



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

Variance Only

P&Z CASE # 2018011 P&Z DATE 5/8/18 CC DATE 5/21/18 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION	
<input type="checkbox"/>	SPECIFIC USE PERMIT
<input type="checkbox"/>	ZONING CHANGE
<input type="checkbox"/>	PD CONCEPT PLAN
<input type="checkbox"/>	PD DEVELOPMENT PLAN

SITE PLAN APPLICATION	
<input type="checkbox"/>	SITE PLAN
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN
<input type="checkbox"/>	PHOTOMETRIC PLAN
<input checked="" type="checkbox"/>	BUILDING ELEVATIONS
<input type="checkbox"/>	MATERIAL SAMPLES
<input type="checkbox"/>	COLOR RENDERING

Revised

PLATTING APPLICATION	
<input type="checkbox"/>	MASTER PLAT
<input type="checkbox"/>	PRELIMINARY PLAT
<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	REPLAT
<input type="checkbox"/>	ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/>	VACATION PLAT
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN

<input type="checkbox"/>	COPY OF ORDINANCE (ORD.# _____)
<input type="checkbox"/>	APPLICATIONS
<input type="checkbox"/>	RECIEPT
<input type="checkbox"/>	LOCATION MAP
<input type="checkbox"/>	HOA MAP
<input type="checkbox"/>	PON MAP
<input type="checkbox"/>	FLU MAP
<input type="checkbox"/>	NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/>	500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/>	PROJECT REVIEW
<input type="checkbox"/>	STAFF REPORT
<input type="checkbox"/>	CORRESPONDENCE
<input type="checkbox"/>	COPY-ALL PLANS REQUIRED
<input type="checkbox"/>	COPY-MARK-UPS
<input type="checkbox"/>	CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/>	MINUTES-LASERFICHE
<input type="checkbox"/>	PLAT FILED DATE _____
<input type="checkbox"/>	CABINET # _____
<input type="checkbox"/>	SLIDE # _____
NOTES: _____	

ZONING MAP UPDATED _____	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2018-011

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3201 Capital Blvd.

Subdivision Rockwall Technology Park

Lot 2

Block A

General Location Corporate Crossing and Capital Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning LI

Current Use _____

Proposed Zoning LI

Proposed Use _____

Acreage 34.229

Lots [Current] _____

Lots [Proposed] _____

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 121.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Lollicup USA

Applicant Forum Studio Architects, Inc.

Contact Person Alan Yu

Contact Person Andy Sebacher

Address 6185 Kimball Ave.

Address 2199 Innerbelt business Center Drive

City, State & Zip Chino, CA 91708

City, State & Zip St. Louis, MO 63114

Phone 800 857-19

Phone 3145922199

E-Mail _____

E-Mail sebachera@forumstudio.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared ANDY SEBACHER [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 19 day of APRIL, 2018. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 19 day of APRIL, 2018.

Owner's/Applicant's Signature _____

Notary Public in and for the State of Texas _____

Andy Sebacher
Notary Public
James Lewis

Notary Public - Notary Seal
St. Louis County - State of Missouri
Commission Number 14839468
My Commission Expires Feb 27, 2022

My Commission Expires 2/27/22



RECEIPT

Project Number: SP2018-011
Job Address: 3201 CAPITAL BLVD
ROCKWALL, TX 75032

Receipt Number: B79044
Printed: 4/30/2018 11:29 am

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$ 100.00

Total Fees Paid: \$ 100.00
Date Paid: 4/30/2018 12:00:00AM
Paid By: CLAYCO CONSTRUCTION
Pay Method: CHECK 334737
Received By: DG

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 05/08/2018

APPLICANT: Andy Sebacher; *Forum Studio Architects, Inc.*

AGENDA ITEM: **SP2018-011**; Amended Site Plan for *Lollicup USA*.

SUMMARY:

Discuss and consider a request by Andy Sebacher of Forum Studio Architects, Inc. on behalf of Alan Yu of Lollicup USA, Inc. for the approval of an amended site plan for a manufacturing facility on a 34.23-acre tract of land identified as a portion of Lot 1, Block A, Rockwall, Technology Park, Phase 2 and Tract 2-01 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Corporate Crossing [FM-3549] and Capital Boulevard, situated within the FM-549 Overlay (FM-549 OV) District, and take any action necessary.

PURPOSE AND BACKGROUND:

The applicant is requesting the approval of an *amended site plan* for the purpose of allowing a form-liner used to replicate the use of stone rather than using the required stone product that was approved for the north elevation. If approved, the applicant intends to provide integrally cast concrete wall panels that appear as split-face stone. This request is in conjunction with an approved site plan for an approximately 650,000 SF warehouse/manufacturing [*i.e. Lollicup USA*] facility within the REDC Technology Park. The site plan was approved for the *subject property* on January 16, 2018 [Case No. SP2017-042]. The approval granted a variance to the FM-549 Overlay (FM-549 OV) Districts' 20% stone requirement by allowing no stone on the east, west, and south elevations, while allowing 12% on the north elevation. The revised building elevations indicate the appearance of a split-face stone (*i.e. form-liner application*) for the north (13%), east (1%), and west (2%) elevations. The proposed warehouse/manufacturing facility will be situated on a 34.23-acre tract of land identified as a portion of Lot 1, Block A, Rockwall Technology Park, Phase 2 and Tract 2-01 of the J. H. B. Jones Survey, Abstract No. 125. The site is located east of Corporate Crossing, between Capital Boulevard and Discovery Boulevard, is within the FM-549 Overlay (SH-276 OV) District, and is zoned Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS:

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), a warehouse is a permitted by right use in a Light Industrial (LI) District. With the exception of the variance being requested for the use of a form-liner application, the approved site plan [SP2017-042], landscape plan, treescape plan, photometric plan, and building elevations have not changed from the originally approved site plan and generally conform to the technical requirements contained within the Unified Development Code (UDC) for properties located within the FM-549 (FM-549 OV) District, and Light Industrial (LI) zoning district. A summary of the density and dimensional requirements of the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>12,500 SF</i>	<i>34.23-Acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>100-Feet</i>	<i>x>100-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>125-Feet</i>	<i>x>125-Feet; In Conformance</i>

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>x>25-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>0-Feet + ½ H¹</i>	<i>x>20-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>0-Feet + ½ H¹</i>	<i>x>200-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>120-Ft²</i>	<i>41'8"; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>~43.6%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x>90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1,300</i>	<i>206 Provided; Variance Approved</i>
<i>Minimum Stone Requirement (SH205 OV)</i>	<i>20% Each Facade</i>	<i>X<20%; Variance Approved</i>
<i>Minimum Landscaping Percentage</i>	<i>10%</i>	<i>x=26%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>x=74%; In Conformance</i>

VARIANCE REQUESTS:

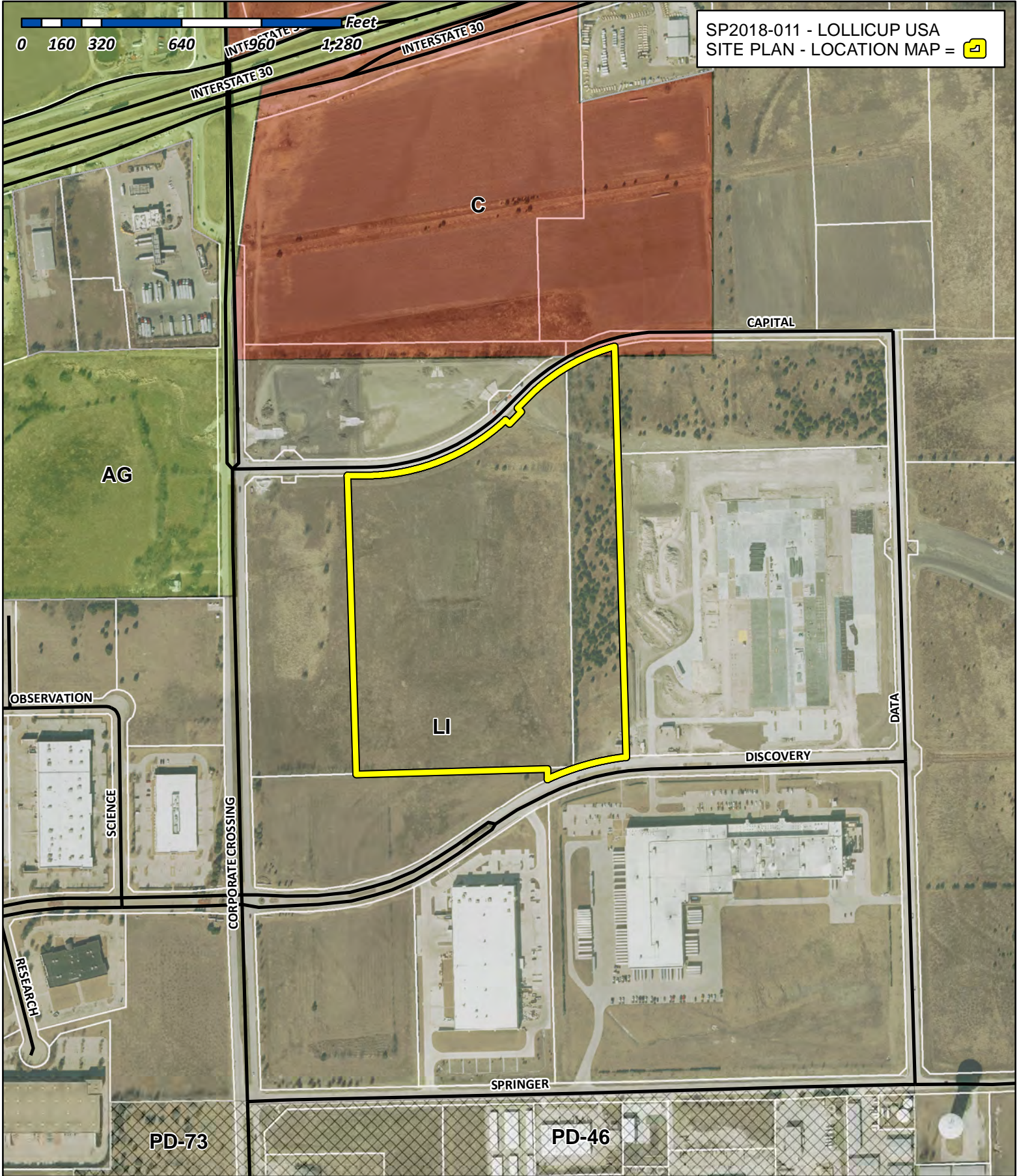
The applicant is requesting a variance to the Unified Development Code (UDC) for the section outlined below. It should be noted that a variance request to the FM-549 Overlay (FM-549 OV) District requires passage by a ¾ majority vote of those City Council members present. The request is as follows:

- 1) Section 6.13, C.1, FM-549 OV, of the UDC requires a minimum of 20% natural (or quarried) stone on all facades. The proposed building elevations do not indicate the use of a natural or quarried stone product on any façade (*i.e. north, south, east, & west*), rather the use of a form-liner appearing as split-face stone for the north (13%), east (1%), and west (2%) elevations. A variance to the FM-549 OV would allow for the building elevations to not meet the stone requirement as depicted on the elevations and requires approval of a 3/4 majority vote of the City Council members present.

A request for a variance as outlined above is considered a discretionary decision for the City Council.

ARCHITECTURAL REVIEW BOARD RECOMMENDATION:

On January 9, 2018, the Architectural Review Board (ARB) reviewed the revised building elevations and requested the applicant provide additional stone to the north elevation along the northwest corner of the area (*i.e. office area*). Additionally, the ARB requested the applicant provide landscaping along the southern boundary to better screen this area from Discovery Blvd. The ARB made a motion to recommend approval of the building elevations with these conditions, which passed by a vote of 4 to 0 with Board Members Meyrat, Neill, and Dayman absent. The Architectural Review Board (ARB) will review the proposed change to the building elevations at their next meeting to be held on May 8, 2018 and will provide a recommendation to the Planning and Zoning Commission.



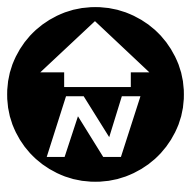
SP2018-011 - LOLLICUP USA
 SITE PLAN - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



April 20, 2018

David Gonzalez
Senior Planner
Rockwall Planning & Zoning Division
385 S. Goliad Street
Rockwall, Texas 75087

Project: Lollicup 3201 Capital Blvd.
Permit Number: B:D2018-0688
#601-03049

Dear David,

Please accept this Development Application and supporting documentation for Amended Site Plan to initiate the approval process. We propose substitution of concrete panels that include integrally cast concrete replica stone of size, color and texture similar to the thin-stone product for the previously approved Eldorado Stone man-made thin-stone product. This will be achieved through a special concrete form and a hand applied mineral stain.

The proposed concrete form liner #892 12" Quarry Stone from Architectural Polymers Inc., develops a 'split-face' stone appearance of running bond masonry that is an integral part of the concrete wall panel. This eliminates the possibility of masonry veneer separation issues.

The formed concrete is then provided the realistic color of natural stone and mortar by the hand applied mineral stain product which forms a permanent penetrating, chemical bond with the concrete. The stain is environmentally friendly, durable, odorless, as well as resistant to UV, weather and mold and mildew and comes with a 25 year warranty.

Please advise if there is any other information we can provide to assist your process.

We look forward to working with the City of Rockwall on this project.

Regards,



Andy Sebacher
Senior Associate
Forum Studio

Enclosures: Development Application (amended site plan)
 \$100 application fee check
 4 Each:
 --Updated color renderings
 --Updated color elevations
 --Form Liner #892 spec sheet, installation image overall and close-up
 --Nawkaw sales brochure, Nawkaw K-tone spec sheet, installation photo image

cc. Bob Leimberg, Clayco



Copyright © 2018 Forum Studios, Inc.

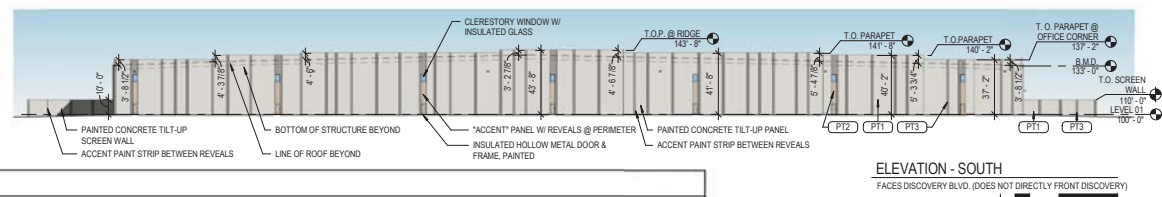
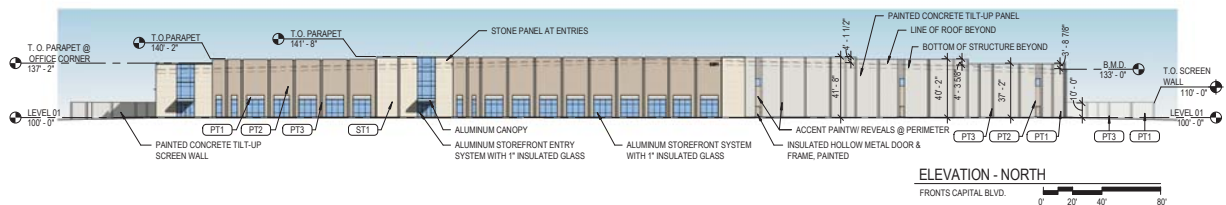
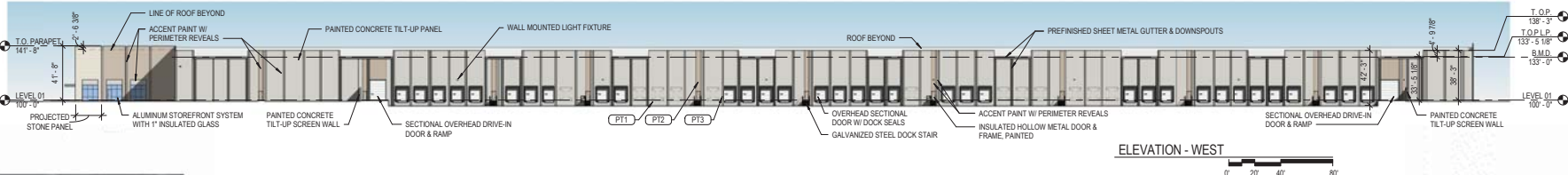
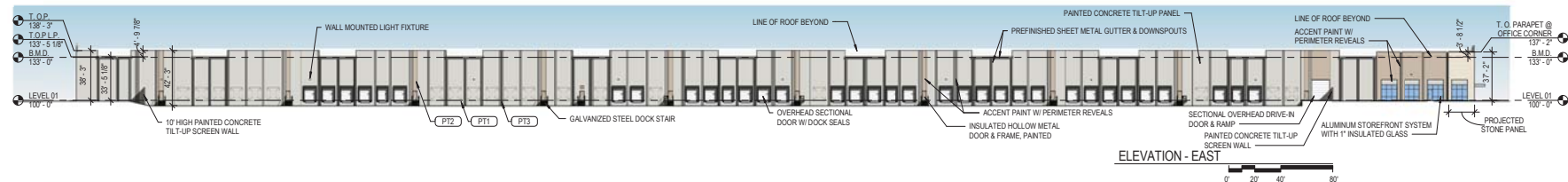
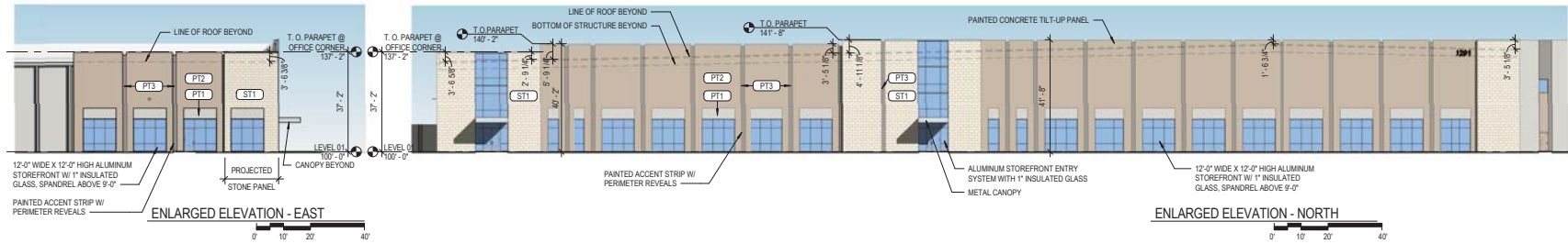
CLAYCO
THE ART & SCIENCE OF BUILDING

LOLLICUP® USA, INC.

LOLLICUP
04.20.2018

Rockwall, TX

FORUM



BUILDING MATERIAL QUANTITIES		
EAST ELEVATION		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	88	36,499
STOREFRONT SYSTEMS	2	576
STONE	1	545
OVERHEAD DOORS	8	3,464
HOLLOW METAL DOORS & FRAMES	1	338
TOTAL FACADE	100	41,420
WEST ELEVATION		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	88	36,174
STOREFRONT SYSTEMS	2	627
STONE	2	685
OVERHEAD DOORS	8	3,464
HOLLOW METAL DOORS & FRAMES	<1	338
TOTAL FACADE	100	41,286
NORTH ELEVATION		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	74	18,843
STOREFRONT SYSTEMS	12	3,168
STONE	13	3,311
HOLLOW METAL DOORS & FRAMES	1	172
TOTAL FACADE	100	25,594
SCREEN WALL EAST		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	543
SCREEN WALL WEST		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	668
SOUTH ELEVATION		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	99	24,533
CLERESTORY	<1	81
HOLLOW METAL DOORS & FRAMES	<1	168
TOTAL FACADE	100	25,122
SCREEN WALL EAST		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	543
SCREEN WALL WEST		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	668
ROOF		
45 MIL WHITE TPO OVER RIGID INSULATION		

BUILDING MATERIALS

EXTERIOR WALLS TILT-UP CONCRETE PANELS: SITE CAST, REINFORCED, UN-INSULATED CONCRETE TILT-UP PANELS - PAINTED	CANOPY CLEAR ANODIZED ALUMINUM CANOPY AT MAIN OFFICE ENTRANCES	STOREFRONT SYSTEMS 2" WIDE X 4 1/2" DEEP ALUMINUM FRAMED STOREFRONT SYSTEM WITH 1" INSULATED GLASS. COLOR: CLEAR ANODIZED	STONE ST1: FAUX STONE FORMED & STAINED CONCRETE PANEL
ROOFING 45 MIL SINGLE PLY MECHANICALLY FASTENED TPO OVER R-20 ROOF INSULATION. COLOR: WHITE	HOLLOW METAL DOORS & FRAMES 18 GAUGE, 1 3/4" THICK FLUSH PANELS, INSULATED, PAINTED	PAINT SMOOTH TEXTURED 2-COAT ELASTOMERIC SYSTEM ON TILT-UP PANELS PT1: SW 7048 BIG CHILL (OVERALL COLOR) PT2: SW 7037 BALANCED BEIGE (ACCENT, OFFICE AREA WALLS, HOLLOW METAL DOORS) PT3: SW 7613 PEWTER CAST (ACCENT)	
SHEET METAL *ONWARD FINISHED ALUMINUM SHEET METAL GUTTERS & DOWNSPOUTS. MANUFACTURER: UNACLAD OR EQUAL, COLOR: SLATE GRAY	OVERHEAD DOORS 9'x10' MANUALLY OPERATED VERTICAL LIFT INSULATED SECTIONAL DOCK DOORS. COLOR: WHITE		
	14"x16" ELECTRICALLY OPERATED SECTIONAL DRIVE-IN DOORS. COLOR: WHITE		

APPLICANT INFORMATION		DESCRIPTION	DATE
808 LEMBERG CLAYCO 2199 INNERBELT BUSINESS CENTER DR. ST. LOUIS, MO 63114 314.592.2234 office 314.713.7874 mobile lemberg@clayco.com		SITE PLAN SUBMITTAL - CITY OF ROCKWALL	12/15/17
OWNER INFORMATION ALAN YU LOLLICUP USA 6185 KIMBALL AVE. CHINO, CA 91708 626.965.8982 x110 office 626.226.8556 mobile alan.yu@lollcup.com		REVISIONS - CITY OF ROCKWALL # & Z REVISIONS	01/09/18 01/11/18
PROJECT NAME LOLLICUP CASE NUMBER: SP2011-042		AMENDED SITE PLAN	04/20/18

CLAYCO
THE ART & SCIENCE OF BUILDING
2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
PH: 314.409.5100 FAX: 314.425.3137

ARCHITECT: **FORUM**
2180 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
PH: 314.409.5100 FAX: 314.425.3137

CONTRACTOR/DEVELOPER: **CLAYCO**

LANDSCAPE ARCHITECT: **FORUM**

CIVIL ENGINEER: **FREES & NICHOLS**

STRUCTURAL ENGINEER: **FORUM**

MECHANICAL ENGINEER: **FORUM**

ELECTRICAL ENGINEER: **FORUM**

PLUMBING ENGINEER: **FORUM**

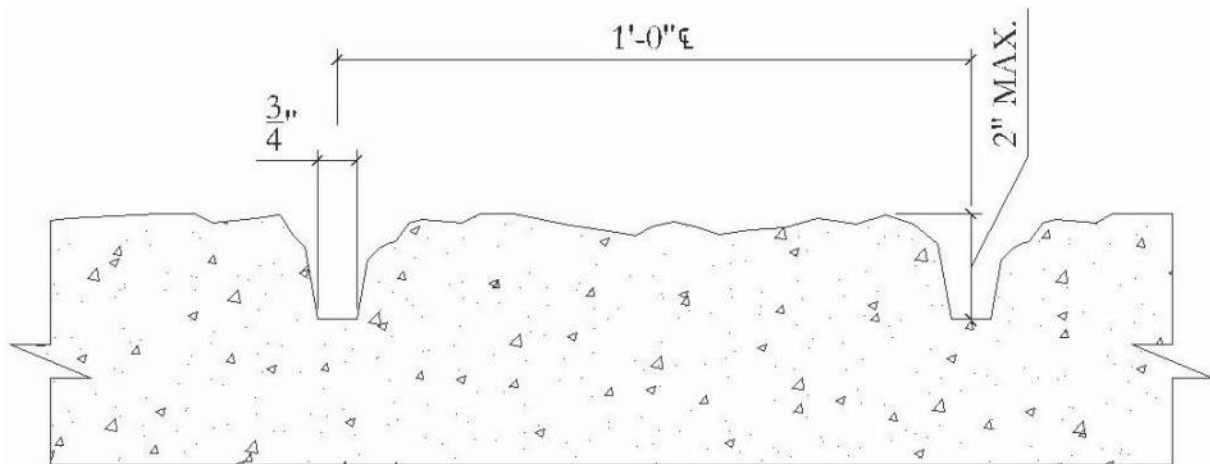
FIRE PROTECTION ENGINEER: **FORUM**

Lollicup
3201 Capital Blvd.
Rockwall, Texas 75082

DRAWING TITLE: **BUILDING ELEVATIONS**

DRAWING NO.: **+A3-01**

Form # 601-03/06 | Consult # 101-02/06



#892 12" QUARRY STONE

Architectural concrete surface treatment shall be obtained with Architectural Polymers® elastomeric form liner as manufactured by Architectural Polymers®. Release agent shall be approved and applied as per Architectural Polymers® recommendation. Factory bonded 3/4" plywood is also available. No substitutions will be allowed without prior written approval from the architect or engineer.

#892 12" Quarry Stone Short Form Specification

©2014 Architectural Polymers Inc.® All rights reserved.





PHOTO IMAGE OF FORM LINER #892
INSTALLATION

OUR APPLICATION WILL INCLUDE
ONLY FORM LINER #892 WITHOUT
BRICK BAND AND WITHOUT SMOOTH
FACE STONE



PHOTO IMAGE
CLOSE-UP VIEW OF
PREVIOUS
INSTALLATION OF
FORM LINER #892





PHOTO IMAGE OF SIMILAR COLOR
NAWKAW INSTALLATION.

FOR OUR APPLICATION COLOR WILL BE
SIMILAR WITHOUT THE DARK GRAY FOR
LESS RANGE.



Commercial Services

Beautiful, natural looking color for brick, block, concrete, mortar, stucco and stone.

Nawkaw[®]
Changing the color of masonry and concrete!

Color—it's been our passion for more than 30 years!

It's no wonder that we have come across a number of projects through the years that require specialized services. Not all concrete is created equally (nor bricks for that matter!) That is why we manufacture different types of stain. Some manufacturers have a one-size-fits-all approach to coloring concrete; however, our experience is that every job is different. From our acrylic stains to mineral silicate stains, each has properties that make it well suited for particular applications.

Our installation services teams provide creative color solutions for projects of all sizes.

Nawkaw Services

- Expert installation crews specialize in providing quality services using a variety of application techniques
- Restoration and corrective application
- New Construction, on-site and in-situ, precast, tilt-up
- Color Matching/Blending
- Recoloring
- Creative Application
- Adaptive Reuse
- Commercial projects
- Government projects
- Institutional projects
- Highway projects



Architectural Finishes

The photos below, featuring our "Aged Copper" finish, illustrate how color helps to define the shape and depth of the structure. Without color, the building appears very flat—practically one dimensional. But notice how the color dramatically enhances the dimension, defining the various planes and accentuating the textures inherent in the concrete. For more information about architectural finishes and color for concrete and masonry, please call us today or visit us online at www.Nawkaw.com.



Nawkaw[®]
Changing the color of masonry and concrete!

370 Commerce Blvd. • Athens, GA 30606 • www.Nawkaw.com • 1-866-4-NAWKAW



Architects, contractors, and the world's leading designers look to Nawkaw to transform properties with beautiful colors and tones.

We manufacture our stain products and our specially trained crews apply them in order to precisely control the application process and ensure a natural looking and consistent appearance.



Paint vs. Stain

◀ Notice how the stain dramatically enhances the highlights, mid-tones, and shadows created by the wood textured concrete. The semi-translucent color allows the texture to show through rather than being covered up. NawTone™ stains are uniquely formulated for masonry and concrete. Unlike paint, which rests on top of the surface, our products penetrate and bond to masonry and concrete, forming an incredibly durable finish that won't chip, blister, or peel.

Color makes the difference...

Your building's color—it's the *first* thing people see, but it can make a *lasting impression!* Nawkaw's Certified Stain Technicians are experts at matching and blending color to achieve just the color you are looking for. We can stain project components at a precast facility, on a tilt-up job site, or suspended from a swing stage fifty stories up—all with the same superb results!

Color for National Brands

Nawkaw helps National Brands establish and maintain color consistency throughout their service areas. We store colors in a digital library so they can be quickly retrieved for use at any location across the country and around the world.



▼ When paints trap moisture beneath the surface, it can lead to unsightly peeling and require multiple reapplications. This is what we call "*Paintenance.*" NawTone stains are a one-and-done finish. Our stains are custom blended, allowing for infinite color control on every project.





NawTone-K™

NawTone-K is mineral stain that uses silicate as a binding agent to form a permanent chemical bond with substrates. The addition of lightfast, inorganic pigments enables a wide range of colors to be produced. **NawTone-K** exhibits the overall characteristics of being:

- UV resistant
- aspiratory
- weather resistant
- lightfast
- durable
- mold & mildew resistant
- penetrating
- odorless
- environmentally friendly

NawTone-K can be diluted with **NawThinz-C** for concrete surfaces or with **NawThinz-M** for masonry surfaces to create color-wash, semi-transparent, or opaque finishes. Our customized application techniques make **NawTone-K** a superior choice for new construction, renovation, restoration, and preservation.

Because **NawTone-K** chemically binds with concrete, it is ideal for use on precast and tilt-up projects. **NawTone-K** offers consistent color solutions for complete color changes, decorative applications, and solving color problems. This product is also very effective for blending away color variations that naturally occur in the manufacture of concrete. This includes blending away unsightly or mismatching patch repairs and skim coat finishes.

Environmental & Safety Concerns

NawTone-K is water-based, nonflammable, nonhazardous and has **Zero VOC** content. Use of this product may help your projects qualify for L.E.E.D credits.

Typical Specifications:

- **Viscosity:** (72° F) 60°-80° KU
- **pH:** ~11
- **Finish:** flat
- **Nonflammable**
- **VOC:** 0 g/L (ASTM D6886)
- **Abrasion Resistance:** excellent
- **Water Vapor Permeance:** 4.5×10^{-6} g/Pa s m²
- **Water Diffusion Resistance:** $s_d(H_2O) < 0.01$ m
- **UV Resistant–Accelerated Weathering**
(ASTM G154) : pass
- **Application Temperature:** 41°-110°F (5°-43°C)
- Dry Time for Reapplication (if required):**
12 hrs concrete / 24 hrs masonry
- **Shelf Life:** 12 months in factory sealed container

Product Properties

- Penetrating
- Nonflammable
- Nontoxic
- Water-based
- Solvent-free
- Vapor-permeable
- Non-film-forming
- Zero VOC
- Water washup

Color Selection

Nawkaw stains allow you the freedom to choose the colors you want from any color specifiers or actual samples.

Create all levels of color, from completely opaque to just a hint of color.



Ask about our 25-Year Warranty

Surface Preparation

Prior to application ensure that substrate is clean, dry and free of dust. Remove loose and unstable material as a sound surface is required for external applications. Be sure to check for any presence of mold release residue from concrete forms. If present, remove according to manufacturer's guidelines.

Substrates that have been treated with acid/chemical wash must be neutralized prior to application.

Alkali or efflorescence should be treated with proper neutralizing compounds as recommended by manufacturers before application can begin.

Application

NawTone-K can be applied by brush, roller, sponge and spray equipment. The product should be thoroughly mixed by stirring before use. The choice of application technique depends on the desired color and finish one wishes to achieve.

For translucent finishes, NawTone-K will be customized depending on the level of translucency required for the project. This may involve varying the number of applications required. Opaque finishes may require 2 or 3 applications.

When NawTone-K has been diluted with NawThinZ, be sure to keep it well stirred. **ONLY DILUTE WITH NAWTHINZ.**

It is important to maintain a wet edge at all times, and work to a natural break line.

Limitations

Not suitable for application on synthetic surfaces such as silicone, urethane, epoxy or plastic. Coating sets hard and is not flexible; not recommended for caulking joints.

Coverage

Approximately 200-400 sq ft (60-120m²). Actual area covered depends on the porosity of the substrate and the application method(s) used.

Cleaning of Application Equipment

Cleanup of equipment with water should be completed before the products have been allowed to dry. Spills or overspray should be cleaned with water and not allowed to dry.

The User of the product assumes all liability for product's use except in situations involving a manufacture's defect. This technical information is offered as advice based on knowledge and practical experience and does not constitute a warranty. Before application, the User shall determine the suitability of the product for its intended use. User should also ensure that the product is thoroughly mixed prior to application as the product may have settled during shipment or storage. Furthermore, it is recommended that the User test the product on a sample area before use. Nawkaw retains the right to make modifications as part of the product's development or improvement of their application; it is the User's duty to ensure they are aware of any such changes. This edition supersedes all earlier editions.

Safety

- Protect eyes and skin from contact with NawTone-K.
- Do not swallow.
- Keep away from children.



NOTE:
See manufacturer's SDS sheet:
www.Nawkaw.com/downloads

CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 05/21/2018

APPLICANT: Andy Sebacher; *Forum Studio Architects, Inc.*

AGENDA ITEM: **SP2018-011**; Amended Site Plan for *Lollicup USA*.

SUMMARY:

Discuss and consider a request by Andy Sebacher of Forum Studio Architects, Inc. on behalf of Alan Yu of Lollicup USA, Inc. for the approval of a variance in conjunction with an approved site plan for a manufacturing facility on a 34.23-acre tract of land identified as a portion of Lot 1, Block A, Rockwall, Technology Park, Phase 2 and Tract 2-01 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Corporate Crossing [FM-3549] and Capital Boulevard, situated within the FM-549 Overlay (FM-549 OV) District, and take any action necessary.

PURPOSE AND BACKGROUND:

The applicant is requesting approval of a variance to the Unified Development Code (UDC) as outlined in this report. The request is in conjunction with a request for an *amended site plan* for the purpose of allowing a form-liner used to replicate the use of stone rather than using the required stone product that was approved for the north elevation. If approved, the applicant intends to provide integrally cast concrete wall panels that appear as split-face stone. After the site plan was approved by the Planning and Zoning Commission, the City Council approved variances and exceptions associated with an approximately 650,000 SF warehouse/manufacturing [*i.e. Lollicup USA*] facility on January 16, 2018 [*Case No. SP2017-042*]. It should be noted that the approval granted a variance to the FM-549 Overlay (FM-549 OV) Districts' 20% stone requirement by allowing no stone on the east, west, and south elevations, while allowing 12% on the north elevation. The revised building elevations indicate the appearance of a split-face stone (*i.e. form-liner application*) for the north (13%), east (1%), and west (2%) elevations. The proposed warehouse/manufacturing facility will be situated on a 34.23- acre tract of land identified as a portion of Lot 1, Block A, Rockwall Technology Park, Phase 2 and Tract 2-01 of the J. H. B. Jones Survey, Abstract No. 125. The site is located east of Corporate Crossing, between Capital Boulevard and Discovery Boulevard, is within the FM-549 Overlay (SH-276 OV) District, and is zoned Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS:

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), a warehouse is a permitted by right use in a Light Industrial (LI) District.

With the exception of the variance being requested for the use of a form-liner application, the approved site plan [*SP2017-042*], landscape plan, treescape plan, photometric plan, and building elevations have not changed from the originally approved site plan and generally

conform to the technical requirements contained within the Unified Development Code (UDC) for properties located within the FM-549 (FM-549 OV) District, and Light Industrial (LI) zoning district. A summary of the density and dimensional requirements of the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>12,500 SF</i>	<i>34.23-Acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>100-Feet</i>	<i>x>100-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>125-Feet</i>	<i>x>125-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>x>25-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>0-Feet + ½ H¹</i>	<i>x>20-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>0-Feet + ½ H¹</i>	<i>x>200-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>120-Ft²</i>	<i>41'8"; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>~43.6%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x>90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1,300</i>	<i>206 Provided; Variance Approved</i>
<i>Minimum Stone Requirement (SH205 OV)</i>	<i>20% Each Facade</i>	<i>X<20%; Variance Approved</i>
<i>Minimum Landscaping Percentage</i>	<i>10%</i>	<i>x=26%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>x=74%; In Conformance</i>

VARIANCE REQUESTS:

The applicant is requesting a variance to the Unified Development Code (UDC) for the section outlined below. It should be noted that a variance request to the FM-549 Overlay (FM-549 OV) District requires passage by a ¾ majority vote of those City Council members present. The request is as follows:

- 1) Section 6.13, C.1, FM-549 OV, of the UDC requires a minimum of 20% natural (or quarried) stone on all facades. The proposed building elevations do not indicate the use of a natural or quarried stone product on any façade (*i.e. north, south, east, & west*), rather the use of a form-liner appearing as split-face stone for the north (13%), east (1%), and west (2%) elevations. A variance to the FM-549 OV would allow for the building elevations to not meet the stone requirement as depicted on the elevations and requires approval of a 3/4 majority vote of the City Council members present.

A request for a variance as outlined above is considered a discretionary decision for the City Council.

ARCHITECTURAL REVIEW BOARD:

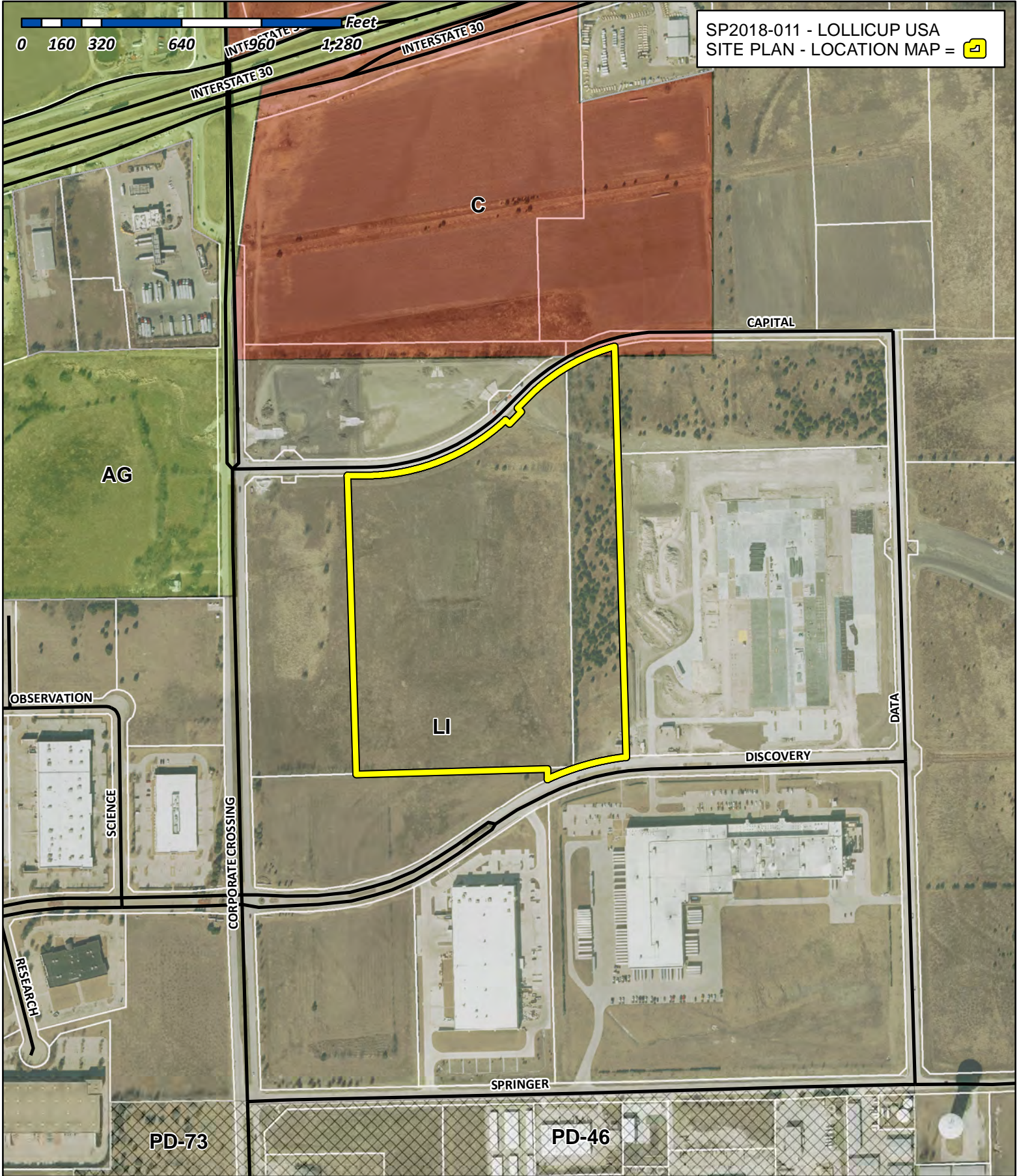
On January 9, 2018, the Architectural Review Board (ARB) reviewed the revised building elevations and requested the applicant provide additional stone to the north elevation along the northwest corner of the area (*i.e. office area*). Additionally, the ARB requested the applicant provide landscaping along the southern boundary to better screen this area from Discovery Blvd. The ARB made a motion to recommend approval of the building elevations with these conditions, which passed by a vote of 4 to 0 with Board Members Meyrat, Neill, and Dayman absent. The Architectural Review Board (ARB) will review the proposed change to the building

elevations at their next meeting to be held on May 8, 2018 and will provide a recommendation to the Planning and Zoning Commission.

On May 8, 2018, the Architectural Review Board (ARB) reviewed the proposed request to allow for the use of a form-liner rather than stone. The ARB made a motion to recommend denial of the request, which passed by a vote of 3 to 0 with Board Members Neill, Craddock, Tovar, and Miller absent.

PLANNING AND ZONING COMMISSION:

On May 8, 2018, the Planning and Zoning Commission's motion to recommend denial of the request to allow a form-liner application passed by a vote of 7 to 0.



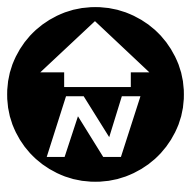
SP2018-011 - LOLLICUP USA
 SITE PLAN - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



April 20, 2018

David Gonzalez
Senior Planner
Rockwall Planning & Zoning Division
385 S. Goliad Street
Rockwall, Texas 75087

Project: Lollicup 3201 Capital Blvd.
Permit Number: B:D2018-0688
#601-03049

Dear David,

Please accept this Development Application and supporting documentation for Amended Site Plan to initiate the approval process. We propose substitution of concrete panels that include integrally cast concrete replica stone of size, color and texture similar to the thin-stone product for the previously approved Eldorado Stone man-made thin-stone product. This will be achieved through a special concrete form and a hand applied mineral stain.

The proposed concrete form liner #892 12" Quarry Stone from Architectural Polymers Inc., develops a 'split-face' stone appearance of running bond masonry that is an integral part of the concrete wall panel. This eliminates the possibility of masonry veneer separation issues.

The formed concrete is then provided the realistic color of natural stone and mortar by the hand applied mineral stain product which forms a permanent penetrating, chemical bond with the concrete. The stain is environmentally friendly, durable, odorless, as well as resistant to UV, weather and mold and mildew and comes with a 25 year warranty.

Please advise if there is any other information we can provide to assist your process.

We look forward to working with the City of Rockwall on this project.

Regards,



Andy Sebacher
Senior Associate
Forum Studio

Enclosures: Development Application (amended site plan)
 \$100 application fee check
 4 Each:
 --Updated color renderings
 --Updated color elevations
 --Form Liner #892 spec sheet, installation image overall and close-up
 --Nawkaw sales brochure, Nawkaw K-tone spec sheet, installation photo image

cc. Bob Leimberg, Clayco



CLAYCO
THE ART & SCIENCE OF BUILDING

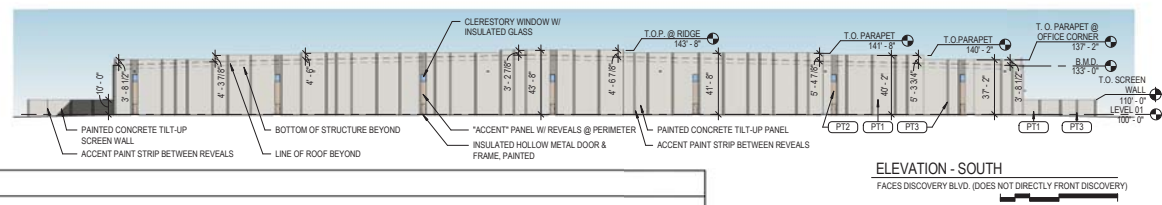
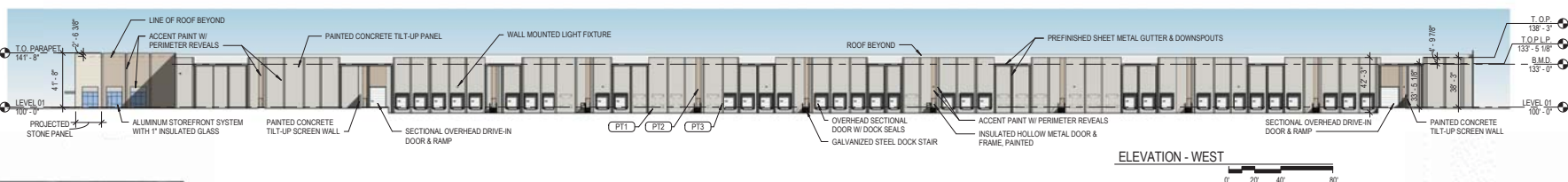
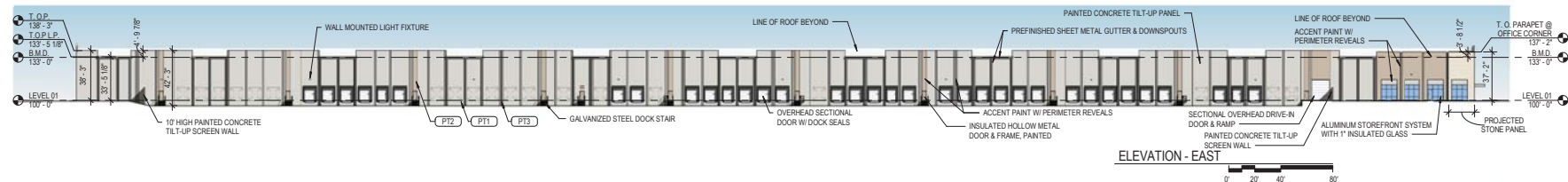
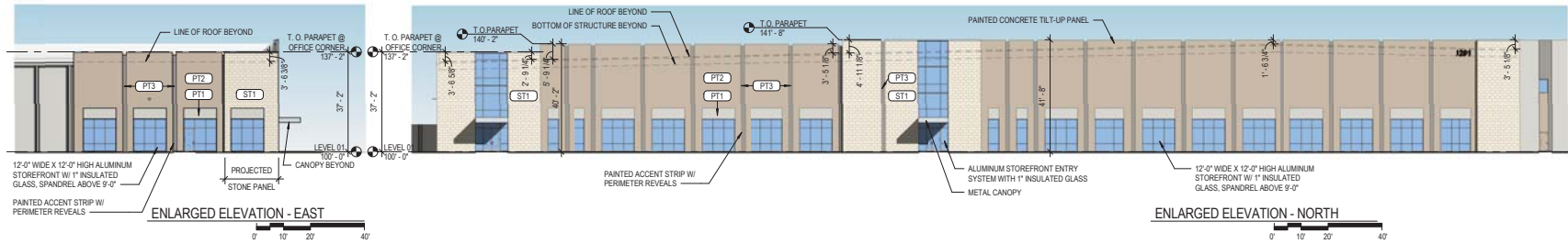
LOLLICUP® USA, INC.

LOLLICUP
04.20.2018

Rockwall, TX

FORUM

Copyright © 2018 Forum Studios, Inc.



BUILDING MATERIAL QUANTITIES		
EAST ELEVATION		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	88	36,499
STOREFRONT SYSTEMS	2	576
STONE	1	545
OVERHEAD DOORS	8	3,464
HOLLOW METAL DOORS & FRAMES	1	338
TOTAL FACADE	100	41,420
WEST ELEVATION		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	88	36,174
STOREFRONT SYSTEMS	2	627
STONE	2	685
OVERHEAD DOORS	8	3,464
HOLLOW METAL DOORS & FRAMES	<1	338
TOTAL FACADE	100	41,286
NORTH ELEVATION		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	74	18,843
STOREFRONT SYSTEMS	12	3,168
STONE	13	3,311
HOLLOW METAL DOORS & FRAMES	1	372
TOTAL FACADE	100	25,394
SCREEN WALL EAST		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	543
SCREEN WALL WEST		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	668
SOUTH ELEVATION		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	99	24,533
CLERESTORY	<1	81
HOLLOW METAL DOORS & FRAMES	<1	668
TOTAL FACADE	100	25,122
SCREEN WALL EAST		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	543
SCREEN WALL WEST		
MATERIAL	% FACADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	668
ROOF		
45 MIL WHITE TPO OVER RIGID INSULATION		

BUILDING MATERIALS

EXTERIOR WALLS TILT-UP CONCRETE PANELS: SITE CAST, REINFORCED, UN-INSULATED CONCRETE TILT-UP PANELS - PAINTED	CANOPY CLEAR ANODIZED ALUMINUM CANOPY AT MAIN OFFICE ENTRANCES	STOREFRONT SYSTEMS 2" WIDE X 4 1/2" DEEP ALUMINUM FRAMED STOREFRONT SYSTEM WITH 1" INSULATED GLASS. COLOR: CLEAR ANODIZED	STONE ST1: FAUX STONE FORMED & STAINED CONCRETE PANEL
ROOFING 45 MIL SINGLE PLY MECHANICALLY FASTENED TPO OVER R-20 ROOF INSULATION. COLOR: WHITE	HOLLOW METAL DOORS & FRAMES 18 GAUGE, 1 3/4" THICK FLUSH PANELS, INSULATED, PAINTED	PAINT SMOOTH TEXTURED 2-COAT ELASTOMERIC SYSTEM ON TILT-UP PANELS PT1: SW 7048 BIG CHILL (OVERALL COLOR) PT2: SW 7037 BALANCED BEIGE (ACCENT, OFFICE AREA WALLS, HOLLOW METAL DOORS) PT3: SW 7613 PEWTER CAST (ACCENT)	
SHEET METAL *ONWARD FINISHED ALUMINUM SHEET METAL GUTTERS & DOWNSPOUTS. MANUFACTURER: UNACLAD OR EQUAL, COLOR: SLATE GRAY	OVERHEAD DOORS 9'x10' MANUALLY OPERATED VERTICAL LIFT INSULATED SECTIONAL DOCK DOORS. COLOR: WHITE		
	14"x16" ELECTRICALLY OPERATED SECTIONAL DRIVE-IN DOORS. COLOR: WHITE		

CLAYCO
THE ART & SCIENCE OF BUILDING
2199 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
PH: 314.409.5100 FAX: 314.423.317

ARCHITECT
FORUM
2180 INNERBELT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
PH: 314.409.5100 FAX: 314.423.3173

CONTRACTOR / DEVELOPER
CLAYCO

LANDSCAPE ARCHITECT
FORUM

CIVIL ENGINEER
FREES & NICHOLS

STRUCTURAL ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

PLUMBING ENGINEER

FIRE PROTECTION ENGINEER

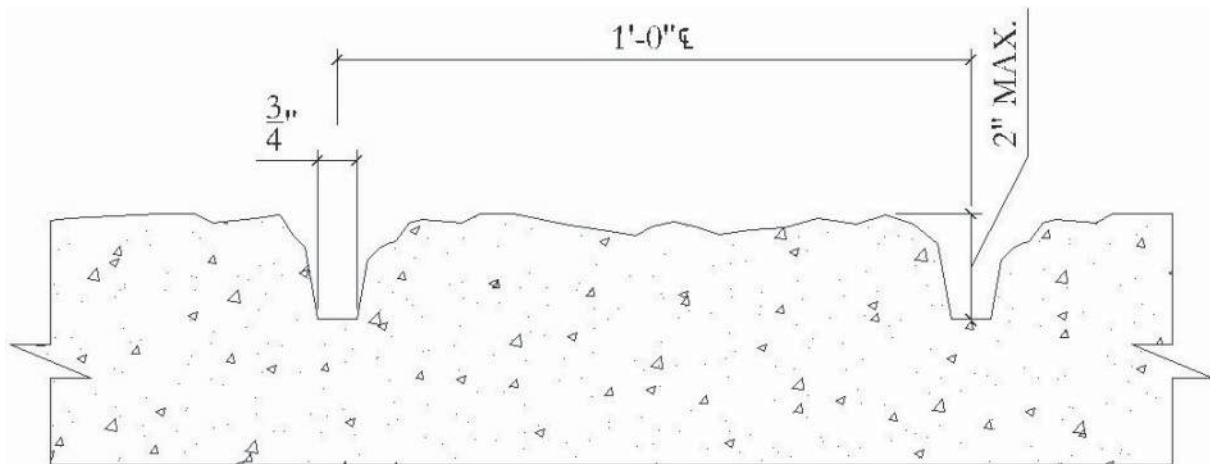
Lollicup
3201 Capital Blvd.
Rockwall, Texas 75082

APPLICANT INFORMATION	
808 LEMBERG CLAYCO 2199 INNERBELT BUSINESS CENTER DR. ST. LOUIS, MO 63114 314.592.2234 office 314.713.7874 mobile lemberg@clayco.com	12/15/17
OWNER INFORMATION ALAN YU LOLLICUP USA 6185 KIMBALL AVE. CHINO, CA 91708 626.955.8982 x110 office 626.226.8556 mobile alan.yu@lollicup.com	01/09/18
PROJECT NAME LOLLICUP CASE NUMBER: SP2011-042	01/11/18
	04/20/18

DESCRIPTION	DATE
SITE PLAN SUBMITTAL - CITY OF ROCKWALL	12/15/17
REVISIONS - CITY OF ROCKWALL	01/09/18
# & % REVISIONS	01/11/18
AMENDED SITE PLAN	04/20/18

DRAWING NO.
+A3-01

Form # 601-0346 / Consult # 101-02046



#892 12" QUARRY STONE

Architectural concrete surface treatment shall be obtained with Architectural Polymers® elastomeric form liner as manufactured by Architectural Polymers®. Release agent shall be approved and applied as per Architectural Polymers® recommendation. Factory bonded 3/4" plywood is also available. No substitutions will be allowed without prior written approval from the architect or engineer.

#892 12" Quarry Stone Short Form Specification

©2014 Architectural Polymers Inc ® All rights reserved.





PHOTO IMAGE OF FORM LINER #892
INSTALLATION

OUR APPLICATION WILL INCLUDE
ONLY FORM LINER #892 WITHOUT
BRICK BAND AND WITHOUT SMOOTH
FACE STONE



PHOTO IMAGE
CLOSE-UP VIEW OF
PREVIOUS
INSTALLATION OF
FORM LINER #892





PHOTO IMAGE OF SIMILAR COLOR
NAWKAW INSTALLATION.

FOR OUR APPLICATION COLOR WILL BE
SIMILAR WITHOUT THE DARK GRAY FOR
LESS RANGE.



Commercial Services

Beautiful, natural looking color for brick, block, concrete, mortar, stucco and stone.

Nawkaw[®]
Changing the color of masonry and concrete!

Color—it's been our passion for more than 30 years!

It's no wonder that we have come across a number of projects through the years that require specialized services. Not all concrete is created equally (nor bricks for that matter!) That is why we manufacture different types of stain. Some manufacturers have a one-size-fits-all approach to coloring concrete; however, our experience is that every job is different. From our acrylic stains to mineral silicate stains, each has properties that make it well suited for particular applications.

Our installation services teams provide creative color solutions for projects of all sizes.

Nawkaw Services

- Expert installation crews specialize in providing quality services using a variety of application techniques
- Restoration and corrective application
- New Construction, on-site and in-situ, precast, tilt-up
- Color Matching/Blending
- Recoloring
- Creative Application
- Adaptive Reuse
- Commercial projects
- Government projects
- Institutional projects
- Highway projects



Architectural Finishes

The photos below, featuring our "Aged Copper" finish, illustrate how color helps to define the shape and depth of the structure. Without color, the building appears very flat—practically one dimensional. But notice how the color dramatically enhances the dimension, defining the various planes and accentuating the textures inherent in the concrete. For more information about architectural finishes and color for concrete and masonry, please call us today or visit us online at www.Nawkaw.com.



Nawkaw[®]
Changing the color of masonry and concrete!

370 Commerce Blvd. • Athens, GA 30606 • www.Nawkaw.com • 1-866-4-NAWKAW



Architects, contractors, and the world's leading designers look to Nawkaw to transform properties with beautiful colors and tones.

We manufacture our stain products and our specially trained crews apply them in order to precisely control the application process and ensure a natural looking and consistent appearance.



Paint vs. Stain

◀ Notice how the stain dramatically enhances the highlights, mid-tones, and shadows created by the wood textured concrete. The semi-translucent color allows the texture to show through rather than being covered up. NawTone™ stains are uniquely formulated for masonry and concrete. Unlike paint, which rests on top of the surface, our products penetrate and bond to masonry and concrete, forming an incredibly durable finish that won't chip, blister, or peel.

Color makes the difference...

Your building's color—it's the *first* thing people see, but it can make a *lasting impression!* Nawkaw's Certified Stain Technicians are experts at matching and blending color to achieve just the color you are looking for. We can stain project components at a precast facility, on a tilt-up job site, or suspended from a swing stage fifty stories up—all with the same superb results!

Color for National Brands

Nawkaw helps National Brands establish and maintain color consistency throughout their service areas. We store colors in a digital library so they can be quickly retrieved for use at any location across the country and around the world.



▼ When paints trap moisture beneath the surface, it can lead to unsightly peeling and require multiple reapplications. This is what we call "*Paintenance.*" NawTone stains are a one-and-done finish. Our stains are custom blended, allowing for infinite color control on every project.





NawTone-K™

NawTone-K is mineral stain that uses silicate as a binding agent to form a permanent chemical bond with substrates. The addition of lightfast, inorganic pigments enables a wide range of colors to be produced. **NawTone-K** exhibits the overall characteristics of being:

- UV resistant
- aspiratory
- weather resistant
- lightfast
- durable
- mold & mildew resistant
- penetrating
- odorless
- environmentally friendly

NawTone-K can be diluted with **NawThinz-C** for concrete surfaces or with **NawThinz-M** for masonry surfaces to create color-wash, semi-transparent, or opaque finishes. Our customized application techniques make **NawTone-K** a superior choice for new construction, renovation, restoration, and preservation.

Because **NawTone-K** chemically binds with concrete, it is ideal for use on precast and tilt-up projects. **NawTone-K** offers consistent color solutions for complete color changes, decorative applications, and solving color problems. This product is also very effective for blending away color variations that naturally occur in the manufacture of concrete. This includes blending away unsightly or mismatching patch repairs and skim coat finishes.

Environmental & Safety Concerns

NawTone-K is water-based, nonflammable, nonhazardous and has **Zero VOC** content. Use of this product may help your projects qualify for L.E.E.D credits.

Typical Specifications:

- **Viscosity:** (72° F) 60°-80° KU
- **pH:** ~11
- **Finish:** flat
- **Nonflammable**
- **VOC:** 0 g/L (ASTM D6886)
- **Abrasion Resistance:** excellent
- **Water Vapor Permeance:** 4.5×10^{-6} g/Pa s m²
- **Water Diffusion Resistance:** $s_d(H_2O) < 0.01$ m
- **UV Resistant–Accelerated Weathering**
(ASTM G154) : pass
- **Application Temperature:** 41°-110°F (5°-43°C)
- **Dry Time for Reapplication (if required):**
12 hrs concrete / 24 hrs masonry
- **Shelf Life:** 12 months in factory sealed container

Product Properties

- Penetrating
- Nonflammable
- Nontoxic
- Water-based
- Solvent-free
- Vapor-permeable
- Non-film-forming
- Zero VOC
- Water washup

Color Selection

Nawkaw stains allow you the freedom to choose the colors you want from any color specifiers or actual samples.

Create all levels of color, from completely opaque to just a hint of color.



Ask about our 25-Year Warranty

Surface Preparation

Prior to application ensure that substrate is clean, dry and free of dust. Remove loose and unstable material as a sound surface is required for external applications. Be sure to check for any presence of mold release residue from concrete forms. If present, remove according to manufacturer's guidelines.

Substrates that have been treated with acid/chemical wash must be neutralized prior to application.

Alkali or efflorescence should be treated with proper neutralizing compounds as recommended by manufacturers before application can begin.

Application

NawTone-K can be applied by brush, roller, sponge and spray equipment. The product should be thoroughly mixed by stirring before use. The choice of application technique depends on the desired color and finish one wishes to achieve.

For translucent finishes, NawTone-K will be customized depending on the level of translucency required for the project. This may involve varying the number of applications required. Opaque finishes may require 2 or 3 applications.

When NawTone-K has been diluted with NawThinZ, be sure to keep it well stirred. ONLY DILUTE WITH NAWTHINZ.

It is important to maintain a wet edge at all times, and work to a natural break line.

Limitations

Not suitable for application on synthetic surfaces such as silicone, urethane, epoxy or plastic. Coating sets hard and is not flexible; not recommended for caulking joints.

Coverage

Approximately 200-400 sq ft (60-120m²). Actual area covered depends on the porosity of the substrate and the application method(s) used.

Cleaning of Application Equipment

Cleanup of equipment with water should be completed before the products have been allowed to dry. Spills or overspray should be cleaned with water and not allowed to dry.

The User of the product assumes all liability for product's use except in situations involving a manufacture's defect. This technical information is offered as advice based on knowledge and practical experience and does not constitute a warranty. Before application, the User shall determine the suitability of the product for its intended use. User should also ensure that the product is thoroughly mixed prior to application as the product may have settled during shipment or storage. Furthermore, it is recommended that the User test the product on a sample area before use. Nawkaw retains the right to make modifications as part of the product's development or improvement of their application; it is the User's duty to ensure they are aware of any such changes. This edition supersedes all earlier editions.

Safety

- Protect eyes and skin from contact with NawTone-K.
- Do not swallow.
- Keep away from children.



NOTE:
See manufacturer's SDS sheet:
www.Nawkaw.com/downloads

April 20, 2018

David Gonzalez
Senior Planner
Rockwall Planning & Zoning Division
385 S. Goliad Street
Rockwall, Texas 75087

Project: Lollicup 3201 Capital Blvd.
Permit Number: B:D2018-0688
#601-03049

Dear David,

Please accept this Development Application and supporting documentation for Amended Site Plan to initiate the approval process. We propose substitution of concrete panels that include integrally cast concrete replica stone of size, color and texture similar to the thin-stone product for the previously approved Eldorado Stone man-made thin-stone product. This will be achieved through a special concrete form and a hand applied mineral stain.

The proposed concrete form liner #892 12" Quarry Stone from Architectural Polymers Inc., develops a 'split-face' stone appearance of running bond masonry that is an integral part of the concrete wall panel. This eliminates the possibility of masonry veneer separation issues.

The formed concrete is then provided the realistic color of natural stone and mortar by the hand applied mineral stain product which forms a permanent penetrating, chemical bond with the concrete. The stain is environmentally friendly, durable, odorless, as well as resistant to UV, weather and mold and mildew and comes with a 25 year warranty.

Please advise if there is any other information we can provide to assist your process.

We look forward to working with the City of Rockwall on this project.

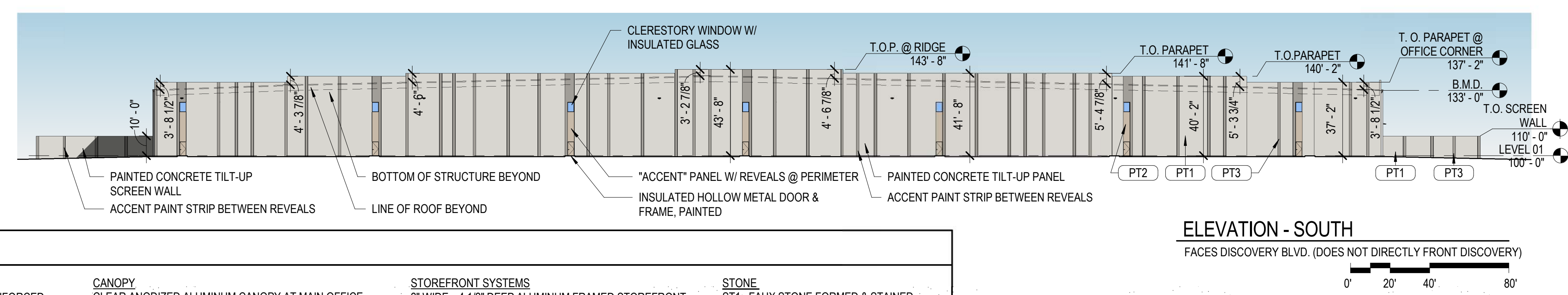
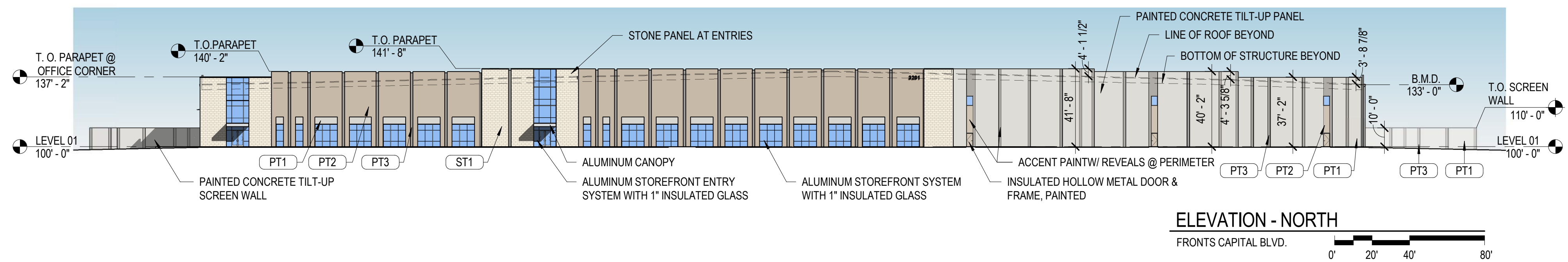
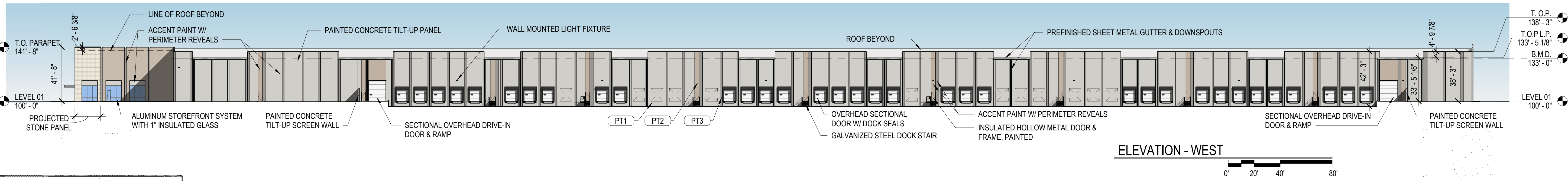
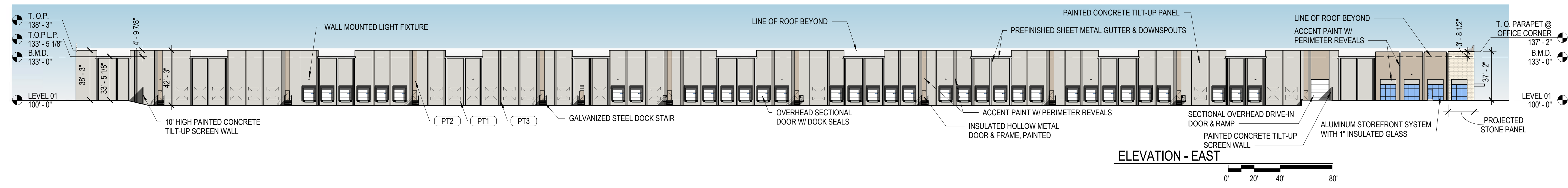
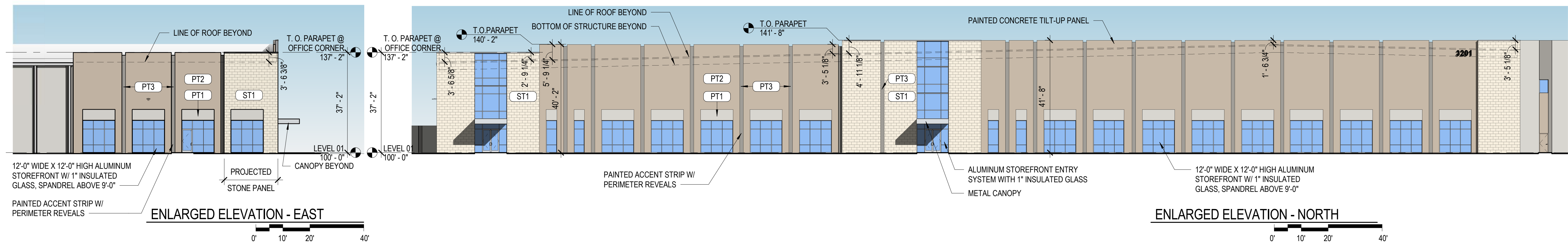
Regards,



Andy Sebacher
Senior Associate
Forum Studio

Enclosures: Development Application (amended site plan)
 \$100 application fee check
 4 Each:
 --Updated color renderings
 --Updated color elevations
 --Form Liner #892 spec sheet, installation image overall and close-up
 --Nawkaw sales brochure, Nawkaw K-tone spec sheet, installation photo image

cc. Bob Leimberg, Clayco

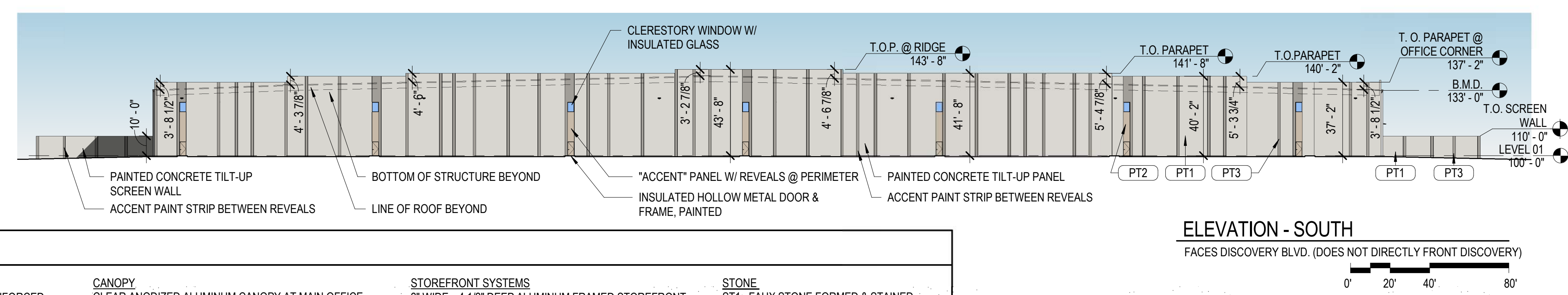
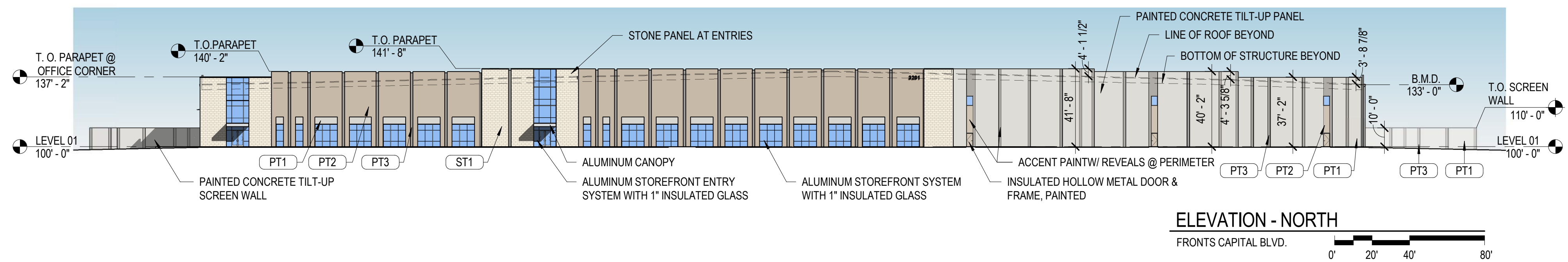
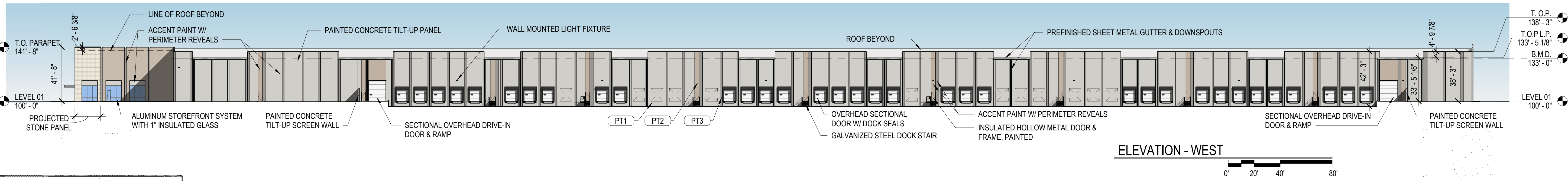
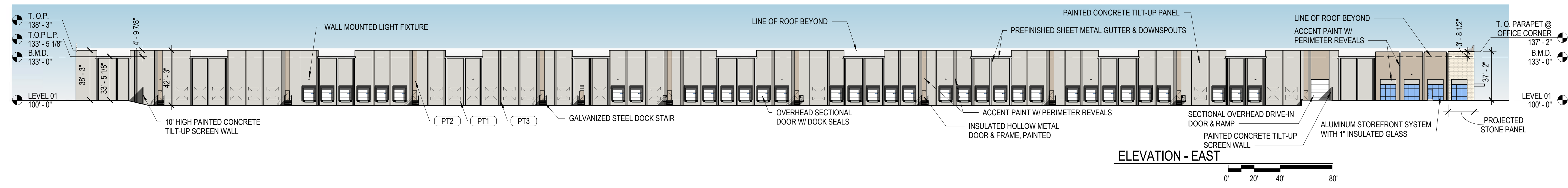
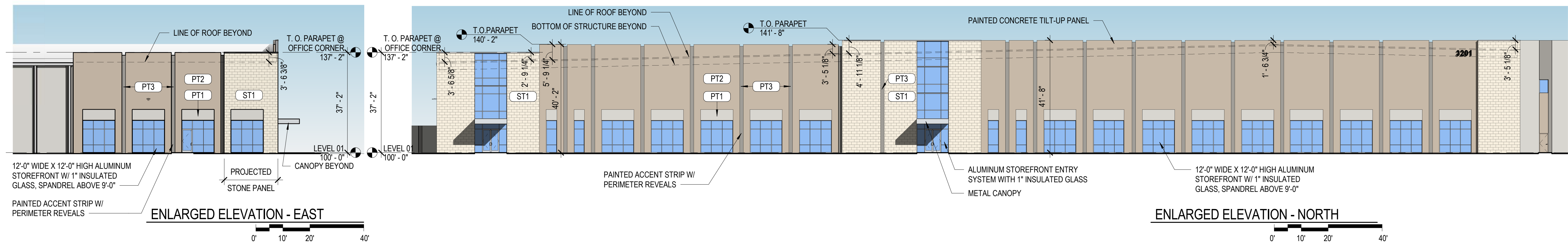


BUILDING MATERIAL QUANTITIES

MATERIAL	% FAÇADE	AREA (S.F.)
EAST ELEVATION		
CONCRETE TILT-UP, PAINTED	88	36,499
STOREFRONT SYSTEMS	2	576
STONE	1	545
OVERHEAD DOORS	8	3,464
HOLLOW METAL DOORS & FRAMES	1	336
TOTAL FAÇADE	100	41,420
WEST ELEVATION		
CONCRETE TILT-UP, PAINTED	88	36,174
STOREFRONT SYSTEMS	2	627
STONE	2	685
OVERHEAD DOORS	8	3,464
HOLLOW METAL DOORS & FRAMES	<1	336
TOTAL FAÇADE	100	41,286
NORTH ELEVATION		
CONCRETE TILT-UP, PAINTED	74	18,843
STOREFRONT SYSTEMS	12	3,158
STONE	13	3,311
HOLLOW METAL DOORS & FRAMES	1	72
TOTAL FAÇADE	100	25,384
SCREEN WALL EAST		
CONCRETE TILT-UP, PAINTED	100	543
SCREEN WALL WEST		
CONCRETE TILT-UP, PAINTED	100	658
SOUTH ELEVATION		
CONCRETE TILT-UP, PAINTED	99	24,933
CLERESTORY	<1	81
HOLLOW METAL DOORS & FRAMES	<1	168
TOTAL FAÇADE	100	25,182
SCREEN WALL EAST		
CONCRETE TILT-UP, PAINTED	100	543
SCREEN WALL WEST		
CONCRETE TILT-UP, PAINTED	100	658
ROOF		
45 MIL WHITE TPO OVER RIDGE INSULATION		

BUILDING MATERIALS

EXTERIOR WALLS TILT-UP CONCRETE PANELS: SITE CAST, REINFORCED, UN-INSULATED CONCRETE TILT-UP PANELS - PAINTED	CANOPY CLEAR ANODIZED ALUMINUM CANOPY AT MAIN OFFICE ENTRANCES	STOREFRONT SYSTEMS 2" WIDE x 4 1/2" DEEP ALUMINUM FRAMED STOREFRONT SYSTEM WITH 1" INSULATED GLASS. COLOR: CLEAR ANODIZED	STONE ST1: FAUX STONE FORMED & STAINED CONCRETE PANEL
ROOFING 45-MIL SINGLE PLY MECHANICALLY FASTENED TPO OVER R-20 ROOF INSULATION. COLOR: WHITE	HOLLOW METAL DOORS & FRAMES 18 GAUGE, 1 3/4" THICK FLUSH PANELS, INSULATED, PAINTED.	PAINT SMOOTH TEXTURED 2-COAT ELASTOMERIC SYSTEM ON TILT-UP PANELS PT1: SW 7648 BIG CHILL (OVERALL COLOR) PT2: SW 7037 BALANCED BEIGE (ACCENT, OFFICE AREA WALLS, HOLLOW METAL DOORS) PT3: SW 7673 PEWTER CAST (ACCENT)	
SHEET METAL "KYNAR" FINISHED ALUMINUM SHEET METAL GUTTERS & DOWNSPOUTS. MANUFACTURER: UNACLAD OR EQUAL. COLOR: SLATE GRAY	OVERHEAD DOORS 9x10' MANUALLY OPERATED VERTICAL LIFT INSULATED SECTIONAL DOCK DOORS. COLOR: WHITE		
	DOORS 14x16' ELECTRICALLY OPERATED SECTIONAL DRIVE-IN DOORS. COLOR: WHITE		



BUILDING MATERIAL QUANTITIES

EAST ELEVATION		
MATERIAL	% FAÇADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	88	36,499
STOREFRONT SYSTEMS	2	576
STONE	1	545
OVERHEAD DOORS	8	3,464
HOLLOW METAL DOORS & FRAMES	1	336
TOTAL FAÇADE	100	41,420

WEST ELEVATION		
MATERIAL	% FAÇADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	88	36,174
STOREFRONT SYSTEMS	2	627
STONE	2	685
OVERHEAD DOORS	8	3,464
HOLLOW METAL DOORS & FRAMES	<1	336
TOTAL FAÇADE	100	41,286

NORTH ELEVATION		
MATERIAL	% FAÇADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	74	18,843
STOREFRONT SYSTEMS	12	3,158
STONE	13	3,311
HOLLOW METAL DOORS & FRAMES	1	72
TOTAL FAÇADE	100	25,384

SCREEN WALL EAST		
MATERIAL	% FAÇADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	543

SCREEN WALL WEST		
MATERIAL	% FAÇADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	658

SOUTH ELEVATION		
MATERIAL	% FAÇADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	99	24,933
CLERESTORY	<1	81
HOLLOW METAL DOORS & FRAMES	<1	168
TOTAL FAÇADE	100	25,182

SCREEN WALL EAST		
MATERIAL	% FAÇADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	543

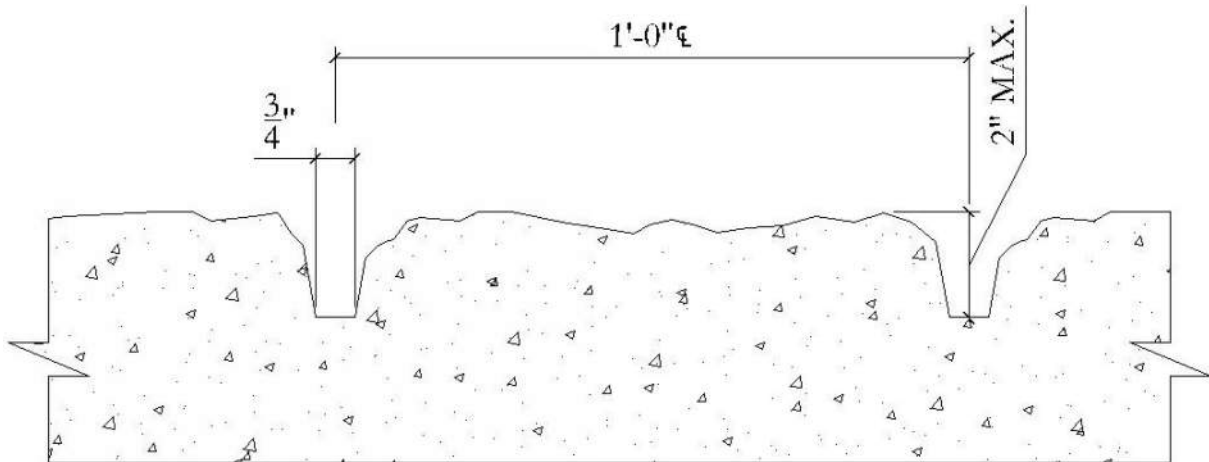
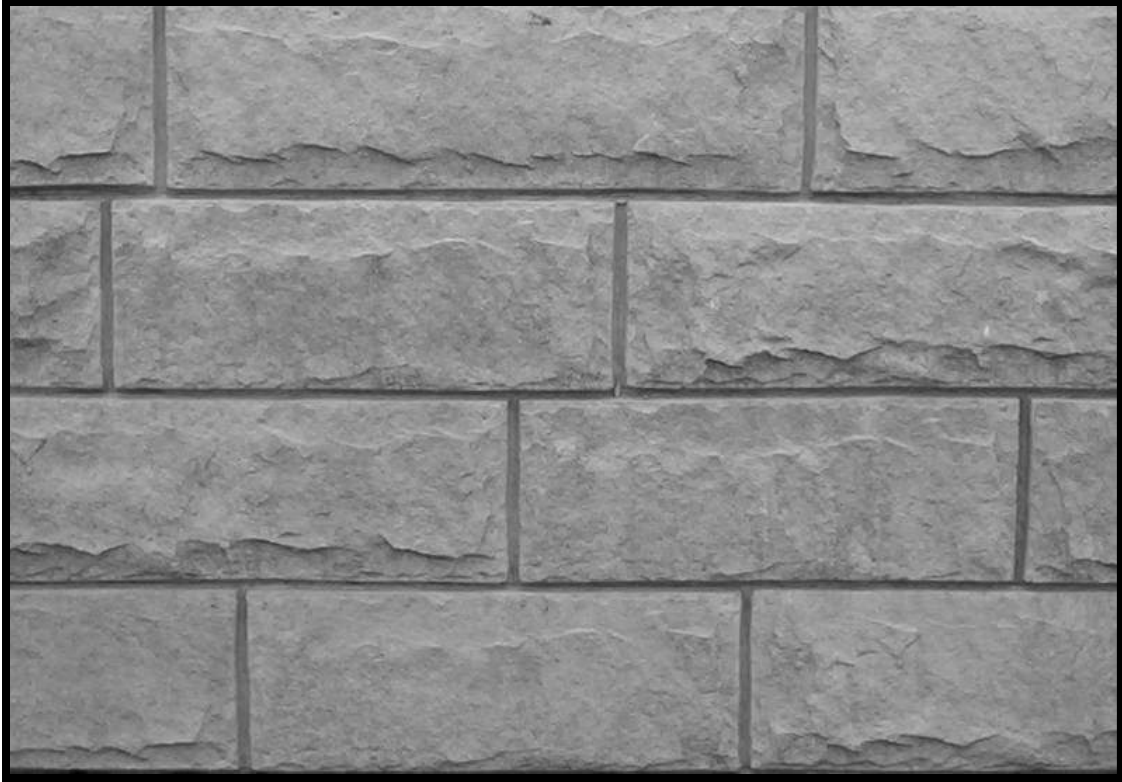
SCREEN WALL WEST		
MATERIAL	% FAÇADE	AREA (S.F.)
CONCRETE TILT-UP, PAINTED	100	658

ROOF		
MATERIAL	% FAÇADE	AREA (S.F.)
45 MIL WHITE TPO OVER RIDGE INSULATION		

BUILDING MATERIALS

EXTERIOR WALLS TILT-UP CONCRETE PANELS: SITE CAST, REINFORCED, UN-INSULATED CONCRETE TILT-UP PANELS - PAINTED	CANOPY CLEAR ANODIZED ALUMINUM CANOPY AT MAIN OFFICE ENTRANCES	STOREFRONT SYSTEMS 2" WIDE x 4 1/2" DEEP ALUMINUM FRAMED STOREFRONT SYSTEM WITH 1" INSULATED GLASS. COLOR: CLEAR ANODIZED	STONE ST1: FAUX STONE FORMED & STAINED CONCRETE PANEL
ROOFING 45-MIL SINGLE PLY MECHANICALLY FASTENED TPO OVER R-20 ROOF INSULATION. COLOR: WHITE	HOLLOW METAL DOORS & FRAMES 18 GAUGE, 1 3/4" THICK FLUSH PANELS, INSULATED, PAINTED.	PAINT SMOOTH TEXTURED 2-COAT ELASTOMERIC SYSTEM ON TILT-UP PANELS PT1: SW 7648 BIG CHILL (OVERALL COLOR) PT2: SW 7037 BALANCED BEIGE (ACCENT, OFFICE AREA WALLS, HOLLOW METAL DOORS) PT3: SW 7673 PEWTER CAST (ACCENT)	
SHEET METAL "KYNAR" FINISHED ALUMINUM SHEET METAL GUTTERS & DOWNSPOUTS. MANUFACTURER: UNACLAD OR EQUAL. COLOR: SLATE GRAY	OVERHEAD DOORS 9x10' MANUALLY OPERATED VERTICAL LIFT INSULATED SECTIONAL DOCK DOORS. COLOR: WHITE 14x16' ELECTRICALLY OPERATED SECTIONAL DRIVE-IN DOORS. COLOR: WHITE		





#892 12" QUARRY STONE

Architectural concrete surface treatment shall be obtained with Architectural Polymers® elastomeric form liner as manufactured by Architectural Polymers®. Release agent shall be approved and applied as per Architectural Polymers® recommendation. Factory bonded 3/4" plywood is also available. No substitutions will be allowed without prior written approval from the architect or engineer.

#892 12" Quarry Stone Short Form Specification

©2014 Architectural Polymers Inc ® All rights reserved.





PHOTO IMAGE OF FORM LINER #892
INSTALLATION

OUR APPLICATION WILL INCLUDE
ONLY FORM LINER #892 WITHOUT
BRICK BAND AND WITHOUT SMOOTH
FACE STONE



PHOTO IMAGE
CLOSE-UP VIEW OF
PREVIOUS
INSTALLATION OF
FORM LINER #892



PHOTO IMAGE OF SIMILAR COLOR
NAWKAW INSTALLATION.

FOR OUR APPLICATION COLOR WILL BE
SIMILAR WITHOUT THE DARK GRAY FOR
LESS RANGE.



Color—it's been our passion for more than 30 years!

It's no wonder that we have come across a number of projects through the years that require specialized services. Not all concrete is created equally (nor bricks for that matter!) That is why we manufacture different types of stain. Some manufacturers have a one-size-fits-all approach to coloring concrete; however, our experience is that every job is different. From our acrylic stains to mineral silicate stains, each has properties that make it well suited for particular applications.

Our installation services teams provide creative color solutions for projects of all sizes.

Nawkaw Services

- Expert installation crews specialize in providing quality services using a variety of application techniques
- Restoration and corrective application
- New Construction, on-site and in-situ, precast, tilt-up
- Color Matching/Blending
- Recoloring
- Creative Application
- Adaptive Reuse
- Commercial projects
- Government projects
- Institutional projects
- Highway projects



Architectural Finishes

The photos below, featuring our "Aged Copper" finish, illustrate how color helps to define the shape and depth of the structure. Without color, the building appears very flat—practically one dimensional. But notice how the color dramatically enhances the dimension, defining the various planes and accentuating the textures inherent in the concrete. For more information about architectural finishes and color for concrete and masonry, please call us today or visit us online at www.Nawkaw.com.



Commercial Services

Beautiful, natural looking color for brick, block, concrete, mortar, stucco and stone.



370 Commerce Blvd. • Athens, GA 30606 • www.Nawkaw.com • 1-866-4-NAWKAW



Architects, contractors, and the world's leading designers look to Nawkaw to transform properties with beautiful colors and tones. We manufacture our stain products and our specially trained crews apply them in order to precisely control the application process and ensure a natural looking and consistent appearance.



Paint vs. Stain

◀ Notice how the stain dramatically enhances the highlights, mid-tones, and shadows created by the wood textured concrete. The semi-translucent color allows the texture to show through rather than being covered up. NawTone™ stains are uniquely formulated for masonry and concrete. Unlike paint, which rests on top of the surface, our products penetrate and bond to masonry and concrete, forming an incredibly durable finish that won't chip, blister, or peel.

Color makes the difference...

Your building's color—it's the *first* thing people see, but it can make a *lasting impression!* Nawkaw's Certified Stain Technicians are experts at matching and blending color to achieve just the color you are looking for. We can stain project components at a precast facility, on a tilt-up job site, or suspended from a swing stage fifty stories up—all with the same superb results!

Color for National Brands

Nawkaw helps National Brands establish and maintain color consistency throughout their service areas. We store colors in a digital library so they can be quickly retrieved for use at any location across the country and around the world.



▼ When paints trap moisture beneath the surface, it can lead to unsightly peeling and require multiple reapplications. This is what we call "*Paintenance*." NawTone stains are a one-and-done finish. Our stains are custom blended, allowing for infinite color control on every project.





NawTone-K™

NawTone-K is mineral stain that uses silicate as a binding agent to form a permanent chemical bond with substrates. The addition of lightfast, inorganic pigments enables a wide range of colors to be produced. **NawTone-K** exhibits the overall characteristics of being:

- UV resistant
- aspiratory
- weather resistant
- lightfast
- durable
- mold & mildew resistant
- penetrating
- odorless
- environmentally friendly

NawTone-K can be diluted with **NawThinz-C** for concrete surfaces or with **NawThinz-M** for masonry surfaces to create color-wash, semi-transparent, or opaque finishes. Our customized application techniques make **NawTone-K** a superior choice for new construction, renovation, restoration, and preservation.

Because **NawTone-K** chemically binds with concrete, it is ideal for use on precast and tilt-up projects. **NawTone-K** offers consistent color solutions for complete color changes, decorative applications, and solving color problems. This product is also very effective for blending away color variations that naturally occur in the manufacture of concrete. This includes blending away unsightly or mismatching patch repairs and skim coat finishes.

Environmental & Safety Concerns

NawTone-K is water-based, nonflammable, nonhazardous and has **Zero VOC** content. Use of this product may help your projects qualify for L.E.E.D credits.

Typical Specifications:

- **Viscosity:** (72° F) 60°-80° KU
- **pH:** ~11
- **Finish:** flat
- **Nonflammable**
- **VOC:** 0 g/L (ASTM D6886)
- **Abrasion Resistance:** excellent
- **Water Vapor Permeance:** 4.5×10^{-6} g/Pa s m²
- **Water Diffusion Resistance:** $s_d(H_2O) < 0.01$ m
- **UV Resistant–Accelerated Weathering**
(ASTM G154) : pass
- **Application Temperature:** 41°-110°F (5°-43°C)
- Dry Time for Reapplication (if required):**
12 hrs concrete / 24 hrs masonry
- **Shelf Life:** 12 months in factory sealed container

Product Properties

- Penetrating
- Nonflammable
- Nontoxic
- Water-based
- Solvent-free
- Vapor-permeable
- Non-film-forming
- Zero VOC
- Water washup

Color Selection

Nawkaw stains allow you the freedom to choose the colors you want from any color specifiers or actual samples.

Create all levels of color, from completely opaque to just a hint of color.



Ask about our 25-Year Warranty

Surface Preparation

Prior to application ensure that substrate is clean, dry and free of dust. Remove loose and unstable material as a sound surface is required for external applications. Be sure to check for any presence of mold release residue from concrete forms. If present, remove according to manufacturer's guidelines.

Substrates that have been treated with acid/chemical wash must be neutralized prior to application.

Alkali or efflorescence should be treated with proper neutralizing compounds as recommended by manufacturers before application can begin.

Application

NawTone-K can be applied by brush, roller, sponge and spray equipment. The product should be thoroughly mixed by stirring before use. The choice of application technique depends on the desired color and finish one wishes to achieve.

For translucent finishes, NawTone-K will be customized depending on the level of translucency required for the project. This may involve varying the number of applications required. Opaque finishes may require 2 or 3 applications.

When NawTone-K has been diluted with NawThinZ, be sure to keep it well stirred. **ONLY DILUTE WITH NAWTHINZ.**

It is important to maintain a wet edge at all times, and work to a natural break line.

Limitations

Not suitable for application on synthetic surfaces such as silicone, urethane, epoxy or plastic. Coating sets hard and is not flexible; not recommended for caulking joints.

Coverage

Approximately 200-400 sq ft (60-120m²). Actual area covered depends on the porosity of the substrate and the application method(s) used.

Cleaning of Application Equipment

Cleanup of equipment with water should be completed before the products have been allowed to dry. Spills or overspray should be cleaned with water and not allowed to dry.

The User of the product assumes all liability for product's use except in situations involving a manufacture's defect. This technical information is offered as advice based on knowledge and practical experience and does not constitute a warranty. Before application, the User shall determine the suitability of the product for its intended use. User should also ensure that the product is thoroughly mixed prior to application as the product may have settled during shipment or storage. Furthermore, it is recommended that the User test the product on a sample area before use. Nawkaw retains the right to make modifications as part of the product's development or improvement of their application; it is the User's duty to ensure they are aware of any such changes. This edition supersedes all earlier editions.

Safety

- Protect eyes and skin from contact with NawTone-K.
- Do not swallow.
- Keep away from children.



NOTE:

See manufacturer's SDS sheet:
www.Nawkaw.com/downloads

