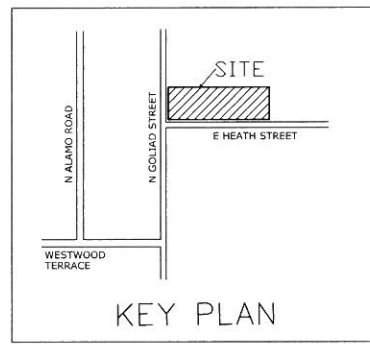
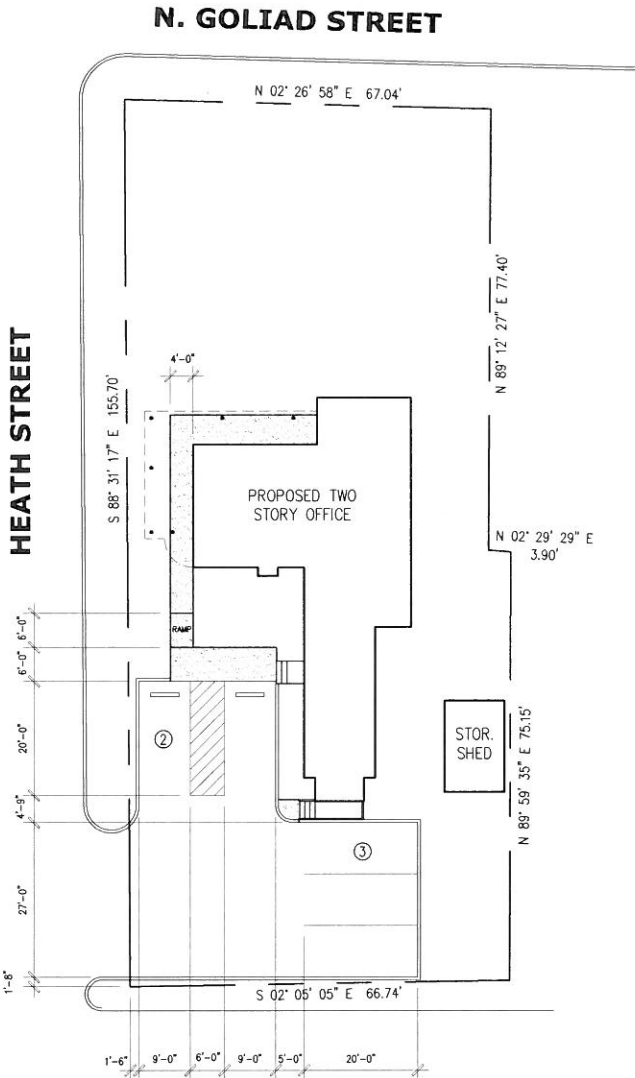


CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



W.D. AUSTIN ADDITION
 BEING A 0.24 AC. TRACT OF LAND SITUATED IN THE
 S.S. MCCURRY SURVEY BEING 902 N. GOLIAD ROAD, IN
 THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PARKING REQUIREMENTS

- OFFICE 2,439 SF @ 1/500 = 5
- 5 PARKING SPACES REQUIRED
- 1 HANDICAP PARKING SPACE REQUIRED FOR 0-25
- 1 HANDICAP PARKING SPACES PROVIDED

PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DRAWINGS AND DIMENSIONS TO BE MAINTAINED AS SHOWN AND ARE NOT INTENDED TO INDICATE SIZE AND EXIST FITTING, OFFSET, OR OTHER APPROPRIATE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DRAWINGS AND PROVIDE ALL NECESSARY FITS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY OFFERS AND/OR NOTES BY THE CONTRACTOR SHALL BE SUBJECT TO THE ATTENTION OF THE ARCHITECT OR METHOD BEFORE BEING THE PROJECT.
4. AFTER BIDS ARE TAINED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEM AT HIS OWNERS RISK.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO MEET CODES AND ALL APPLICABLE STANDARDS. CONTRACTOR SHALL REMOVE ALL DAMAGES FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHAT TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS NEEDED FOR WORKING SYSTEM AS NOTED.



OWNER
NATALEE DAVENPORT
 2105 WATERVIEW PKVY
 RICHARDSON, TEXAS 75080
 214-576-2954

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MEDICAL COMMERCIAL CHURCHES
MERSHAWN ARCHITECTS
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 ARCHITECTS
 1000 W. GOLIAD ROAD, SUITE 100
 ROCKWALL, TEXAS 75087
 PHONE: 972-242-2001
 FAX: 972-242-2001

| | | | |
|-----|------|----------|----|
| No. | Date | Revision | By |
| | | | |
| | | | |
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PROPOSED OFFICE
 902 N. GOLIAD ST., ROCKWALL, TEXAS
SITE PLAN

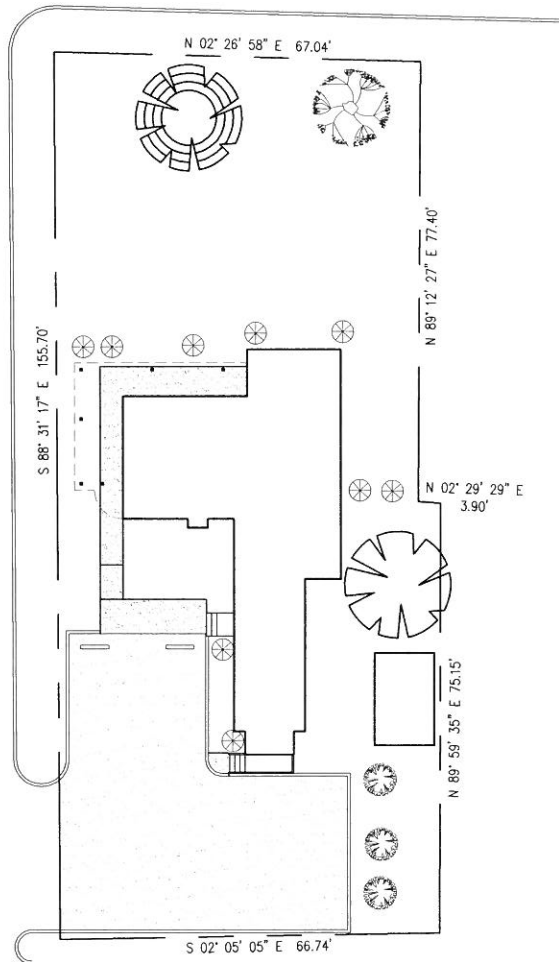
| | |
|--------------|-------------|
| Scale: | 1" = 20'-0" |
| Date: | 06/06/16 |
| Project No.: | 160021 |
| Designed: | AA |
| Drawn: | AA |
| Checked: | MM |

A1 OF

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAW ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

HEATH STREET

N. GOLIAD STREET

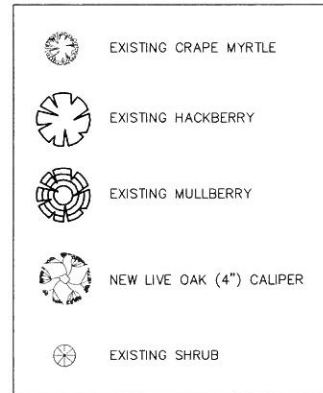


GENERAL NOTES:

1. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
2. EA. SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/TESTING LAB. OWNER WILL PAY FOR TESTING LABS.
3. ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE; SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS; SEE T&S NOTES & DETAILS.
4. LANDSCAPE SUBCONTRACTOR SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
5. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
6. NO TREES SHALL BE PLANTED WITHIN 5'-0" OF ANY UTILITIES.
7. NO SHRUBS SHALL BE PLANTED CLOSER THAN 4'-0" FROM CURB @ 18" DEEP PARKING SPACES

902 N. GOLIAD OF THE W.D. AUSTIN SURVEY

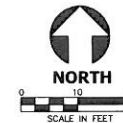
1. PROPOSED USE: - OFFICE
2. PROPERTY AREA: 10,454 SF OR 0.24 ACRES
3. BUILDING AREA: 2,439 SF
4. BUILDING HEIGHT: EXISTING TWO STORY
5. LOT COVERAGE :14.6%
F.A.R. = 0.15:1
6. PARKING REQUIRED: 2,439 @ 1 SPACE PER 500 = 5
5 SPACES REQUIRED
7. HANDICAP REQUIRED 1 ACCESSIBLE FOR 0-25 SPACES = 1 ACCESSIBLE
8. TOTAL PARKING PROVIDED: 5 SPACES
9. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 3,973 SF



PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DRAWINGS ARE GUARANTEED IN VALUE AND ARE NOT INTENDED TO INSURE SUCH AND EXISTING CONDITION OR OTHER APPEARANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND PROVIDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR WRITTEN BEFORE BEGINNING THE PROJECT.
4. AFTER 90% HAS BEEN TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEM AT HIS OWNERSHIP COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO OBTAIN AND VERIFY ALL NECESSARY PERMITS AND RETAIL BUY COMPONENTS NEEDED FOR WORKING SYSTEMS AS NEEDED.

OWNER
NATALEE DAVENPORT
2105 WATERVIEW PKWY
RICHARDSON, TEXAS 75080
214-576-2954



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3311 ROSE BOWS APT
ROCKWALL, TEXAS 75087
PHONE: 972-242-1800
FAX: 972-242-1881

| No. | Date | By | Revision |
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| | | | |

PROPOSED OFFICE
902 N. GOLIAD ST. ROCKWALL, TEXAS
SITE PLAN

Scale: 1" = 20'-0"

Date: 06/06/16

Project No: 160601

Designer: AA

Drawn: AA

Checked: #

SHEET **A1** OF