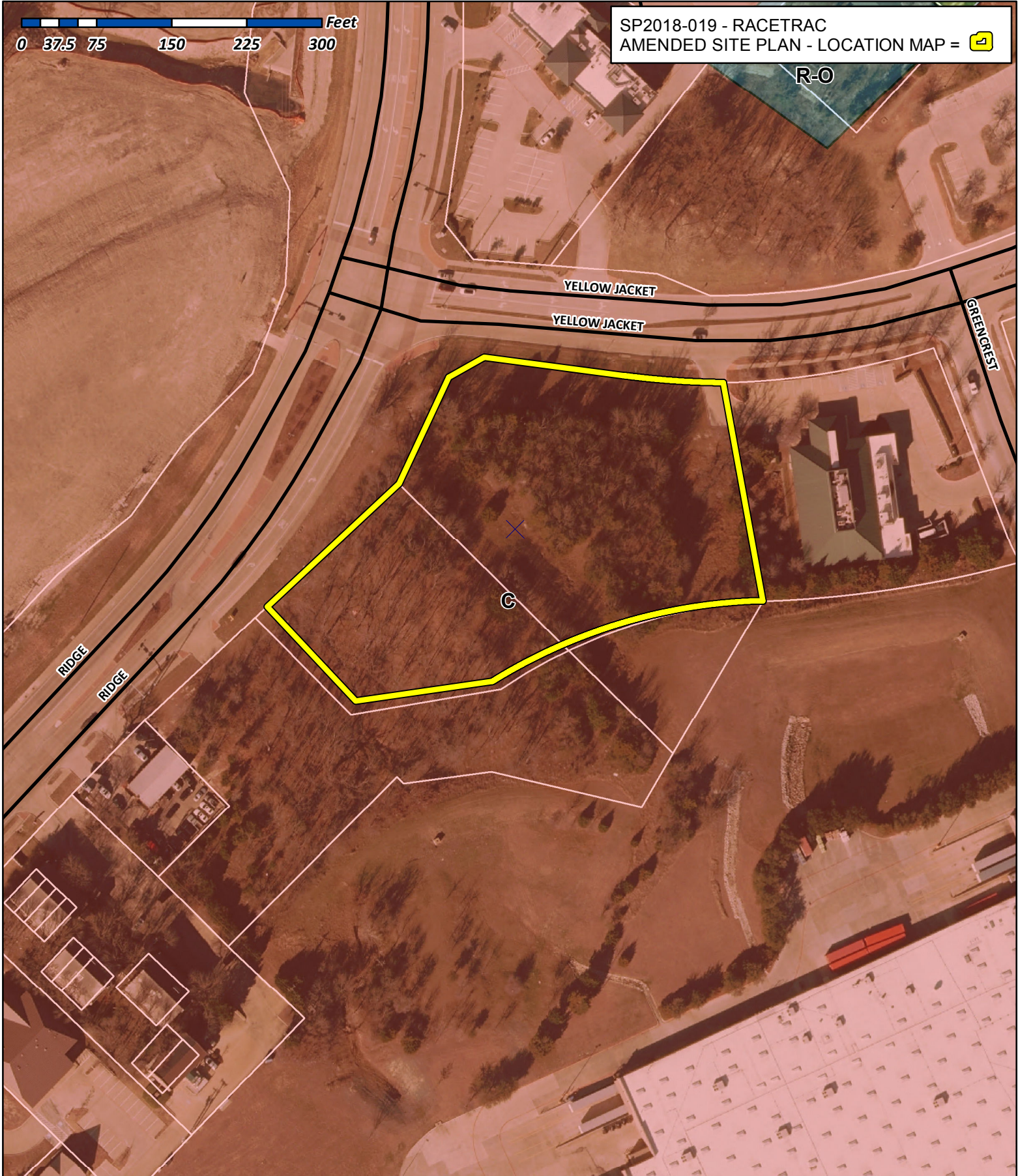
Brad Williams

Encls.



0 37.5 75 150 225 300 Feet

SP2018-019 - RACETRAC  
AMENDED SITE PLAN - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

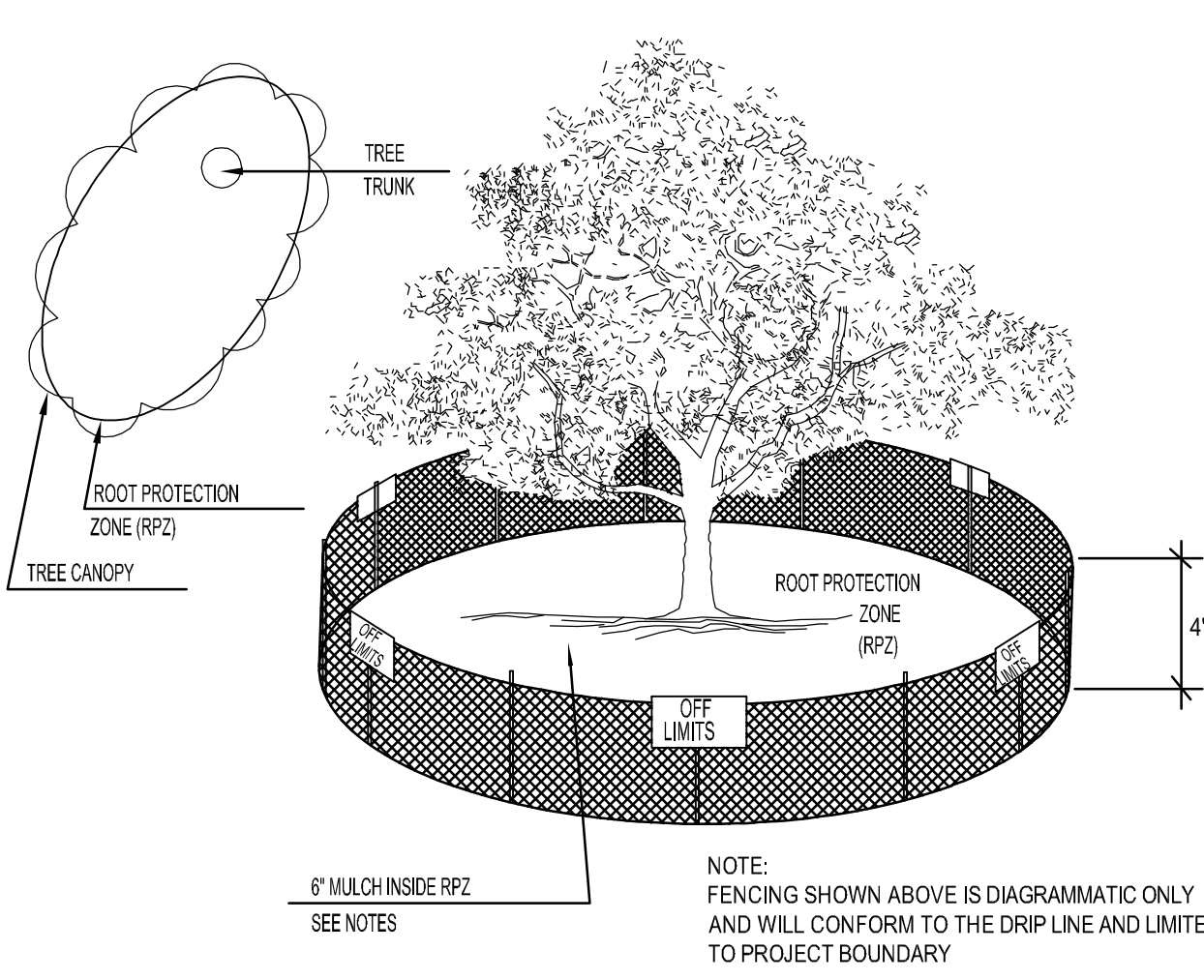
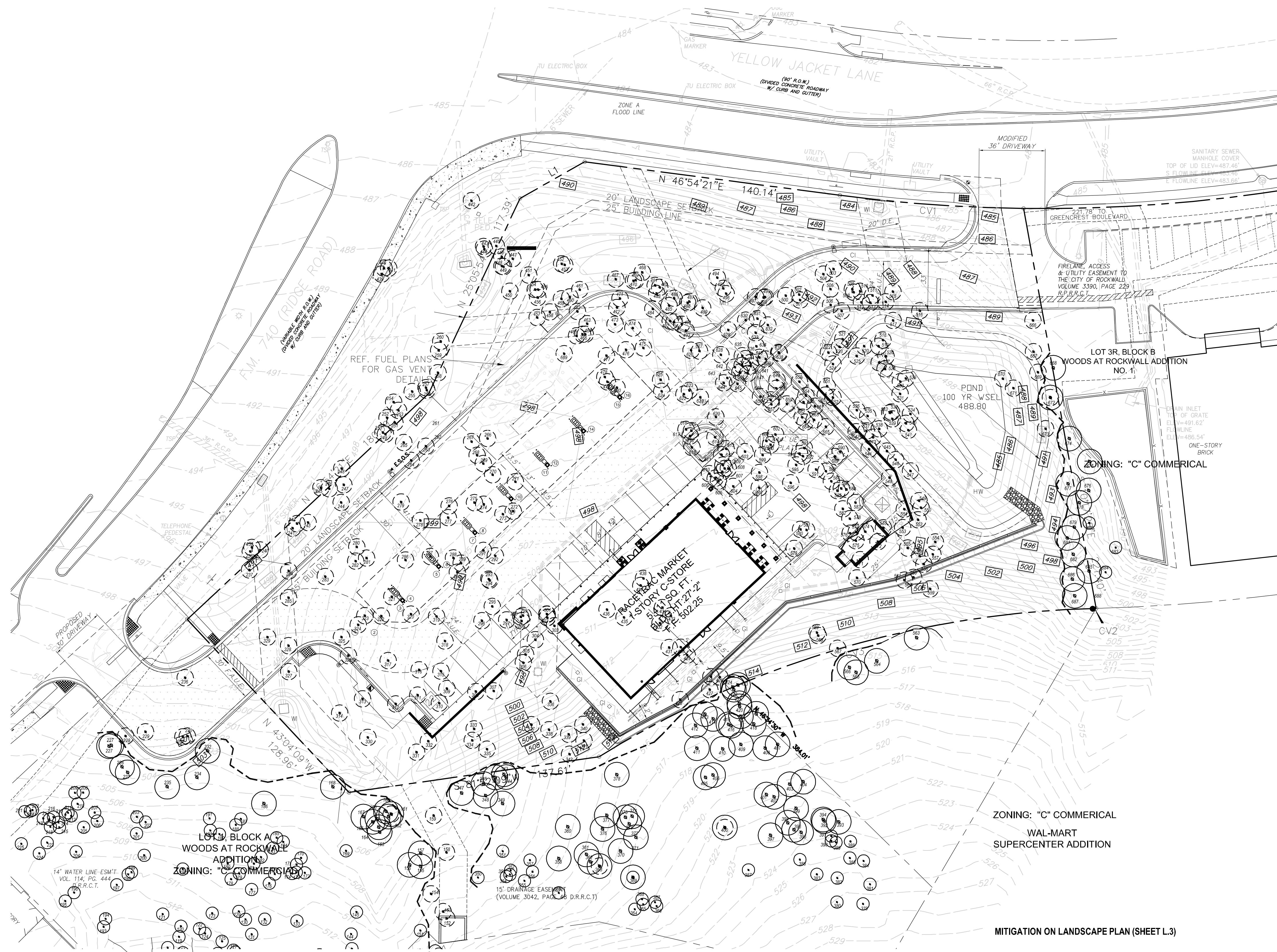
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









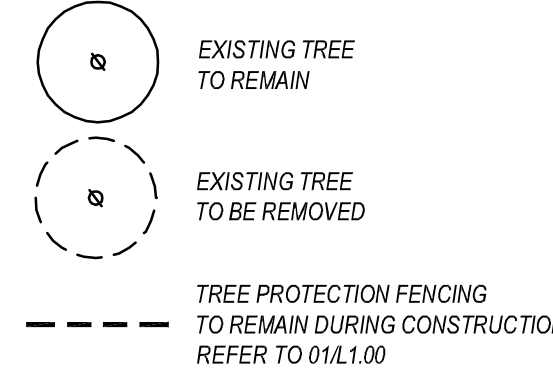


01 TREE PROTECTION FENCE A  
NOT TO SCALE

EXISTING TREE NOTES

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around drip line (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encased with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

EXISTING TREE LEGEND

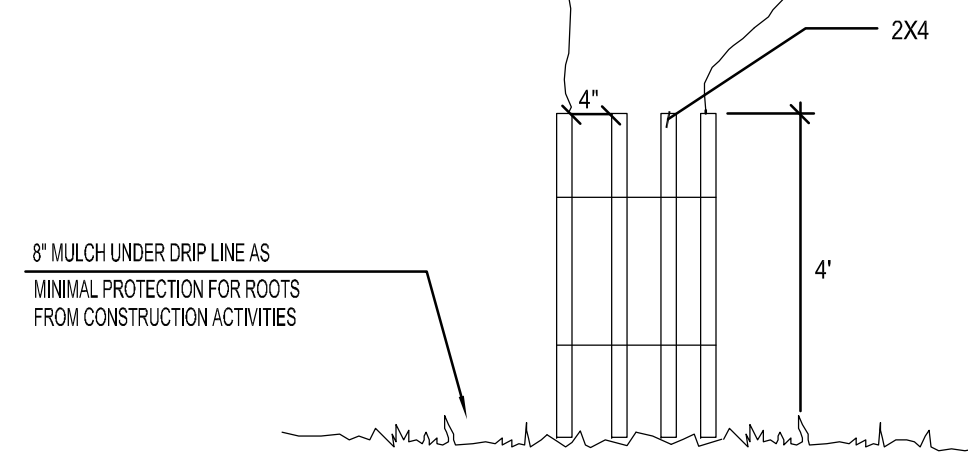


ZONING: "C" COMMERCIAL  
WAL-MART  
SUPERCENTER ADDITION

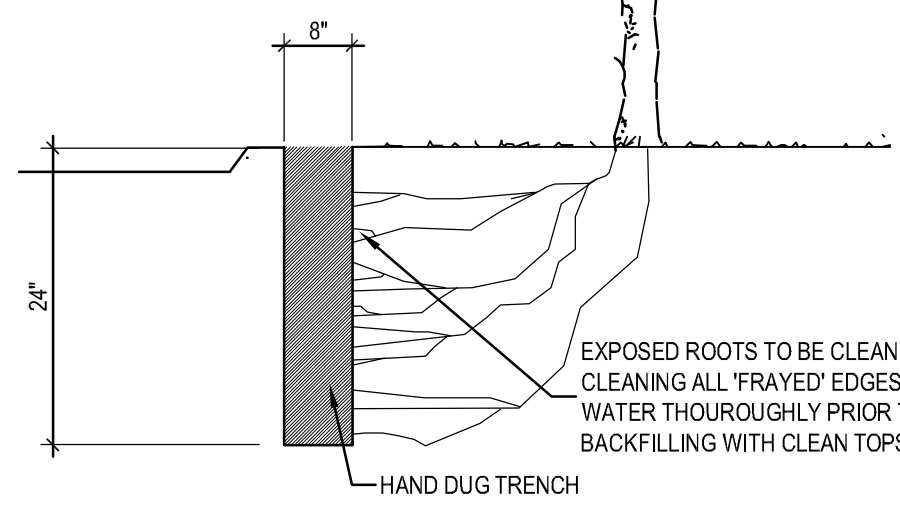
MITIGATION ON LANDSCAPE PLAN (SHEET L.3)

(15) 5" CALIPER TREES	75 CALIPER INCHES
(23) 6" CALIPER TREES=	136 CALIPER INCHES
(22) TREES REQUIRED TO BE 4" CALIPER THAT ARE PROPOSED AS 6" CALIPER (22X2" OVER REQ.)=	44 CALIPER INCHES
	CREDIT FOR ON SITE MITIGATION=
(210) NEEDLEPOINT HOLLY (210 / 5)=	80 CALIPER INCHES
(422) 3 GALON SHRUBS (422 / 10)=	42.2 CALIPER INCHES
(668) PURPLE WINTERCREEPER (668 / 10)=	86.8 CALIPER INCHES
	TOTAL CALIPER INCHES PROVIDED
	464
	TOTAL MITIGATION
	3,013
	TOTAL MITIGATION REMAINING
	2,549
	AMOUNT DUE PER INCH (\$125.00)
	\$ 318,625

- TREE MITIGATION-  
Tree mitigation on this project is provided by:
- Increasing the size of required canopy trees from 4" caliper to 6" caliper providing 2" of mitigation for each tree.
  - Providing additional shrubs, 5 gallon in size providing 1" of mitigation for each 5 additional shrubs.
  - Providing additional shrubs 3 gallon in size providing 1" of mitigation for each 10 shrubs.
  - Providing additional ground cover 1 gallon in size providing 1" of mitigation for each 10 ground cover plants



02 TREE PROTECTION FENCE B  
NOT TO SCALE



03 ROOT PRUNING DETAIL  
N.T.S.

DATE	6.21.18
SCALE	AS SHOWN
DRAWN-BY	BDA
DRAWING NAME:	
<b>L.O</b>	
SHEET NO.	VERSION

smr  
landscape architects, inc.  
1708 N. Griffin Street  
Dallas, Texas 75202  
Tel 214.871.0083  
Fax 214.871.0545  
Email smr@smr-lb.com

STATE OF TEXAS  
LANDSCAPE ARCHITECT  
GARY E. JOHNSON, R.P.L.S.  
6.21.18

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF smr LANDSCAPE ARCHITECTS, INC. IS PROHIBITED.

**Racetrac**  
RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

DEVELOPER  
RACE TRAC  
3225 CUMBERLAND BLVD., SUITE 100  
ATLANTA, GA 30339  
CONTACT: DREW CUNNINGHAM  
TEL: (770) 431-7600 EXT. 1133

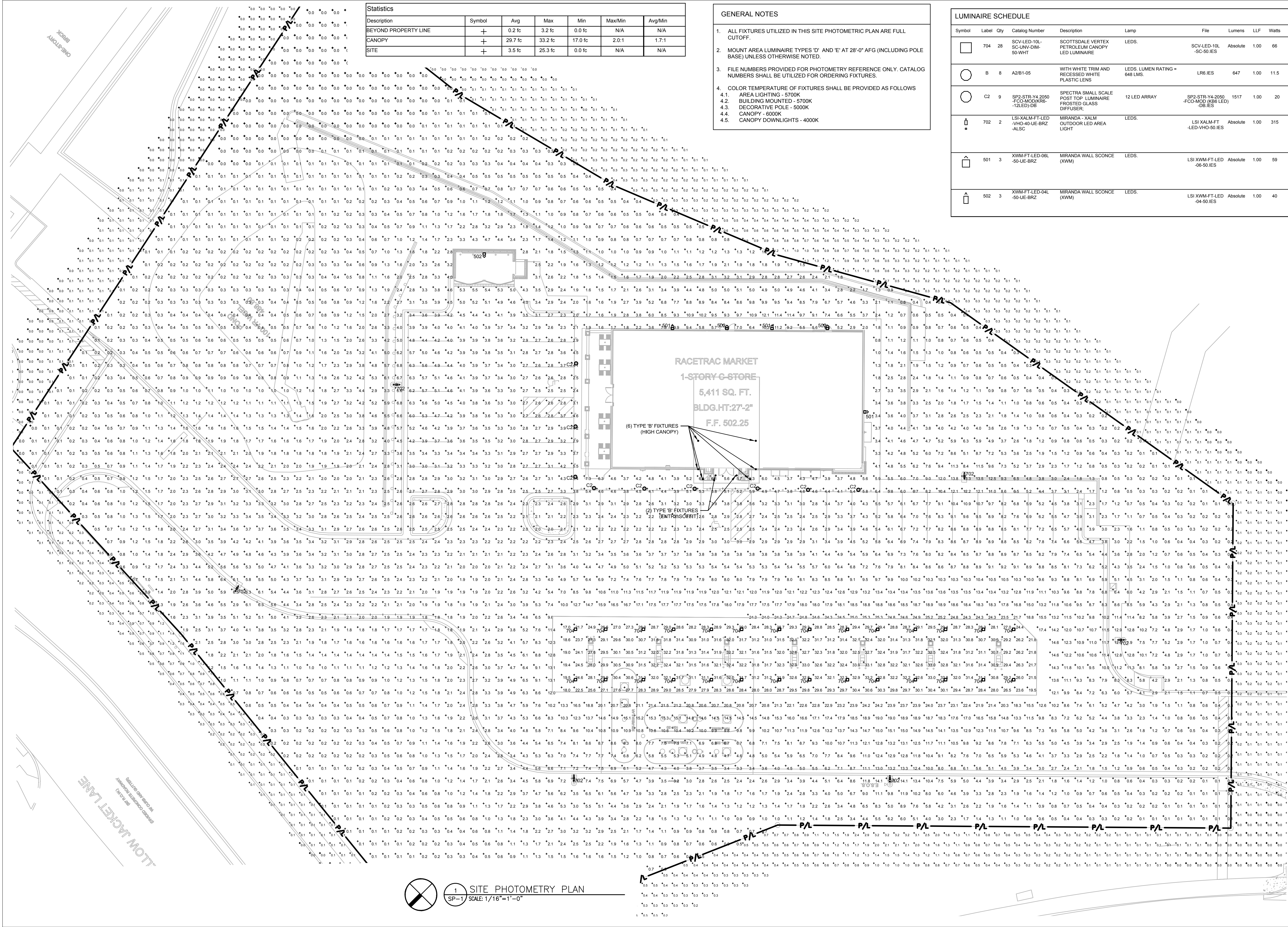
SURVEYOR  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: GARY E. JOHNSON, R.P.L.S.  
TEL: (214) 340-9700

APPLICANT/ENGINEER  
URBAN STRUCTURE  
TBPE FIRM # F-13165  
8140 WALNUT HILL LANE, STE 905  
DALLAS, TEXAS 75231  
CONTACT: DOUGLAS BARRILLEAUX, P.E.  
TEL: (214) 295-5775

EXISTING TREE PLAN  
RACETRAC MARKET #2345  
2205 RIDGE ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS

01 EXISTING TREE PLAN  
SCALE: 1" = 30'-0"





Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BEYOND PROPERTY LINE	+	0.2 fc	3.2 fc	0.0 fc	N/A	N/A
CANOPY	+	29.7 fc	33.2 fc	17.0 fc	2.0:1	1.7:1
SITE	+	3.5 fc	25.3 fc	0.0 fc	N/A	N/A

- GENERAL NOTES**
- ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL CUTOFF.
  - MOUNT AREA LUMINAIRE TYPES 'D' AND 'E' AT 28'-0" AFG (INCLUDING POLE BASE) UNLESS OTHERWISE NOTED.
  - FILE NUMBERS PROVIDED FOR PHOTOMETRY REFERENCE ONLY. CATALOG NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.
  - COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS
    - AREA LIGHTING - 5700K
    - BUILDING MOUNTED - 5700K
    - DECORATIVE POLE - 5000K
    - CANOPY - 6000K
    - CANOPY DOWNLIGHTS - 4000K

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	704	28	SCV-LED-10L-SC-UNV-DIM-50-WHT	SCOTTSDALE VERTEX PETROLEUM CANOPY LED LUMINAIRE	LEDS.	SCV-LED-10L-SC-50-IES	Absolute	1.00	66
○	B	8	A2/B1-05	WITH WHITE TRIM AND RECESSED WHITE PLASTIC LENS	LEDS. LUMEN RATING = 648 LMS.	LR6-IES	647	1.00	11.5
○	C2	9	SP2-STR-Y4-2050-FCO-MOD-KR6-12LED-DB	SPECTRA SMALL SCALE POST TOP LUMINAIRE FROSTED GLASS DIFFUSER	12 LED ARRAY	SP2-STR-Y4-2050-FCO-MOD-KR6(LED)-DB-IES	1517	1.00	20
□	702	2	LSI-XALM-FT-LED-VHO-40-UE-BRZ-ALSC	MIRANDA - XALM OUTDOOR LED AREA LIGHT	LEDS.	LSI XALM-FT-LED-VHO-50-IES	Absolute	1.00	315
□	501	3	XWM-FT-LED-06L-50-UE-BRZ	MIRANDA WALL SCONCE (XWM)	LEDS.	LSI XWM-FT-LED-06-50-IES	Absolute	1.00	59
□	502	3	XWM-FT-LED-04L-50-UE-BRZ	MIRANDA WALL SCONCE (XWM)	LEDS.	LSI XWM-FT-LED-04-50-IES	Absolute	1.00	40

**Racetrac**  
COPYRIGHT NOTICE

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**DESIGN PROFESSIONALS**

**GPD GROUP, INC.**

520 South Main St., Suite 2531  
Akron, OH 44311  
330.572.2100 330.572.2101

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
10/09/15	PRELIMINARY PACKAGE
12/07/15	PRELIMINARY REVISIONS
3/21/16	PERMIT SET
12/01/16	FRESH TO 2016 1101.12
02/15/18	REFRESH TO 2017.0808
06/21/18	PHOTOMETRIC REVISION

**Racetrac**

RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD  
SUITE 100  
ATLANTA, GEORGIA 30339  
(770) 431-7600

**PROJECT NAME**  
**ROCKWALL**

**ROCKWALL TEXAS 75087**  
2205 RIDGE ROAD

**RACETRAC STORE NUMBER**  
**#1090**

**PROTOTYPE SERIES 5.5K**  
**2016 BR-LH-MO(-) 0301**

**PLAN MODIFICATION NOTICE**  
SPB NO. 000 DATE 03.01.16

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

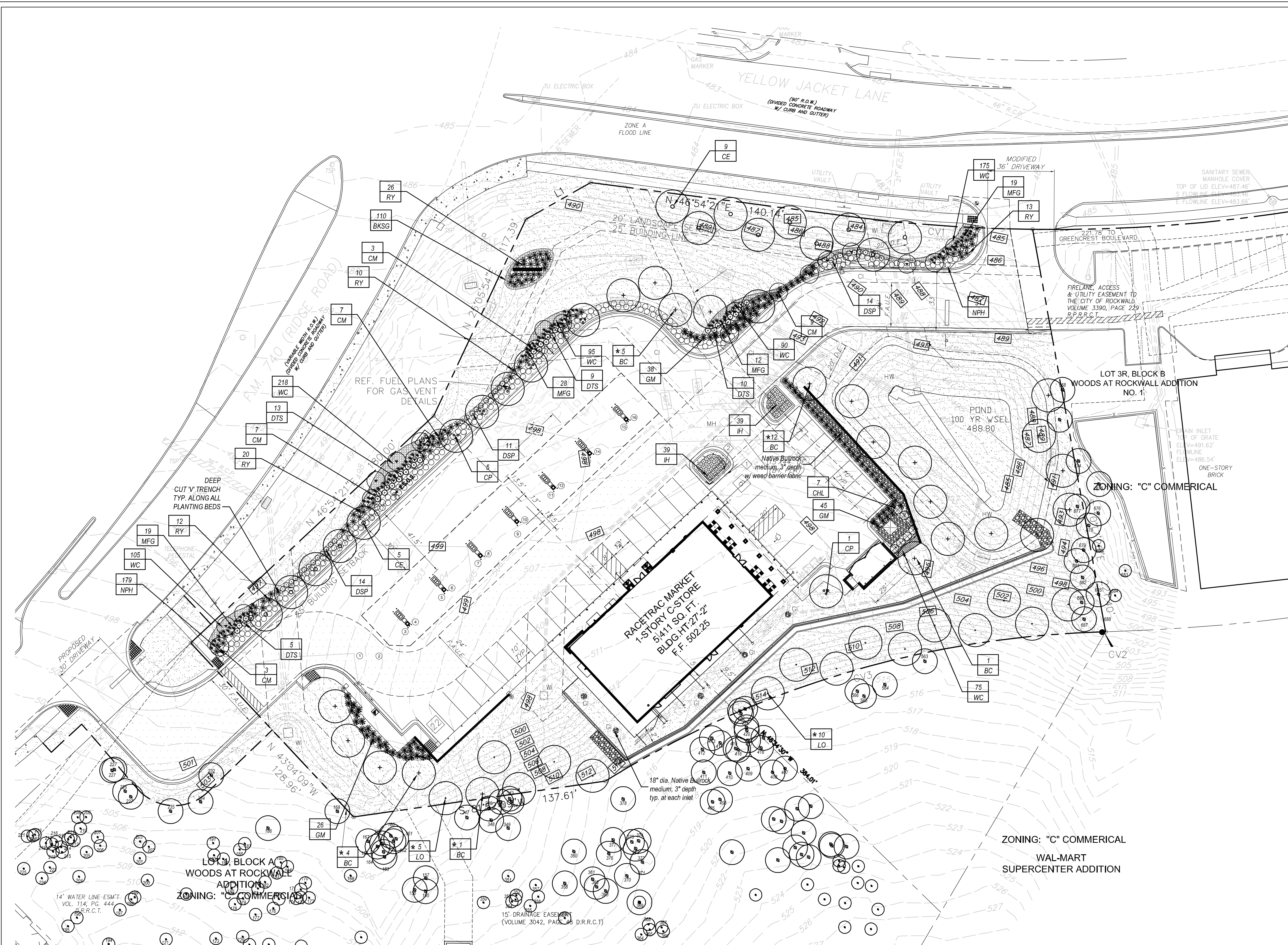
**PROJECT NUMBER**  
2015157.03

**SHEET TITLE**  
**SITE PHOTOMETRY PLAN**

**SHEET NUMBER**  
**SP-1**

1 SITE PHOTOMETRY PLAN  
SP-1 SCALE: 1/16"=1'-0"





**LANDSCAPE NOTES**

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by "V" TRENCH. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

**MAINTENANCE NOTES**

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

**GENERAL LAWN NOTES**

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

**LANDSCAPE TABULATIONS: 740 SCENIC OVERLAY**

**SITE REQUIREMENTS** (site area 107,210 s.f.)  
 Requirements: 15% site area to be landscaped

Required	Provided
16,082 s.f. (15%)	47,309 s.f. (44%)

**FRONT YARD REQUIREMENTS**  
 Requirements: 50% of required landscape must be located in front yard

Required	Provided
8,041 s.f. (50%)	8,041 s.f.

**STREET REQUIREMENTS:**  
 Requirements: (1) canopy trees 3" cal. per 30 l.f. of frontage

Required	Provided
(10) canopy trees, 3" cal.	(10) canopy trees, 3" cal.

**RIDGE ROAD (297.39 l.f.)**  
 Requirements: (1) canopy trees 3" cal. per 30 l.f. of frontage

Required	Provided
(10) canopy trees, 3" cal.	(10) canopy trees, 3" cal.

**YELLOW JACKET LANE (280.91 l.f.)**  
 Requirements: (1) canopy trees 3" cal. per 30 l.f. of frontage

Required	Provided
(9) canopy trees, 3" cal.	(9) canopy trees, 3" cal.

**PARKING LOT (35 spaces; 10,322 s.f.)**  
 Requirements: 5% of total parking lot area and (1) tree, 3" cal. per 10 REQUIRED parking spaces (22 REQUIRED)

Required	Provided
(2) trees, 3" cal.	(2) trees, 4" cal.
516 s.f. (5%)	617 s.f. (5.9%)

**ALL TREES TO BE LOCATED 5' FROM WATER, SEWER AND STORM SEWER LINES**

**ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL HEAD-IN PARKING**

**SOLID SOD NOTES**

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

**HYDROMULCH NOTES**

- All lawn areas to be Hydromulch Bermudagrass, unless noted otherwise on drawings.
- Contractor shall scarify, rip, loosen all areas to be hydromulched to a minimum depth of 4" prior to topsoil and hydromulch installation.
- Bermudagrass seed shall be extra hulled and treated lawn type and shall be delivered to the site in its original unopened container, and shall meet Texas State Law requirements.
- Fiber: Shall be one hundred (100%) percent Wood Cellulose Fiber, delivered to the site in its original unopened container, "Comweb" or equal.
- Fiber Tack: Shall be delivered to the site in its original unopened container, and shall be "Terra-Tack one", as manufactured by Growers, Inc. or equal.
- Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1000) square foot.
- Use a 4/8" batter board against all beds areas.
- If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass, at a rate of four (4) pounds per one thousand (1000) square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
- In the event ryegrass is necessary due to time of year installation, it shall be the responsibility of the contractor to scalp existing grass, bag clippings, and scarify soil to a depth of 1" prior to permanent lawn grass installation.
- All lawn areas to be hydromulched, shall have one hundred (100%) percent coverage prior to final acceptance.
- Contractor shall maintain all lawn areas until final acceptance. This shall include but not limited to: mowing, watering, weeding, cultivating, cleaning, and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply as necessary.

**DRAINFIELD MIX LAWN NOTES**

- Installation of Drainfield Mix to be performed by hydro-seeding.
- Final grades to be smooth and level free of debris, rocks over 1" and shall have no ruts or depressions, grading per civil plans.
- Install the following mix at the specified rate of 80 pounds acre or per manufacturers recommendations.
- Seed mix available from Native American Seed: 1 800 728 4993.

**SITE DATA SUMMARY TABLE**

ZONING (FROM ZONING MAP)	"C" COMMERCIAL
LAND USE (FROM ZONING ORDINANCE)	CONVENIENCE STORE WIGAS PUMPS
LOT AREA (SQUARE FEET & ACRES)	107,210 S.F. / 2.46 ACRES
BUILDING FOOTPRINT AREA (SQUARE FEET)	5,488 S.F.
TOTAL BUILDING AREA (SQUARE FEET)	5,488 S.F.
BUILDING HEIGHT (# STORIES)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	27'-2" (TOP OF PITCHED ROOF)
CANOPY HEIGHT	22 FEET
CANOPY THICKNESS	4 FEET
LOT COVERAGE (PERCENT)	5.12% (5,488 / 107,210)
FLOOR AREA RATIO (RATIO)	0.051 (5,488 / 107,210)
PARKING	RETAIL USE (1250 S.F.)
PARKING RATIO (FROM ZONING ORDINANCE)	22 SPACES (5,488 / 250)
REQUIRED PARKING (# SPACES)	35 TOTAL
PROVIDED PARKING (# SPACES)	1 SPACES
ACCESSIBLE PARKING REQUIRED (# SPACES)	2 SPACES
ACCESSIBLE PARKING PROVIDED (# SPACES)	
LANDSCAPE AREA	
LANDSCAPE AREA PROVIDED	47,309 S.F. (44%)
OPEN SPACE PROVIDED	47,309 S.F. (44%)
IMPERVIOUS AREA	59,901 S.F. (56%)

**WATER METER SCHEDULE**

ID	TYPE	SIZE	REMARK
1	DOMESTIC	2"	PROPOSED
2	IRRIGATION	1"	PROPOSED

**DEVELOPER**  
 RACE TRAC  
 3225 CUMBERLAND BLVD., SUITE 100  
 ATLANTA, GA 30339  
 CONTACT: DREW CUNNINGHAM  
 TEL: (770) 431-7600 EXT.1133

**APPLICANT/ENGINEER**  
 URBAN STRUCTURE  
 TBPE FIRM # F-13165  
 8140 WALNUT HILL LANE, STE 905  
 DALLAS, TEXAS 75231  
 CONTACT: DOUGLAS BARRILLEAUX, P.E.  
 TEL: (214) 296-5775

**PLANT LIST**

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
23	BC	Bald Cypress	<i>Taxodium distichum</i>	6" cal.	container grown, 15' ht., 5' spread min.	
14	CE	Cedar Elm	<i>Ulmus crassifolia</i>	6" cal.	container grown, 15' ht., 5' spread min.	
6	CP	Chinese Pistache	<i>Pistachia chinensis</i>	6" cal.	container grown, 15' ht., 5' spread min.	
15	LO	Live Oak	<i>Quercus virginiana</i>	5" cal.	B&B, 14' ht., 5' spread min.	
29	DM	Crape Myrtle 'Dallas Red'	<i>Lagerstroemia indica 'Dallas Red'</i>	2" cal.	container, 3-6 cans, no cross caning	

SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
210	NPH	Needlepoint Holly	<i>Ilex cornuta 'Needlepoint'</i>	5 gal.	container, full plant, 4" o.c. / 2'-3" row spacing staggered	
7	CHL	Cherry Laurel	<i>Prunus caroliniana</i>	5" ht.	container, full to base, 5" o.c.	
109	GM	Gulf Muhly	<i>Muhlenbergia capillaris</i>	3 gal.	container, full plant, 36" o.c.	
78	IH	Indian Hawthorne 'Clara'	<i>Raphiolepis indica 'Clara'</i>	3 gal.	container, full plant, 24" o.c.	
81	RY	Red Yucca	<i>Hesperaloe parviflora</i>	3 gal.	container, full plant, 36" o.c.	
39	DSP	Dwarf Spirea 'Super Gold'	<i>Spirea sp. 'SuperGold'</i>	3 gal.	container, full plant, 36" o.c.	
78	MFG	Mexican Feathergrass	<i>Nassella tenuissima</i>	3 gal.	container, full plant, 24" o.c.	
37	DTS	Dwarf Sage 'Lynn's Lowery'	<i>Leucophyllum 'Lynn's Lowery'</i>	5 gal.	container, full plant, 36" o.c.	

**GROUNDCOVERS**

GROUNDCOVERS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
110	BKSG	Berkeley Sedge	<i>Carex divisa</i>	1 gal.	container, full top of container, 12" o.c.	
758	WC	Wintercreeper	<i>Euonymus fortunei coloratus</i>	1 gal.	container, (6) 18" runners min. 12" o.c.	
		Common Bermudagrass	<i>Cynodon dactylon</i>	roll sod	solid sod, refer to notes	

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

**BOUNDARY LINE DATA TABLE**

LINE	BEARING	LENGTH
L1	N 60°26'48" W	40.41'

**BOUNDARY LINE CURVE DATA TABLE**

CV	DELTA	RADIUS	LENGTH	CHORD	BEARING
C1	06°48'23"	845.00'	100.38'	100.32'	S85°55'43" E
C2	00°07'47"	772.78'	1.75'	1.75'	S88°23'25" W
C3	30°19'13"	536.81'	284.07'	280.77'	S73°17'35" W

**SITE PLAN**  
 WOODS AT ROCKWALL ADDITION  
 LOT 1 & 2, BLOCK A  
 IN THE CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS

DATE: 6.21.18  
 SCALE: AS SHOWN  
 DRAWN-BY: BDA  
 DRAWING NAME:  
**L.2**  
 SHEET NO. VERSION

**smr**  
 landscape architects, inc.  
 1708 N. Griffin Street  
 Dallas, Texas 75202  
 Tel: 214.871.0383  
 Fax: 214.871.0545  
 Email: smr@smr-lca.com

**RACETRAC LANDSCAPE ARCHITECTS, P.C.**  
 STATE OF TEXAS  
 6.21.18

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC, INC. IS PROHIBITED.

**Racetrac**  
 RACETRAC PETROLEUM, INC.  
 3225 CUMBERLAND BOULEVARD SUITE 100  
 ATLANTA, GA 30339  
 (770) 431-7600

**LANDSCAPE PLAN**  
 RACETRAC MARKET #2345  
 2205 RIDGE ROAD  
 LOT 1R & 2R, BLOCK A  
 ROCKWALL, ROCKWALL COUNTY, TEXAS



SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- 1. Planting (trees, shrubs, and grass)
- 2. Bed preparation and fertilization
- 3. Notification of sources
- 4. Water and Maintenance until final acceptance
- 5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen; 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
  - 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
  - 2. All planting areas shall receive a two (2") inch layer of specified mulch.
  - 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, cobbles, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
  - 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
  - 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
  - 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
  - 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
  - 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
  - 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
  - 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
  - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
  - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
  - c. When plant replacements are made, plants, soil, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
  - 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
  - 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
  - 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
  - 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
  - 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
  - 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and fiber development.
  - 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- F. Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than its vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.
- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burrs from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of "root scoring".
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground. In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arboretum Association.
  - 1. Dead wood or suckers and broken badly bruised trunks shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.
  - 2. Pruning shall be done with clean, sharp tools.
  - 3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material Steel Curbing Installation:
    - 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
    - 2. All steel curbing shall be free of kinks and abrupt bends.
    - 3. Top of curbing shall be 3/4" maximum height above grade.
  - F. Slakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
  - 2. Do not install steel edging along sidewalks.
  - 3. Cut steel edging at 45 degree angle where edging meets sidewalk.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

PART 2 - PRODUCTS

2.1 PLANTS

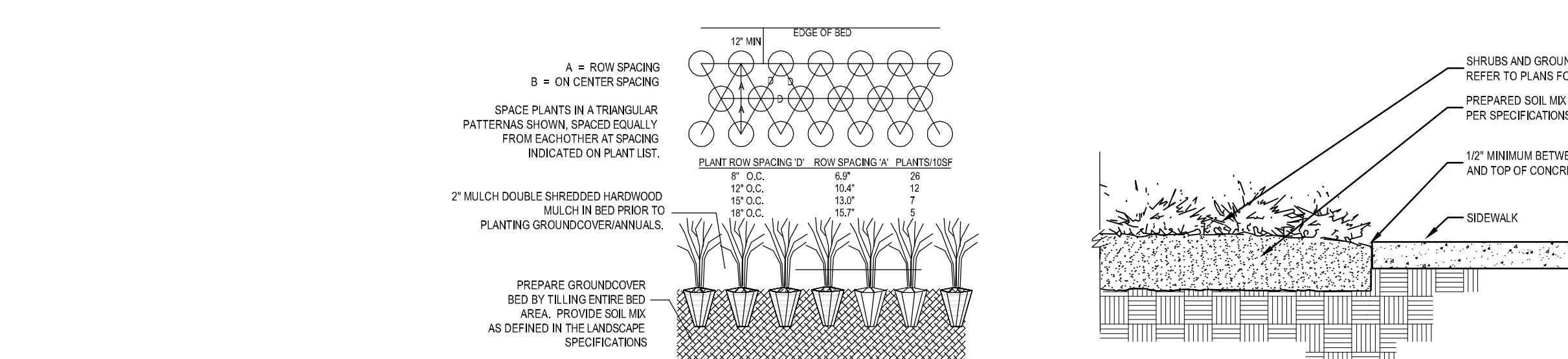
- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inch above ball.
  - Nomenclature conforms to the customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at an additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

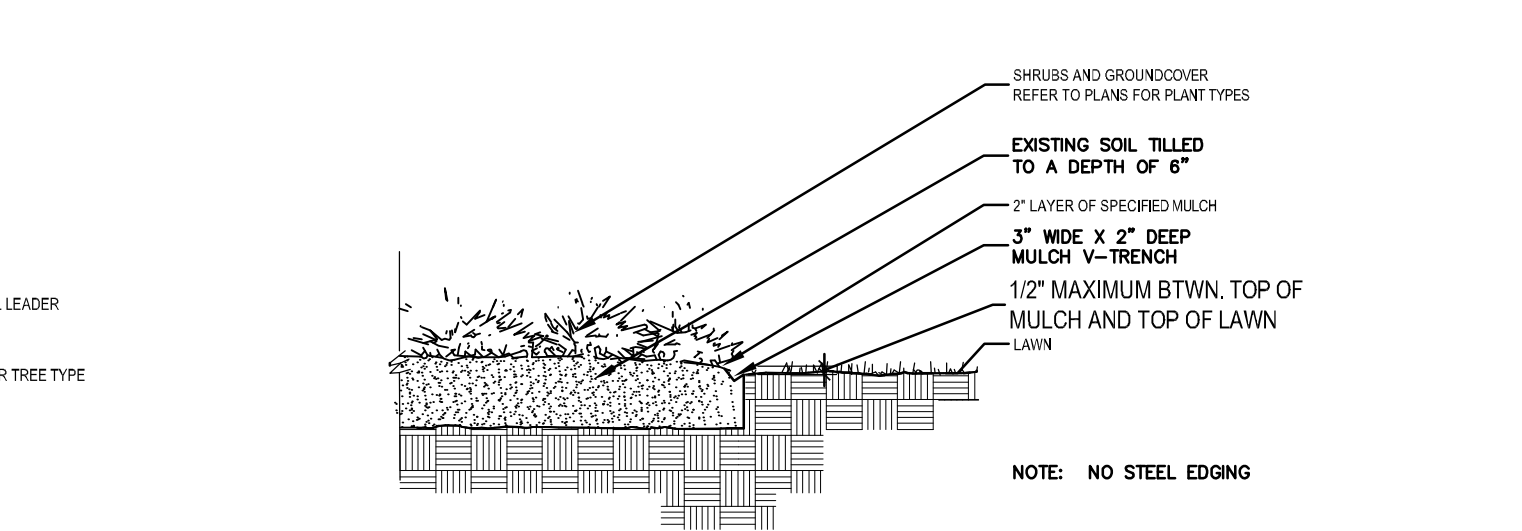
- A. Sandy Loam:
  - 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
  - 2. Physical properties as follows:
    - Clay - between 7-27 percent
    - Silt - between 15-25 percent
    - Sand - less than 52 percent
  - 3. Organic matter shall be 3%-10% of total dry weight.
  - 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertalid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

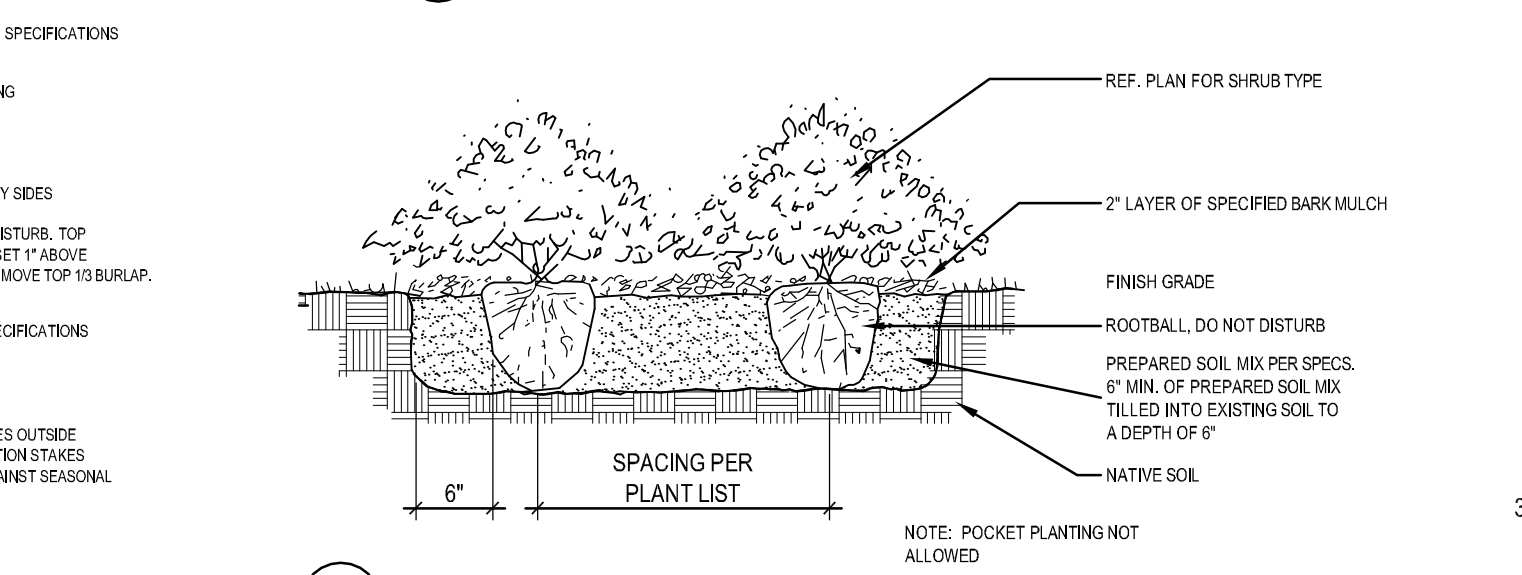
- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4" on center.
- B. Staking Material for Shade Trees:
  - 1. Post: Studded T-Post, #1 Armoac with anchor plate, 6'-0" length, paint green.
  - 2. Wire: 12 gauge, single strand, galvanized wire.
  - 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 3/8 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Miraf 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.



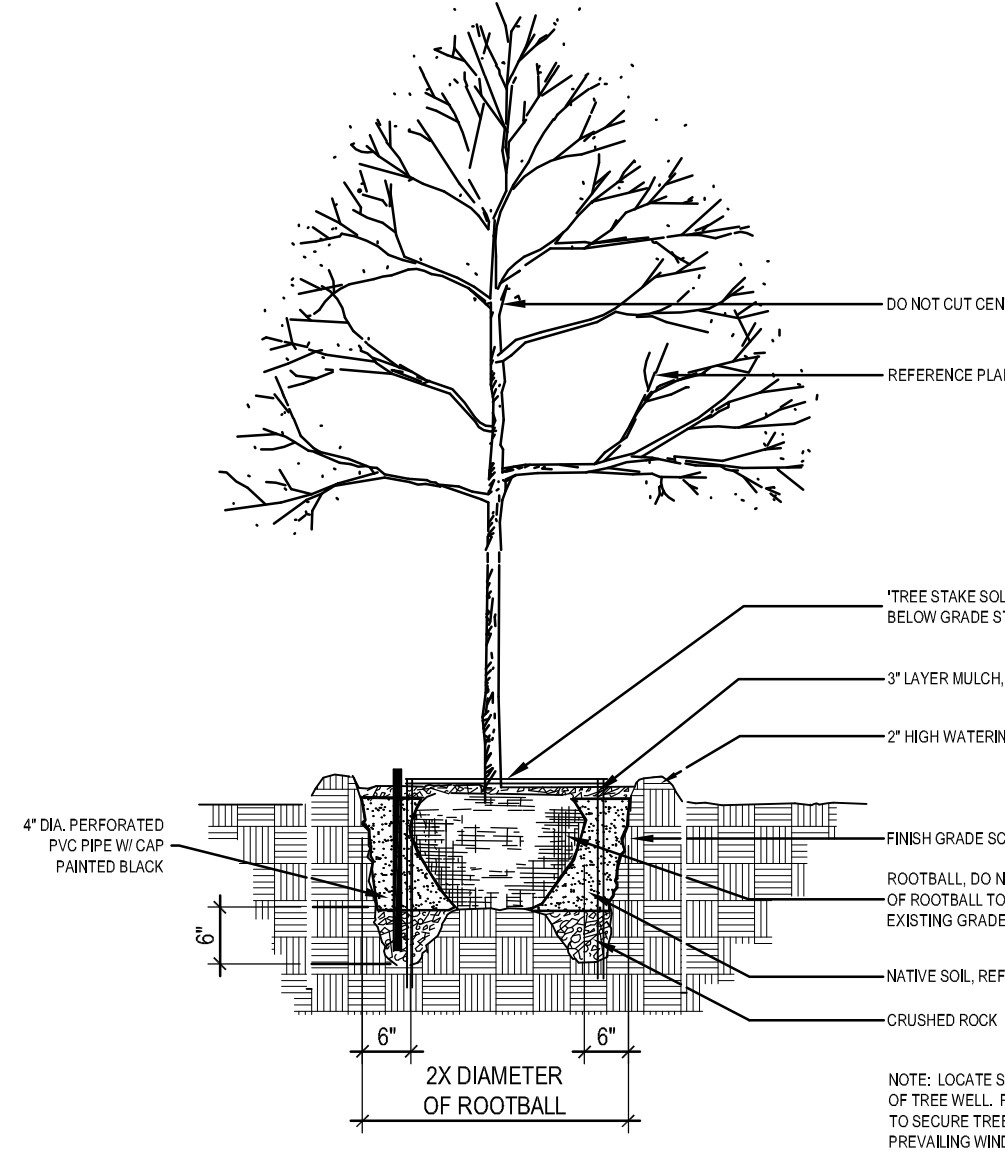
02 GROUNDCOVER PLANTING DETAIL NOT TO SCALE



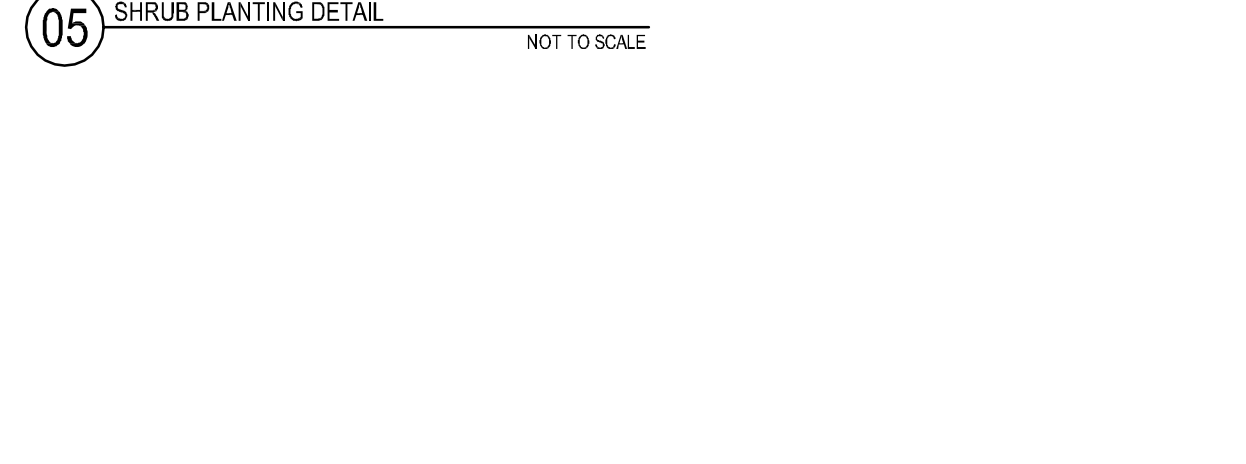
03 SIDEWALK / MULCH DETAIL NOT TO SCALE



04 V-TRENCH MULCH DETAIL NOT TO SCALE



01 TREE PLANTING DETAIL NOT TO SCALE



05 SHRUB PLANTING DETAIL NOT TO SCALE

SURVEYOR  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: GARY E. JOHNSON, R.P.L.S.  
TEL: (214) 340-9700

DEVELOPER  
RACE TRAC  
3225 CUMBERLAND BLVD., SUITE 100  
ATLANTA, GA 30339  
CONTACT: DREW CUNNINGHAM  
TEL: (770) 431-7600 EXT. 1133

APPLICANT/ENGINEER  
URBAN STRUCTURE  
TBPE FIRM # F-13165  
8140 WALNUT HILL LANE, STE 905  
DALLAS, TEXAS 75231  
CONTACT: DOUGLAS BARRILLEAUX, P.E.  
TEL: (214) 295-5775

**SITE PLAN**  
**WOODS AT ROCKWALL ADDITION**  
**LOT 1 & 2, BLOCK A**  
**IN THE CITY OF ROCKWALL,**  
**ROCKWALL COUNTY, TEXAS**

NO.	DATE

smr  
landscape architects, inc.  
1708 N. Griffin Street  
Dallas, Texas 75202  
Tel: 214.871.0283  
Fax: 214.871.0545  
Email: smr@smr4s.com

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS; ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACE TRAC, INC. IS PROHIBITED.

**Racetrac**  
RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

LANDSCAPE SPECIFICATIONS  
**RACETRAC MARKET #2345**  
2205 RIDGE ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS

DATE: 6.21.18  
SCALE: AS SHOWN  
DRAWN-BY: BDA  
DRAWING NAME:  
**L.3**  
SHEET NO. VERSION



ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/24/16	PERMIT SET
12/01/16	REFRESH TO 2016 1101.01.02
05/05/17	REV. 1 - BLDG DEPT COMMENTS
02/16/18	REFRESH TO 2017.0808
05/30/18	ELEVATION UPDATES

PROJECT NAME  
**ROCKWALL**

ROCKWALL  
 TX 75087  
 2205 RIDGE ROAD

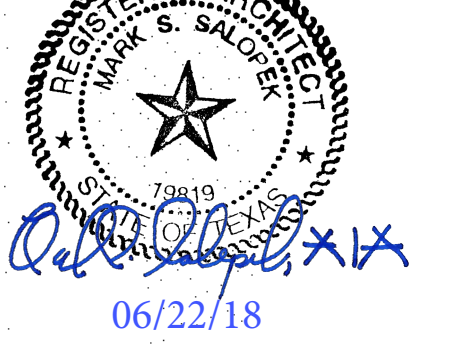
RACETRAC STORE NUMBER  
**#1090**

PROTOTYPE SERIES 5.5K  
 2016 BR-LH-MO-ALT 0301

PLAN MODIFICATION NOTICE  
 SPB NO. XXXX DATE 03.01.16

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL



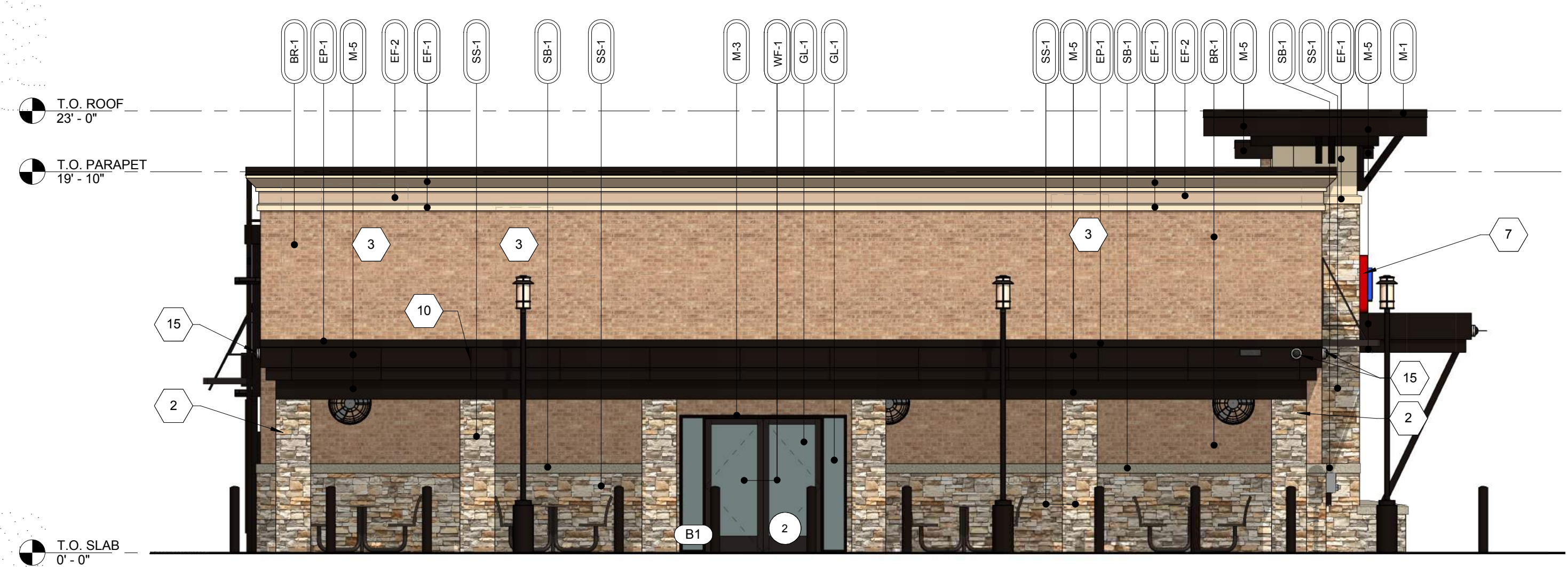
PROJECT NUMBER  
 2015157.03

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

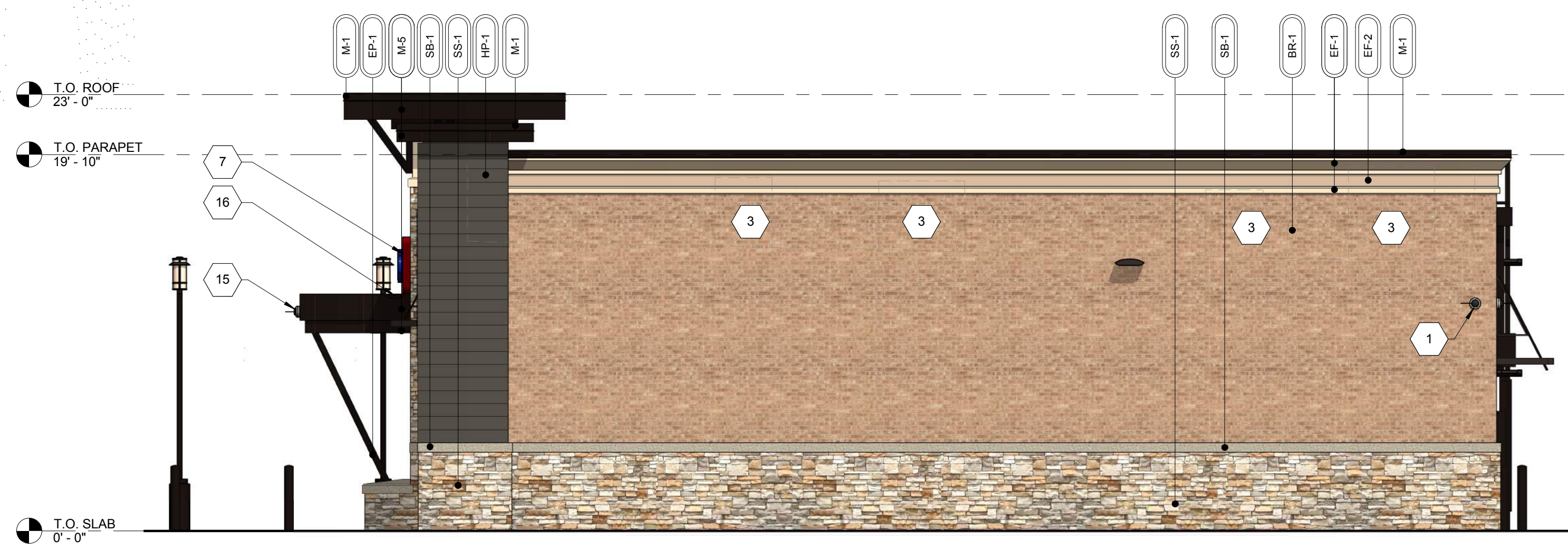
**A300B**



**4 LEFT ELEVATION**  
 3/16" = 1'-0"

**LEFT ELEVATION (NON-ENTRY)** 1,203 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	277	23%
BRICK	688	57%
EIFS	99	8%
GLAZING	0	0%
METAL	64	5%
WOOD	75	7%



**3 RIGHT ELEVATION**  
 3/16" = 1'-0"

**RIGHT ELEVATION (ENTRY)** 1,200 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	299	25%
BRICK	497	41%
EIFS	112	9%
GLAZING	62	6%
METAL	230	19%
WOOD	0	0%

GENERAL NOTES

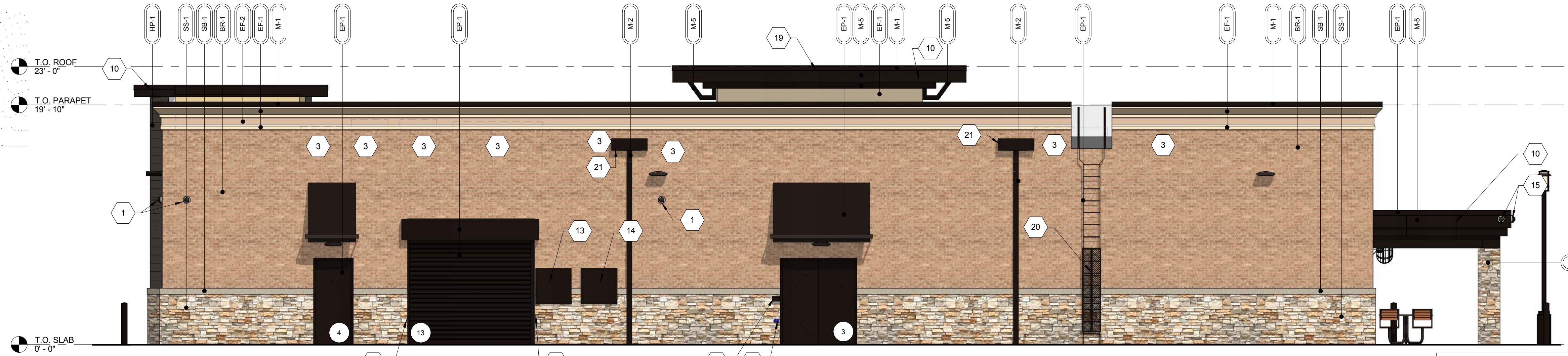
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE EXPANSION JOINTS (EJ) AT ALL LOCATIONS WHERE EIFS ABUTS A DISSIMILAR MATERIAL OR WHERE OTHERWISE REQUIRED BY MANUFACTURER.
- PROVIDE EXPANSION JOINTS (EJ) AS LOCATED ON EXTERIOR ELEVATIONS. SPECIFICATION FOR JOINT SEALANT SHALL BE 'ADOBE TAN' SL-2 BY TREMCO.
- MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C.
- REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
- REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARINGS AND FOR FOUNDATIONS.
- REFER TO REFLECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM JOINT LOCATIONS.

ELEVATION KEY NOTES

- REFER TO SHEET A301 FOR KEYNOTES NOT SHOWN ON THIS SHEET.
- WALL MOUNTED SECURITY CAMERA.
  - 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
  - MECHANICAL EQUIPMENT BEYOND.
  - REFER TO DETAILS FOR CAST STONE SHAPES.
  - HOSE BIBB; REFER TO PLUMBING DRAWINGS.
  - CEILING FAN; REFER TO SPECIFICATIONS.
  - ILLUMINATED SIGN PANEL BY OWNER; PAINT SUPPORT STRUCTURE EP-1.
  - BRONZE BREAK METAL WRAP AT WINDOW JAMB, TYPICAL.
  - ROOFING MEMBRANE TO BE RUN UP CLERESTORY TO UNDERSIDE OF WINDOW. REFER TO WALL SECTION.
  - ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
  - INTERCOM AND SPEAKER.
  - EMERGENCY FUEL SHUT OFF SWITCH. MOUNT TOP OF SIGN AT 50" A.F.F.
  - LOCATION OF ELECTRICAL SERVICE C/T AND METER.
  - GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
  - SECURITY CAMERA MOUNTED TO FASCIA.
  - OVERFLOW SPILL SCUPPER.
  - PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
  - SPILL SCUPPER. REFER TO DETAIL.
  - PROVIDE METAL GUARD GATE AT LADDER TO 8' AFF WITH LOCKING HASP.
  - 4'-0" WIDE X 1'-7" HIGH SCUPPER. REFER TO DETAILS ON SHEET A201.
  - STOP STONE 6" BEFORE ROUGH OPENING.

EXTERIOR MATERIAL SCHEDULE

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
BRICK	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
CAST STONE	MATCH BORAL TUSCAN CAST STONE OR APPROVED OTHER	COLOR 1102 NATURAL STONE; MORTAR COLOR "LIGHT BUFF". SEAL WITH (SL-5) SEALANT.
CEMENT BOARD	ARTISAN V-GROOVE SIDING	PAINT SHERWIN WILLIAMS SEALSINK #7675
EIFS	STO THERM CI	"FINE FINISH" APPLICATION; COLOR TO MATCH SW #6113 "INTERACTIVE CREAM"
EIFS	STO THERM CI	"FINE FINISH" APPLICATION; COLOR TO MATCH SW #6094 "SENSATIONAL SAND"
GLAZING	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGU AT STOREFRONT 0.28 U-FACTOR, SHGC PF=0.25=0.27 (1/4" PPG SOLARBAN 70-XL LOW-E #2 +1/2" AIR +1/4" CLEAR) OR APPROVED ALTERNATE.
GL-2	1" NON-IMPACT RATED ACID ETCHED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGU AT STOREFRONT 0.28 U-FACTOR, SHGC PF=0.25=0.27 (1/4" PPG SOLARBAN 70-XL LOW-E #2 +1/2" AIR +1/4" CLEAR SATIN ETCH #3) OR APPROVED ALTERNATE.
METAL	PREFINISHED* 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-2	COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VISTAWALL (OR APPROVED ALTERNATE)	FG-3000 STOREFRONT SYSTEM (OR APPROVED ALTERNATE)
M-5	REYNOBOND	PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-M2C22A44
M-7	VERSATEX	WP4 TONGUE AND GROOVE
PAINT	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
ROOFING	DUROLAST	50 MIL MEMBRANE ROOFING SYSTEM
STACKED STONE	GRAY GRANBURY QUARRY STONE CHOPPED	DIMENSIONAL LIMESTONE 3"-5" BED DEPTH, WET STACK APPLICATION. MORTAR COLOR "LIGHT BUFF"
STONE BAND	GRAY GRANBURY QUARRY STONE CHOPPED	DIMENSIONAL LIMESTONE CUT TO SIZE PER DETAILS. MORTAR COLOR "LIGHT BUFF"
WINDOW FILM	WF-1	WINDOW FILM; 3M PRESTIGE 70 SOLAR FILM
WINDOW FILM	WF-2	WINDOW FILM; OPAQUE



**2 REAR ELEVATION**  
 3/16" = 1'-0"

**REAR ELEVATION** 2,118 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	489	23%
BRICK	1,087	51%
EIFS	182	9%
GLAZING	0	0%
METAL	345	16%
WOOD	15	1%



**1 FRONT ELEVATION**  
 3/16" = 1'-0"

SIGNAGE CONTENT IS CONCEPTUAL ONLY

ELEVATION	SIGNAGE	DIMENSIONS	
FRONT	RT PARALLELOGRAM	13'-5/8" x 3'-0"	40 SF
	BANNER	7'-8" x 5'-6"	42 SF

**FRONT ELEVATION** 2,170 TOTAL SF

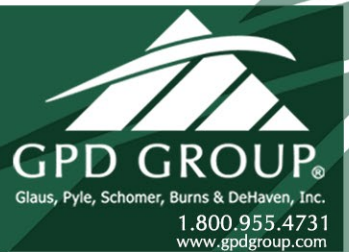
MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	536	25%
BRICK	732	34%
EIFS	181	8%
GLAZING	331	15%
METAL	179	8%
WOOD	211	10%





**RACETRAC**  
Rockwall, TX

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF MATERIAL SAMPLES PROVIDED.





## RaceTrac Elevation Calculations (July 2018)

### Front Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	536	32%	
Brick	732	44%	
EIFS	181	11%	11%
Fiber Cement	211	13%	
Total	1660	100%	11%

### Rear Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	489	28%	
Brick	1087	61%	
EIFS	182	10%	10%
Fiber Cement	15	1%	
Total	1773	100%	10%

### Right Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	277	24%	
Brick	688	60%	
EIFS	99	9%	9%
Fiber Cement	75	7%	
Total	1139	100%	9%

### Left Elevation

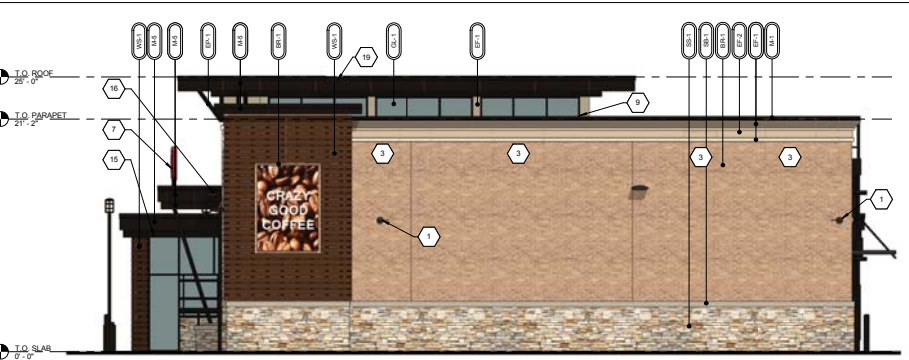
Material	SQ. FT.	% Elevation	% Secondary
Stone	299	33%	
Brick	497	55%	
EIFS	112	12%	12%
Fiber Cement	0	0%	
Total	908	100%	12%





**3 LEFT ELEVATION**  
 3/16" = 1'-0"

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	148	11%
BRICK	306	23%
EFS	104	8%
GLAZING	388	29%
METAL	244	19%
WOOD	110	8%



**2 RIGHT ELEVATION**  
 3/16" = 1'-0"

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	206	21%
BRICK	711	57%
EFS	86	7%
GLAZING	0	0%
METAL	32	3%
WOOD	143	12%

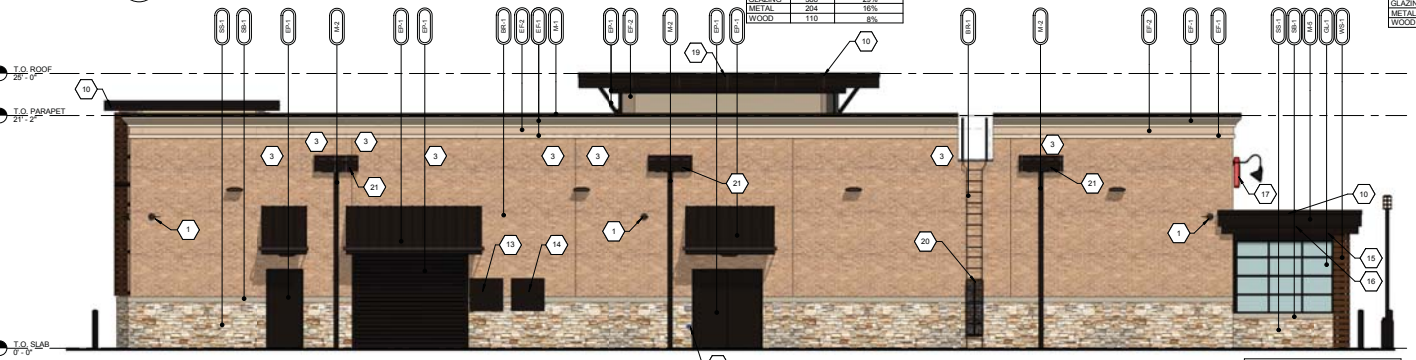
ELEVATION	SIGNAGE	DIMENSIONS	AREA
FRONT	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF
	BANNER	7'-8" X 6'-6"	42 SF
RIGHT	BANNER	7'-8" X 6'-6"	42 SF
LEFT	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF

**ELEVATION KEY NOTES**

- 1 WALL MOUNTED SECURITY CAMERA
- 2 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- 3 MECHANICAL EQUIPMENT BEYOND
- 4 REFER TO DETAILS FOR CAST STONE SHAPES.
- 5 HOSE BIBB. REFER TO PLUMBING DRAWINGS.
- 6 PATIO CEILING FANS IN CEILING BEYOND. REFER TO REFLECTED CEILING PLAN AND SPECIFICATIONS.
- 7 ILLUMINATED SIGN PANEL BY OWNER MOUNTED ON MINIMUM 4" STEEL TUBES OR HSS TUBES. PAINT EPI-1.
- 8 BRONZE BREAK METAL WRAP AT WINDOW JAMB. TYPICAL.
- 9 EPDM ROOFING TO BE RUN UP CLEARESTORY TO UNDERSIDE OF WINDOW. REFER TO WALL SECTIONS & DETAIL 2/4/31.
- 10 ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
- 11 3" SQUARE METAL DOWNSPOUT ATTACHED TO WALL WITH BRACKETS. REFER TO CIVIL FOR CONNECTIONS.
- 12 EMERGENCY FUEL SHUT OFF SWITCH. MOUNT TOP OF SIGN AT 50" AFF.
- 13 LOCATION OF ELECTRICAL SERVICE C/T AND METER.
- 14 GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
- 15 SECURITY CAMERA MOUNTED ON SOFFIT OF PATIO SEATING AREA.
- 16 OVERFLOW SPILL SCUPPER.
- 17 ILLUMINATED SIGN PANEL BY OWNER MOUNTED TO WALL. PANT ATTACHMENTS EPI-1.
- 18 PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
- 19 SPILL SCUPPER. REFER TO DETAIL.
- 20 PROVIDE METAL GUARD GATE AT LADDER TO AFF WITH LOCKING HASP.
- 21 4'-0" WIDE X 11'-0" HIGH SCUPPER. REFER TO DETAILS ON SHEET A201.
- 22 OPERABLE GARAGE DOOR SYSTEM.
- 23 ORANGE WINDOW CLINGS BY RACETRAC.
- 24 WELCOME SIGN.

**EXTERIOR MATERIAL SCHEDULE**

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
AW-1	ALUMINUM AWNING	SELECTED BY RACETRAC
BR-1	BORAL	LAREDO BRICK
BR-2	BORAL	MORTAR COLOR "LIGHT BUFF"
CS-1	CONTINENTAL CAST STONE OR APPROVED OTHER	MATCH BORAL TUSCAN LITTEL CHAMPAGNE
EFS	STO	STO THERM GJ
EFS-1	STO	FINE FINISH APPLICATION. COLOR TO MATCH SW #6113 "INTERACTIVE CREAM"
EFS-2	STO	FINE FINISH APPLICATION. COLOR TO MATCH SW #6094 "SENSATIONAL SAND"
GL-1	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGLU AT ST ONE FRONT 0.27 U-FACTOR, SHGC PFG 2540 27 1/4" PFG SOLARBAN 70-XL LOW-E #2 + 1/2" AIR + 1/4" CLEAR
GL-2	1" NON-IMPACT RATED ACID ETCHED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGLU AT ST ONE FRONT 0.27 U-FACTOR, SHGC PFG 2540 27 1/4" PFG SOLARBAN 70-XL LOW-E #2 + 1/2" AIR + 1/4" CLEAR SATIN ETCH #3
METAL	M-1	PREFINISHED 2-PIECE COMPRESSION METAL COVER
M-2	COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VSTAWALL	FG-3000 STOREFRONT SYSTEM
M-4	REYNOLBOND	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-7	VERSATEX	HYR TONGUE AND GROOVE
PAINT	EPI-1	SHERWIN WILLIAMS
EPI-2	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
ROOFING	EP-1	DUROLAST
STACKED STONE	SS-1	BORAL
STONE BAND	SB-1	BORAL
WOOD SLATS	WS-1	COMPACTWOOD



**4 REAR ELEVATION**  
 3/16" = 1'-0"

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	404	18%
BRICK	1396	59%
EFS	182	8%
GLAZING	60	3%
METAL	259	11%
WOOD	16	1%



**1 FRONT ELEVATION**  
 3/16" = 1'-0"

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	209	21%
BRICK	887	28%
EFS	147	6%
GLAZING	650	27%
METAL	222	6%
WOOD	220	6%

Approved Elevations with Compact Wood

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
3/22/18	UPDATED

**PROJECT NAME**  
**ANYTOWN, CITY**

**STATE 0000**  
**ADDRESS**

**RACETRAC STORE NUMBER**  
**#000**

**PROTOTYPE SERIES S-SK**  
**2016 BR-LH-M0(-) 0301**

**PLAN MODIFICATION NOTICE**  
 SPB NO. XXXX DATE (3.01.18)

STANDARD PLAN BELIEVES SPDS MEET THE LATEST SPDS REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROJECT'S DESIGN. IT IS THE USER'S RESPONSIBILITY TO VERIFY THE LATEST REVISION RECORD COLOR ABOVE LISTS ANY REVISIONS OR SPDS INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BUILDING SET MODIFICATIONS.

**PROFESSIONAL SEAL**

**PROJECT NUMBER**  
 2015127-XX

**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

**SHEET NUMBER**

**A300B**



Approved Color Rendering  
with Compact Wood





**CITY OF ROCKWALL  
PLANNING AND ZONING COMMISSION MEMO**

**AGENDA DATE:** 09/25/2018  
**APPLICANT:** Brad Williams of *Winstead PC*  
**AGENDA ITEM:** **SP2018-019**; Amended Site Plan for *Race Trac*

---

**SUMMARY:**

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 & 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

**PURPOSE AND BACKGROUND:**

The applicant is requesting approval of an amended site plan for a retail store with gasoline sales located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane. If approved, this would represent the second site plan amendment relating to the exterior elevations of the proposed Race Trac convenience store. The amendment also includes minor modifications to the site plan, allowing for improved drainage, and a reduction in the number of gasoline dispensers from eight (8) to seven (7) dispensers. Staff has provided a copy of the exterior elevations that were approved in December 2015 [*i.e.* SP2015-018] and the proposed exterior elevations for your review. Staff should point out that the applicant has revised the building elevations after the Architectural Review Board (ARB) forwarded a recommendation of approval from the July 31, 2018 work session. The purpose of this revision was to avoid requesting articulation variances. The property is zoned Commercial (C) District and is located within the *Scenic Overlay (SOV) District*.

**DENSITY AND DIMENSIONAL REQUIREMENTS:**

According to Section 1, *Land Use Schedule*, Section 6.8, *Scenic Overlay (SOV) District*, of Article V, of the Unified Development Code (UDC), a retail store with gasoline sales is a use permitted by SUP in a Commercial (C) District that lies within the SOV. The SUP for this retail store with gasoline sales [Case No. Z2013-004] was approved for the subject property on April 15, 2013. With the exception of the *Recommendation* section as listed in staff's report, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations conform to the technical requirements contained within Ordinance No. 13-09 [SUP No. 104], Scenic Overlay (SOV) District, Commercial (C) District, and the Unified Development Code (UDC). A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>x=2.46-Acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>x&gt;300-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>x&gt;221-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>x&gt;15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet<sup>1</sup></i>	<i>x&gt;10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet<sup>1</sup></i>	<i>x&gt;10-Feet; In Conformance</i>



<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Maximum Building Height</i>	<i>36-Ft w/o SUP<sup>2</sup></i>	<i>x=23 Ft; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>x=5.05%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x&gt;=90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>22</i>	<i>32 Provided; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20% ea facade</i>	<i>x&gt; 20%; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>x=48%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>x=52%; In Conformance</i>

**NOTES:**

<sup>1</sup>: Without fire retardant wall, or alley: ten feet, or as required by building and/or fire codes.

<sup>2</sup>: Any structure over 36 feet shall require a specific use permit.

**ARCHITECTURAL REVIEW BOARD RECOMMENDATION:**

On July 31, 2018, the Architectural Review Board (ARB) reviewed the proposed amended building elevations for the site. A motion to recommend approval of the amended building elevations passed by a vote of 7-0. Additionally, the motion included a recommendation of approval for the exception to allow for not meeting the vertical articulation standard for the east facing elevation. However, since the applicant has revised the building elevations for the purpose of not seeking any variances, the ARB will re-review the proposed elevations and forward a recommendation to the Planning and Zoning Commission at the September 25, 2018 meeting.

**RECOMMENDATIONS:**

If the Planning & Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All technical comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete the *Site Plan* request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2018-019	<b>Owner</b> INC., MOUNTAINPRIZE	<b>Applied</b> 6/19/2018	DG
<b>Project Name</b> RaceTrac	<b>Applicant</b> WINSTEAD PC	<b>Approved</b>	
<b>Type</b> SITE PLAN		<b>Closed</b>	
<b>Subtype</b> AMENDING		<b>Expired</b>	
<b>Status</b> P&Z HEARING		<b>Status</b> 9/19/2018	DG

<b>Site Address</b> 2205 RIDGE RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
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<b>Subdivision</b> THE WOODS AT ROCKWALL	<b>Tract</b> 2	<b>Block</b> A	<b>Lot No</b> 2	<b>Parcel No</b> 5172-000A-0002-00-0R	<b>General Plan</b>
---	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/19/2018	6/26/2018	7/19/2018	30	APPROVED	
ENGINEERING (7/25/2018 4:36 PM SH) - 4% Engineering Inspection Fees. - Must meet City Design Standards. - Show drainage/detention easements. No utilities allowed in drainage easements. - Area under the canopy must drain to an oil/water separator or the grease trap as well as the dumpster area. - Walls 3' and over must be designed by a licensed engineer. - All retaining walls must be rock or stone faced. - Show proposed utilities for the site. - No dead end parking allowed. Must have a 15' distance before the dumpsters. - Need a pedestrian railing if the drop is 30" or more. - Fire Lane radius is minimum 20'. - Why is there a stop sign facing FM 740. - Retaining wall with garde rail must be traffic rated by the detention pond. - Please see the attached makr ups.	Sarah Hager	6/19/2018	6/26/2018	7/25/2018	36	COMMENTS	
ENGINEERING	Amy Williams	8/13/2018	8/20/2018	8/13/2018		APPROVED	
FIRE	Ariana Hargrove	6/19/2018	6/26/2018	7/19/2018	30	APPROVED	
FIRE	Ariana Hargrove	8/24/2018	8/31/2018	8/24/2018		APPROVED	revised site plan
GIS	Lance Singleton	6/19/2018	6/26/2018	7/19/2018	30	APPROVED	



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	6/19/2018	6/26/2018	7/25/2018	36 COMMENTS	See comments

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 & 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

\* Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
3. Label revised site plan documents with "Case No. SP2018-019" at the lower right corner.

VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER:

The following variance and excetion requests are from Article V, Section 4, of the UDC:

1. Sec.4.1.C.b: Approval of a variance to the verticle articulation standards to allow for not meeting the vertical articulation for the east (rear) elevation.

\*\* Please address the following Planning Comments for each plan submitted:

Site Plan:

1. Relabel firelane as 24-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).
2. Remove label "14" under gas canopy, we do not count as parking spaces.
3. Site Data Summary Table: change total parking spaces to 32, gas canopy spaces are not considered parking spaces.
4. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque.
5. Dumpster enclosure walls to match exterior materials found on primary structure.

Landscape Plan:

1. Change Landscape Tabulations: 740 Scenic Overlay: Ridge Road indicate minimum 4-caliper inch trees (REQUIRED & PROVIDED).
2. Change label on southern portion of parking lot to indicate '19' spaces (not 22).

Treescape Plan:

1. Provide a note on the plan indicating mitigation satisfied by an Alternative Tree Mitigation plan approved by the City Council.

Photometric Plan:

1. Reduce to include entire property on one (1) page with street names.
2. Provide a North arrow on plan.
3. Provide cut sheets for all exterior lighting fixtures.
4. Maximum pole height not to exceed 20-ft overall height (includes pole, pole base, etc.). Provide detail.



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Building Elevations:						
1. Requires a recommendation from the Architectural Review Board(ARB) forwarded to the Planning and Zoning Commission for consideration						
2. Provide a materials sample board for ARB review.						
3. See variance and exceptions above						
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com						
Scheduled Meeting Dates to Attend						
Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]						
Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]						
Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]						
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						
PLANNING	David Gonzales	8/9/2018	8/16/2018	8/9/2018	COMMENTS	see comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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The following staff comments are subject to conditional approval and are to be addressed and resubmitted no later than Tuesday August 21, 2018. Please provide two (2) large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

\* Planning Department General Comments:

1. Adherence to Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.

VARIANCE FOR P&Z AND CITY COUNCIL TO CONSIDER:

The following variance request is from Article V, Section 4, of the UDC:

1. Sec.4.1.C.b: Approval of a variance to the verticle articulation standards to allow for not meeting the vertical articulation for the east(rear) elevation.

\*\* Please address the following Planning Comments for each plan submitted

Site Plan: Date on plan is 07/20/2018

1. Change 'Easement Legend' to read: Firelane, Public Access & Utility Easement
2. Remove label "14" under gas canopy, we do not count as parking spaces.
3. Site Data Summary Table: change total parking spaces to 32, gas canopy spaces are not considered parking spaces.
4. Dumpster enclosure to include a self latching gate mechanism and walls to match exterior materials found on primary structure- add note.

Landscape Plan:

1. Plan as submitted meets or exceeds the intent of the UDC

Treescape Plan:

1. Plan as submitted meets or exceeds the intent of the UDC

Photometric Plan:

1. Maximum pole height not to exceed 20-ft overall height (includes pole, pole base, etc.). Provide detail or request variance to SOV district standards (requires 3/4 majority vote).

Building Elevations:

1. See variance request above.

\*\*\* The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com)

Scheduled Meeting Dates to Attend

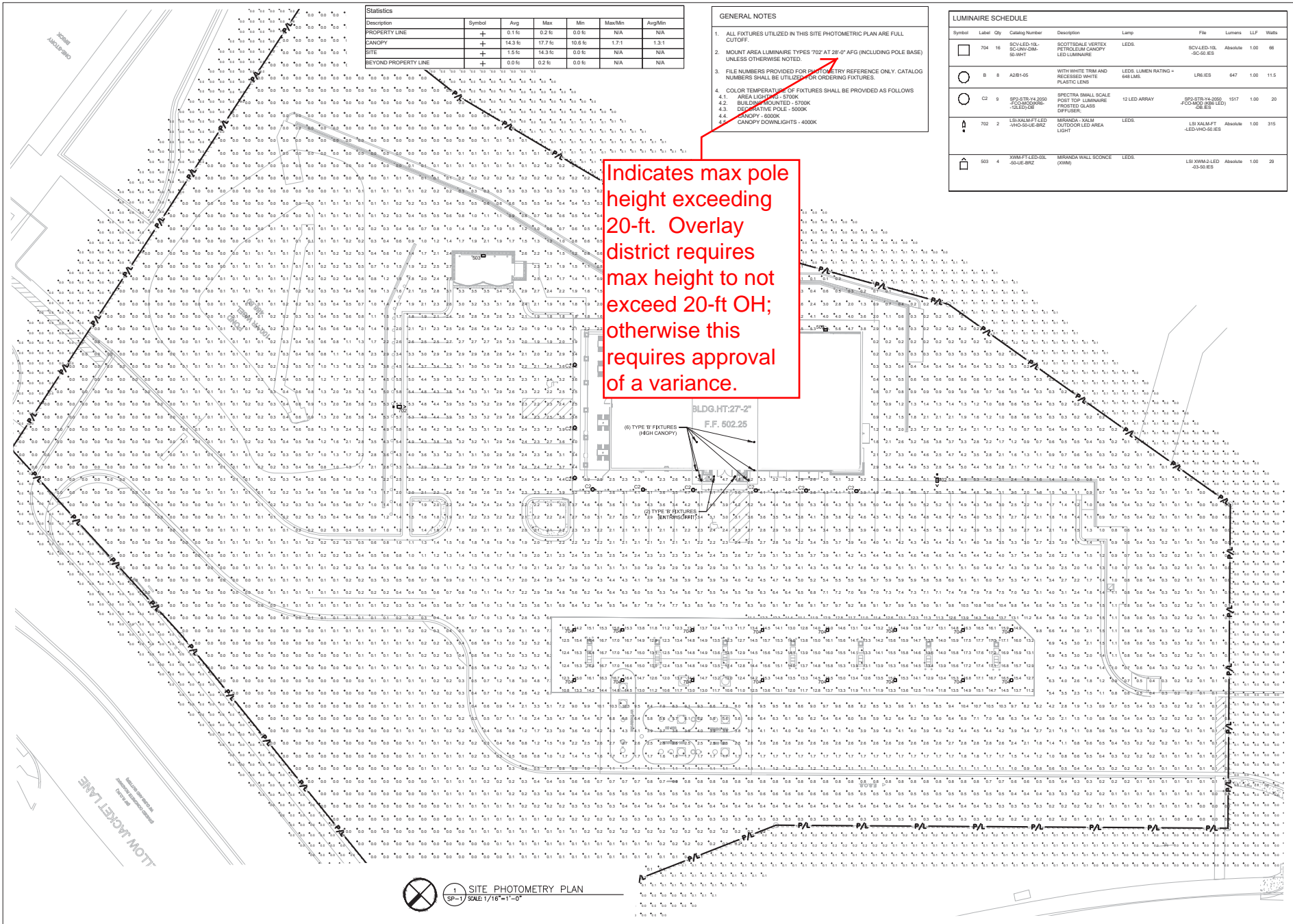
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]

City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	9/21/2018	9/28/2018	9/21/2018	COMMENTS	See comments
<p>* Planning Department General Comments:</p> <ol style="list-style-type: none"> <li>1. Adherence to Engineering and Fire Department standards shall be required.</li> <li>2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.</li> </ol> <p>** Please address the following Planning Comments:</p> <p>Site Plan: Date on plan is 07/20/2018</p> <ol style="list-style-type: none"> <li>1. Remove label "14" under gas canopy, we do not count as parking spaces.</li> <li>2. Site Data Summary Table: change total parking spaces to 32, gas canopy spaces are not considered parking spaces.</li> <li>3. Dumpster enclosure to include a self latching gate mechanism and walls to match exterior materials found on primary structure - add note.</li> </ol> <p>Photometric Plan:</p> <ol style="list-style-type: none"> <li>1. Maximum pole height not to exceed 20-ft overall height (includes pole, pole base, etc.). Provide detail or request variance to SOV district standards (requires 3/4 majority vote).</li> </ol> <p>*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail <a href="mailto:dgonzales@rockwall.com">dgonzales@rockwall.com</a></p> <p>Scheduled Meeting Dates to Attend:</p> <p>ARB - Action: September 25, 2018 (5:00p.m.) [Provide recommendation to P&amp;Z]</p> <p>Planning - Action: September 25, 2018 (6:00p.m.) [P&amp;Z to take action (i.e. approve, approve with conditions, deny)]</p>						





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
CANOPY	+	14.3 fc	17.7 fc	10.6 fc	1.7:1	1.3:1
SITE	+	1.5 fc	14.3 fc	0.0 fc	N/A	N/A
BEYOND PROPERTY LINE	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

- GENERAL NOTES**
- ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL CUTOFF.
  - MOUNT AREA LUMINAIRE TYPES 702 AT 28'-0" AFG (INCLUDING POLE BASE) UNLESS OTHERWISE NOTED.
  - FILE NUMBERS PROVIDED FOR PHOTO METER REFERENCE ONLY. CATALOG NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.
  - COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS
    - AREA LIGHTS - 5700K
    - RECESSED CANOPY - 5700K
    - DECORATIVE POLE - 5000K
    - CANOPY DOWNLIGHTS - 4000K

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
□	704	16	SCVLED-VL-SC-4M-OM-50-WHT	SCOTTSDALE VERTEX PETROLIUM CANOPY LED LUMINAIRE	LEDS	SCVLED-VL-SC-50-IES	Absolute 1,500 66
○	B	8	A2B145	WHT WITH TRIM AND RECESSED WHITE PLASTIC LENS	LEDS LUMEN RATING = 648 LMS	LR6-IES	647 100 11.5
○	C2	9	SP0STR-V4-200-FCOM20-W-LEDV-DN	SPECTRA SMALL SCALE FOOT TOP LUMINAIRE FROSTED GLASS DIFFUSER	12 LED ARRAY	SP0STR-V4-200-FCOM20-W-LEDV-DN-IES	1517 100 20
⦿	702	2	LB-KALM-FT-LED-WHO-SU-E-BRZ	MIRANDA 'KALM' OUTDOOR LED AREA LIGHT	LEDS	LB-KALM-FT-LED-WHO-SU-IES	Absolute 1,000 315
⦿	503	4	XWM-FT-LED-OL-SU-E-BRZ	MIRANDA WALL SCONCE (XWM)	LEDS	LB-XWM-LED-OL-SU-IES	Absolute 100 20

**Racetrac**  
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**DESIGN PROFESSIONALS**

**CFD GROUP, INC.**  
 1205 South Main St., Suite 2511  
 Memphis, TN 38111  
 901.527.2700 | 901.527.2701

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
10/05/15	PRELIMINARY TRACKING
12/07/15	PRELIMINARY REVISIONS
3/21/16	PERMIT SET
12/01/16	REFRESH TO 2016 101.12
02/15/18	REFRESH TO 2017 8008
06/21/18	PHOTOMETRIC REVISION

**Racetrac**  
 RACETRAC PETROLEUM, INC.  
 3225 COMMERCE BOULEVARD  
 SUITE 100  
 ATLANTA, GEORGIA 30339  
 (770) 421-1900

**PROJECT NAME**  
**ROCKWALL**

**ROCKWALL**  
 TEXAS 75087  
 2205 RIDGE ROAD

**RACETRAC STORE NUMBER**  
**#1090**

**PROTOTYPE SERIES 5-SK**  
**2016 BR-LH-MO(-) 0301**

**PLAN MODIFICATION NOTICE**  
 SPB NO. 000 DATE 03/01/16  
 EXAMINER FOR HOLDING LINES ABOVE THE PROTOTYPE SERIES SET FORTH ABOVE. THE LATEST REVISIONS OR LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET FORTH ABOVE. THE REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED TO THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT DELAYERS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

**PROJECT NUMBER**  
 2015157.03

**SHEET TITLE**  
**SITE PHOTOMETRY PLAN**

**SHEET NUMBER**  
**SP-1**

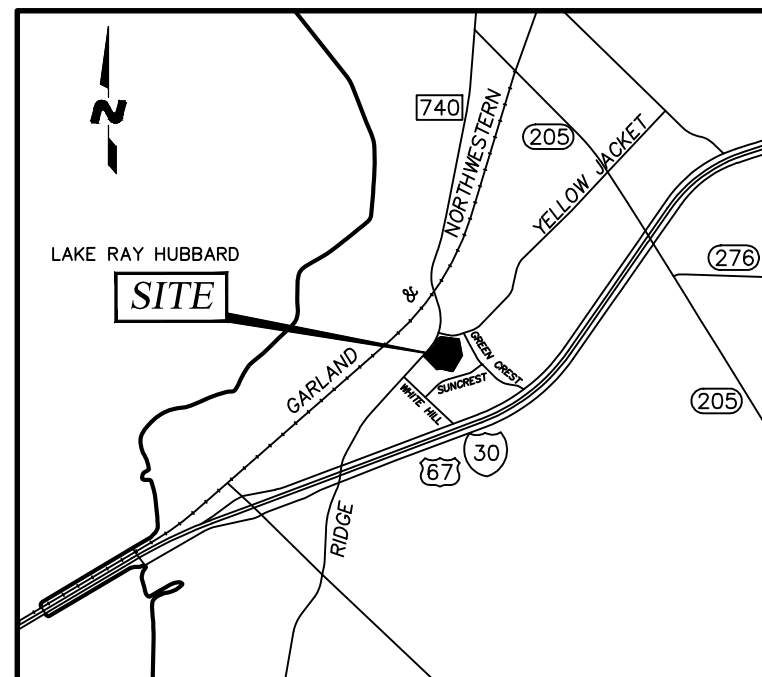
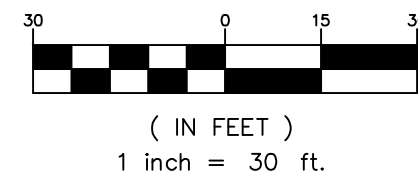
**1 SITE PHOTOMETRY PLAN**  
 SP-1 SCALE: 1/16"=1'-0"





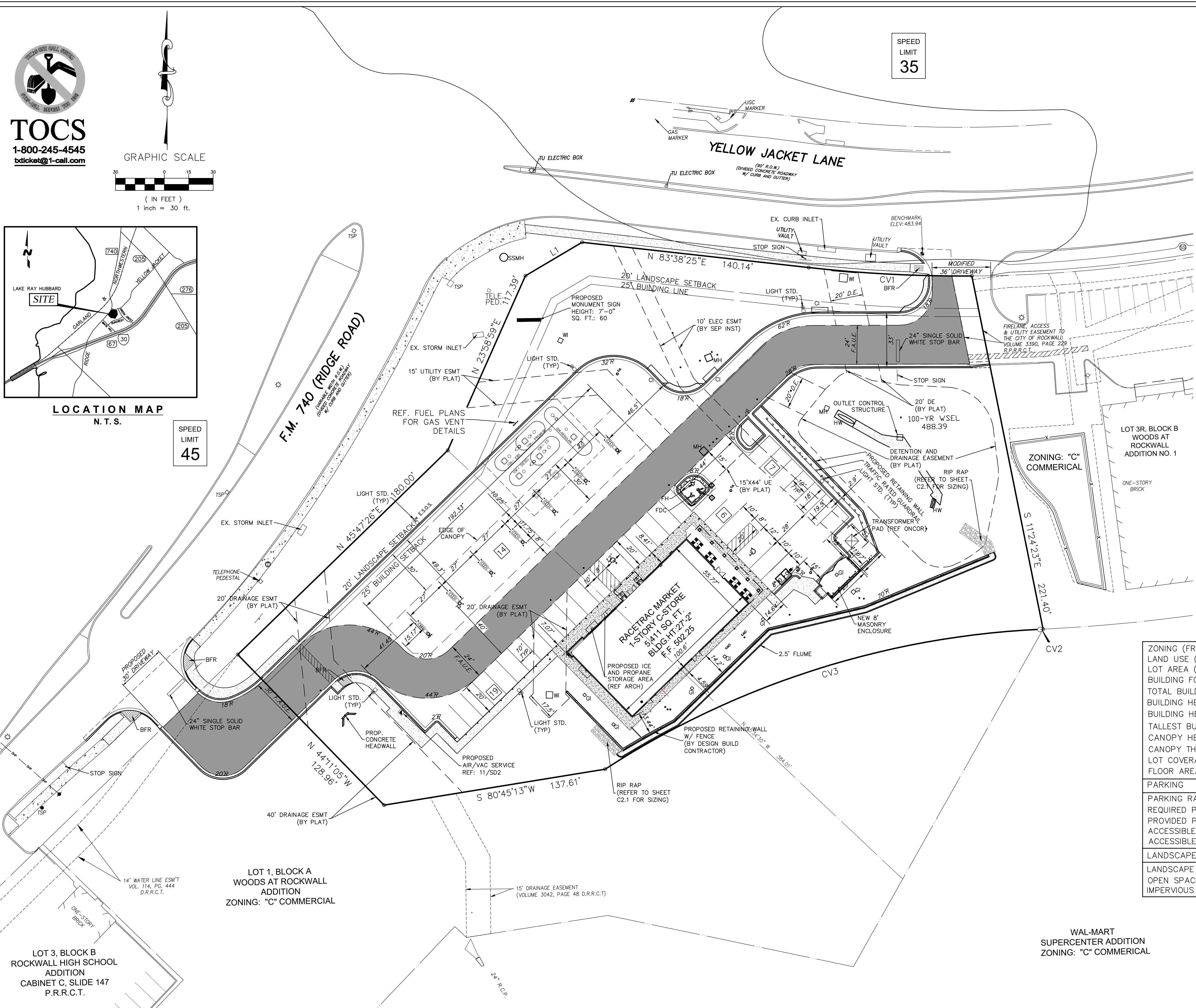
**TOCS**  
1-800-245-4545  
tdickets@1-call.com

GRAPHIC SCALE



LOCATION MAP  
N.T.S.

SPEED LIMIT  
45



SPEED LIMIT  
35

**SITE NOTES**

1. ALL SIGNS WILL REQUIRE SEPARATE SIGN PERMIT. NO SIGN ALLOWED IN AN EASEMENT OR RIGHT-OF-WAYS.
2. BUILDING TO BE CONSTRUCTED WITH SPRINKLER SYSTEM.
3. ALL PROPOSED OFF-SITE UTILITIES WILL BE CONSTRUCTED AS NEEDED PER SCHEDULE OF DEVELOPMENT OF ADJACENT PROPERTY.
4. NO OVERHANG OF CANOPY IN ANY EASEMENTS OR FIRELANE.
5. AREA UNDER THE CANOPY MUST DRAIN TO AN OIL/WATER SEPARATOR OR THE GREASE TRAP AS WALL AS THE DUMPSTER AREA.
6. WALLS 3' AND OVER MUST BE DESIGNED BY A LICENSED ENGINEER.
7. ALL RETAINING WALLS MUST BE ROCK OR STONE FACED.

EASEMENT LEGEND	
W.E.	WATER EASEMENT
D.E.	DRAINAGE EASEMENT
D.D.E.	DRAINAGE AND DETENTION EASEMENT
F.A.U.E	FIRE LANE, PUBLIC UTILITY & ACCESS EASEMENT

BOUNDARY LINE DATA TABLE	
L1	N 59°19'53" E 40.41'

BOUNDARY LINE CURVE DATA TABLE					
CV	DELTA	RADIUS	LENGTH	CHORD	BEARING
C1	06°48'23"	845.00'	100.38'	100.32'	S87°02'38" E
C2	00°07'47"	772.78'	1.75'	1.75'	S87°16'29"W
C3	30°19'13"	536.81'	284.07'	280.77'	S72°10'40"W

**SITE DATA SUMMARY TABLE**

ZONING (FROM ZONING MAP)	"C" COMMERCIAL
LAND USE (FROM ZONING ORDINANCE)	CONVENIENCE STORE W/GAS PUMPS
LOT AREA (SQUARE FEET & ACRES)	107,210 S.F. or 2.46 ACRES
BUILDING FOOTPRINT AREA (SQUARE FEET)	5,411 S.F.
TOTAL BUILDING AREA (SQUARE FEET)	5,411 S.F.
BUILDING HEIGHT (# STORIES)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	27'-2" (TOP OF PITCHED ROOF)
CANOPY HEIGHT	22 FEET
CANOPY THICKNESS	4 FEET
LOT COVERAGE (PERCENT)	5.05% [5,411 / 107,210]
FLOOR AREA RATIO (RATIO)	0.05:1 [5,411 / 107,210]
PARKING	
PARKING RATIO (FROM ZONING ORDINANCE)	RETAIL USE (1/250 S.F.)
REQUIRED PARKING (# SPACES)	22 SPACES [5,488 / 250]
PROVIDED PARKING (# SPACES)	46 TOTAL (14 PUMP PARKING SPACES)
ACCESSIBLE PARKING REQUIRED (# SPACES)	1 SPACES
ACCESSIBLE PARKING PROVIDED (# SPACES)	2 SPACES
LANDSCAPE AREA	
LANDSCAPE AREA PROVIDED	51,948 S.F. (48%)
OPEN SPACE PROVIDED	51,948 S.F. (48%)
IMPERVIOUS AREA	55,262 S.F. (52%)

**WATER METER SCHEDULE**

ID	TYPE	SIZE	REMARK
1	DOMESTIC	1.5"	PROPOSED
2	IRRIGATION	1"	PROPOSED

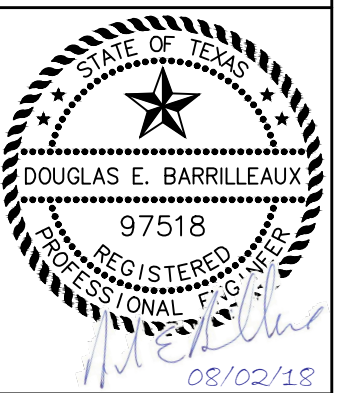
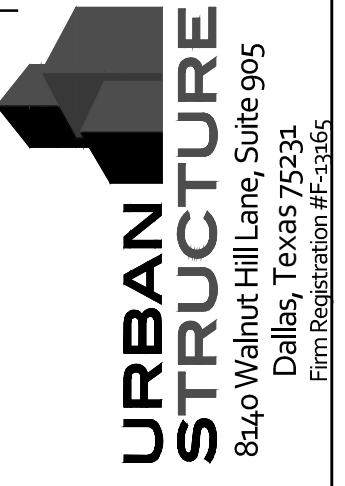
**DEVELOPER**  
RACETRAC  
URBAN STRUCTURE  
3225 CUMBERLAND BLVD., SUITE 100  
ATLANTA, GA 30339  
CONTACT: DREW CUNNINGHAM  
TEL: (770) 431-7600  
EXT.1133

**APPLICANT/ENGINEER**  
URBAN STRUCTURE  
8140 WALNUT HILL LANE, STE 905  
DALLAS, TEXAS 75231  
CONTACT: DOUGLAS BARRILLEAUX, P.E.  
TEL: (214) 295-5775

**SURVEYOR**  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: GARY E. JOHNSON, R.P.L.S.  
TEL: (214) 340-9700

**SITE PLAN**  
**WOODS AT ROCKWALL ADDITION**  
**LOT 1 & 2, BLOCK A**  
**IN THE CITY OF ROCKWALL,**  
**ROCKWALL COUNTY, TEXAS**

TEL: 214-295-5775



THESE PLANS ARE  
THE PROPERTY OF  
URBAN STRUCTURE  
FEDERAL COPYRIGHT  
LAWS: ANY USE OF  
SAME WITHOUT THE  
EXPRESS WRITTEN  
PERMISSION OF  
URBAN STRUCTURE  
PETROLEUM, INC. IS  
PROHIBITED.



**SITE PLAN**  
RACETRAC MARKET #2345  
2205 RIDGE ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS

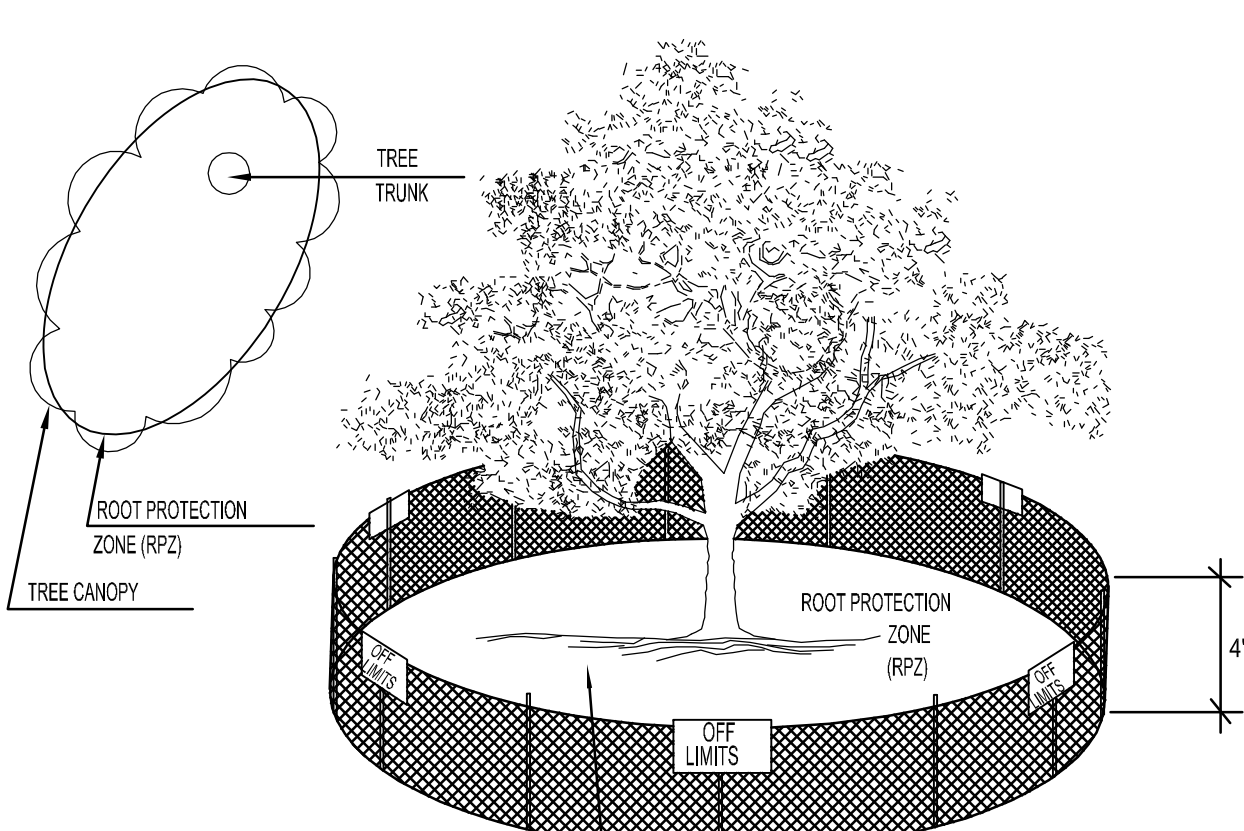
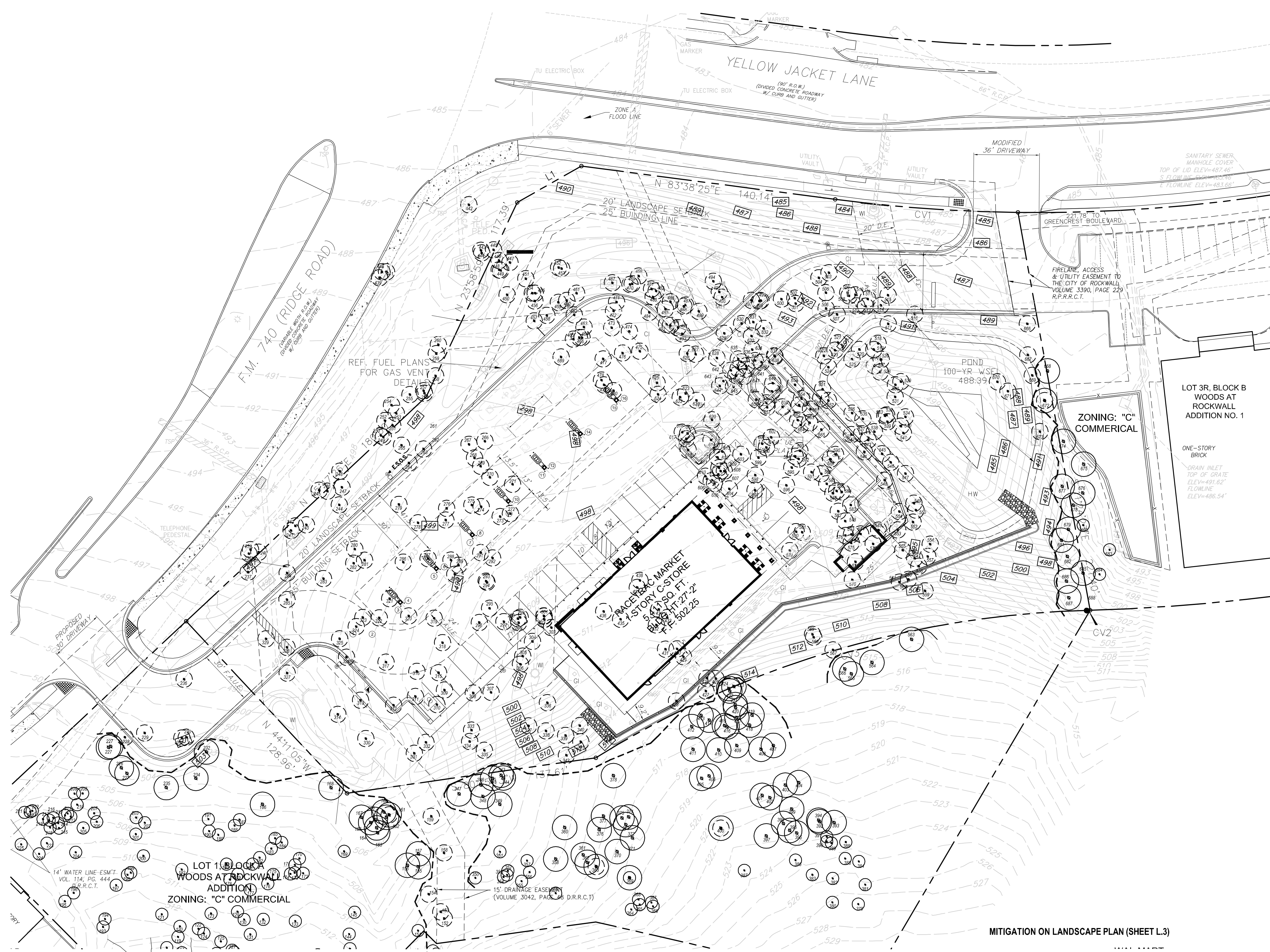
DRAWN-BY	BTD
DATE	7/20/2018
SCALE	AS SHOWN
DRAWING NAME:	C-SITE.dwg
C3	
SHEET NO.	VERSION

Lot 1, Modified: App. 05-18-16-15  
Drawing: M:\City\Projects\2017\75238 Rockwall Racetrac\ACAD\Working Files\C-SITE.dwg  
C-SITE 6/2/2018 4:26 PM







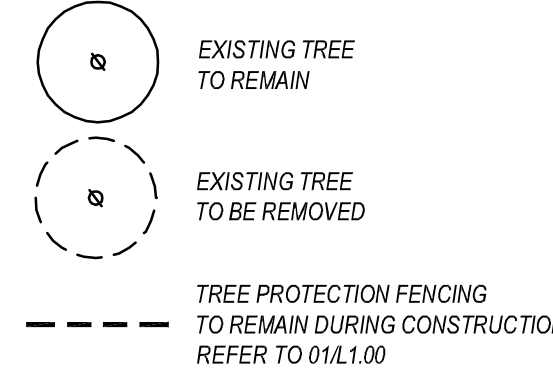


01 TREE PROTECTION FENCE A  
NOT TO SCALE

EXISTING TREE NOTES

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around drip line (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encased with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

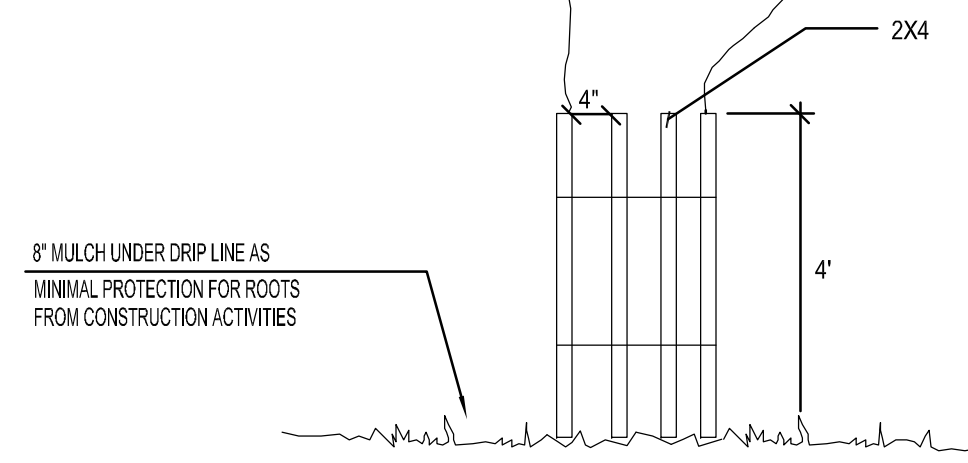
EXISTING TREE LEGEND



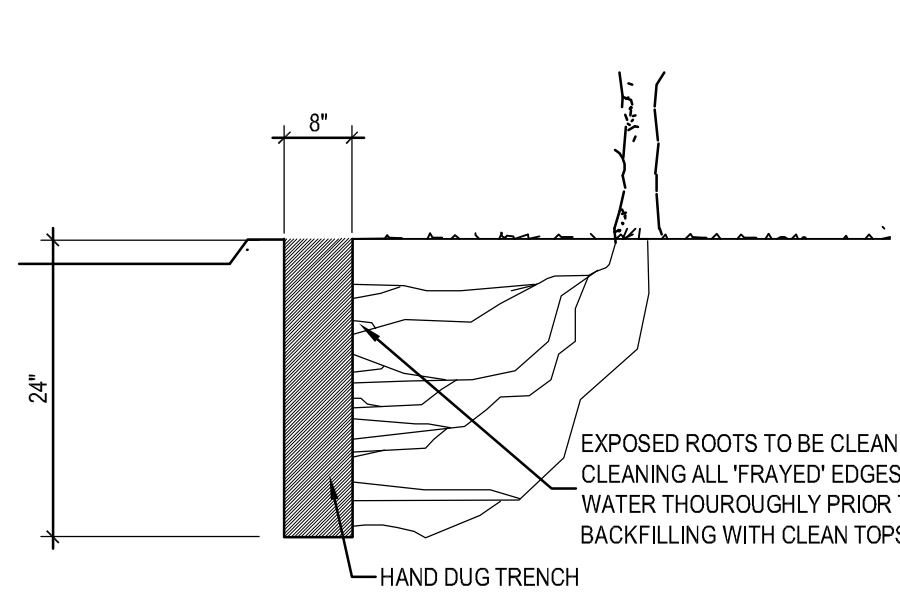
MITIGATION ON LANDSCAPE PLAN (SHEET L.3)

(15) 5" CALIPER TREES	75 CALIPER INCHES
(23) 6" CALIPER TREES	136 CALIPER INCHES
(22) TREES REQUIRED TO BE 4" CALIPER THAT ARE PROPOSED AS 6" CALIPER (22X2" OVER REQ.)	44 CALIPER INCHES
CREDIT FOR ON SITE MITIGATION	255 CALIPER INCHES
(210) NEEDLEPOINT HOLLY (210 / 5)	80 CALIPER INCHES
(422) 3 GALON SHRUBS (422 / 10)	42.2 CALIPER INCHES
(668) PURPLE WINTERCREEPER (668 / 10)	66.8 CALIPER INCHES
TOTAL CALIPER INCHES PROVIDED	464
TOTAL MITIGATION	3,013
TOTAL MITIGATION REMAINING	2,549
AMOUNT DUE PER INCH (\$125.00)	\$ 318,625

- TREE MITIGATION-  
Tree mitigation on this project is provided by:
- Increasing the size of required canopy trees from 4" caliper to 6" caliper providing 2" of mitigation for each tree.
  - Providing additional shrubs, 5 gallon in size providing 1" of mitigation for each 5 additional shrubs.
  - Providing additional shrubs 3 gallon in size providing 1" of mitigation for each 10 shrubs.
  - Providing additional ground cover 1 gallon in size providing 1" of mitigation for each 10 ground cover plants



02 TREE PROTECTION FENCE B  
NOT TO SCALE



03 ROOT PRUNING DETAIL  
N.T.S.

MITIGATION SATISFIED BY AN ALTERNATE  
TREE MITIGATION PLAN APPROVED  
BY THE CITY COUNCIL

SITE PLAN  
WOODS AT ROCKWALL ADDITION  
LOT 1 & 2, BLOCK A  
IN THE CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

01 EXISTING TREE PLAN  
SCALE: 1" = 30'-0"

DATE	8.6.18
SCALE	AS SHOWN
DRAWN-BY	BDA
DRAWING NAME:	
<b>L.O</b>	
SHEET NO.	VERSION

EXISTING TREE PLAN  
**RACETRAC MARKET #2345**  
2205 RIDGE ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS

DEVELOPER  
RACE TRAC  
3225 CUMBERLAND BLVD., SUITE 100  
ATLANTA, GA 30339  
CONTACT: DREW CUNNINGHAM  
TEL: (770) 431-7600 EXT. 1133

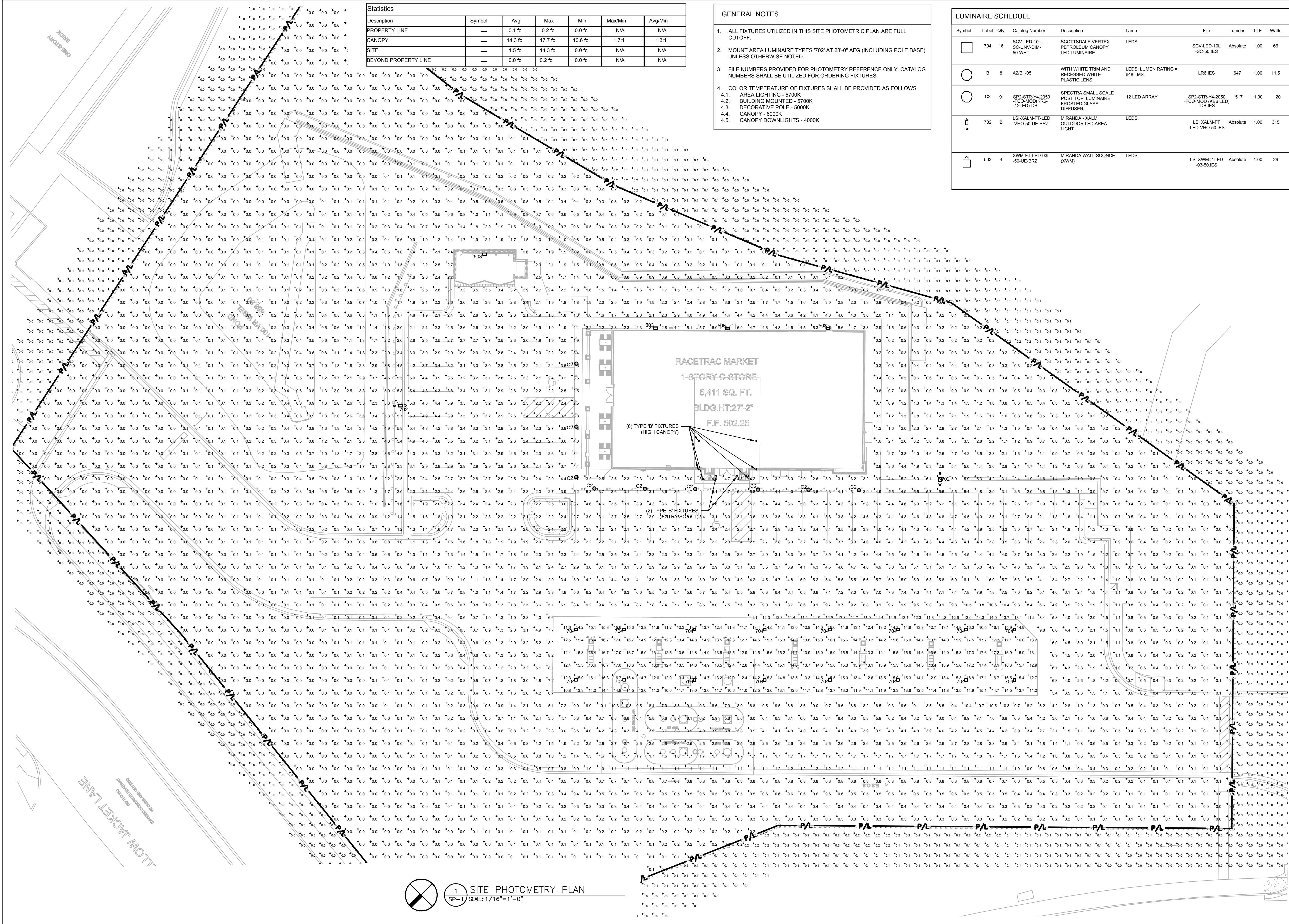
SURVEYOR  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: GARY E. JOHNSON, R.P.L.S.  
TEL: (214) 340-9700

APPLICANT/ENGINEER  
URBAN STRUCTURE  
TBPE FIRM # F-13165  
8140 WALNUT HILL LANE, STE 905  
DALLAS, TEXAS 75231  
CONTACT: DOUGLAS BARRILLEAUX, P.E.  
TEL: (214) 295-5775

smr  
landscape architects, inc.  
1708 N. Griffin Street  
Dallas, Texas 75202  
Tel 214.871.0083  
Fax 214.871.0545  
Email smr@smr-lb.com

STATE OF TEXAS  
LANDSCAPE ARCHITECT  
GARY E. JOHNSON  
8.6.18





Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
CANOPY	+	14.3 fc	17.7 fc	10.6 fc	1.7:1	1.3:1
BEYOND PROPERTY LINE	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

- GENERAL NOTES**
- ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL CUTOFF.
  - MOUNT AREA LUMINAIRE TYPES '702' AT 28'-0" AFG (INCLUDING POLE BASE) UNLESS OTHERWISE NOTED.
  - FILE NUMBERS PROVIDED FOR PHOTOMETRY REFERENCE ONLY. CATALOG NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.
  - COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS
    - AREA LIGHTING - 5700K
    - BUILDING MOUNTED - 5700K
    - DECORATIVE POLE - 5000K
    - CANOPY - 6000K
    - CANOPY DOWNLIGHTS - 4000K

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	704	16	SCV-LED-10L-SC-UNV-DIM-50-WHT	SCOTTSDALE VERTEX PETROLEUM CANOPY LED LUMINAIRE	LEDS.	SCV-LED-10L-SC-50-IES	Absolute	1.00	66
○	B	8	A2/B1-05	WITH WHITE TRIM AND RECESSED WHITE PLASTIC LENS	LEDS. LUMEN RATING = 648 LMS.	LR6-IES	647	1.00	11.5
○	C2	9	SP2-STR-Y4-2050-FCO-MOD-KR6-12LED-DB	SPECTRA SMALL SCALE POST TOP LUMINAIRE FROSTED GLASS DIFFUSER	12 LED ARRAY	SP2-STR-Y4-2050-FCO-MOD-KR6-12LED-DB-IES	1517	1.00	20
□	702	2	LSI-XALM-F-LED-VHO-50-UE-BRZ	MIRANDA-XALM OUTDOOR LED AREA LIGHT	LEDS.	LSI-XALM-F-LED-VHO-50-IES	Absolute	1.00	315
□	503	4	XWM-F-LED-03L-50-UE-BRZ	MIRANDA WALL SCONCE (XWM)	LEDS.	LSI XWM-2-LED-03-50-IES	Absolute	1.00	29

**Racetrac**  
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**DESIGN PROFESSIONALS**

**GPD GROUP, INC.**  
 520 South Main St., Suite 2531  
 Akron, OH 44311  
 330.572.2100 330.572.2101

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
10/09/15	PRELIMINARY PACKAGE
12/07/15	PRELIMINARY REVISIONS
3/21/16	PERMIT SET
12/01/16	REFRESH TO 2016 1101.12
02/15/18	REFRESH TO 2017.0808
06/21/18	PHOTOMETRIC REVISION

**Racetrac**  
 RACETRAC PETROLEUM, INC.  
 3225 CUMBERLAND BOULEVARD  
 SUITE 100  
 ATLANTA, GEORGIA 30339  
 (770) 431-7600

**PROJECT NAME**  
**ROCKWALL**

**ROCKWALL TEXAS 75087**  
 2205 RIDGE ROAD

**RACETRAC STORE NUMBER**  
**#1090**

**PROTOTYPE SERIES 5.5K**  
**2016 BR-LH-MO(-) 0301**

**PLAN MODIFICATION NOTICE**  
 SPB NO. 000 DATE 03.01.16

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

**PROJECT NUMBER**  
 2015157.03

**SHEET TITLE**  
**SITE PHOTOMETRY PLAN**

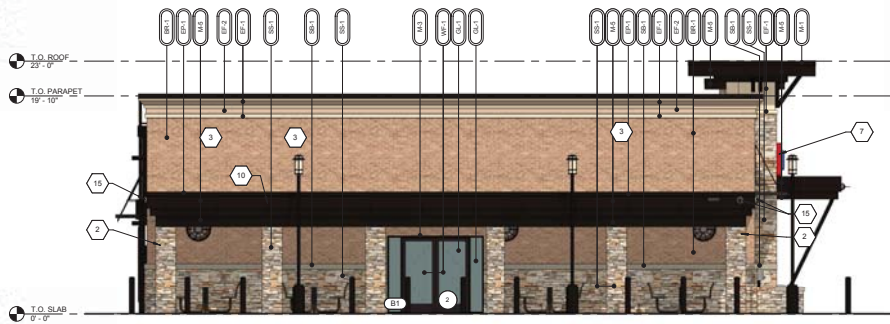
**SHEET NUMBER**  
**SP-1**

**1 SITE PHOTOMETRY PLAN**  
 SP-1 SCALE: 1/16"=1'-0"



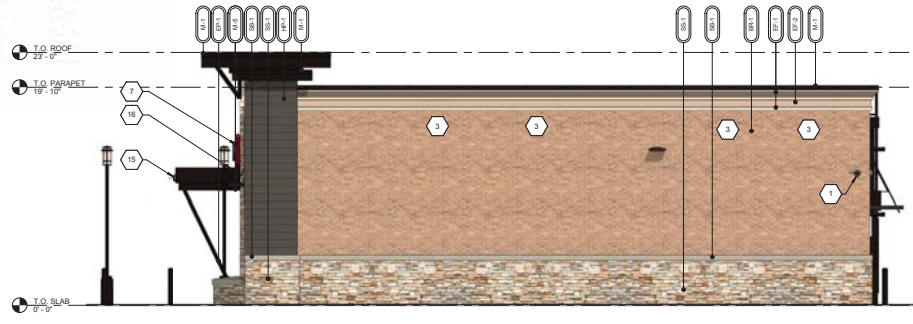






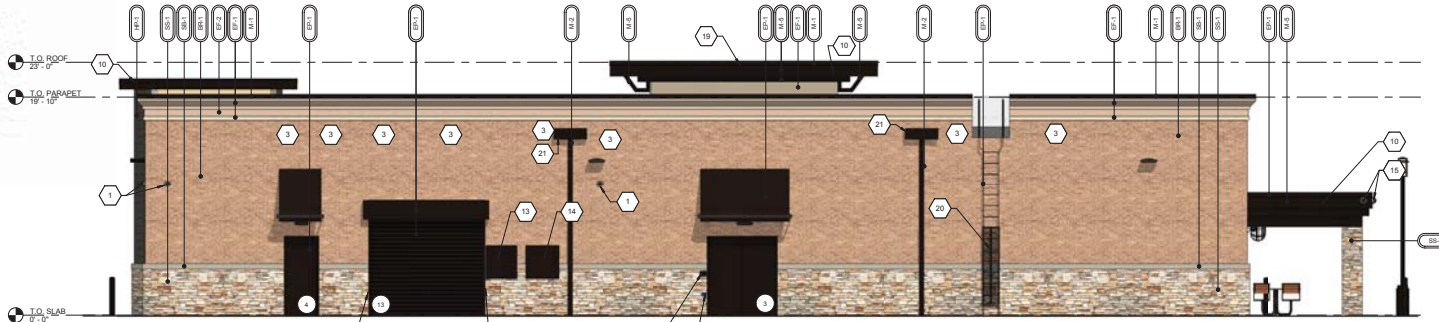
4 LEFT ELEVATION  
3/16" = 1'-0"

LEFT ELEVATION (NON-ENTRY)			4,203 TOTAL SF
MATERIAL	SQ. FOOT	% OF ELEVATION	
STONE	277	23%	
BRICK	688	57%	
EFS	99	8%	
GLAZING	0	0%	
METAL	84	8%	
WOOD	75	7%	



3 RIGHT ELEVATION  
3/16" = 1'-0"

RIGHT ELEVATION (ENTRY)			1,200 TOTAL SF
MATERIAL	SQ. FOOT	% OF ELEVATION	
STONE	289	25%	
BRICK	497	41%	
EFS	112	9%	
GLAZING	62	5%	
METAL	230	19%	
WOOD	0	0%	



2 REAR ELEVATION  
3/16" = 1'-0"

REAR ELEVATION (NON-ENTRY)			2,118 TOTAL SF
MATERIAL	SQ. FOOT	% OF ELEVATION	
STONE	289	22%	
BRICK	1,087	51%	
EFS	182	9%	
GLAZING	0	0%	
METAL	245	12%	
WOOD	15	1%	



1 FRONT ELEVATION  
3/16" = 1'-0"

SIGNAGE CONTENT IS CONCEPTUAL ONLY.

ELEVATION	SIGNAGE	DIMENSIONS
FRONT	RT PARALLELOGRAM	13'-58" x 3'-0" 40 SF
	BANNER	7'-8" x 5'-6" 42 SF

FRONT ELEVATION			2,170 TOTAL SF
MATERIAL	SQ. FOOT	% OF ELEVATION	
STONE	336	20%	
BRICK	752	34%	
EFS	181	8%	
GLAZING	331	15%	
METAL	179	8%	
WOOD	211	10%	

**GENERAL NOTES**

- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE EXPANSION JOINTS (EJ) AT ALL LOCATIONS WHERE EFS ABUTS A DISSIMILAR MATERIAL OR WHERE OTHERWISE REQUIRED BY MANUFACTURER.
- PROVIDE EXPANSION JOINTS (EJ) AS LOCATED ON EXTERIOR ELEVATIONS. SPECIFICATION FOR JOINT SEALANT SHALL BE ADOBE TAN, SLS-2 BY TRESCO.
- MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C.
- REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
- REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARING AND FOR FOUNDATIONS.
- REFER TO SELECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM-JOINT LOCATIONS.

**ELEVATION KEY NOTES**

REFER TO SECTION ON THIS SHEET

- WALL MOUNTED SECURITY CAMERA.
- 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- MECHANICAL EQUIPMENT BEYOND.
- REFER TO DETAILS FOR CAST STONE SHAPES.
- HOSE BIBB. REFER TO PLUMBING DRAWINGS.
- CEILING FAN. REFER TO SPECIFICATIONS.
- ILLUMINATED SIGN PANEL BY OWNER. PAINT SUPPORT STRUCTURE EP-1.
- BRONZE BREAK METAL WRAP AT WINDOW JAMB, TYPICAL.
- ROOFING MEMBRANE TO BE RUN UP CLEFESTORY TO UNDERSIDE OF WINDOW. REFER TO WALL SECTIONS.
- ACM PANELS REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
- INTERCOM AND SPEAKER.
- EMERGENCY FUEL SHUT OFF SWITCH. MOUNT TOP OF SIGN AT 50" A.F.F.
- LOCATION OF ELECTRICAL SERVICE CUT AND METER.
- GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
- SECURITY CAMERA MOUNTED TO FASCIA.
- OVERFLOW SPILL SCUPPER.
- PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
- SPILL SCUPPER. REFER TO DETAIL.
- PROVIDE METAL GUARD GATE AT LADDER TO 8' AFF WITH LOCKING HASP.
- 4" 0" WIDE x 1'-7" HIGH SCUPPER. REFER TO DETAILS ON SHEET A201.
- STOP STONE @ BEFORE ROUGH OPENING.

**EXTERIOR MATERIAL SCHEDULE**

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
BRICK	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
CAST STONE	CONTINENTAL CAST STONE OR APPROVED OTHER	COLOR 1102 NATURAL STONE. MORTAR COLOR "LIGHT BUFF". SEAL WITH (SLS-5) SEALANT.
CEMENT BOARD	ARTISAN V-GROOVE SIDING	PAINT SHERWIN WILLIAMS SEALSUN #7675
EFS	STO THERM CI	"FINE FINISH" APPLICATION. COLOR TO MATCH SW #6113 "INTERACTIVE CREAM"
GLAZING	INSULATED GLAZING	"FINE FINISH" APPLICATION. COLOR TO MATCH SW #6004 "SENSATIONAL SAND"
METAL	PREFINISHED* 2-Piece COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
	VISTAWALL (OR APPROVED ALTERNATE)	PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-M2C22444
	REYNOLBOND	METAL TO MATCH STOREFRONT. COLOR DARK BRONZE
	VERSATEX	WPA TONGUE AND GROOVE PAINT INTERACTIVE CREAM
PAINT	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
ROOFING	DURO DURLAST	50 MIL MEMBRANE ROOFING SYSTEM WHITE; MECHANICALLY FASTENED
STACKED STONE	SS-1	GRAY GRANBURY QUARRY STONE CHOPPED DIMENSIONAL LIMESTONE 3"-9" BED DEPTH. WET STACK APPLICATION. MORTAR COLOR "LIGHT BUFF"
	SS-1	GRAY GRANBURY QUARRY STONE CHOPPED DIMENSIONAL LIMESTONE CUT TO SIZE PER DETAILS. MORTAR COLOR "LIGHT BUFF"
WINDOW FILM	WF-1	WINDOW FILM "3M" PRESTIGE TO SOLAR
	WF-2	WINDOW FILM "OPAQUE"

**RaceTrac**  
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**DESIGN PROFESSIONALS**

**GPD GROUP**  
 Professional Corporation  
 520 SOUTH MAIN STREET, SUITE 2531  
 AKRON, OHIO 44311  
 330.572.2100 FAX: 330.572.2701

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
03/24/16	PERMIT SET
12/01/16	REFRESH TO 2016 1101.012
05/05/17	REV. 1 - BLDG DEPT
02/16/18	REFRESH TO 2017 0808
03/30/18	ELEVATION UPDATES

**RaceTrac**  
RACETRAC PETROLEUM, INC.  
 200 GALLERIA PARKWAY SOUTHWEST  
 SUITE 800  
 ATLANTA, GEORGIA 30339  
 (770) 431-7600

**PROJECT NAME**  
**ROCKWALL**  
**ROCKWALL TX 75087**  
**2205 RIDGE ROAD**

**RACETRAC STORE NUMBER**  
**#1090**  
 PROTOTYPE SERIES 5.5K  
**2016 BR-LH-MO-ALT 0301**  
**PLAN MODIFICATION NOTICE**  
 SPB NO. XXXX DATE 03.01.16

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET WHEN NEEDED. THE LISTED SPB REPRESENTS THE LATEST MODIFICATIONS INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE LATEST BULLETIN RECORD NUMBER APPEARS IN THIS SET AFTER THE ORIGINAL RELEASE. CHECK EACH BULLETIN FOR ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT MODIFICATIONS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

06/22/18

**PROJECT NUMBER**  
 2015157.03

**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

**SHEET NUMBER**  
**A300B**

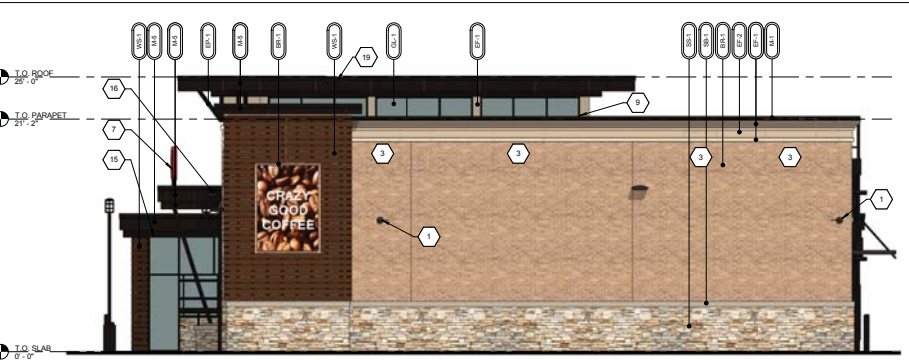




**LEFT ELEVATION** 1,320 TOTAL SF

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	148	11%
BRICK	306	23%
EIFS	104	8%
GLAZING	388	29%
METAL	244	18%
WOOD	110	8%

**3 LEFT ELEVATION**  
 3/16" = 1'-0"



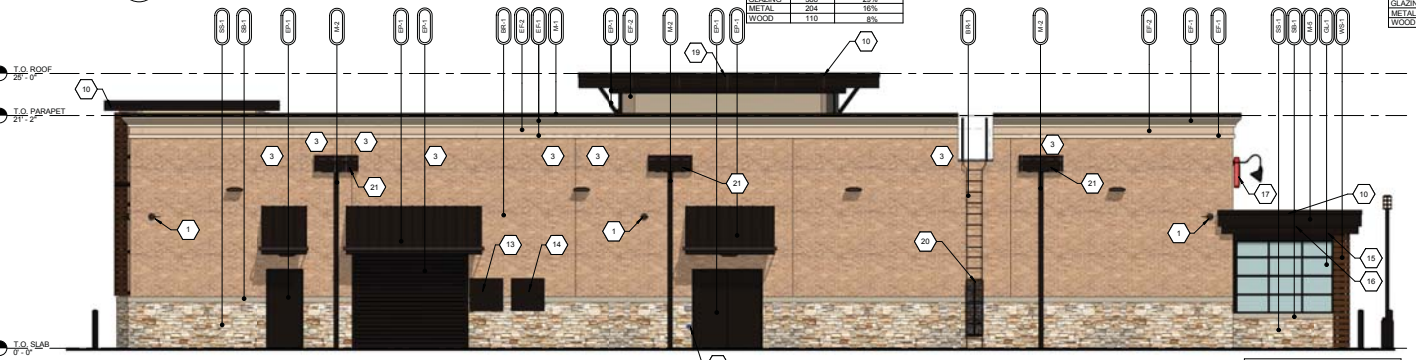
**RIGHT ELEVATION** 1,228 TOTAL SF

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	206	17%
BRICK	711	57%
EIFS	86	7%
GLAZING	0	0%
METAL	35	3%
WOOD	143	12%

**2 RIGHT ELEVATION**  
 3/16" = 1'-0"

ELEVATION	SIGNAGE	DIMENSIONS	AREA
FRONT	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF
	BANNER	7'-8" X 6'-6"	42 SF
RIGHT	BANNER	7'-8" X 6'-6"	42 SF
LEFT	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF

- ELEVATION KEY NOTES**
- 1 WALL MOUNTED SECURITY CAMERA
  - 2 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
  - 3 MECHANICAL EQUIPMENT BEYOND
  - 4 REFER TO DETAILS FOR CAST STONE SHAPES.
  - 5 HOSE BIBB. REFER TO PLUMBING DRAWINGS.
  - 6 PATIO CEILING FANS IN CEILING BEYOND. REFER TO REFLECTED CEILING PLAN AND SPECIFICATIONS.
  - 7 ILLUMINATED SIGN PANEL BY OWNER MOUNTED ON MINIMUM 4" STEEL TUBES OR HSS TUBES. PAINT EP-1.
  - 8 BRONZE BREAK METAL WRAP AT WINDOW JAMB. TYPICAL.
  - 9 EPDM ROOFING TO BE RUN UP CLEARESTORY TO UNDERSIDE OF WINDOW. REFER TO WALL SECTIONS & DETAIL 2/4/31.
  - 10 ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
  - 11 3" SQUARE METAL DOWNSPOUT ATTACHED TO WALL WITH BRACKETS. REFER TO CIVIL FOR CONNECTIONS.
  - 12 EMERGENCY FUEL SHUT OFF SWITCH. MOUNT TOP OF SIGN AT 50" AFF.
  - 13 LOCATION OF ELECTRICAL SERVICE C/T AND METER.
  - 14 GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
  - 15 SECURITY CAMERA MOUNTED ON SOFFIT OF PATIO SEATING AREA.
  - 16 OVERFLOW SPILL SCUPPER.
  - 17 ILLUMINATED SIGN PANEL BY OWNER MOUNTED TO WALL. PANT ATTACHMENTS EP-1.
  - 18 PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
  - 19 SPILL SCUPPER. REFER TO DETAIL.
  - 20 PROVIDE METAL GUARD GATE AT LOADER TO AFF WITH LOCKING HASP.
  - 21 4'-0" WIDE X 11'-0" HIGH SCUPPER. REFER TO DETAILS ON SHEET A201.
  - 22 OPERABLE GARAGE DOOR SYSTEM.
  - 23 ORANGE WINDOW CLINGS BY RACETRAC.
  - 24 WELCOME SIGN.



**REAR ELEVATION** 2,272 TOTAL SF

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	404	18%
BRICK	1396	61%
EIFS	182	8%
GLAZING	60	3%
METAL	294	13%
WOOD	16	1%

**4 REAR ELEVATION**  
 3/16" = 1'-0"



**FRONT ELEVATION** 2,418 TOTAL SF

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	209	9%
BRICK	887	37%
EIFS	147	6%
GLAZING	650	27%
METAL	222	9%
WOOD	220	9%

**1 FRONT ELEVATION**  
 3/16" = 1'-0"

**EXTERIOR MATERIAL SCHEDULE**

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
AW-1	BRICK	
BR-1	BORAL	LAREDO BRICK
BR-2	BORAL	MORTAR COLOR "LIGHT BUFF"
CAST STONE	MATCH BORAL TUSCAN LITTEL CHAMPAGNE	COLOR 1102 NATURAL STONE. MORTAR COLOR "LIGHT BUFF"
CS-1	CONTINENTAL CAST STONE OR APPROVED OTHER	
EIFS		
EIF-1	STO	STO THERM GJ
EIF-2	STO	STO THERM GJ
GLAZING		
GL-1	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGLU AT ST DRE-FRONT 0.27 U-FACTOR, SHGC PFG 2540 27 1/4" PFG SOLARBAN 70-XL LOW-E #2 + 1/2" AIR + 1/4" CLEAR
GL-2	1" NON-IMPACT RATED ACID ETCHED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGLU AT ST DRE-FRONT 0.27 U-FACTOR, SHGC PFG 2540 27 1/4" PFG SOLARBAN 70-XL LOW-E #2 + 1/2" AIR + 1/4" CLEAR SATIN ETCH #3
METAL		
M-1	PREFINISHED 2" PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-2	COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VSTAWALL	FG-3000 STOREFRONT SYSTEM
M-4	REYNOLBOND	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-7	VERSATEX	NYR TONGUE AND GROOVE
PAINT		
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
EP-2	SHERWIN WILLIAMS	EXTERIOR PAINT AS SELECTED BY RACETRAC
ROOFING		
EPD	DUROLAST	50 ML MEMBRANE ROOFING SYSTEM
EIFS		
SS-1	BORAL	ASPEN COUNTRY LEDGESTONE
STONE BAND	BORAL	TUSCAN LITTEL CHAMPAGNE
SB-1	BORAL	MORTAR COLOR "LIGHT BUFF"
WOOD SLATS		
WS-1	COMPACTWOOD	1 1/2" THICKNESS WALNUT GC "CW-GCWL-S-0410-12"

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
3/22/18	UPDATED

**PROJECT NAME**  
**ANYTOWN, CITY**

**STATE 0000**  
**ADDRESS**

**RACETRAC STORE NUMBER**  
**#000**  
 PROTOTYPE SERIES S-SK  
**2016 BR-LH-M0(-) 0301**  
**PLAN MODIFICATION NOTICE**  
 SPB NO. XXXX DATE (03.01.16)

STANDARD PLAN BELIEVES SPDS MEET THE LATEST SPDS REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROJECT'S DESIGN. IT IS THE USER'S RESPONSIBILITY TO VERIFY THE LATEST REVISION RECORD COLOR ABOVE LISTS ANY REVISIONS OR SPDS INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BUILDING SET MODIFICATIONS.

**PROFESSIONAL SEAL**

**PROJECT NUMBER**  
 2015127-XX

**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

**SHEET NUMBER**

**A300B**

Approved Elevations with Compact Wood



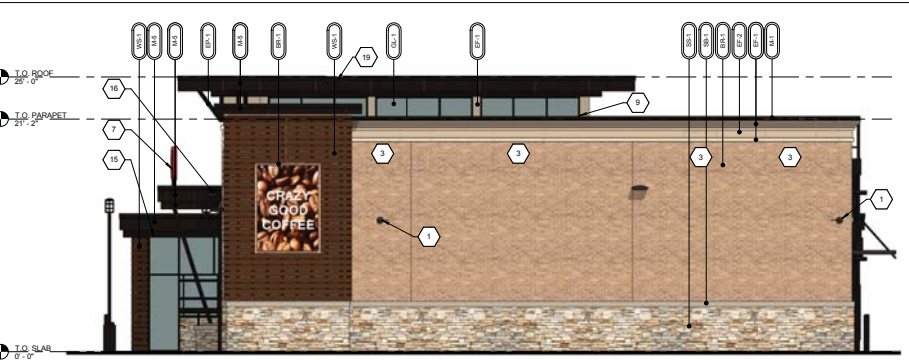






**3 LEFT ELEVATION**  
 3/16" = 1'-0"

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	148	11%
BRICK	306	23%
EFS	104	8%
GLAZING	388	29%
METAL	244	19%
WOOD	110	8%



**2 RIGHT ELEVATION**  
 3/16" = 1'-0"

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	206	21%
BRICK	711	57%
EFS	86	7%
GLAZING	0	0%
METAL	32	3%
WOOD	143	12%

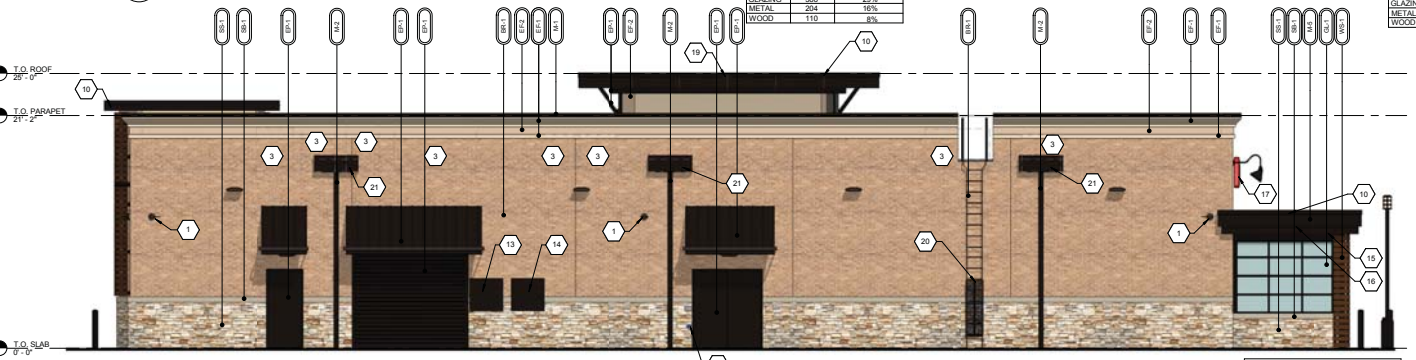
ELEVATION	SIGNAGE	DIMENSIONS	AREA
FRONT	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF
	BANNER	7'-8" X 6'-6"	42 SF
RIGHT	BANNER	7'-8" X 6'-6"	42 SF
LEFT	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF

**ELEVATION KEY NOTES**

- 1 WALL MOUNTED SECURITY CAMERA
- 2 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- 3 MECHANICAL EQUIPMENT BEYOND
- 4 REFER TO DETAILS FOR CAST STONE SHAPES.
- 5 HOSE BIBB. REFER TO PLUMBING DRAWINGS.
- 6 PATIO CEILING FANS IN CEILING BEYOND. REFER TO REFLECTED CEILING PLAN AND SPECIFICATIONS.
- 7 ILLUMINATED SIGN PANEL BY OWNER MOUNTED ON MINIMUM 4" STEEL TUBES OR HSS TUBES. PAINT EPI-1.
- 8 BRONZE BREAK METAL WRAP AT WINDOW JAMB. TYPICAL.
- 9 EPDM ROOFING TO BE RUN UP CLEARESTORY TO UNDERSIDE OF WINDOW. REFER TO WALL SECTIONS & DETAIL 2/4/31.
- 10 ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
- 11 3" SQUARE METAL DOWNSPOUT ATTACHED TO WALL WITH BRACKETS. REFER TO CIVIL FOR CONNECTIONS.
- 12 EMERGENCY FUEL SHUT OFF SWITCH. MOUNT TOP OF SIGN AT 50" AFF.
- 13 LOCATION OF ELECTRICAL SERVICE C/T AND METER.
- 14 GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
- 15 SECURITY CAMERA MOUNTED ON SOFFIT OF PATIO SEATING AREA.
- 16 OVERFLOW SPILL SCUPPER.
- 17 ILLUMINATED SIGN PANEL BY OWNER MOUNTED TO WALL. PANT ATTACHMENTS EPI-1.
- 18 PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
- 19 SPILL SCUPPER. REFER TO DETAIL.
- 20 PROVIDE METAL GUARD GATE AT LOADER TO AFF WITH LOCKING HASP.
- 21 4'-0" WIDE X 11" HIGH SCUPPER. REFER TO DETAILS ON SHEET A201.
- 22 OPERABLE GARAGE DOOR SYSTEM.
- 23 ORANGE WINDOW CLINGS BY RACETRAC.
- 24 WELCOME SIGN.

**EXTERIOR MATERIAL SCHEDULE**

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
AW-1	ALUMINUM AWNING	SELECTED BY RACETRAC
BR-1	BORAL	LAREDO BRICK
BR-1	BORAL	MORTAR COLOR "LIGHT BUFF"
CAST STONE	MATCH BORAL TUSCAN LITTEL CHAMPAGNE	COLOR 1102 NATURAL STONE. MORTAR COLOR "LIGHT BUFF"
CS-1	CONTINENTAL CAST STONE OR APPROVED OTHER	
EFS	SITO THERM GJ	"FINE FINISH" APPLICATION. COLOR TO MATCH SW #6013 "INTERACTIVE CREAM"
EP-2	SITO	SITO THERM GJ
EP-2	SITO	"FINE FINISH" APPLICATION. COLOR TO MATCH SW #6094 "SENSATIONAL SAND"
GL-1	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGLU AT ST DRE-FRONT 0.27 U-FACTOR. SHGC P/F= 25/40 27 1/4" PPG SOLARBAN 70-XL LOW-E #2 + 1/2" AIR + 1/4" CLEAR
GL-2	1" NON-IMPACT RATED ACID ETCHED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGLU AT ST DRE-FRONT 0.27 U-FACTOR. SHGC P/F= 25/40 27 1/4" PPG SOLARBAN 70-XL LOW-E #2 + 1/2" AIR + 1/4" CLEAR SATIN (ETCH #3)
METAL		
M-1	PREFINISHED 2" PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-2	COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VSTAWALL	FG-3000 STOREFRONT SYSTEM
M-4	REYNOLBOND	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-5	VERSATEX	HYR TONGUE AND GROOVE
PAINT		
EP1	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
EP2	SHERWIN WILLIAMS	EXTERIOR PAINT AS SELECTED BY RACETRAC
ROOFING		
EP1	DUROLAST	50 ML MEMBRANE ROOFING SYSTEM
EP2	DUROLAST	WHITE; MECHANICALLY FASTENED
STONE BAND	ASPEN COUNTRY LEDGESTONE	WET STACK APPLICATION. MORTAR COLOR "LIGHT BUFF"
SB-1	BORAL	TUSCAN LITTEL CHAMPAGNE
SB-1	BORAL	MORTAR COLOR "LIGHT BUFF"
WOOD SLATS		
WS-1	COMPACTWOOD	1 1/2" THICKNESS WALNUT GC "CW-GCWL-S-0410-12"



**4 REAR ELEVATION**  
 3/16" = 1'-0"

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	404	18%
BRICK	1396	59%
EFS	182	8%
GLAZING	60	3%
METAL	259	11%
WOOD	16	1%



**1 FRONT ELEVATION**  
 3/16" = 1'-0"

MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	209	21%
BRICK	667	28%
EFS	147	6%
GLAZING	650	27%
METAL	222	6%
WOOD	220	6%

Approved Elevations with Compact Wood

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
3/22/18	UPDATED

**PROJECT NAME**  
**ANYTOWN, CITY**

**STATE 0000**  
**ADDRESS**

**RACETRAC STORE NUMBER**  
**#000**

**PROTOTYPE SERIES S-SK**  
**2016 BR-LH-M0(-) 0301**  
**PLAN MODIFICATION NOTICE**  
 SPB NO. XXXX DATE (3.01.18)

STANDARD PLAN BELIEVES SPDS SHOULD BE USED. THE LISTED SPDS REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROJECT'S SERIES. IT IS THE USER'S RESPONSIBILITY TO VERIFY THE LATEST REVISION RECORD COLOR ABOVE LISTS ANY REVISIONS OR SPDS INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BELIEFS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

**PROJECT NUMBER**  
 2015127-XX

**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

**SHEET NUMBER**

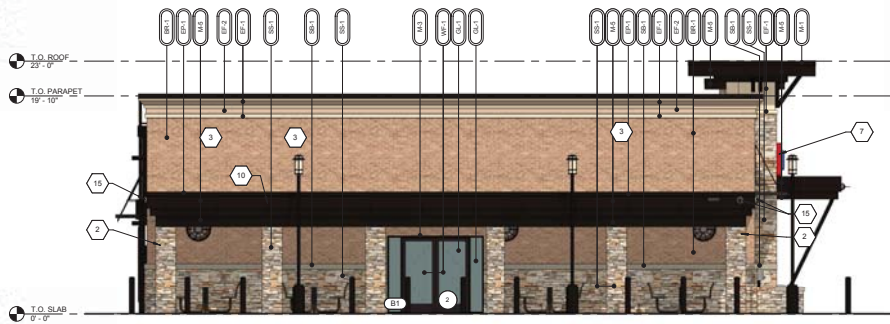
**A300B**



Approved Color Rendering  
with Compact Wood

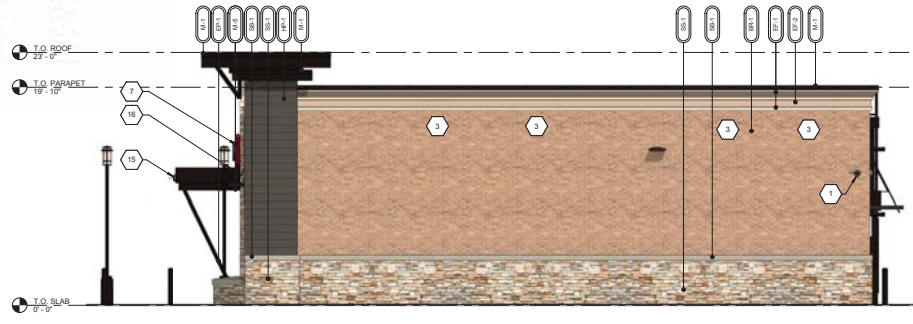






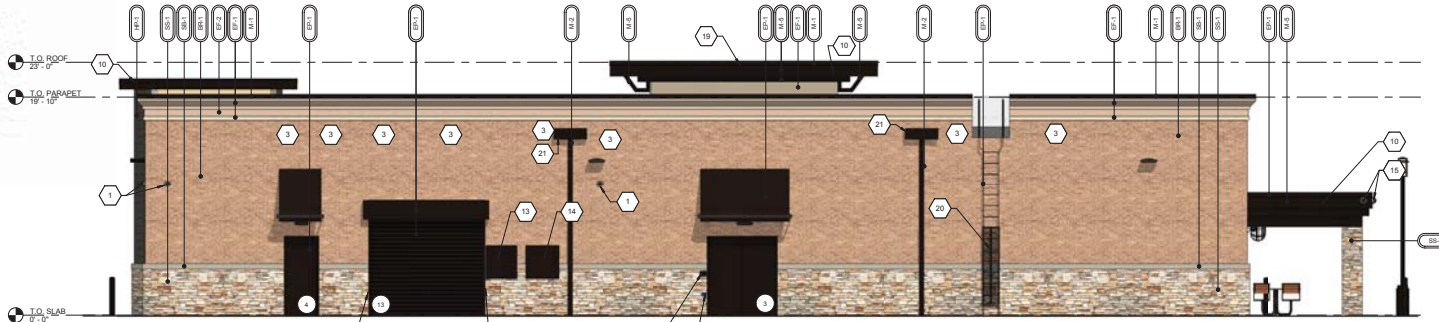
4 LEFT ELEVATION  
3/16" = 1'-0"

LEFT ELEVATION (NON-ENTRY)			4,203 TOTAL SF
MATERIAL	SQ. FOOT	% OF ELEVATION	
STONE	277	23%	
BRICK	688	57%	
EFS	99	8%	
GLAZING	0	0%	
METAL	84	8%	
WOOD	75	7%	



3 RIGHT ELEVATION  
3/16" = 1'-0"

RIGHT ELEVATION (ENTRY)			1,200 TOTAL SF
MATERIAL	SQ. FOOT	% OF ELEVATION	
STONE	289	25%	
BRICK	497	41%	
EFS	112	9%	
GLAZING	62	5%	
METAL	230	19%	
WOOD	0	0%	



2 REAR ELEVATION  
3/16" = 1'-0"

REAR ELEVATION			2,118 TOTAL SF
MATERIAL	SQ. FOOT	% OF ELEVATION	
STONE	289	22%	
BRICK	1,087	51%	
EFS	182	9%	
GLAZING	0	0%	
METAL	245	12%	
WOOD	15	1%	



1 FRONT ELEVATION  
3/16" = 1'-0"

SIGNAGE CONTENT IS CONCEPTUAL ONLY.

ELEVATION	SIGNAGE	DIMENSIONS	
FRONT	RT PARALLELOGRAM	13'-58" x 3'-0"	40 SF
	BANNER	7'-8" x 5'-6"	42 SF

FRONT ELEVATION			2,170 TOTAL SF
MATERIAL	SQ. FOOT	% OF ELEVATION	
STONE	336	20%	
BRICK	752	34%	
EFS	181	8%	
GLAZING	331	15%	
METAL	179	8%	
WOOD	211	10%	

**GENERAL NOTES**

- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE EXPANSION JOINTS (EJ) AT ALL LOCATIONS WHERE EFS ABUTS A DISSIMILAR MATERIAL OR WHERE OTHERWISE REQUIRED BY MANUFACTURER.
- PROVIDE EXPANSION JOINTS (EJ) AS LOCATED ON EXTERIOR ELEVATIONS. SPECIFICATION FOR JOINT SEALANT SHALL BE ADOBE TAN, SLS-2 BY TRESCO.
- MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C.
- REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
- REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARING AND FOR FOUNDATIONS.
- REFER TO SELECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM-JOINT LOCATIONS.

**ELEVATION KEY NOTES**

REFER TO SECTION ON THIS SHEET

- WALL MOUNTED SECURITY CAMERA.
- 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- MECHANICAL EQUIPMENT BEYOND.
- REFER TO DETAILS FOR CAST STONE SHAPES.
- HOSE BIBB. REFER TO PLUMBING DRAWINGS.
- CEILING FAN. REFER TO SPECIFICATIONS.
- ILLUMINATED SIGN PANEL BY OWNER. PAINT SUPPORT STRUCTURE EP-1.
- BRONZE BREAK METAL WRAP AT WINDOW JAMB, TYPICAL.
- ROOFING MEMBRANE TO BE RUN UP CLEFESTORY TO UNDERSIDE OF WINDOW. REFER TO WALL SECTIONS.
- ACM PANELS REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
- INTERCOM AND SPEAKER.
- EMERGENCY FUEL SHUT OFF SWITCH. MOUNT TOP OF SIGN AT 50" A.F.F.
- LOCATION OF ELECTRICAL SERVICE CUT AND METER.
- GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
- SECURITY CAMERA MOUNTED TO FASCIA.
- OVERFLOW SPILL SCUPPER.
- PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
- SPILL SCUPPER. REFER TO DETAIL.
- PROVIDE METAL GUARD GATE AT LADDER TO 8' AFF WITH LOCKING HASP.
- 4'-0" WIDE x 1'-7" HIGH SCUPPER. REFER TO DETAILS ON SHEET A201.
- STOP STONE @ BEFORE ROUGH OPENING.

**EXTERIOR MATERIAL SCHEDULE**

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
BRICK	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
CAST STONE	CONTINENTAL CAST STONE OR APPROVED OTHER	COLOR 1102 NATURAL STONE. MORTAR COLOR "LIGHT BUFF". SEAL WITH (SLS-5) SEALANT.
CEMENT BOARD	ARTISAN V-GROOVE SIDING	PAINT SHERWIN WILLIAMS SEALSUN #7675
EFS	STO THERM CI	"FINE FINISH" APPLICATION. COLOR TO MATCH SW #6113 "INTERACTIVE CREAM"
GLAZING	INSULATED GLAZING	"FINE FINISH" APPLICATION. COLOR TO MATCH SW #6004 "SENSATIONAL SAND"
METAL	PREFINISHED* 2-Piece COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
	VISTAWALL (OR APPROVED ALTERNATE)	PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-M2C22444
	REYNOLBOND	METAL TO MATCH STOREFRONT. COLOR DARK BRONZE
	VERSATEX	WPA TONGUE AND GROOVE. PAINT INTERACTIVE CREAM
PAINT	SHERWIN WILLIAMS	MATCH DARK BRONZE
ROOFING	DURO DURLAST	50 MIL MEMBRANE ROOFING SYSTEM. WHITE. MECHANICALLY FASTENED
STACKED STONE	GRAY GRANBURY QUARRY STONE CHOPPED	DIMENSIONAL LIMESTONE 3"-9" BED DEPTH. WET STACK APPLICATION. MORTAR COLOR "LIGHT BUFF"
	GRAY GRANBURY QUARRY STONE CHOPPED	DIMENSIONAL LIMESTONE CUT TO SIZE PER DETAILS. MORTAR COLOR "LIGHT BUFF"
WINDOW FILM	WFF-1	WINDOW FILM "3M" PRESTIGE TO SOLAR FILM
	WFF-2	WINDOW FILM "OPAQUE"

**RaceTrac**  
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**DESIGN PROFESSIONALS**

**GPD GROUP**  
 Professional Corporation  
 520 SOUTH MAIN STREET, SUITE 2531  
 AKRON, OHIO 44311  
 330.572.2100 FAX: 330.572.2701

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
03/24/16	PERMIT SET
12/01/16	REFER TO 2016 1101.012
05/05/17	REV. 1 - BLDG DEPT
02/16/18	REVISION TO 2017 0008
03/30/18	ELEVATION UPDATES

**RaceTrac**  
RACETRAC PETROLEUM, INC.  
 200 GALLERIA PARKWAY SOUTHWEST  
 SUITE 900  
 ATLANTA, GEORGIA 30339  
 (770) 433-7600

**PROJECT NAME**  
**ROCKWALL**  
**ROCKWALL TX 75087**  
**2205 RIDGE ROAD**

**RACETRAC STORE NUMBER**  
**#1090**  
 PROTOTYPE SERIES 5.5K  
**2016 BR-LH-MO-ALT 0301**  
**PLAN MODIFICATION NOTICE**  
 SPB NO. XXXX DATE 03.01.16

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET WHEN NEEDED. THE LISTED SPB REPRESENTS THE LATEST MODIFICATIONS INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE LATEST BULLETIN RECORD NUMBER APPEARS IN THIS SET AFTER THE ORIGINAL RELEASE. CHECK EACH BULLETIN NUMBER AND CONTENTION FOR ANY SUBSEQUENT MODIFICATIONS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

06/22/18

**PROJECT NUMBER**  
 2015157.03

**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

**SHEET NUMBER**  
**A300B**



ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/24/16	PERMIT SET
12/01/16	REFRESH TO 2016 1101.012
05/05/17	REV. 1 - BLDG DEPT COMMENTS
02/16/18	REFRESH TO 2017.0808
05/30/18	ELEVATION UPDATES
08/10/18	ELEVATION UPDATES

PROJECT NAME

**ROCKWALL**

**ROCKWALL  
 TX 75087  
 2205 RIDGE ROAD**

RACETRAC STORE NUMBER

**#1090**

PROTOTYPE SERIES 5.5K  
 2016 BR-LH-MO-ALT 0301

PLAN MODIFICATION NOTICE

SPB NO. XXXX DATE 03.01.16

STANDARD PLAN BULLETINS (SPB) MODIFY THE  
 PROTOTYPE SERIES SET NOTED ABOVE. THE  
 LISTED SPB REPRESENTS THE LATEST  
 MODIFICATION INCORPORATED TO THIS  
 PROTOTYPE SERIES SET AT ORIGINAL RELEASE.  
 THE ISSUE/REVISION RECORD COLUMN ABOVE  
 LISTS ANY REVISIONS OR SPB INCORPORATED  
 IN THIS SET AFTER THE ORIGINAL RELEASE.  
 CONTACT RACETRAC ENGINEERING AND  
 CONSTRUCTION FOR ANY SUBSEQUENT  
 BULLETINS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL

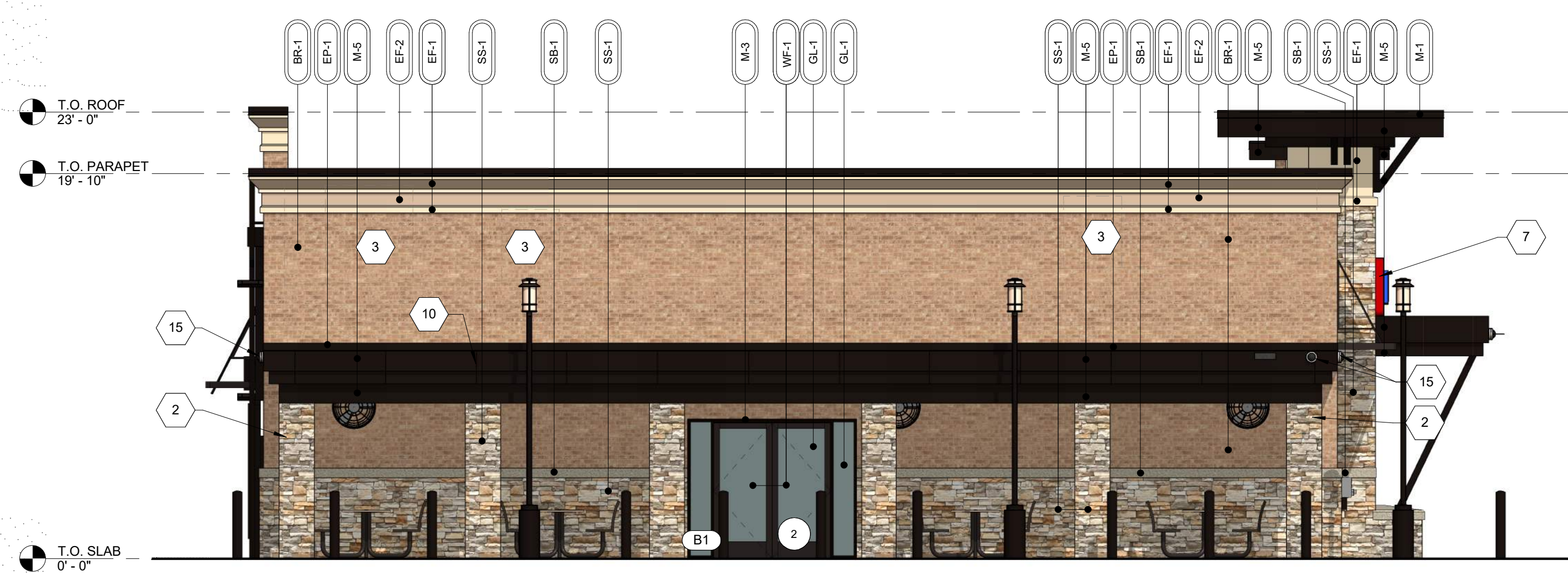
PROJECT NUMBER  
 2015157.03

SHEET TITLE

**EXTERIOR  
 ELEVATIONS**

SHEET NUMBER

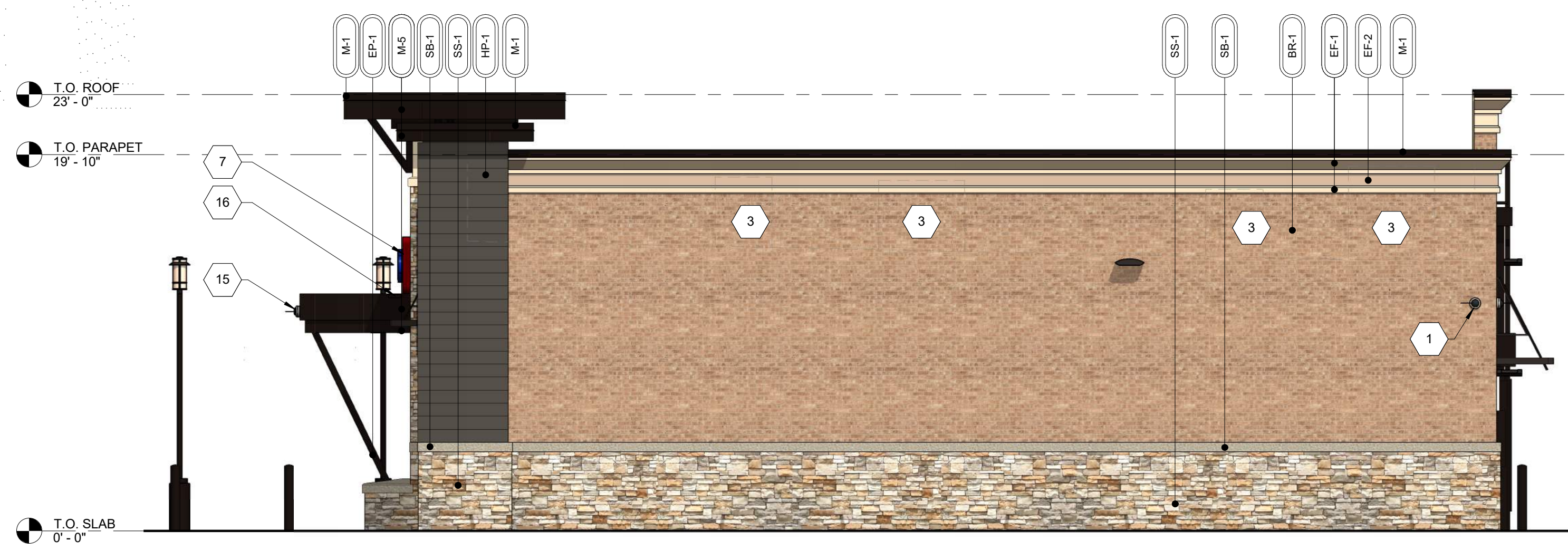
**A300B**



**4 LEFT ELEVATION**  
 3/16" = 1'-0"

**LEFT ELEVATION (ENTRY)** 1,200 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	299	25%
BRICK	498	41%
EIFS	113	9%
GLAZING	62	6%
METAL	230	19%
FIBER CEMENT	0	0%



**3 RIGHT ELEVATION**  
 3/16" = 1'-0"

**RIGHT ELEVATION (NON-ENTRY)** 1,203 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	277	23%
BRICK	669	57%
EIFS	100	8%
GLAZING	0	0%
METAL	64	5%
FIBER CEMENT	75	7%

GENERAL NOTES

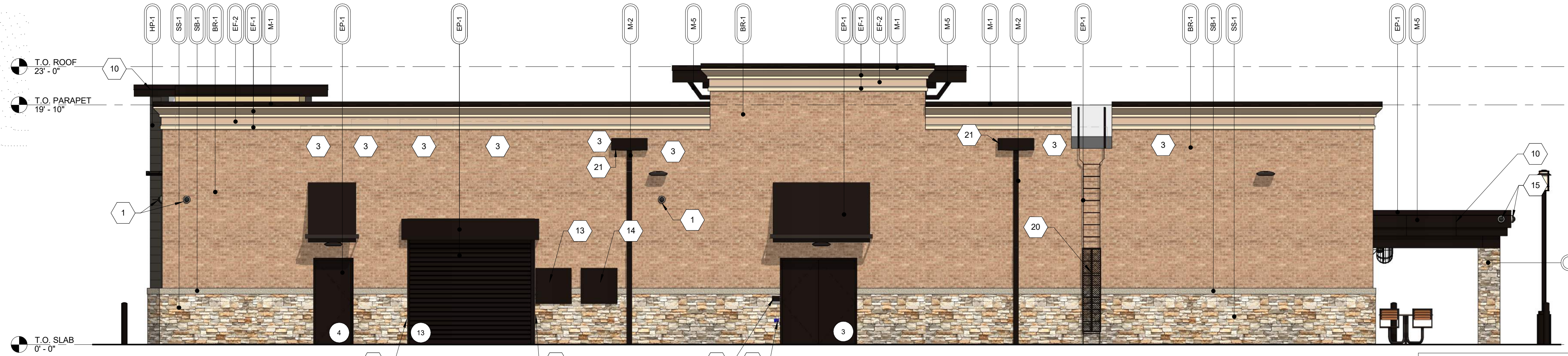
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE EXPANSION JOINTS (EJ) AT ALL LOCATIONS WHERE EIFS ABUTS A DISSIMILAR MATERIAL OR WHERE OTHERWISE REQUIRED BY MANUFACTURER.
- PROVIDE EXPANSION JOINTS (EJ) AS LOCATED ON EXTERIOR ELEVATIONS. SPECIFICATION FOR JOINT SEALANT SHALL BE 'ADOBE TAN' SL-2 BY TREMCO.
- MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C.
- REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
- REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARINGS AND FOR FOUNDATIONS.
- REFER TO REFLECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM JOINT LOCATIONS.

ELEVATION KEY NOTES

- REFER TO SHEET A301 FOR KEYNOTES NOT SHOWN ON THIS SHEET.
- WALL MOUNTED SECURITY CAMERA.
  - 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
  - MECHANICAL EQUIPMENT BEYOND.
  - REFER TO DETAILS FOR CAST STONE SHAPES.
  - HOSE BIBB; REFER TO PLUMBING DRAWINGS.
  - CEILING FAN; REFER TO SPECIFICATIONS.
  - ILLUMINATED SIGN PANEL BY OWNER; PAINT SUPPORT STRUCTURE EP-1.
  - BRONZE BREAK METAL WRAP AT WINDOW JAMBS, TYPICAL.
  - ROOFING MEMBRANE TO BE RUN UP CLERESTORY TO UNDERSIDE OF WINDOW. REFER TO WALL SECTION.
  - ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
  - INTERCOM AND SPEAKER.
  - EMERGENCY FUEL SHUT OFF SWITCH. MOUNT TOP OF SIGN AT 50" A.F.F.
  - LOCATION OF ELECTRICAL SERVICE C/T AND METER.
  - GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
  - SECURITY CAMERA MOUNTED TO FASCIA.
  - OVERFLOW SPILL SCUPPER.
  - PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
  - SPILL SCUPPER. REFER TO DETAIL.
  - PROVIDE METAL GUARD GATE AT LADDER TO 8' AFF WITH LOCKING HASP.
  - 4'-0" WIDE x 1'-7" HIGH SCUPPER. REFER TO DETAILS ON SHEET A201.
  - STOP STONE 6" BEFORE ROUGH OPENING.

EXTERIOR MATERIAL SCHEDULE

AWNING	ALUMINUM AWNING	SELECTED BY RACETRAC
BRICK	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
CAST STONE	MATCH BORAL TUSCAN CAST STONE OR APPROVED	COLOR 1102 NATURAL STONE; MORTAR COLOR "LIGHT BUFF". SEAL WITH (SL-5) SEALANT.
CEMENT BOARD	ARTISAN V-GROOVE SIDING	PAINT SHERWIN WILLIAMS SEALSINK #7675
EIFS	STO THERM CI	"FINE FINISH" APPLICATION; COLOR TO MATCH SW #6113 "INTERACTIVE CREAM"
EF-2	STO THERM CI	"FINE FINISH" APPLICATION; COLOR TO MATCH SW #6094 "SENSATIONAL SAND"
GLAZING	1" NON-IMPACT RATED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGU AT STOREFRONT 0.28 U-FACTOR, SHGC PF=0.25=0.27 (1/4" PPG SOLARBAN 70-XL LOW-E #2 +1/2" AIR +1/4" CLEAR) OR APPROVED ALTERNATE.
GL-2	1" NON-IMPACT RATED ACID ETCHED INSULATED GLAZING	CLIMATE ZONES 2 OR 3. IGU AT STOREFRONT 0.28 U-FACTOR, SHGC PF=0.25=0.27 (1/4" PPG SOLARBAN 70-XL LOW-E #2 +1/2" AIR +1/4" CLEAR SATIN ETCH #3) OR APPROVED ALTERNATE.
METAL	PREFINISHED* 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-2	COLOR DARK BRONZE	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VISTAWALL (OR APPROVED ALTERNATE)	PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-M2C22444
M-5	REYNOBOND	METAL TO MATCH STOREFRONT; COLOR DARK BRONZE.
M-7	VERSATEX	WP4 TONGUE AND GROOVE PAINT INTERACTIVE CREAM
PAINT	SHERWIN WILLIAMS	EXTERIOR PAINT TO MATCH DARK BRONZE
ROOFING	DURO DUROLAST	50 MIL MEMBRANE ROOFING SYSTEM WHITE; MECHANICALLY FASTENED
STACKED STONE	GRAY GRANBURY QUARRY STONE CHOPPED	DIMENSIONAL LIMESTONE 3"-5" BED DEPTH, WET STACK APPLICATION. MORTAR COLOR "LIGHT BUFF"
STONE BAND	GRAY GRANBURY QUARRY STONE CHOPPED	DIMENSIONAL LIMESTONE CUT TO SIZE PER DETAILS. MORTAR COLOR "LIGHT BUFF"
WINDOW FILM	WF-1	WINDOW FILM; 3M PRESTIGE 70 SOLAR FILM
WF-2	WINDOW FILM; OPAQUE	



**2 REAR ELEVATION**  
 3/16" = 1'-0"

**REAR ELEVATION** 2,174 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	489	22%
BRICK	1,143	52%
EIFS	182	9%
GLAZING	0	0%
METAL	345	16%
FIBER CEMENT	15	1%



**1 FRONT ELEVATION**  
 3/16" = 1'-0"

ELEVATION	SIGNAGE	DIMENSIONS
FRONT	RT PARALLELOGRAM	13'-5/8" x 3'-0"
	BANNER	7'-8" x 5'-6"

**FRONT ELEVATION** 2,170 TOTAL SF

MATERIAL	SQ. FOOT.	% OF ELEVATION
STONE	536	25%
BRICK	732	34%
EIFS	181	8%
GLAZING	331	15%
METAL	179	8%
FIBER CEMENT	211	10%







2728 N. Harwood Street  
Suite 500  
Dallas, Texas 75201

214.745.5400 OFFICE  
214.745.5390 FAX  
winstead.com

July 3, 2018

Brad R. Williams  
direct 214.745.5264  
email [bwilliams@winstead.com](mailto:bwilliams@winstead.com)

**VIA FEDEX**

David Gonzales, AICP  
Senior Planner  
Rockwall City Hall  
385 S. Goliad Street  
Rockwall, Texas 75087

Re: RaceTrac Petroleum, Inc., Ridge Rd. & Yellow Jacket Ln. (the "Project")

David,

Please see enclosed for a revised site plan application for the Project, including 4 copies of the following full-size plans:

- Site Plan
- Landscape Plan
- Photometric Plan
- Elevations (Color)

Also enclosed is an 11 x 17 rendering illustrating the revised elevations, along with a completed Development Application, check made payable to the City of Rockwall in the amount of \$100.00 to cover the application fee, elevation material calculations, and a CD containing digital copies of the submission materials.

Please let me know if you have any further questions. As always, we look forward to working with you toward completion of the Project.

Sincerely,



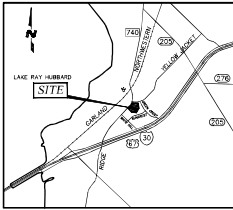
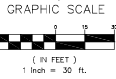
Brad Williams

Encls.





**TOCS**  
1-800-245-4545  
tdcs@t1-cal.com



LOCATION MAP  
N.T.S.

SPEED LIMIT  
45

SPEED LIMIT  
35

**SITE NOTES**

1. ALL SIGNS WILL REQUIRE SEPARATE SIGN PERMIT. NO SIGN ALLOWED IN AN EASEMENT OR RIGHT-OF-WAYS.
2. BUILDING TO BE CONSTRUCTED WITH SPRINKLER SYSTEM.
3. ALL PROPOSED OFF-SITE UTILITIES WILL BE CONSTRUCTED AS NEEDED PER SCHEDULE OF DEVELOPMENT OF ADJACENT PROPERTY.
4. NO OVERHANG OF CANOPY IN ANY EASEMENTS OR FIRELANE.

- 4% Engineering Inspection Fees.
- Must meet City Design Standards.
- Show drainage/detention easements.
- No utilities allowed in drainage easements.
- Area under the canopy must drain to an oil/water separator or the grease trap as well as the dumpster area.
- Walls 3' and over must be designed by a licensed engineer.
- All retaining walls must be rock or stone faced.
- Show proposed utilities for the site.

EASEMENT LEGEND	
W.E.	WATER EASEMENT
D.E.	DRAINAGE EASEMENT
D.D.E.	DRAINAGE AND DETENTION EASEMENT
F.A.U.E.	FIRE LANE, PUBLIC UTILITY & ACCESS EASEMENT

BOUNDARY LINE DATA TABLE	
L1	N 60°26'48" W 40.41'

BOUNDARY LINE CURVE DATA TABLE				
CV	DELTA	RADIUS	LENGTH	CHORD BEARING
C1	06°48'23"	845.00'	100.38'	S87°02'38" E
C2	00°07'47"	772.78'	1.75'	S87°16'29" W
C3	30°19'13"	536.81'	284.07'	S72°10'40" W

**SITE DATA SUMMARY TABLE**

ZONING (FROM ZONING MAP)	"C" COMMERCIAL
LAND USE (FROM ZONING ORDINANCE)	CONVENIENCE STORE W/GAS PUMPS
LOT AREA (SQUARE FEET & ACRES)	107,210 S.F. or 2.46 ACRES
BUILDING FOOTPRINT AREA (SQUARE FEET)	5,411 S.F.
TOTAL BUILDING AREA (SQUARE FEET)	5,411 S.F.
BUILDING HEIGHT (# STORIES)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	27'-2" (TOP OF PITCHED ROOF)
CANOPY HEIGHT	22 FEET
CANOPY THICKNESS	4 FEET
LOT COVERAGE (PERCENT)	5.05% [5,411 / 107,210]
FLOOR AREA RATIO (RATIO)	0.05:1 [5,411 / 107,210]
PARKING	RETAIL USE (1/250 S.F.)
PARKING RATIO (FROM ZONING ORDINANCE)	22 SPACES [5,488 / 250]
REQUIRED PARKING (# SPACES)	46 TOTAL (14 PUMP PARKING SPACES)
PROVIDED PARKING (# SPACES)	1 SPACES
ACCESSIBLE PARKING REQUIRED (# SPACES)	2 SPACES
ACCESSIBLE PARKING PROVIDED (# SPACES)	
LANDSCAPE AREA	51,948 S.F. (48%)
OPEN SPACE PROVIDED	51,948 S.F. (48%)
IMPERVIOUS AREA	55,262 S.F. (52%)

**WATER METER SCHEDULE**

ID	TYPE	SIZE	REMARK
◇	DOMESTIC	1.5"	PROPOSED
◇	IRRIGATION	1"	PROPOSED

**DEVELOPER**  
RACE TRAC  
3225 CUMBERLAND BLVD.,  
SUITE 100  
ATLANTA, GA 30339  
CONTACT: DEWE QUINNINGHAM  
TEL: (770) 431-7600  
EXT.1133

**APPLICANT/ENGINEER**  
URBAN STRUCTURE  
TEPE FIRM # F-13165  
8140 WALNUT HILL LANE, STE 905  
DALLAS, TEXAS 75231  
CONTACT: DOUGLAS BARRILLEAUX, P.E.  
TEL: (214) 295-5775

**SURVEYOR**  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: CHRY F. JOHNSON, R.L.S.  
TEL:(214) 340-9700

**SITE PLAN**  
**WOODS AT ROCKWALL ADDITION**  
**LOT 1 & 2, BLOCK A**  
**IN THE CITY OF ROCKWALL,**  
**ROCKWALL COUNTY, TEXAS**

DRAWN BY	BDT
DATE	03/28/2018
SCALE	AS SHOWN
DRAWING NAME	C-010-018
<b>C3</b>	
SHEET NO.	VERSION

**SITE PLAN**  
**RACETRAC MARKET #2345**  
2206 MARKET ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS



THESE PLANS ARE  
SUBJECT TO FEDERAL,  
STATE AND LOCAL  
USE OF BANK WITHOUT  
THE EXPRESSED WRITTEN  
CONSENT OF RACETRAC  
INC. IS PROHIBITED.

**PRELIMINARY**  
NOT FOR CONSTRUCTION,  
SECURING OF PERMIT  
PURPOSE.

PREPARED UNDER THE  
SUPERVISION OF  
DOUGLAS F. BARRILLEAUX  
P.L.E. # 97018  
ON 06/20/2018



TEL:214-995-5775

DATE	
REV	
NO.	
DESCRIPTION	

Scale: 1/8" = 1'-0" (1/4" = 3'-0")  
C-SITE: 6/25/2018 11:44 AM  
RaceTrac Market #2345  
Rockwall, TX 75087  
Rockwall, TX 75087  
Rockwall, TX 75087



## SECTION 4. - COMMERCIAL DISTRICTS

## Sec. 4.1. - General commercial district standards.

A. *Construction materials.*

1. *Exterior walls.* Each exterior wall shall consist of 90 percent masonry materials as defined in article XIII, Definitions, excluding doors and windows, on walls which are visible from a public street or open space, including a minimum of 20 percent stone.

All buildings shall have exterior walls constructed of stone, brick, glass block, tile, cast metal, cast or cultured stone, or a combination of those materials. The use of other cementaceous products (e.g., stucco, Hardy Plank, or other similar materials approved by the building official) shall be limited to 50 percent of the buildings exterior finishes where it is deemed important as a design feature and where it will be applied under the highest standards for quality and durability. However, stucco may not be located in the first four feet above grade on a facade visible from a street or public area.

Exceptions to this requirement may be permitted on a case by case basis by the council upon submission and approval of elevation drawings of the subject structure, and material samples.

B. *Maximum building height.*

1. *All districts.* The height limit for all structures shall be as established in the districts governing the property on which the structures are located, and the exceptions to height setback standards below.
2. *Building height and setback exceptions for commercial districts.*

Exceptions. The following features may be constructed 12 feet higher than the maximum height requirement of the zoning district in which the structure is located:

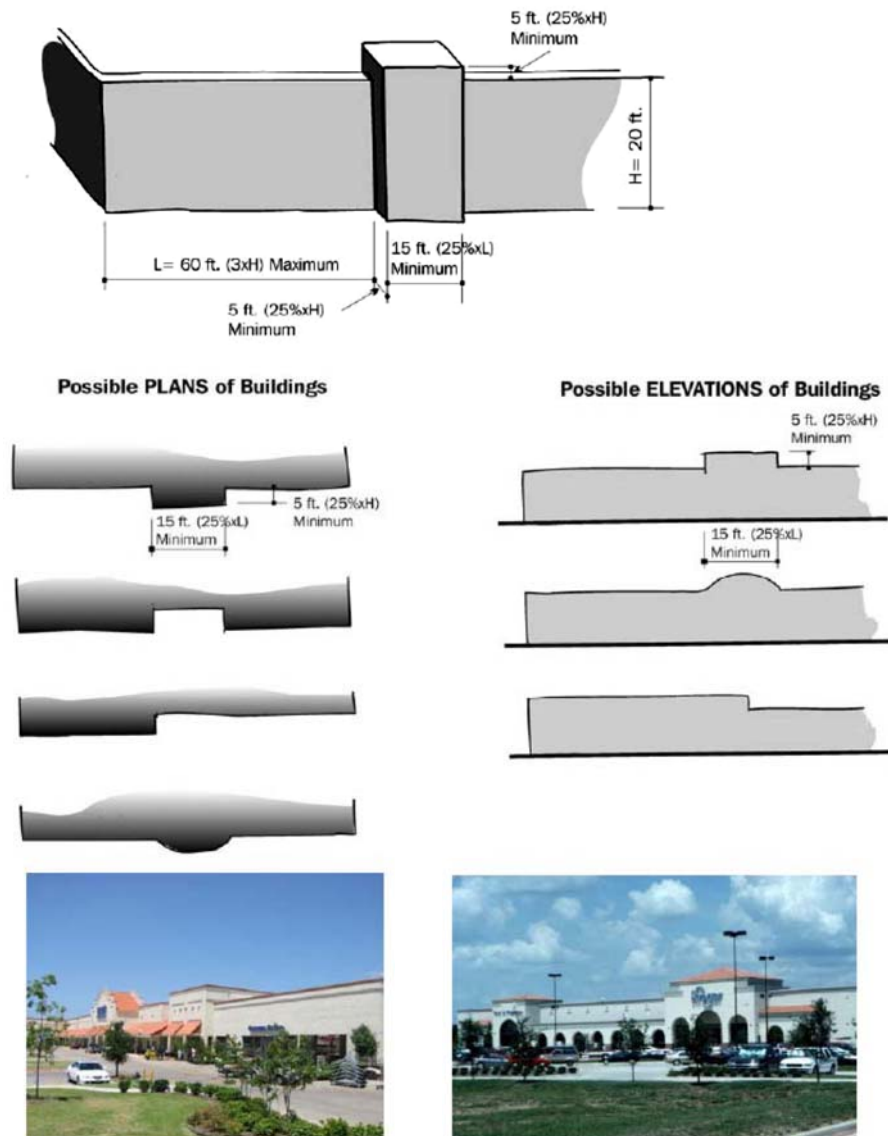
- a. Chimneys, church spires, elevator shafts, and similar appendages not intended as places of occupancy or storage;
- b. Flag poles and similar devices;
- c. Heating and air conditioning equipment, solar collectors and similar equipment, fixtures, and devices; provided that they are:
  - a. Not more than one-third of the total roof area; and
  - b. Set back from the edge of the roof a minimum distance of two feet for every foot by which such features extend above the roof surface of the building to which they are attached.

C. *Building articulation.*

1. *Requirements.* Facades shall meet the following minimum standards for articulation:
  - a. *Horizontal articulation.* No building wall shall extend for a distance equal to three times the wall's height without having an offset of 25 percent of the wall's height, and that new plane shall extend for a distance equal to at least 25 percent of the maximum length of the first plane.
  - b. *Vertical articulation.* No horizontal wall shall extend for a distance greater than three times the height of the wall without changing height by a minimum of 25 percent of the wall's height.



FIGURE 1 COMMERCIAL BUILDING ARTICULATION EXAMPLE



C. *Buildings greater than 25,000 square feet.*

1. These criteria shall apply to new retail/commercial building construction in general retail and commercial districts only. These criteria shall not apply to the use, re-use, modification or consolidation of existing retail and/or commercial space developed as of April 2, 2001, or to the expansion of existing retail space existing as of April 2, 2001, by no greater than ten percent of the existing ground floor area.
2. Ninety percent of the area of all exterior facades shall consist of clay-fired brick, native stone, cast stone, integral-colored architectural split-faced concrete block, plaster, stucco or a combination of these materials. Each facade shall not contain more than 75 percent of any single material.
3. Loading docks shall not be oriented towards residential zoning districts. Where loading areas are located parallel to residential zoning districts, they must be screened by an architecturally integrated minimum 14-foot-tall wall the entire length of the loading space.
4. On-site circulation.
  - a. On-site circulation standards should try to minimize the conflict between pedestrians and vehicles by placing driveways and service areas in locations that reduce the chance of interrupting on-site vehicle movement.
  - b. Buildings should be placed in a manner that screens the drive-through lane and creates pedestrian pathways and spaces.
  - c. In order to maintain on-site circulation, each drive-through lane is to be separate from pump islands and from







CITY OF ROCKWALL, TEXAS

ORDINANCE NO. 13-09  
SUP NO. 104

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A RETAIL OUTLET WHERE GASOLINE PRODUCTS ARE SOLD AS AN ACCESSORY TO A RETAIL USE, AS STIPULATED BY THE UNIFIED DEVELOPMENT CODE (UDC), SEC. 6.8 SCENIC OVERLAY (SOV) DISTRICT AND ZONED (C) COMMERCIAL DISTRICT, ON A 2.46-ACRE TRACT OF LAND SITUATED IN THE WOODS AT ROCKWALL ADDITION AND MORE SPECIFICALLY SHOWN IN EXHIBIT "B"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a Specific Use Permit (SUP) to allow for a retail outlet where gasoline products are sold as an accessory to a retail use, as stipulated by the Unified Development Code (UDC), Sec. 6.8 Scenic Overlay (SOV) District and zoned (C) Commercial District, has been requested by Kevin Patel of The Dimension Group, on a 2.46-acre tract proposed to be replatted as Lot 2, Block A, Woods at Rockwall Addition, situated at the southeast corner of Ridge Road and Yellow Jacket Lane, and more specifically shown in Exhibit "A"; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for a retail outlet where gasoline products are sold as an accessory to a retail use, as stipulated by the Unified Development Code (UDC), Sec. 6.8 Scenic Overlay (SOV) District and zoned (C) Commercial District, on a 2.46-acre tract proposed to be replatted as Lot 2, Block A, Woods at Rockwall Addition, situated at the southeast corner of Ridge Road and Yellow Jacket Lane, and more specifically shown in Exhibit "A"; and

**Section 2.** That the Specific Use Permit shall be subject to the conditions set forth in **Article V, Section 4.5, Commercial District** and **Section 6.8, Scenic Overlay (SOV) District** of the City of Rockwall Unified Development Code (Ord. No. 04-38), as heretofore amended and as may be amended in the future, and shall be subject to the additional following additions:

1. That the development shall strictly adhere to the proposed site plan attached hereto as (Exhibit "A") with gas canopy limited to nine (9) pumps and described



hereto as (Exhibit "B").

2. That an application for a replat of the Woods at Rockwall Addition be submitted and approved prior to issuance of a building permit.
3. No outside display of merchandise or outside storage shall be allowed on the property, with the exception of the following items as indicated on the approved site plan: ice machine, propane cage and DVD rental kiosk.
4. Adherence to all engineering and fire department requirements.

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

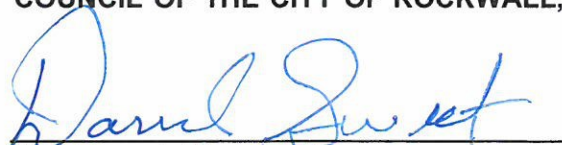
**Section 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**Section 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 6.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code No. 04-38 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 15<sup>th</sup> day of April, 2013.**

  
David Sweet, Mayor

**ATTEST:**

  
Kristy Ashberry, City Secretary

**APPROVED AS TO FORM:**

  
Frank Garza, Interim City Attorney

1st Reading: 04-01-13

2nd Reading: 04-15-13









## Exhibit "B"

### Property Description (Proposed Lot)

Being a portion of Lots 1 and 2, Block A of THE WOODS AT ROCKWALL ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet E, Slide 343, Plat Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows:

Beginning at an "X" set in the South right-of-way line of Yellowjacket Lane (90 foot public right-of-way), said point being the Northwest corner of Lot 3R, Block B of REPLAT WOODS AT ROCKWALL ADDITION NO. 1, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Slide 389 of the Plat Records of Rockwall County, Texas, same being the Northeast corner of said Lot 2, same being the Northeast corner of herein described tract;

Thence South 10 Degrees 17 Minutes 28 Seconds East, along the West line of said Lot 3R, a distance of 221.40 feet to a 1/2 inch iron rod set for corner with a yellow cap stamped "TXHS", said point being the Southwest corner of said Lot 3R, same being the Northwest corner of Wal-Mart Supercenter Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Slide 333 of the Plat Records of Rockwall County, Texas, and being the beginning of a non-tangent curve to the right;

Thence, in a westerly direction, departing the Southwest corner of said Lot 3R and the Northwest corner of said Wal-Mart Supercenter Addition, traversing through said Lot 2, and along said curve to the right, through a central angle of  $00^{\circ}07'47''$ , a radius of 772.78 feet, a chord bearing and distance of South  $88^{\circ}23'25''$  West, 1.75 feet and an arc length of 1.75 feet to a point for corner, said point being the beginning of a curve to the left;

Thence, in a westerly and southwesterly direction, traversing through said Lot 2 and crossing into said Lot 1, along said curve to the left, through a central angle of  $30^{\circ}19'13''$ , a radius of 536.81 feet, a chord bearing and distance of South  $73^{\circ}17'35''$  West, 280.77 feet, and an arc length of 284.07 feet to a point for corner in said Lot 1;

Thence South 81 Degrees 52 Minutes 09 Seconds West, traversing through said Lot 1, a distance of 137.61 feet to a point for corner, said point being the Southwest corner of herein described tract;

Thence North 43 Degrees 04 Minutes 09 Seconds West, a distance of 128.96 feet to a 1/2 inch iron rod set for corner with a yellow cap stamped "TXHS" in the Southeast right-of-way line of F.M. 740 (variable width public right-of-way), said point being in the Northwest line of said Lot 1, same being the West corner of herein described tract;

Thence North 46 Degrees 54 Minutes 21 Seconds East, along the Southeast right-of-way line of said F.M. 740, a distance of 180.00 feet to a TXDOT Monument found for



corner, said point being the North corner of said Lot 1, same being the West corner of said Lot 2;

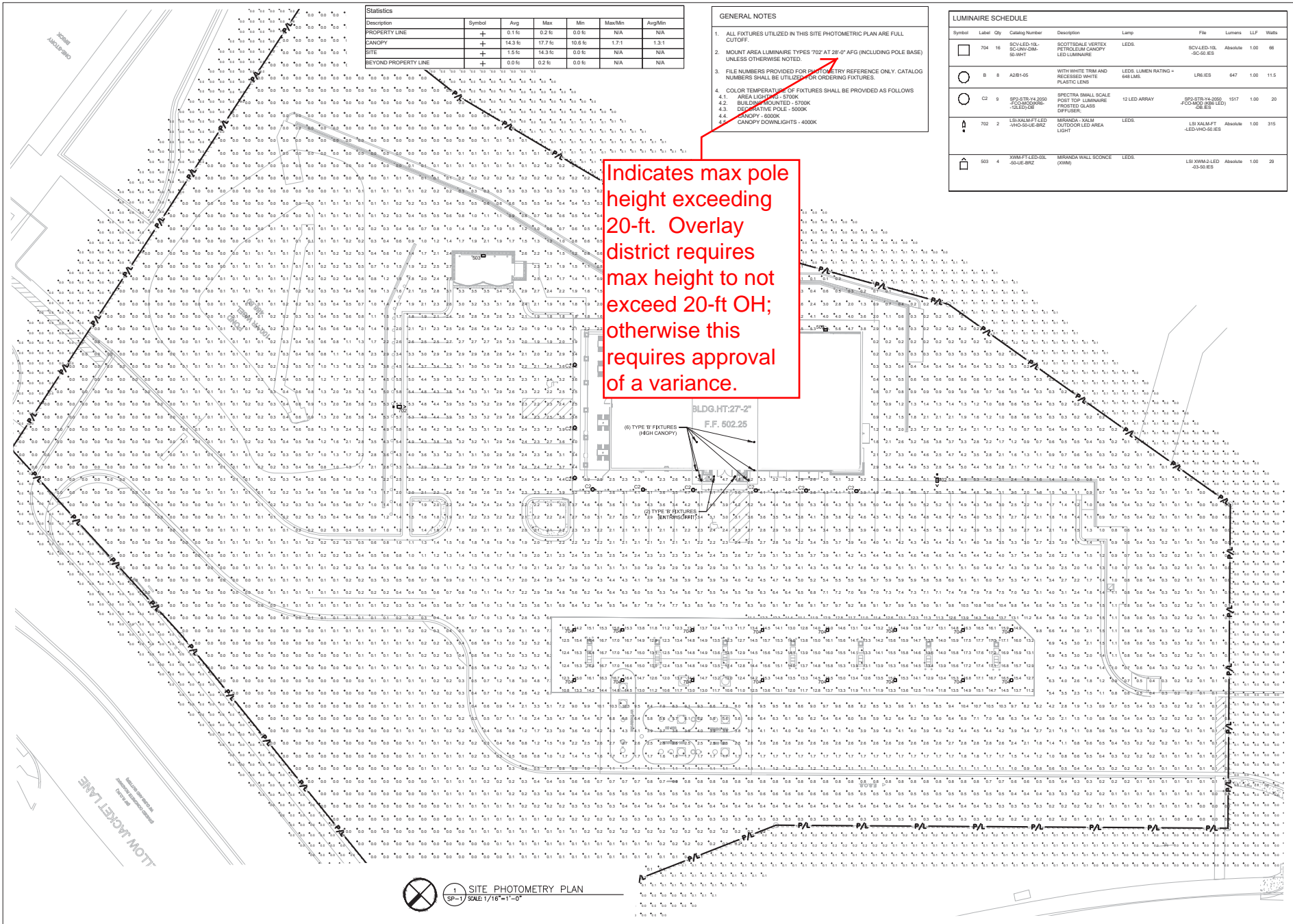
Thence North 25 Degrees 05 Minutes 54 Seconds East, continuing along the Southeast right-of-way line of said F.M. 740, a distance of 117.39 feet to a 1/2 inch iron rod set for corner with a yellow cap stamped "TXHS" at the intersection of the Southeast right-of-way line of said F.M. 740 and the South right-of-way line of said Yellowjacket Lane, said point being the Northwest corner of said Lot 2, and being the Northwest corner of herein described tract;

Thence North 60 Degrees 26 Minutes 48 Seconds East, along the South right-of-way line of said Yellowjacket Lane, a distance of 40.41 feet to a 1/2 inch iron rod set for corner with a yellow cap stamped "TXHS";

Thence South 82 Degrees 31 Minutes 30 Seconds East, continuing along the South right-of-way line of said Yellowjacket Lane, a distance of 140.14 feet to a 1/2 inch iron rod set for corner with a yellow cap stamped "TXHS", said point being the beginning of a curve to the left;

Thence, continuing along the South right-of-way line of said Yellowjacket Lane, and along said curve to the left, through a central angle of 6°48'23", a radius of 845.00 feet, a chord bearing and distance of South 85°55'43" East, 100.32 feet and an arc length of 100.38 feet to the POINT OF BEGINNING and containing 107,210 square feet or 2.46 acres of land.





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
CANOPY	+	14.3 fc	17.7 fc	10.6 fc	1.7:1	1.3:1
SITE	+	1.5 fc	14.3 fc	0.0 fc	N/A	N/A
BEYOND PROPERTY LINE	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

- GENERAL NOTES**
- ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL CUTOFF.
  - MOUNT AREA LUMINAIRE TYPES 702 AT 28'-0" AFG (INCLUDING POLE BASE) UNLESS OTHERWISE NOTED.
  - FILE NUMBERS PROVIDED FOR PHOTO METER REFERENCE ONLY. CATALOG NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.
  - COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS
    - AREA LIGHTS - 5700K
    - RECESSED CANOPY - 5700K
    - DECORATIVE POLE - 5000K
    - CANOPY DOWNLIGHTS - 4000K

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens L/F Watts
□	704	16	SCVLED-VL-SC-4M-OM-50-WHT	SCOTTSDALE VERTEX PETROLIUM CANOPY LED LUMINAIRE	LEDS	SCVLED-VL-SC-50-IES	Absolute 1,500 66
○	B	8	A28145	WTH WHITE TRIM AND RECESSED WHITE PLASTIC LENS	LEDS LUMEN RATING = 648 LMS	LR6-IES	647 100 11.5
○	C2	9	SP0STR-V4-200-FCOM20-W-LEDV-DN	SPECTRA SMALL SCALE FOOT TOP LUMINAIRE FROSTED GLASS DIFFUSER	12 LED ARRAY	SP0STR-V4-200-FCOM20-W-LEDV-IES	1517 100 20
⦿	702	2	LB-KALM-FT-LED-VHO-SU-E-BRZ	MIRANDA 'KALM' OUTDOOR LED AREA LIGHT	LEDS	LB-KALM-FT-LED-VHO-SU-IES	Absolute 1,000 315
⦿	503	4	XWM-FT-LED-OL-SU-E-BRZ	MIRANDA WALL SCONCE (XWM)	LEDS	LB-XWM-LED-OL-SU-IES	Absolute 100 20

**Racetrac**  
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**DESIGN PROFESSIONALS**

**CFD GROUP, INC.**  
 1205 South Main St., Suite 2511  
 Memphis, TN 38103  
 901.521.7100 | 901.521.2101

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
10/05/15	PRELIMINARY TRACKING
12/07/15	PRELIMINARY REVISIONS
3/21/16	PERMIT SET
12/01/16	REFRESH TO 2016 10/1/16
02/15/18	REFRESH TO 2017 08/08/18
06/21/18	PHOTOMETRIC REVISION

**Racetrac**  
 RACETRAC PETROLEUM, INC.  
 3225 COMMERCE BOULEVARD  
 SUITE 100  
 ATLANTA, GEORGIA 30339  
 (770) 421-1900

**PROJECT NAME**  
**ROCKWALL**

**ROCKWALL**  
 TEXAS 75087  
 2205 RIDGE ROAD

**RACETRAC STORE NUMBER**  
**#1090**

**PROTOTYPE SERIES 5-K**  
**2016 BR-LH-MO(-) 0301**

**PLAN MODIFICATION NOTICE**  
 SP# INC. 000 DATE 03/01/16  
 EXAMINER FOR HOLDING LINES ABOVE THE PROTOTYPE SERIES SET FORTH ABOVE. THE LATEST REVISIONS OR LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET FORTH IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT DELINEATIONS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

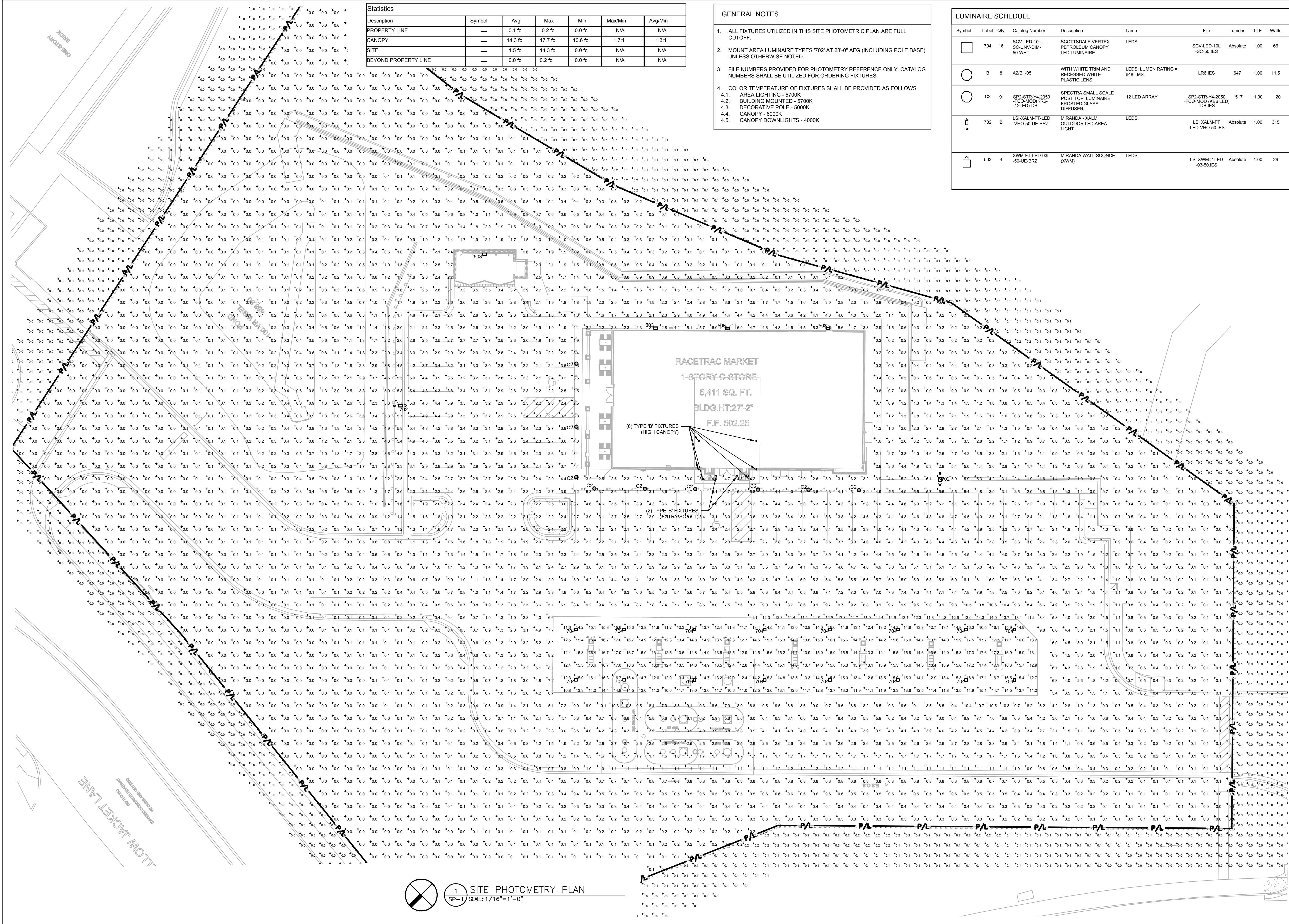
**PROJECT NUMBER**  
 2015157.03

**SHEET TITLE**  
**SITE PHOTOMETRY PLAN**

**SHEET NUMBER**  
**SP-1**

**1 SITE PHOTOMETRY PLAN**  
 SP-1 SCALE: 1/16"=1'-0"





Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
CANOPY	+	14.3 fc	17.7 fc	10.6 fc	1.7:1	1.3:1
SITE	+	1.5 fc	14.3 fc	0.0 fc	N/A	N/A
BEYOND PROPERTY LINE	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

- GENERAL NOTES**
- ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL CUTOFF.
  - MOUNT AREA LUMINAIRE TYPES '702' AT 28'-0" AFG (INCLUDING POLE BASE) UNLESS OTHERWISE NOTED.
  - FILE NUMBERS PROVIDED FOR PHOTOMETRY REFERENCE ONLY. CATALOG NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.
  - COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS
    - AREA LIGHTING - 5700K
    - BUILDING MOUNTED - 5700K
    - DECORATIVE POLE - 5000K
    - CANOPY - 6000K
    - CANOPY DOWNLIGHTS - 4000K

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	704	16	SCV-LED-10L-SC-UNV-DIM-50-WHT	SCOTTSDALE VERTEX PETROLEUM CANOPY LED LUMINAIRE	LEDS.	SCV-LED-10L-SC-50-IES	Absolute	1.00	66
○	B	8	A2/B1-05	WITH WHITE TRIM AND RECESSED WHITE PLASTIC LENS	LEDS. LUMEN RATING = 648 LMS.	LR6-IES	647	1.00	11.5
○	C2	9	SP2-STR-Y4-2050-FCO-MOD-KR6-12LED-DB	SPECTRA SMALL SCALE POST TOP LUMINAIRE FROSTED GLASS DIFFUSER	12 LED ARRAY	SP2-STR-Y4-2050-FCO-MOD-KR6-12LED-DB-IES	1517	1.00	20
□	702	2	LSI-XALM-F-LED-VHO-50-UE-BRZ	MIRANDA-XALM OUTDOOR LED AREA LIGHT	LEDS.	LSI-XALM-F-LED-VHO-50-IES	Absolute	1.00	315
□	503	4	XWM-F-LED-03L-50-UE-BRZ	MIRANDA WALL SCONCE (XWM)	LEDS.	LSI-XWM-2-LED-03-50-IES	Absolute	1.00	29

**Racetrac**  
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**DESIGN PROFESSIONALS**

**GPD GROUP, INC.**

520 South Main St., Suite 2531  
 Akron, OH 44311  
 330.572.2100 330.572.2101

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
10/09/15	PRELIMINARY PACKAGE
12/07/15	PRELIMINARY REVISIONS
3/21/16	PERMIT SET
12/01/16	REFRESH TO 2016 1101.12
02/15/18	REFRESH TO 2017.0808
06/21/18	PHOTOMETRIC REVISION

**Racetrac**

RACETRAC PETROLEUM, INC.  
 3225 CUMBERLAND BOULEVARD  
 SUITE 100  
 ATLANTA, GEORGIA 30339  
 (770) 431-7600

**PROJECT NAME**  
**ROCKWALL**

**ROCKWALL TEXAS 75087**  
 2205 RIDGE ROAD

**RACETRAC STORE NUMBER**  
**#1090**

**PROTOTYPE SERIES 5.5K**  
**2016 BR-LH-MO(-) 0301**

**PLAN MODIFICATION NOTICE**  
 SPB NO. 000 DATE 03.01.16

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

**PROJECT NUMBER**  
 2015157.03

**SHEET TITLE**  
**SITE PHOTOMETRY PLAN**

**SHEET NUMBER**  
**SP-1**

1 SITE PHOTOMETRY PLAN  
 SP-1 SCALE: 1/16"=1'-0"



Revised Site Plan & Elevation  
2205 Ridge Rd.  
SP2018-019



ARB/P&Z  
City of Rockwall, Texas  
July 31, 2018

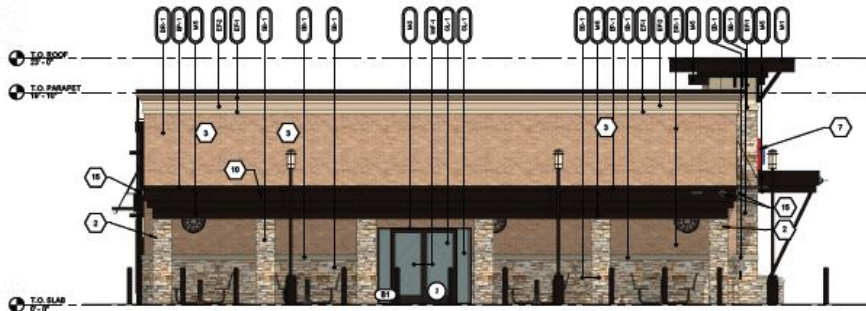


# Revised Site Plans & Elevations

Site Plan Changes	Elevation Changes
Removal of 1 fuel dispenser (8 to 7)	Patio <ul style="list-style-type: none"> <li>• Slightly smaller</li> <li>• Full-stone columns (compact wood to stone)</li> <li>• Removal of overhead doors</li> </ul>
Canopy supported by 1 column; not 2.	Tower Accent <ul style="list-style-type: none"> <li>• Material change (compact wood to fiber cement)</li> <li>• Smaller on side elevation</li> </ul>
Other minor changes	Reduction in clerestory
	Awning color change
	Reduction of building signage
	Increases amount of primary materials
	Variance to vertical articulation (Rear)

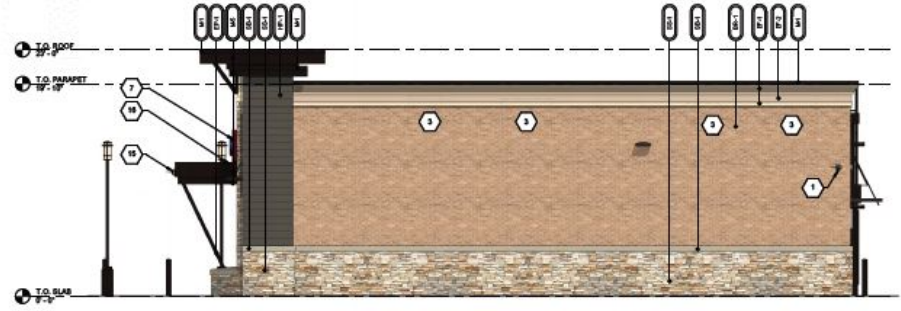


# Proposed Elevation



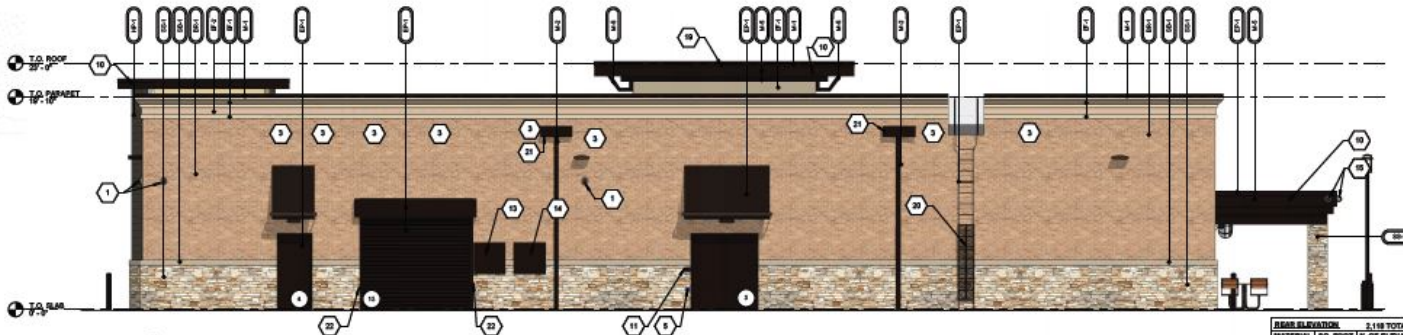
4 LEFT ELEVATION  
31'6" x 112'

LEFT ELEVATION		
MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	277	25%
BRICK	588	47%
EIFS	88	8%
GLAZING	8	0%
METAL	84	6%
WOOD	75	7%



3 RIGHT ELEVATION  
31'6" x 112'

RIGHT ELEVATION		
MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	287	25%
BRICK	112	6%
GLAZING	82	6%
METAL	232	18%
WOOD	8	0%



2 REAR ELEVATION  
31'6" x 112'

REAR ELEVATION		
MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	288	25%
BRICK	1,287	57%
EIFS	182	8%
GLAZING	8	0%
METAL	282	18%
WOOD	15	0%



1 FRONT ELEVATION  
31'6" x 112'

STORAGE CONTENT IS CONCEPTUAL ONLY

ELEVATION	FINISH	DIMENSIONS	AREA
FRONT	BY PARALLELOGRAM	12'-6" x 3'-0"	42 SF
REAR	7'-4" x 5'-4"	42 SF	

FRONT ELEVATION		
MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	518	20%
BRICK	722	28%
EIFS	181	7%
GLAZING	35	1%
METAL	174	7%

## GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE EXPANSION JOINTS (EJ) AT ALL LOCATIONS WHERE EIFS ABUTS A DISSEMINATED MATERIAL OR WHERE OTHERWISE REQUIRED BY MANUFACTURER.
- PROVIDE EXPANSION JOINTS (EJ) LOCATED ON EXTERIOR ELEVATIONS. SPECIFICATION FOR JOINT SEALANT SHALL BE VITACRE TWS 5.2 BY TITANCO.
- MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 30'-0" O.C.
- REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
- REFER TO STRUCTURAL DRAWINGS FOR CAST AND BEAM BEARING AND FOR FOUNDATIONS.
- REFER TO REFLECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACJ JOINT LOCATIONS.

## ELEVATION KEY NOTES

- REFER TO SHEET A01 FOR REVISIONS NOT SHOWN ON THIS SHEET.
- WALL MOUNTED SECURITY CAMERA.
  - 2' SQUARE DOWNPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
  - MECHANICAL EQUIPMENT BEYOND.
  - REFER TO DETAILS FOR CAST STONE BRICKS.
  - HOSE BIB. REFER TO PLUMBING DRAWINGS.
  - CEILING FAN. REFER TO SPECIFICATIONS.
  - ILLUMINATED SIGN PANEL BY OWNER. PAINT SUPPORT STRUCTURE EP-1.
  - ROOFING MEMBRANE TO BE RUN UP CLEARESTORY TO UNDERSIDE OF WINDOW. REFER TO WALL SECTIONS.
  - ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
  - INTERCOM AND SPEAKER.
  - EMERGENCY FUEL SHUT OFF SWITCH. MOUNT TOP OF SWH AT 8'0" A.F.F.
  - LOCATION OF ELECTRICAL SERVICE OFF AND METER.
  - GENERATOR TYP BOX. SEE ELECTRICAL FOR LOCATION.
  - SECURITY CAMERA MOUNTED TO FACIA.
  - OVERFLOW SPILL SCUPPER.
  - PACKAGE PASSER. REFER TO EQUIPMENT PLAN.
  - SPILL SCUPPER. REFER TO DETAIL.
  - PROVIDE METAL GUARD GATE AT LADDER TO 6' APT WITH LOCKING HASP.
  - 4'-0" WIDE x 1'-7" HIGH SCUPPER. REFER TO DETAILS ON SHEET A31.
  - STOP STONE 8" BEFORE ROUGH OPENING.

## EXTERIOR MATERIAL SCHEDULE

ITEM	DESCRIPTION	FINISH
AW-02	ALUMINUM FINISH	SELECTED BY RACETRAC
AW-1	ALUMINUM FINISH	SELECTED BY RACETRAC
BR-1	BRICK	LAREDO BRICK
BR-2	BRICK	MORTAR COLOR 'LIGHT BUFF'
CS-1	CAST STONE	MATCH BRICK TUSCAN
CS-2	CAST STONE OR APPROVED OTHER	LINTEL CHAMPAGNE
CS-3	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-4	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-5	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-6	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-7	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-8	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-9	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-10	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-11	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-12	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-13	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-14	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-15	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-16	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-17	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-18	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-19	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-20	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-21	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-22	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-23	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-24	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-25	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-26	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-27	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-28	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-29	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-30	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-31	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-32	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-33	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-34	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-35	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-36	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-37	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-38	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-39	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-40	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-41	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-42	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-43	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-44	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-45	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-46	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-47	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-48	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-49	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-50	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-51	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-52	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-53	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-54	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-55	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-56	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-57	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-58	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-59	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-60	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-61	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-62	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-63	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-64	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-65	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-66	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-67	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-68	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-69	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-70	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-71	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-72	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-73	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-74	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-75	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-76	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-77	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-78	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-79	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-80	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-81	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-82	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-83	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-84	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-85	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-86	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-87	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-88	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-89	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-90	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-91	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-92	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-93	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-94	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-95	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-96	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-97	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-98	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-99	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.
CS-100	CAST STONE	COLOR 1:03 NATURAL STONE; MORTAR COLOR 'LIGHT BUFF'; SEAL WITH (SL-4) SEALANT.



# Existing Elevation





# Front Elevation Comparison

Proposed



Existing





## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2018-019	<b>Owner</b> INC., MOUNTAINPRIZE	<b>Applied</b> 6/19/2018 DG
<b>Project Name</b> RaceTrac	<b>Applicant</b> WINSTEAD PC	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b> AMENDING		<b>Expired</b>
<b>Status</b> P&Z HEARING		<b>Status</b> 9/19/2018 DG

<b>Site Address</b> 2205 RIDGE RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
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<b>Subdivision</b> THE WOODS AT ROCKWALL	<b>Tract</b> 2	<b>Block</b> A	<b>Lot No</b> 2	<b>Parcel No</b> 5172-000A-0002-00-0R	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/19/2018	6/26/2018	7/19/2018	30	APPROVED	
ENGINEERING	Sarah Hager	6/19/2018	6/26/2018	7/25/2018	36	COMMENTS	(7/25/2018 4:36 PM SH) - 4% Engineering Inspection Fees. - Must meet City Design Standards. - Show drainage/detention easements. No utilities allowed in drainage easements. - Area under the canopy must drain to an oil/water separator or the grease trap as well as the dumpster area. - Walls 3' and over must be designed by a licensed engineer. - All retaining walls must be rock or stone faced. - Show proposed utilities for the site. - No dead end parking allowed. Must have a 15' distance before the dumpsters. - Need a pedestrian railing if the drop is 30" or more. - Fire Lane radius is minimum 20'. - Why is there a stop sign facing FM 740. - Retaining wall with garde rail must be traffic rated by the detention pond. - Please see the attached makr ups.
ENGINEERING	Amy Williams	8/13/2018	8/20/2018	8/13/2018		APPROVED	
FIRE	Ariana Hargrove	6/19/2018	6/26/2018	7/19/2018	30	APPROVED	
FIRE	Ariana Hargrove	8/24/2018	8/31/2018	8/24/2018		APPROVED	revised site plan
GIS	Lance Singleton	6/19/2018	6/26/2018	7/19/2018	30	APPROVED	



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	6/19/2018	6/26/2018	7/25/2018	36 COMMENTS	See comments

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 & 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

The following staff comments are to be addressed and resubmitted no later than Tuesday, August 7, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

\* Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.
3. Label revised site plan documents with "Case No. SP2018-019" at the lower right corner.

VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER:

The following variance and excetion requests are from Article V, Section 4, of the UDC:

1. Sec.4.1.C.b: Approval of a variance to the verticle articulation standards to allow for not meeting the vertical articulation for the east (rear) elevation.

\*\* Please address the following Planning Comments for each plan submitted:

Site Plan:

1. Relabel firelane as 24-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easement, do not include Utility).
2. Remove label "14" under gas canopy, we do not count as parking spaces.
3. Site Data Summary Table: change total parking spaces to 32, gas canopy spaces are not considered parking spaces.
4. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque.
5. Dumpster enclosure walls to match exterior materials found on primary structure.

Landscape Plan:

1. Change Landscape Tabulations: 740 Scenic Overlay: Ridge Road indicate minimum 4-caliper inch trees (REQUIRED & PROVIDED).
2. Change label on southern portion of parking lot to indicate '19' spaces (not 22).

Treescape Plan:

1. Provide a note on the plan indicating mitigation satisfied by an Alternative Tree Mitigation plan approved by the City Council.

Photometric Plan:

1. Reduce to include entire property on one (1) page with street names.
2. Provide a North arrow on plan.
3. Provide cut sheets for all exterior lighting fixtures.
4. Maximum pole height not to exceed 20-ft overall height (includes pole, pole base, etc.). Provide detail.



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Building Elevations:						
1. Requires a recommendation from the Architectural Review Board(ARB) forwarded to the Planning and Zoning Commission for consideration						
2. Provide a materials sample board for ARB review.						
3. See variance and exceptions above						
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com						
Scheduled Meeting Dates to Attend						
Architectural Review Board: July 31, 2018 (5:00p.m.) [To provide recommendations to applicant]						
Planning - Work Session: July 31, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]						
Architectural Review Board: August 14, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z]						
Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]						
PLANNING	David Gonzales	8/9/2018	8/16/2018	8/9/2018	COMMENTS	see comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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The following staff comments are subject to conditional approval and are to be addressed and resubmitted no later than Tuesday August 21, 2018. Please provide two (2) large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

\* Planning Department General Comments:

1. Adherence to Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.

VARIANCE FOR P&Z AND CITY COUNCIL TO CONSIDER:

The following variance request is from Article V, Section 4, of the UDC:

1. Sec.4.1.C.b: Approval of a variance to the verticle articulation standards to allow for not meeting the vertical articulation for the east(rear) elevation.

\*\* Please address the following Planning Comments for each plan submitted

Site Plan: Date on plan is 07/20/2018

1. Change 'Easement Legend' to read: Firelane, Public Access & Utility Easement
2. Remove label "14" under gas canopy, we do not count as parking spaces.
3. Site Data Summary Table: change total parking spaces to 32, gas canopy spaces are not considered parking spaces.
4. Dumpster enclosure to include a self latching gate mechanism and walls to match exterior materials found on primary structure- add note.

Landscape Plan:

1. Plan as submitted meets or exceeds the intent of the UDC

Treescape Plan:

1. Plan as submitted meets or exceeds the intent of the UDC

Photometric Plan:

1. Maximum pole height not to exceed 20-ft overall height (includes pole, pole base, etc.). Provide detail or request variance to SOV district standards (requires 3/4 majority vote).

Building Elevations:

1. See variance request above.

\*\*\* The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com)

Scheduled Meeting Dates to Attend

Planning - Action: August 14, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]

City Council - Action: August 20, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	9/21/2018	9/28/2018	9/21/2018	COMMENTS	See comments
<p>* Planning Department General Comments:</p> <ol style="list-style-type: none"> <li>1. Adherence to Engineering and Fire Department standards shall be required.</li> <li>2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.</li> </ol> <p>** Please address the following Planning Comments:</p> <p>Site Plan: Date on plan is 07/20/2018</p> <ol style="list-style-type: none"> <li>1. Remove label "14" under gas canopy, we do not count as parking spaces.</li> <li>2. Site Data Summary Table: change total parking spaces to 32, gas canopy spaces are not considered parking spaces.</li> <li>3. Dumpster enclosure to include a self latching gate mechanism and walls to match exterior materials found on primary structure - add note.</li> </ol> <p>Photometric Plan:</p> <ol style="list-style-type: none"> <li>1. Maximum pole height not to exceed 20-ft overall height (includes pole, pole base, etc.). Provide detail or request variance to SOV district standards (requires 3/4 majority vote).</li> </ol> <p>*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com</p> <p>Scheduled Meeting Dates to Attend:</p> <p>ARB - Action: September 25, 2018 (5:00p.m.) [Provide recommendation to P&amp;Z]</p> <p>Planning - Action: September 25, 2018 (6:00p.m.) [P&amp;Z to take action (i.e. approve, approve with conditions, deny)]</p>						



## RaceTrac Elevation Calculations (July 2018)

### Front Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	536	32%	
Brick	732	44%	
EIFS	181	11%	11%
Fiber Cement	211	13%	
Total	1660	100%	11%

### Rear Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	489	28%	
Brick	1087	61%	
EIFS	182	10%	10%
Fiber Cement	15	1%	
Total	1773	100%	10%

### Right Elevation

Material	SQ. FT.	% Elevation	% Secondary
Stone	277	24%	
Brick	688	60%	
EIFS	99	9%	9%
Fiber Cement	75	7%	
Total	1139	100%	9%

### Left Elevation

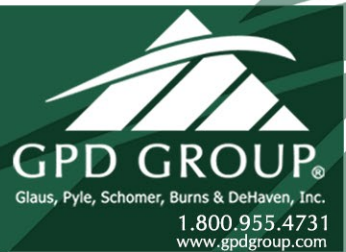
Material	SQ. FT.	% Elevation	% Secondary
Stone	299	33%	
Brick	497	55%	
EIFS	112	12%	12%
Fiber Cement	0	0%	
Total	908	100%	12%





**RACETRAC**  
Rockwall, TX

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF MATERIAL SAMPLES PROVIDED.





## Gonzales, David

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**From:** Williams, Brad [REDACTED] >  
**Sent:** Tuesday, August 14, 2018 9:58 AM  
**To:** Gonzales, David  
**Cc:** Miller, Ryan; Malzer, Andrew [REDACTED]  
**Subject:** SP2018-019 Race Trac Amendment

David,

Please be advised that RaceTrac would like to postpone this item from tonight's ARB and P&Z agenda so that we can have additional time to consider our options/alternatives to the additional elevation variances that have been identified since the July 31 P&Z work session.

Please confirm that no action will be taken on this item this evening.

Thanks, and let me know if you have any questions.

**Brad R. Williams**, Attorney

Winstead PC | 2728 N. Harwood Street, Suite 500 | Dallas, Texas 75201

214.745.5264 *direct* | 214.745.5390 *fax* [REDACTED] | [www.winstead.com](http://www.winstead.com)

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Sec. 6.8. - Scenic Overlay (SOV) District.

A. *Purpose.*

1. The Scenic Overlay District is a specialized zoning district overlay along FM-740 which has been identified in the comprehensive land use plan as a scenic thoroughfare. The identified scenic aspects of FM-740 include views of the lake, existing natural topography, and existing natural landscaping. The district has been established to protect scenic or historic qualities through the use of additional development criteria and by requiring uses compatible with both existing uses and with the visual environment. The development requirements for nonresidential uses are more restrictive than in other commercial classifications in order to encourage development that will protect and enhance the existing views, topography, landscape and quality of development.
2. This district is designed to be primarily an office and retail/commercial shopping district with an intensity of uses normally found along a major thoroughfare. These uses may, however, be located close to residential areas. The type of allowed uses and the more restrictive development requirements provide protection for residential areas.
3. In order to ensure that the visual impact of development does not detrimentally affect the area in which it is proposed, landscaping plans, building elevations and site plans are required. Architectural compatibility will be reviewed through an architectural review committee.

- B. *Application and boundaries.* This Overlay District shall apply to all property located within the established boundary along FM-740 as set forth on Exhibit A of Ord. No. 87-64. Property that has been zoned, platted and site planned at the time of adoption of the ordinance from which this section is derived shall be exempted from the provisions of this section unless and until an application for zoning, platting, or site planning is re-submitted on the property.

All property developed within the Overlay District must meet both the terms and requirements of the underlying zoning classification applicable to the property and the provisions set forth in the Overlay District. The most restrictive requirement applicable to the property shall apply.

- C. *Special use standards.* All development within the Scenic Overlay District shall comply with the land use tables in article IV, Permissible Uses, as amended; however, the following uses may be considered on a case-by-case basis only and shall require a specific use permit.

1. Gasoline service stations, and retail outlets where gasoline products are sold as an accessory to a retail use, subject to the conditions established in article IV, Permissible Uses.



2. Car wash (all types), subject to the conditions of article IV, Permissible Uses.
3. Any structure over 36 feet in height.

D. *Architectural standards.*

1. Masonry requirements. Each exterior wall shall consist of 90 percent masonry materials, excluding doors and windows, as defined in article XII, Definitions, excluding cast stone and cultured stone, on walls which are visible from a public street or open space, including a minimum of 20 percent natural or quarried stone.
  - a. Primary exterior materials shall include natural or quarried stone, brick, glass block or glass, tile, cast metal and custom concrete masonry units. The use of other cementaceous products (e.g. stucco, Hardy Plank, or other similar materials approved by the building official) shall be limited to 50 percent of the building's exterior finishes where it is deemed important as a design feature and where it will be applied under the highest standards for quality and durability. However, stucco may not be located in the first four feet above grade on a facade visible from a street or public area. Each elevation's masonry requirement shall incorporate accent bricks or stones. As the term is used, an "accent brick or stone" is one that provides a contrast by color, shape, size, and/or texture to the field of primary bricks or stones in an elevation. Additionally, the Planning and Zoning Commission may consider the use of high quality manufactured or cultured stone if the following standards of manufacturing and warranty apply to the product;
    - ☑ That the manufacturing molds should be made from actual stones and each piece should complement each other having the right shape, texture, size and detail of natural stone;
    - ☑ That the overtones of color should be integrated into the stone during the molding process, while the base color of the stone is blended entirely throughout;
    - ☑ That highly skilled artisans should be utilized to hand paint each piece in order to give each stone depth and variation of color;
    - ☑ That the use of the highest quality synthetic mineral oxides should be used to infuse the surface with rich, authentic tones; and
    - ☑ That the manufactured stone product shall have a minimum warranty of 75 years.
  - b.



Secondary materials used on the facade of a building are those that comprise less than ten percent of an elevation area. Permitted secondary materials are all primary materials, aluminum or other metal, EIFS, cast stone, cultured stone or other materials as approved by the director of planning or his designee.

2. Roof design standards. Rooftop mechanical equipment and other appurtenances must be properly screened. All structures having a footprint of 6,000 square feet or less shall be constructed with a pitched roof system. Those structures having a footprint greater than 6,000 square feet shall be constructed with either a pitched, parapet, or mansard roof system (enclosed on all sides). Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish. Metal roofs with lapped seam construction, bituminous built-up roofs, and flat, membrane-type roofs which are visible from adjacent public right-of-way shall be prohibited.
3. Mechanical equipment screening. All buildings must be designed such that no mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. This shall include equipment located on the roof, on the ground, or otherwise attached to the building or located on the site.

Screening of rooftop mechanical equipment and/or other rooftop appurtenances screening shall be accomplished by either:

- a) The construction of the roof systems described in subsection D.2 above; or
- b) An architectural feature which is integral to the building's design and ensures that such equipment is not visible from adjacent public right-of-way.

The fencing or enclosing of individual mechanical units shall not be permitted except as described above.

All rooftop mechanical equipment or architectural features described herein shall be shown on the required building elevations and submitted along with the site plan for approval.

4. All buildings shall be designed to incorporate no less than four of the architectural elements listed below. Buildings over 50,000 square feet must include a minimum of six of the referenced architectural elements. Buildings over 100,000 square feet must include a minimum of seven of the referenced architectural elements:
  - Canopies, awnings, or porticos;
  - Recesses/projections;



- Arcades;
  - Peaked roof forms;
  - Arches;
  - Outdoor patios;
  - Display windows;
  - Architectural details (such as tile work and moldings) integrated into the building facade;
  - Articulated ground floor levels or base;
  - Articulated cornice line;
  - Integrated planters or wing walls that incorporate landscape and sitting areas;
  - Offsets, reveals or projecting rib used to express architectural or structural bays;
  - Varied roof heights; or
  - Other architectural features approved by the director of planning or his designee.
5. All retail/commercial buildings shall be architecturally finished on all four sides with the same materials, detailing, and features with one row of trees planted on the perimeter behind the building.
  6. Windows shall have a maximum exterior visible reflectivity of 20 percent. Color of glass shall be reviewed and approved by the director of planning or his designee.
  7. All buildings within a common retail/commercial development, as shown on a concept plan or site plan, shall have similar architectural styles, materials, and colors.
    - a. Conceptual facade plans and sample boards shall be submitted with the site plan application for all nonresidential uses. The purpose of the conceptual facade plan is to ensure consistency and compatibility for all buildings within a single development. Facade plans will be used only to ensure minimum standards are met.
  8. Corporate identities that conflict with the building design criteria shall be reviewed as a variance as defined in this section and reviewed on a case-by-case basis by the planning and zoning commission and approved by the city council.

E. *Site design standards.*

1. *Building setback.* All lots within the Scenic Overlay District shall maintain a minimum building setback of 15 feet from the front property line adjacent to FM 740. All other building setback regulations shall be the same as set forth in the underlying zoning district except as otherwise noted herein.
2. *Parking area restrictions.* No more than two rows of parking shall be allowed between



the primary building and the FM 740 right-of-way.

3. *Access/ingress/egress.* To minimize potential vehicular and pedestrian conflicts particular attention must be given to the location of median breaks along major thoroughfares, number and location of entry/exit drives, design of entry/exit drives in relationship to the parking areas, and sight distances.

Further guidelines:

- a. Driveways should typically be spaced a minimum of 100 feet from the intersection of a major thoroughfare or as per the Texas Department of Transportation on state maintained roads;
  - b. The ingress and egress drives shall have a minimum radius of 30 feet;
  - c. Driveways should maintain an appropriate sight distance triangle at all perimeter entrances and exits;
  - d. Main entrance drives should generally be located at median breaks providing left turn access to and from the site;
  - e. Main entrance drives should connect to a "straightaway" aisle that does not dead end or require an immediate turn to approach the main building;
  - f. Aisles intersecting with entrance drives should be spaced at a minimum of 20 feet from the property line to provide for smooth turning movements.
4. *Cross access.* Cross access easements may be required by the city council at the time of the site plan approval to ensure access to future median breaks and to reduce the number of needed curb cuts.
  5. *Shared parking.* In master planned retail centers, cross access and shared parking agreements are required for final platting.
  6. *Loading and service areas.* Loading and service areas shall be located on the rear and side of buildings whenever possible. In the event that a loading or service area faces FM 740, additional screening of the area may be required. A minimum ten-foot solid screening wall shall be required to screen views of loading docks and loading spaces intended for tractor/semitrailer delivery from any public right-of-way. This ten-foot wall must screen the entire loading dock or space. Screening materials shall utilize similar masonry materials to the front facade. The accommodation of adequate access for service delivery trucks may be evaluated to determine the extent of screening required.

7.



*Trash receptacles and recycling receptacles.* Trash and recycling receptacles shall be four-sided with a gate and located outside buffer-strips, and to the side or rear of the primary building. The receptacles shall be screened by a minimum eight-foot solid masonry screen and shall utilize similar masonry materials to the principal structure. Every effort shall be made in order to screen trash/recycling receptacles from FM 740.

8. *Play structures.* Play structures shall not be placed between the primary building and any adjacent public right-of-way.
9. *Plan review.* In addition to other factors set out in this Unified Development Code, concept plans, development plans, and site plans shall be reviewed for:
  - a. Meeting the intent of article VIII, Landscape Standards, and the screening provisions below.
  - b. Achieving the intent of the Architectural and Site Design Standards.
  - c. Proper site entry identification and cross access circulation to avoid congestion at ingress and egress points.
- F. *Landscape standards.* All sites shall, as a minimum, meet the following standards and the requirements of article VIII, Landscape Standards. Where the following standards conflict with the article VIII, these requirements shall prevail:
  1. *[Required width and height.]* The buffer-strip shall be a minimum of 20 feet wide and include a "built-up" berm and/or shrubbery or a combination of both along the entire length of the subject property's frontage along the FM 740 right-of-way. The minimum required height of the aforementioned berm and/or shrubbery or a combination thereof is 30 inches and shall not exceed a maximum height of 48 inches.
  2. *Buffer-strip plantings.* Two canopy trees, along with four accent trees shall be required per 100 feet of the FM 740 right-of-way. Canopy trees, accent trees, and shrubs as defined, along with sizes and types are included in subsections F.3 and F.4.
  3. *Plant material sizes.* The following size requirements shall be required:
    - Canopy trees: four-inch caliper.
    - Accent trees: four-foot height.
    - Shrubs:
      - Deciduous: 15 inches; two-gallon minimum.
      - Evergreen: 12 inches; two-gallon minimum.



4. *Plant material selections.* The following materials are recommended for planting in the buffer-strip; however, other materials may be acceptable:

Canopy trees: Afghan Pine, Bur Oak, Caddo Maple, Cedar Elm, Lacebark Elm, Leyland Cypress, Little Gem Magnolia, Live Oak, October Glory Maple.

Accent trees: Desert Willow, Eastern Redbud, Eves Necklace, Mexican Buckeye, Possumhaw Holly, Shangtung Maple, Yaupon Holly.

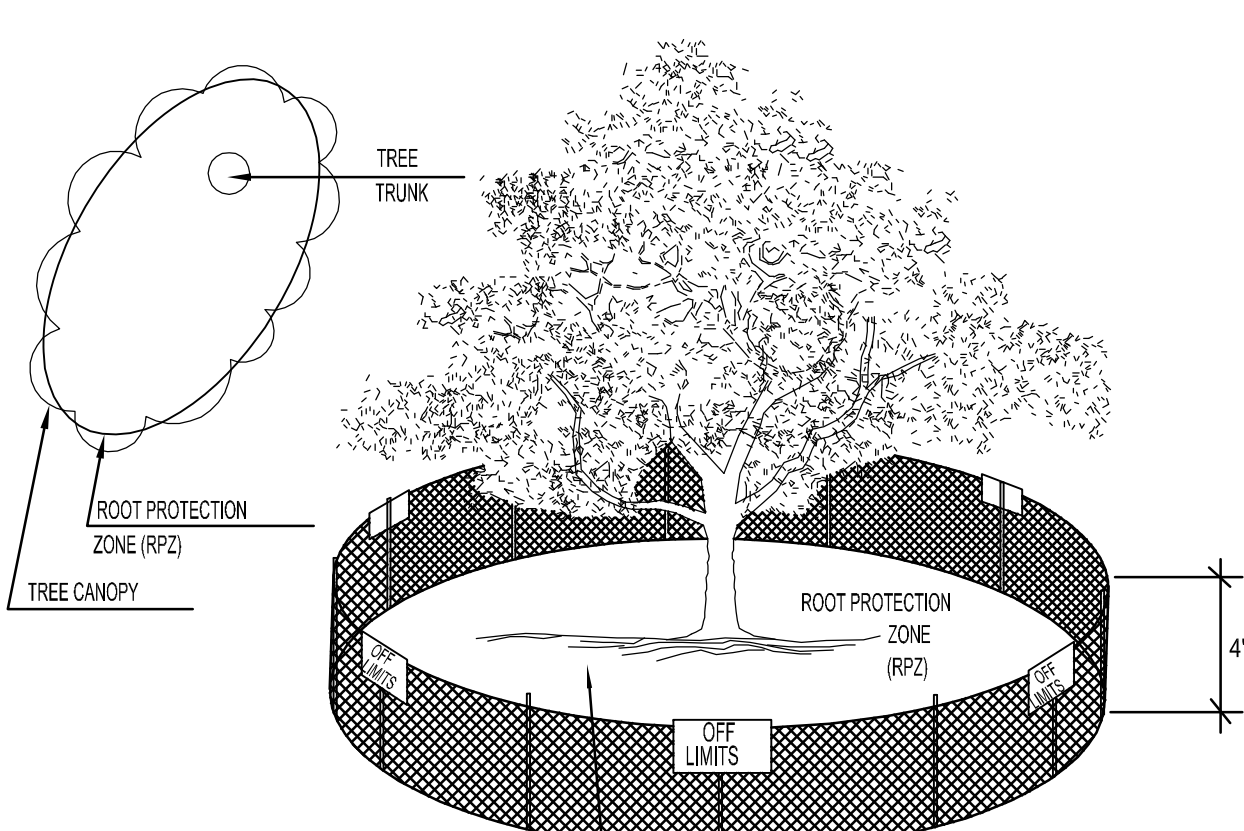
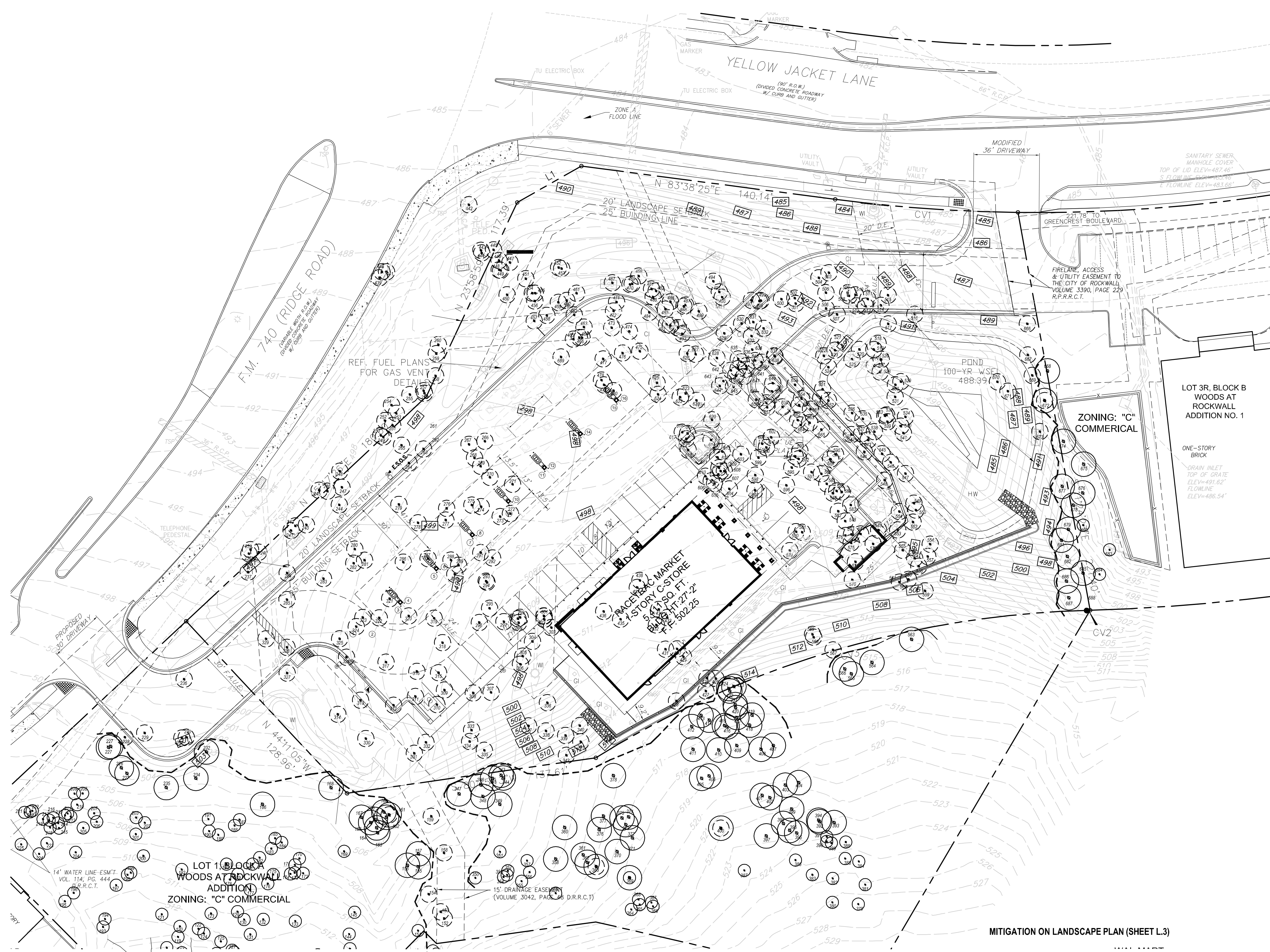
5. *Erosion control/retaining walls.* Any slope embankments or retaining walls within the public right-of-way or within the required buffer-strip must be terraced every four feet in height (maximum) with a minimum of a two foot planting area provided between each vertical plane. Materials used for the vertical elements shall be natural stone or any masonry material which matches the masonry material used on the front facade of the primary building. The planting area must contain plant materials other than grass.
- G. *Signs.* All permanent freestanding signs located in the Scenic Overlay District shall be monument signs (except at the intersection with Interstate 30) adhering to the City of Rockwall sign ordinance (chapter 32 of the Code of Ordinances) as heretofore amended and as may be amended in future. Building materials and colors utilized for construction of the monument base shall be the same as the primary building materials and colors found on the main building, unless otherwise approved by the city council. Approval of any variance to the sign ordinance for property included in the Scenic Overlay District shall require city council approval by a three-quarter majority vote.
  - H. *Lighting standards.* In addition to the requirements of the outdoor lighting requirements no light pole, pole base or combination thereof shall exceed 20 feet in the Scenic Overlay District. All lighting fixtures shall focus light downward and be contained on the site.
  - I. *Utility placement.* All overhead utilities within the Scenic Overlay District shall be placed underground.
  - J. *Variance.* The city council may, upon request from the applicant, grant a variance to any provision of this section where unique or extraordinary conditions exist or where strict adherence to the provisions of this section would create a hardship. Approval of any variance to any provision of this section shall require city council approval by a three-quarter majority vote of those city council members present with a minimum of four affirmative votes.

(Ord. No. 05-49, 9-19-2005; Ord. No. 06-14, 4-17-2006; Ord. No. 15-23, § 2, 8-3-2015; Ord. No. 15-32, § 1, 12-7-2015)







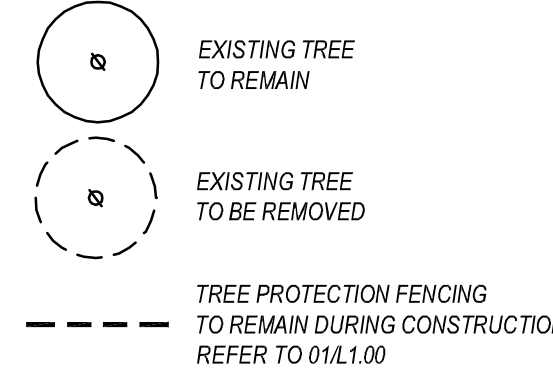


01 TREE PROTECTION FENCE A  
NOT TO SCALE

EXISTING TREE NOTES

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around drip line (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encased with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

EXISTING TREE LEGEND



MITIGATION ON LANDSCAPE PLAN (SHEET L.3)

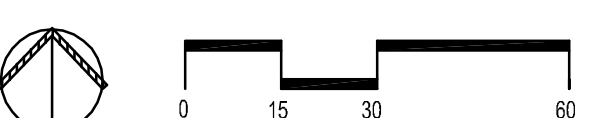
(15) 5" CALIPER TREES	75 CALIPER INCHES
(23) 6" CALIPER TREES	136 CALIPER INCHES
(22) TREES REQUIRED TO BE 4" CALIPER THAT ARE PROPOSED AS 6" CALIPER (22X2" OVER REQ.)	44 CALIPER INCHES
CREDIT FOR ON SITE MITIGATION	255 CALIPER INCHES
(210) NEEDLEPOINT HOLLY (210 / 5)	80 CALIPER INCHES
(422) 3 GALON SHRUBS (422 / 10)	42.2 CALIPER INCHES
(668) PURPLE WINTERCREEPER (668 / 10)	86.8 CALIPER INCHES
TOTAL CALIPER INCHES PROVIDED	464
TOTAL MITIGATION	3,013
TOTAL MITIGATION REMAINING	2,549
AMOUNT DUE PER INCH (\$125.00)	\$ 318,625

- TREE MITIGATION-  
Tree mitigation on this project is provided by:
- Increasing the size of required canopy trees from 4" caliper to 6" caliper providing 2" of mitigation for each tree.
  - Providing additional shrubs, 5 gallon in size providing 1" of mitigation for each 5 additional shrubs.
  - Providing additional shrubs 3 gallon in size providing 1" of mitigation for each 10 shrubs.
  - Providing additional ground cover 1 gallon in size providing 1" of mitigation for each 10 ground cover plants

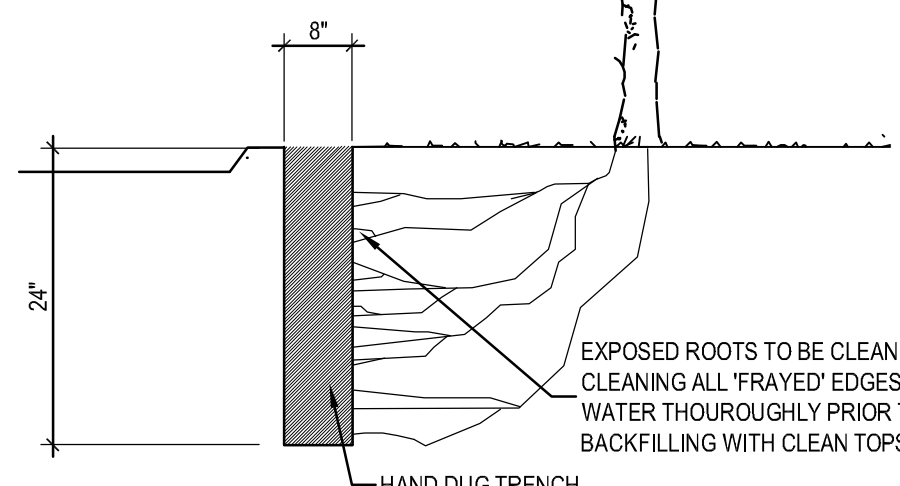
MITIGATION SATISFIED BY AN ALTERNATE TREE MITIGATION PLAN APPROVED BY THE CITY COUNCIL

SITE PLAN  
WOODS AT ROCKWALL ADDITION  
LOT 1 & 2, BLOCK A  
IN THE CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

01 EXISTING TREE PLAN  
SCALE: 1" = 30'-0"



NOTE:  
WRAP TREE TRUNK WITH 2 X 4 STUDS AND ROPE OR BAND IN-PLACE AS NEEDED TO PROTECT TREES IN WORK AREAS



03 ROOT PRUNING DETAIL  
N.T.S.

02 TREE PROTECTION FENCE B  
NOT TO SCALE

DATE	8.6.18
SCALE	AS SHOWN
DRAWN-BY	BDA
DRAWING NAME:	
<b>L.O</b>	
SHEET NO.	VERSION

EXISTING TREE PLAN  
**RACETRAC MARKET #2345**  
2205 RIDGE ROAD  
LOT 1R & 2R, BLOCK A  
ROCKWALL, ROCKWALL COUNTY, TEXAS

DEVELOPER  
RACE TRAC  
3225 CUMBERLAND BLVD., SUITE 100  
ATLANTA, GA 30339  
CONTACT: DREW CUNNINGHAM  
TEL: (770) 431-7600 EXT. 1133

SURVEYOR  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: GARY E. JOHNSON, R.P.L.S.  
TEL: (214) 340-9700

APPLICANT/ENGINEER  
URBAN STRUCTURE  
TBPE FIRM # F-13165  
8140 WALNUT HILL LANE, STE 905  
DALLAS, TEXAS 75231  
CONTACT: DOUGLAS BARRILLEAUX, P.E.  
TEL: (214) 295-5775

smr  
landscape architects, inc.  
1708 N. Griffin Street  
Dallas, Texas 75202  
Tel 214.871.0083  
Fax 214.871.0545  
Email smr@smr-lb.com

STATE OF TEXAS  
LANDSCAPE ARCHITECT  
GARY E. JOHNSON  
8.6.18