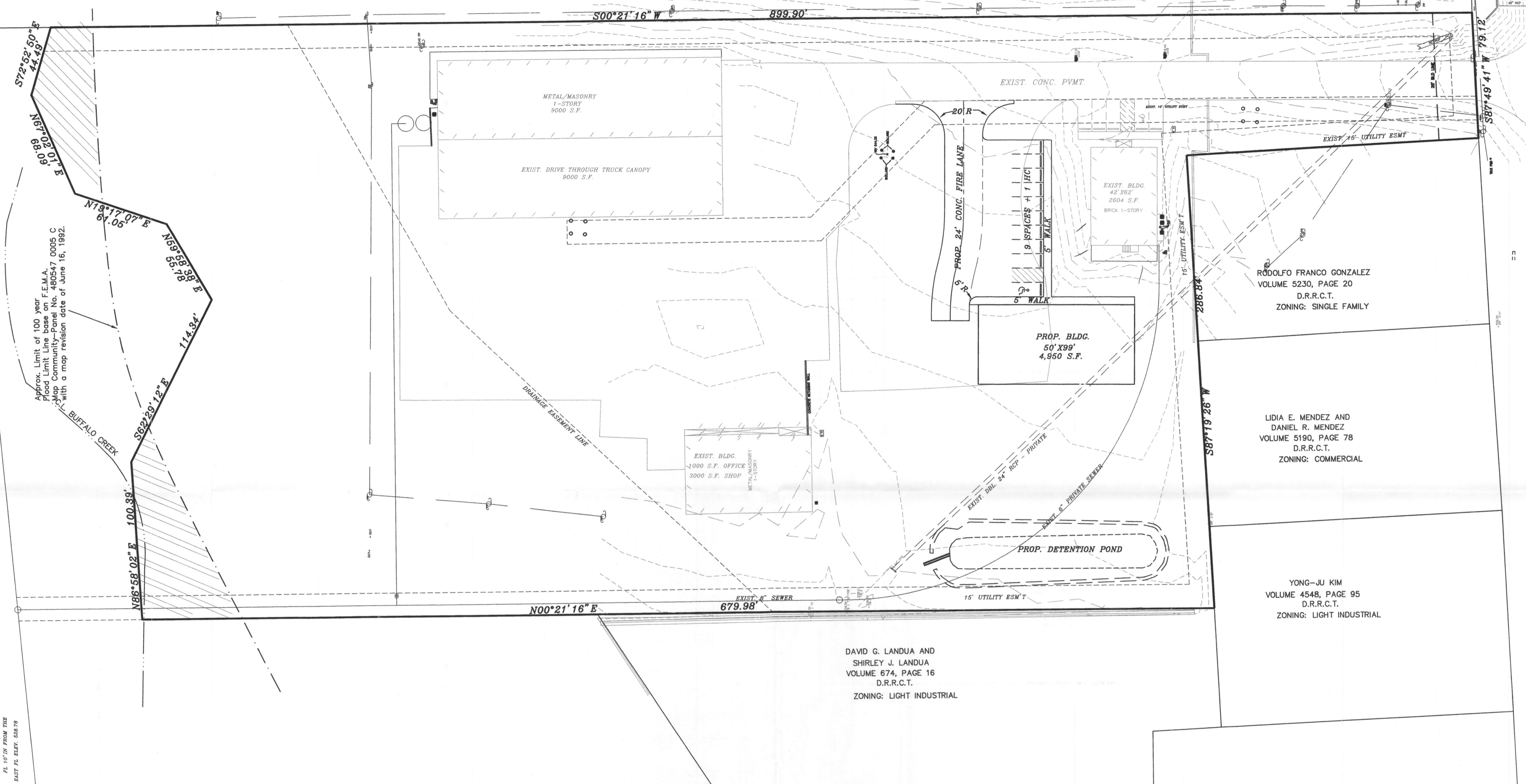


SCALE IN FEET

CAMBRIDGE COMPANIES, INC.  
VOLUME 99, PAGE 1022  
D.R.R.C.T.  
ZONING: PLANNED DEVELOPMENT

1860 INVESTMENTS, LTD.  
VOLUME 4643, PAGE 229  
D.R.R.C.T.  
ZONING: AG

Approx. Limit of 100 year  
Flood Limit Line base on F.E.M.A.  
Map Community-Panel No. 480547 0005 C  
with a map revision date of June 10, 1992.



DAVID G. LANDUA AND  
SHIRLEY J. LANDUA  
VOLUME 674, PAGE 16  
D.R.R.C.T.  
ZONING: LIGHT INDUSTRIAL

YONG-JU KIM  
VOLUME 4548, PAGE 95  
D.R.R.C.T.  
ZONING: LIGHT INDUSTRIAL

LIDIA E. MENDEZ AND  
DANIEL R. MENDEZ  
VOLUME 5190, PAGE 78  
D.R.R.C.T.  
ZONING: COMMERCIAL

RODOLFO FRANCO GONZALEZ  
VOLUME 5230, PAGE 20  
D.R.R.C.T.  
ZONING: SINGLE FAMILY

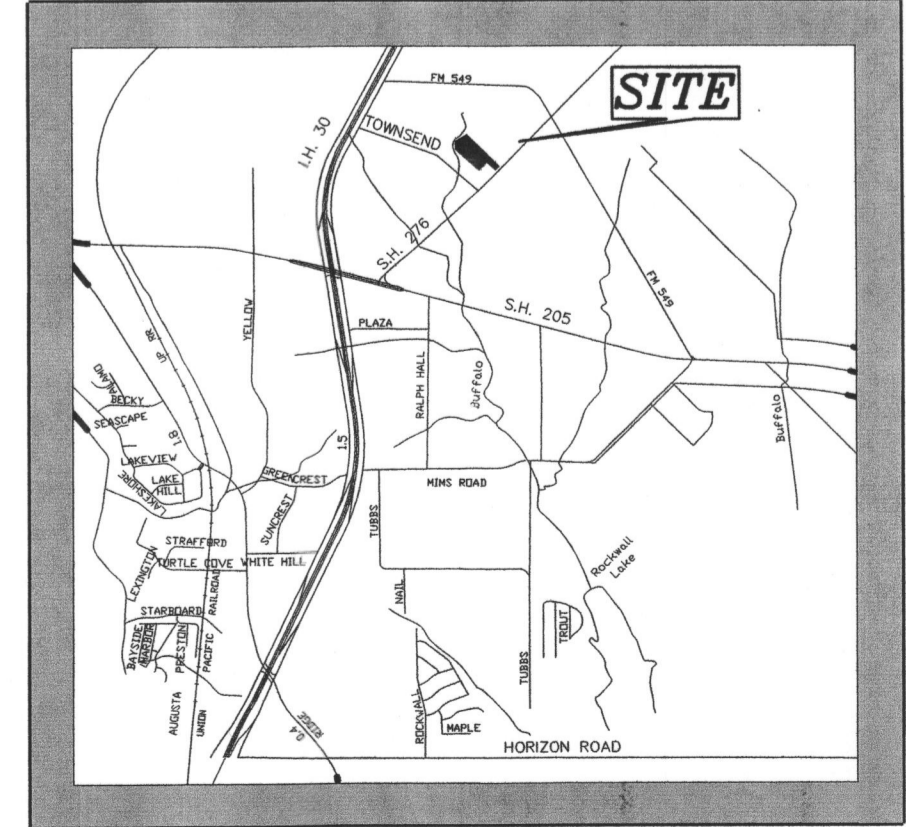
**LEGEND**

- FIRELANE STRIPPING
- EXISTING WATER LINE
- PROPOSED WATER LINE
- 10"SS EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER LINE

**SITE DATA SUMMARY**

ZONING	HEAVY COMMERCIAL
PROPOSED USE	OFFICE BUILDING
LOT AREA	6,1898 ACRES
EX. BUILDING SQUARE FOOTAGE	23,604 SF
PROP. BUILDING SQUARE FOOTAGE	4,950 SF
BUILDING FOOTPRINT	
BUILDING HEIGHT	15'-6"
LOT COVERAGE	1.06%
FAR	4:1
PARKING REQUIRED	10
HANDICAP PARKING REQ'D	1
PARKING PROVIDED	10
HANDICAP PARKING PROVIDED	1
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	106,702 SF

NOTE:  
MARK FIRELANE TO CITY SPECIFICATIONS. "NO  
PARKING FIRELANE" EVERY 25' IN WHITE 4"  
LETTERS ON A 6" RED STRIPED BACKGROUND  
ALL DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT



VICINITY MAP

CASE NO. SP2016-022

**OWNER/DEVELOPER**  
GERALD HOUSER  
1108 ASPEN COURT  
ROCKWALL, TEXAS 75087  
(214) 558-1577

**ENGINEER**  
DOUPHRADE & ASSOCIATES, INC.  
2235 RIDGE RD., # 200  
ROCKWALL, TEXAS 75087  
(972) 771-9004

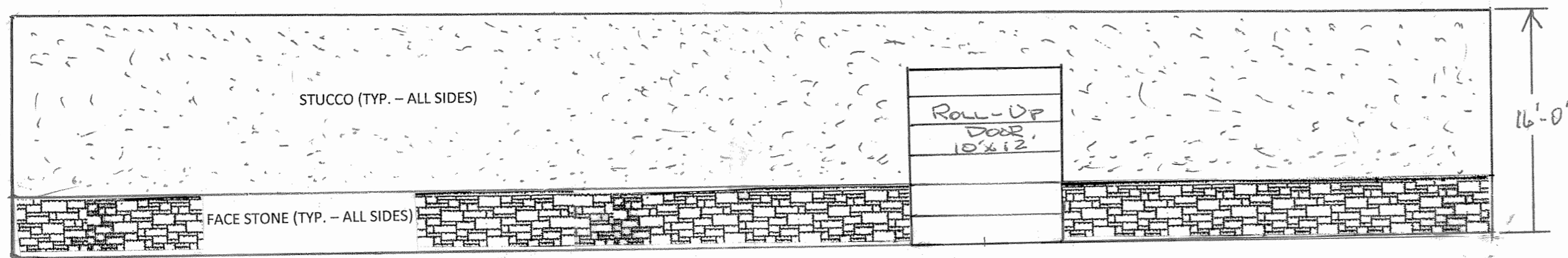


THE SEAL APPEARING ON THIS  
DOCUMENT WAS AUTHORIZED BY  
W.L. DOUPHRADE, II TEXAS P.E.  
NO. 60102 ON 9/9/2016  
FIRM NO. 886

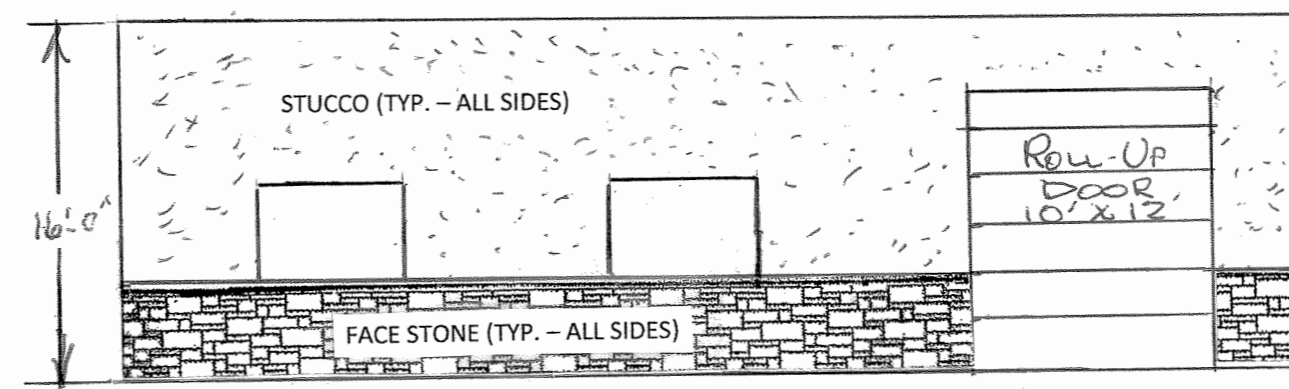
**DOUPHRADE & ASSOCIATES, INC.**  
ENGINEERING • PROJECT MANAGEMENT • SURVEYING  
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (972)771-9004 FAX: (972)771-9005

**SITE PLAN**  
HOUSER ADDITION  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

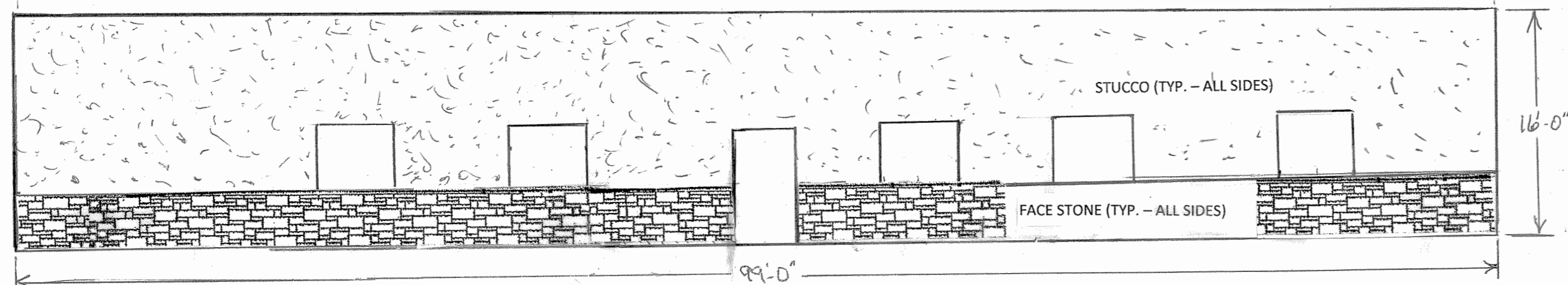
REVISION	
W.L.D.	CHECKED
G.C.W.	DRAWN
10/08	DATE
06013	PROJECT



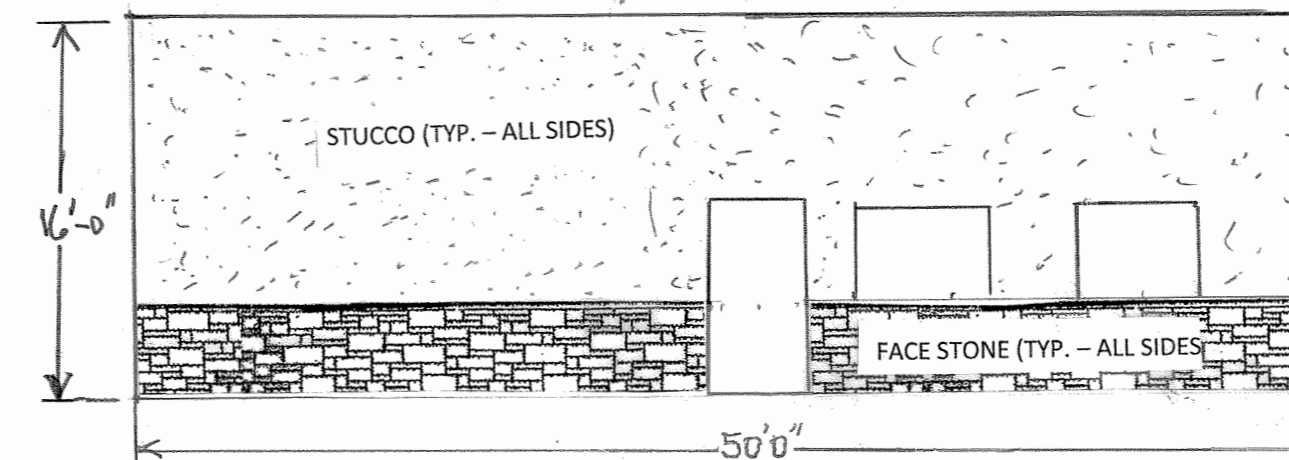
WEST ELEVATION



NORTH ELEVATION

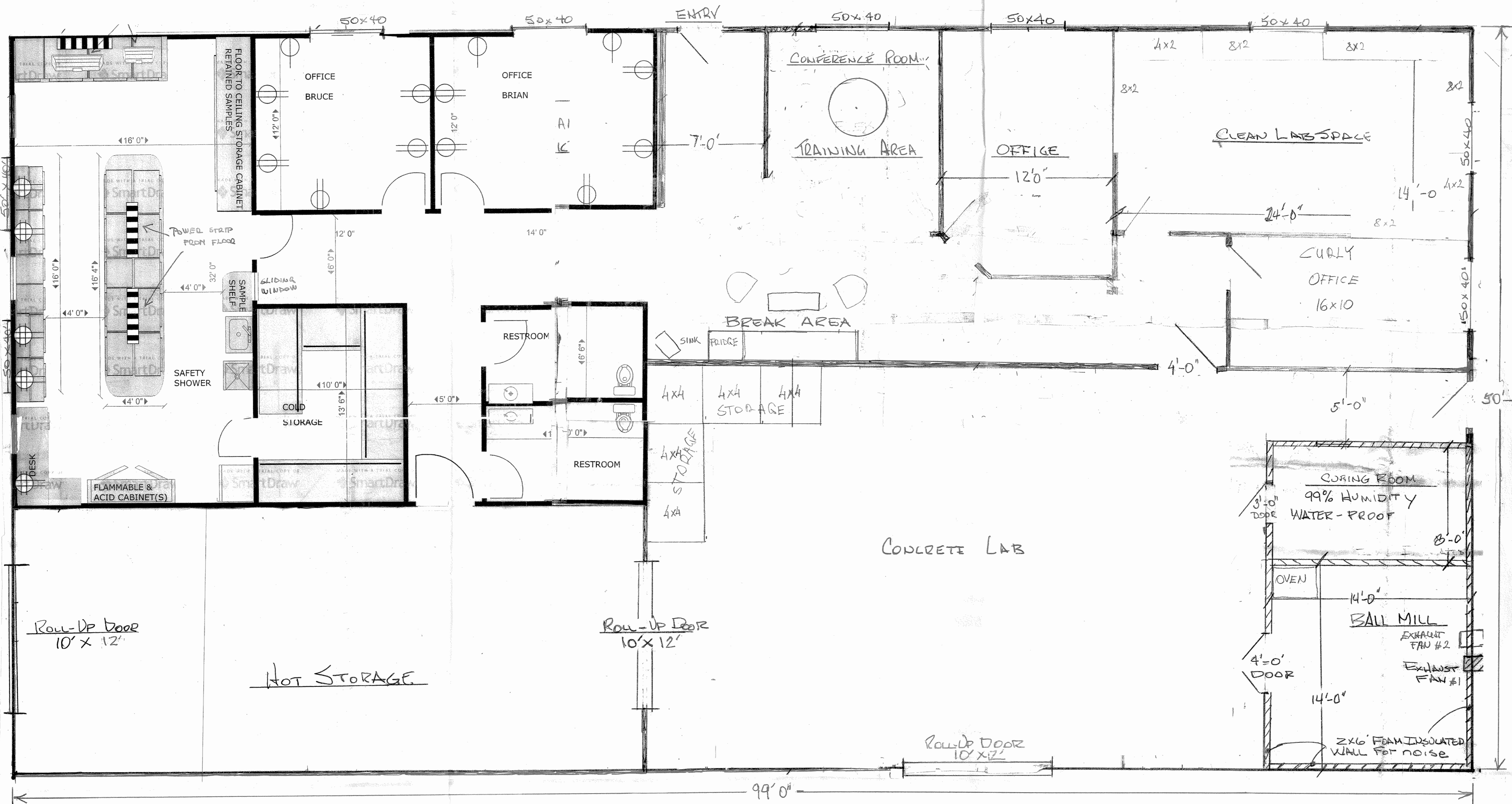


EAST ELEVATION



SOUTH ELEVATION

ELEVATIONS  
1/8" = 1'-0"



**BUILDING DESIGN**

**CONSTRUCTION:**  
 Reinforced Concrete Slab: 3000 PSI Concrete  
 Exterior Walls: Steel Superstructure with Wood Exterior Framing  
 Insulated Exterior Sheathing, Spray Foam Exterior Walls  
 Masonry Exterior - 80% Stucco / 20% Face Stone  
 Roof System: Stand Up Seam Metal Roof with Spray Foam Insulation  
 Interior Walls: Wood Framing with Sheetrock, Tape and Bed,  
 Painted Walls, Spray Foam Insulation

**OCCUPANCY:** 6 EMPLOYEES  
**OCCUPANCY LOAD:** 12 EMPLOYEES  
**SQUARE FOOTAGE:** 4950 SF

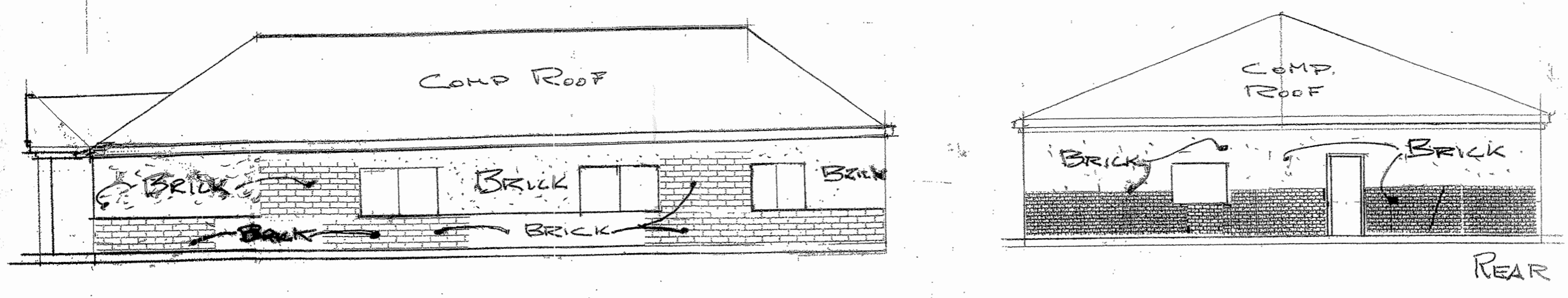
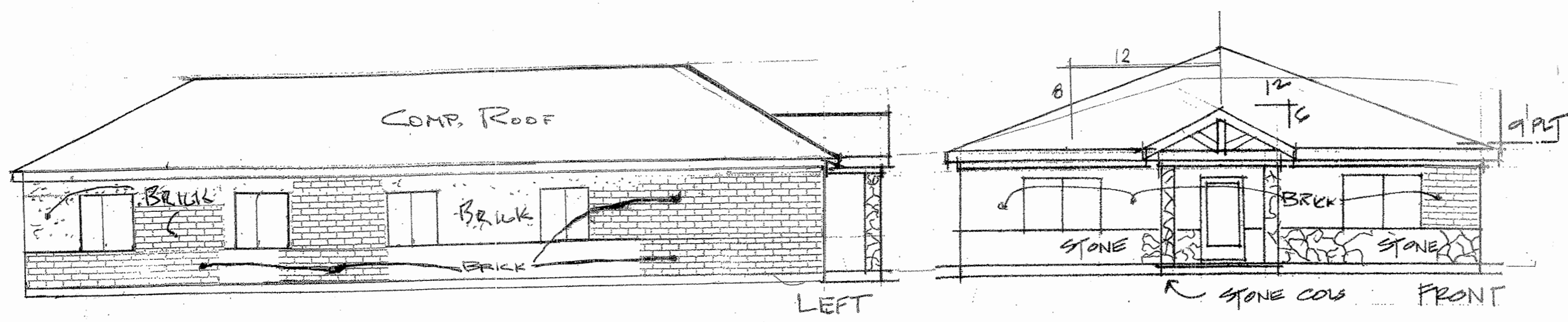
FLOOR PLAN  
SCALE 1/4" = 1'-0"



EXTERIOR ELEVATION  
FLOOR PLAN

**OWNER**  
 Gerald Houser  
 Colin-G Properties LTD.  
 P.O. Box 847  
 Rockwall, TX 75087

**PROJECT**  
 CHRYSO LAB Building  
 1611 HWY 276  
 Rockwall, TX 75032

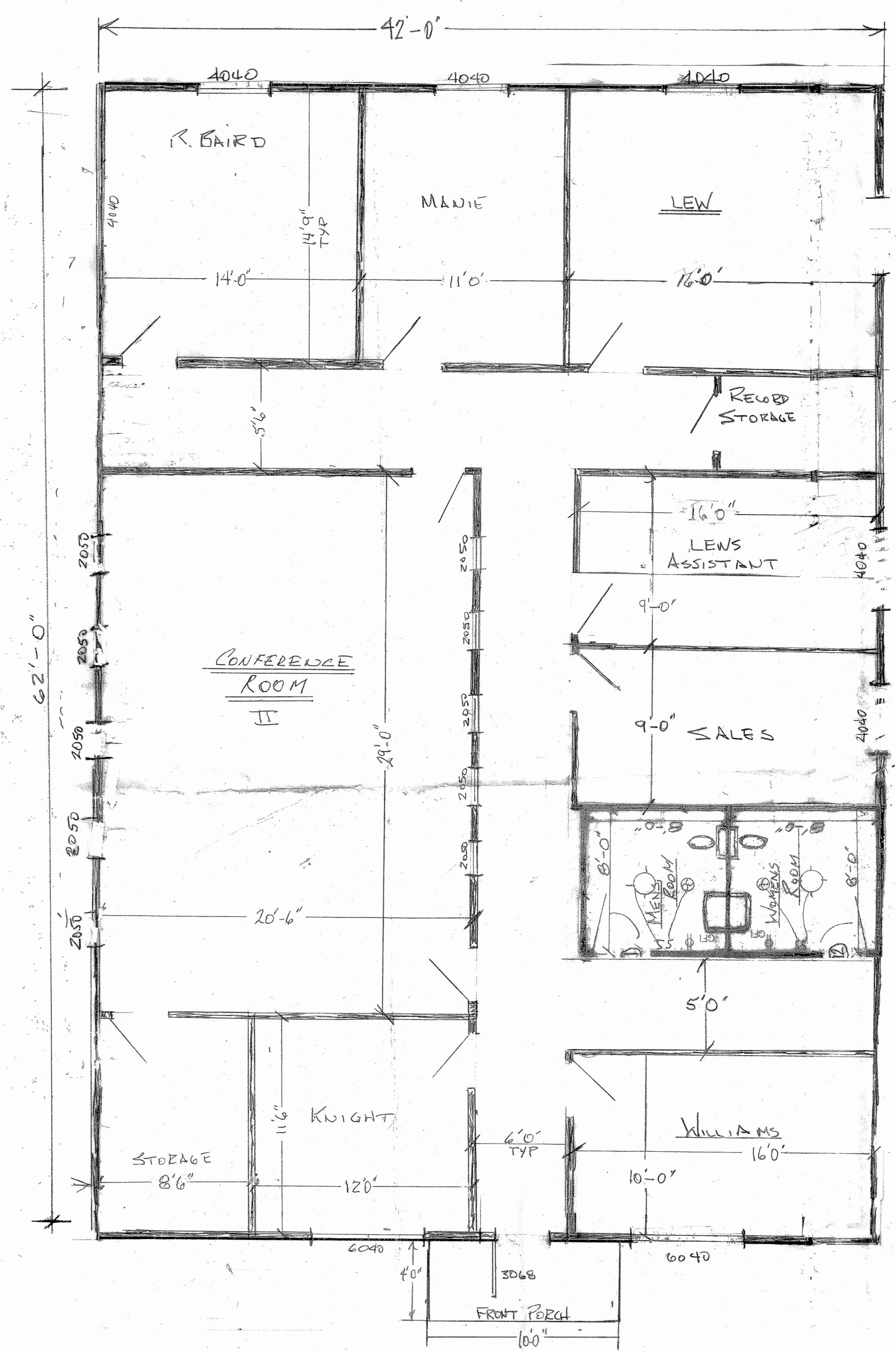


ELEVATIONS  
SCALE 1/8" = 1'-0"

**BUILDING DESIGN**

CONSTRUCTION:  
 Reinforced Concrete Slab: 3000 PSI Concrete  
 Exterior Walls: Wood Framing With Insulated  
 Exterior Sheathing, Masonry  
 Exterior - 80% Brick / 20% Stone  
 Roof System: Wood Truss with 30 YR Composition Roof  
 Interior Walls: Wood Framing with Sheetrock, Tape and Bed,  
 Painted Walls

OCCUPANCY: 6 EMPLOYEES  
 OCCUPANCY LOAD: 12 EMPLOYEES  
 SQUARE FOOTAGE: 2604 SF



FLOOR PLAN  
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION  
FLOOR PLAN



**OWNER**  
 Gerald Houser  
 Colin-G Properties LTD.  
 P.O. Box 847  
 Rockwall, TX 75087

**PROJECT**  
 CHRYSO Office Building  
 1611 HWY 276  
 Rockwall, TX 75032