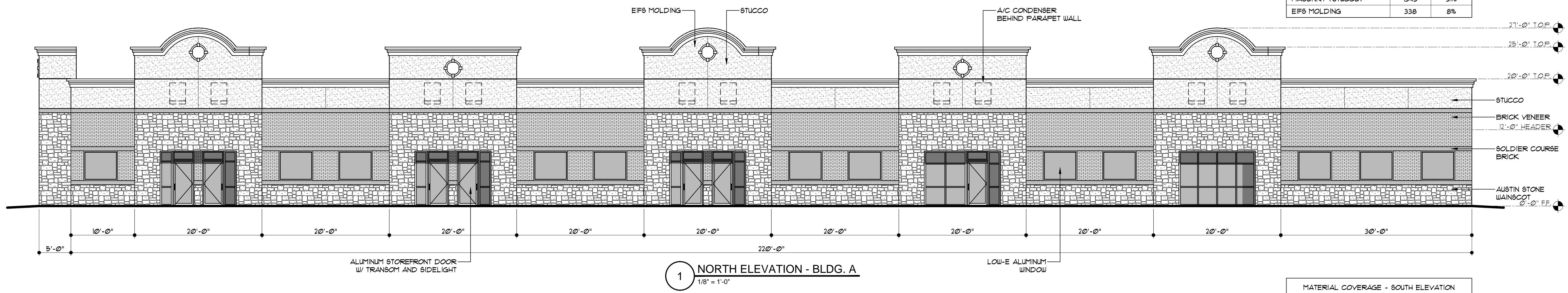
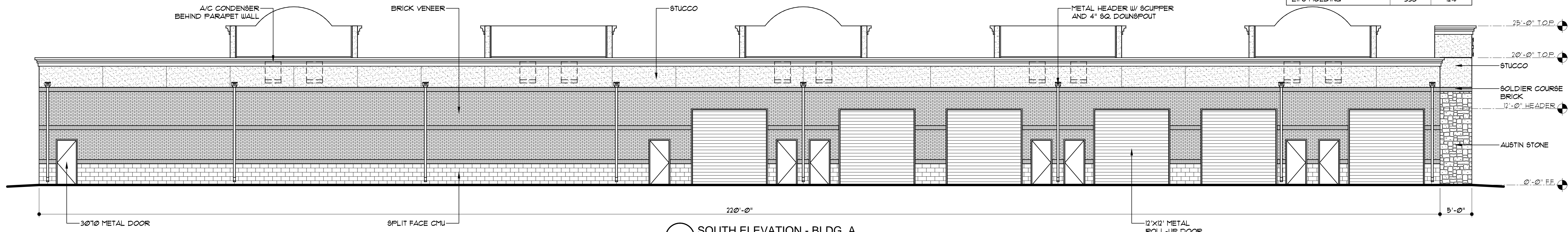


MATERIAL COVERAGE - NORTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	5105	
DOORS & WINDOWS (DED.)	784	
ACCOUNTABLE AREA	4321	100%
MASONRY (STONE)	1455	34%
MASONRY (BRICK)	1185	27%
MASONRY (STUCCO)	1343	31%
EIFS MOLDING	338	8%

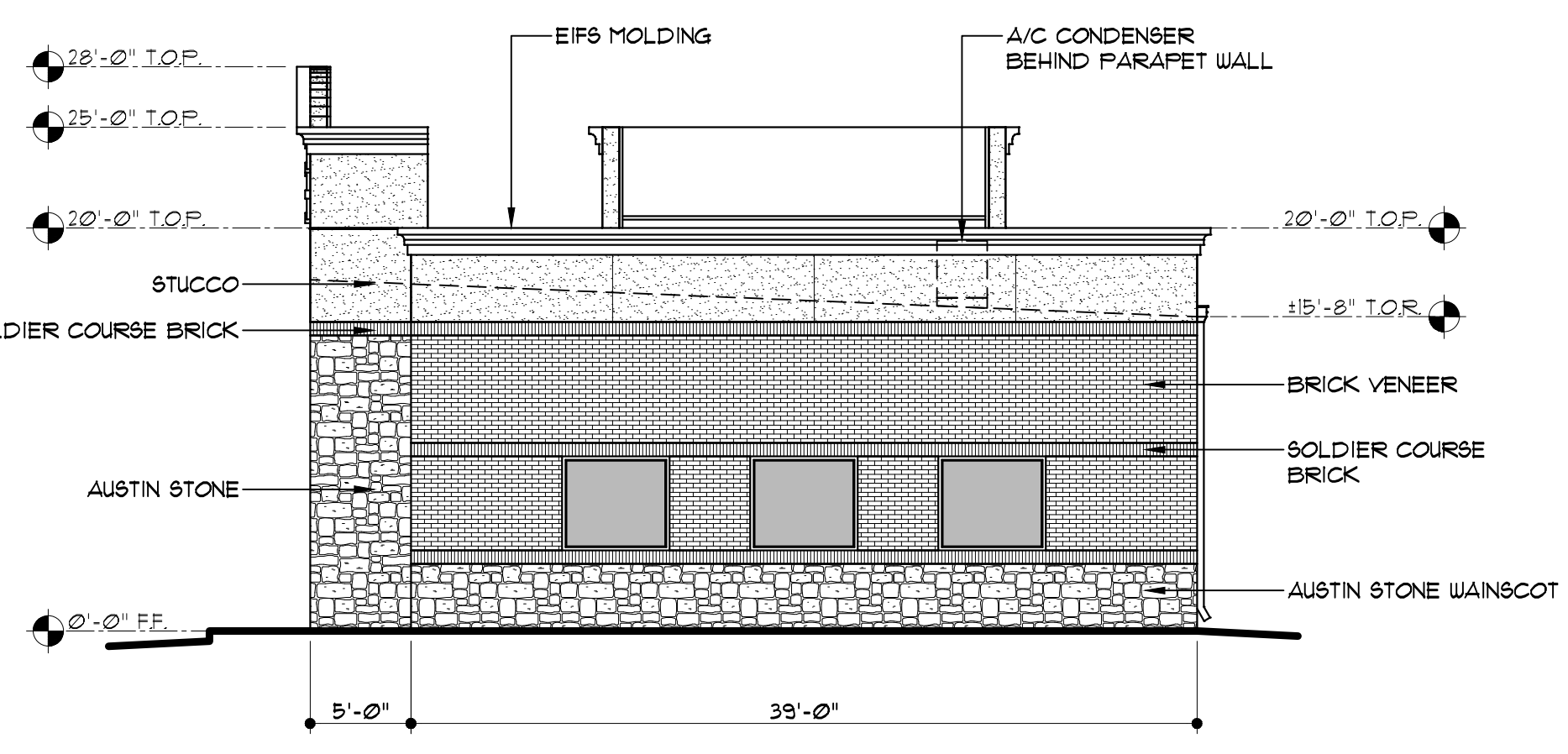


1 NORTH ELEVATION - BLDG. A  
1/8" = 1'-0"

MATERIAL COVERAGE - SOUTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	4530	
DOORS & WINDOWS (DED.)	1055	
ACCOUNTABLE AREA	3475	100%
MASONRY (STONE)	73	2%
MASONRY (CMU)	404	12%
MASONRY (BRICK)	1878	54%
MASONRY (STUCCO)	782	23%
EIFS MOLDING	338	12%



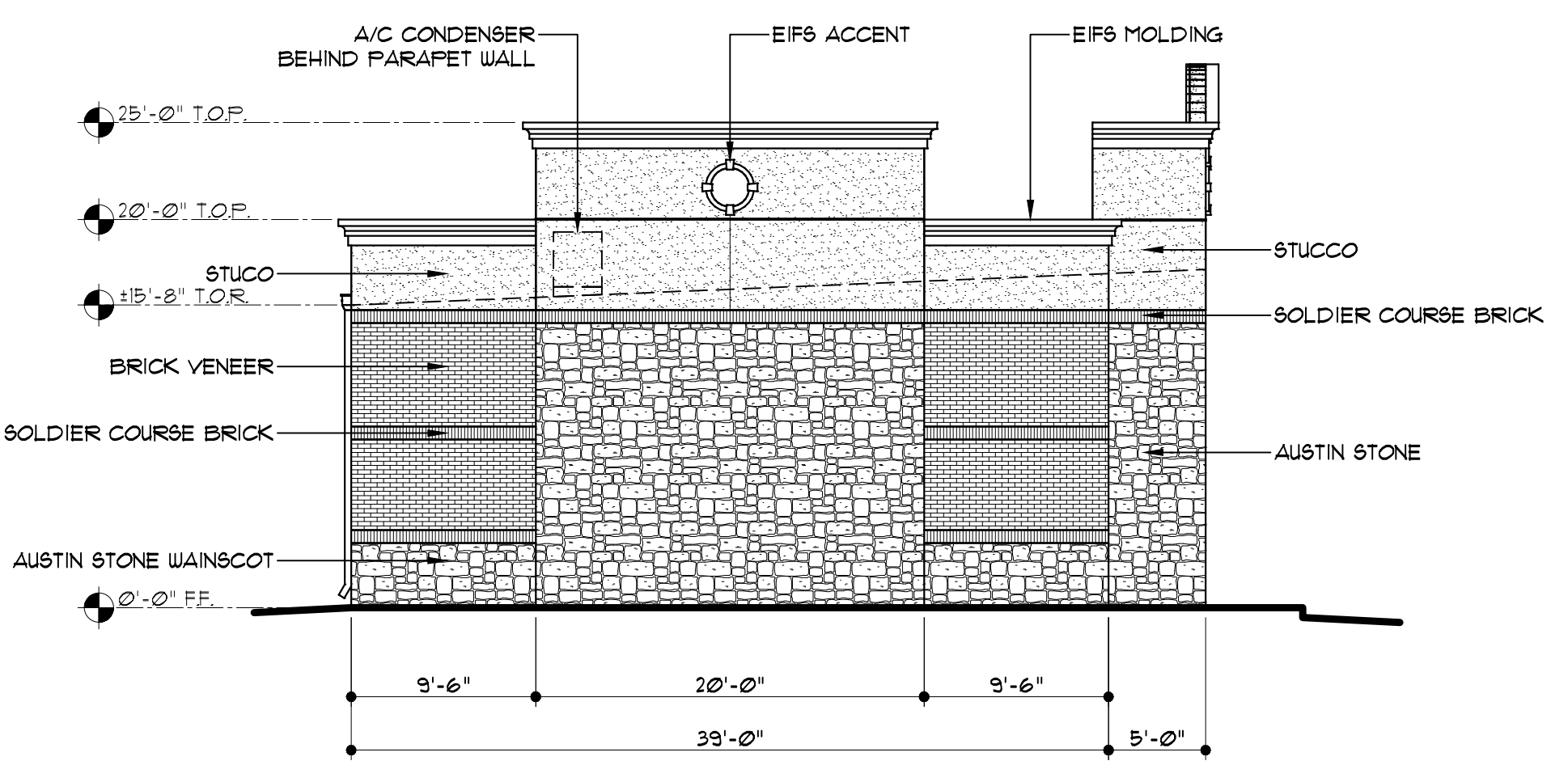
2 SOUTH ELEVATION - BLDG. A  
1/8" = 1'-0"



3 WEST ELEVATION - BLDG. A  
1/8" = 1'-0"

MATERIAL COVERAGE - WEST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	910	
DOORS & WINDOWS (DED.)	15	
ACCOUNTABLE AREA	895	100%
MASONRY (STONE)	203	24%
MASONRY (BRICK)	388	46%
MASONRY (STUCCO)	178	21%
EIFS MOLDING	66	8%

MATERIAL COVERAGE - EAST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	1009	
DOORS & WINDOWS (DED.)	0	
ACCOUNTABLE AREA	1009	100%
MASONRY (STONE)	430	43%
MASONRY (BRICK)	235	23%
MASONRY (STUCCO)	278	28%
EIFS MOLDING	66	7%



4 EAST ELEVATION - BLDG. A  
1/8" = 1'-0"

NO.	REVISION	NO.	REVISION



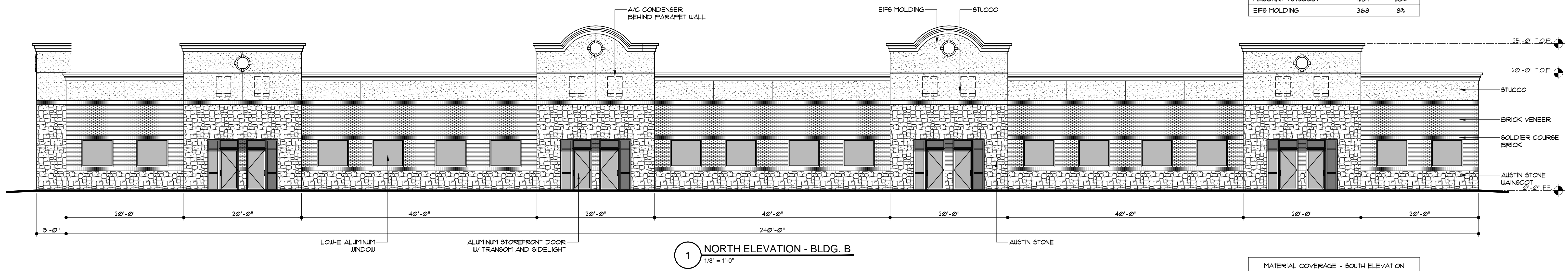
4700Kemble St.  
Fort Worth, TX 76103  
Ph: 817-534-6579  
FAX: 817-386-5365  
WWW.JLBUILDSYS.COM

PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:  
**PLANTINUM CONSTRUCTION**  
1450 S TL TOWNSEND DR.  
ROCKWALL, TEXAS

Date	06-20-2016	ELEVATIONS BUILDING A
Scale	As Noted	
Drawn	JLL	Sheet: <b>A2.1</b>
Job	15037	

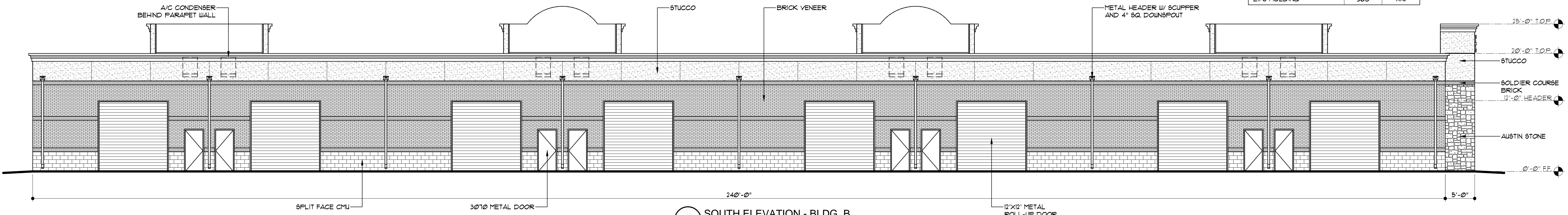
CASE #SP2016-014

MATERIAL COVERAGE - NORTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	5379	
DOORS & WINDOWS (DED.)	768	
ACCOUNTABLE AREA	4611	100%
MASONRY (STONE)	1410	31%
MASONRY (BRICK)	1546	34%
MASONRY (STUCCO)	1281	28%
EIFS MOLDING	368	8%

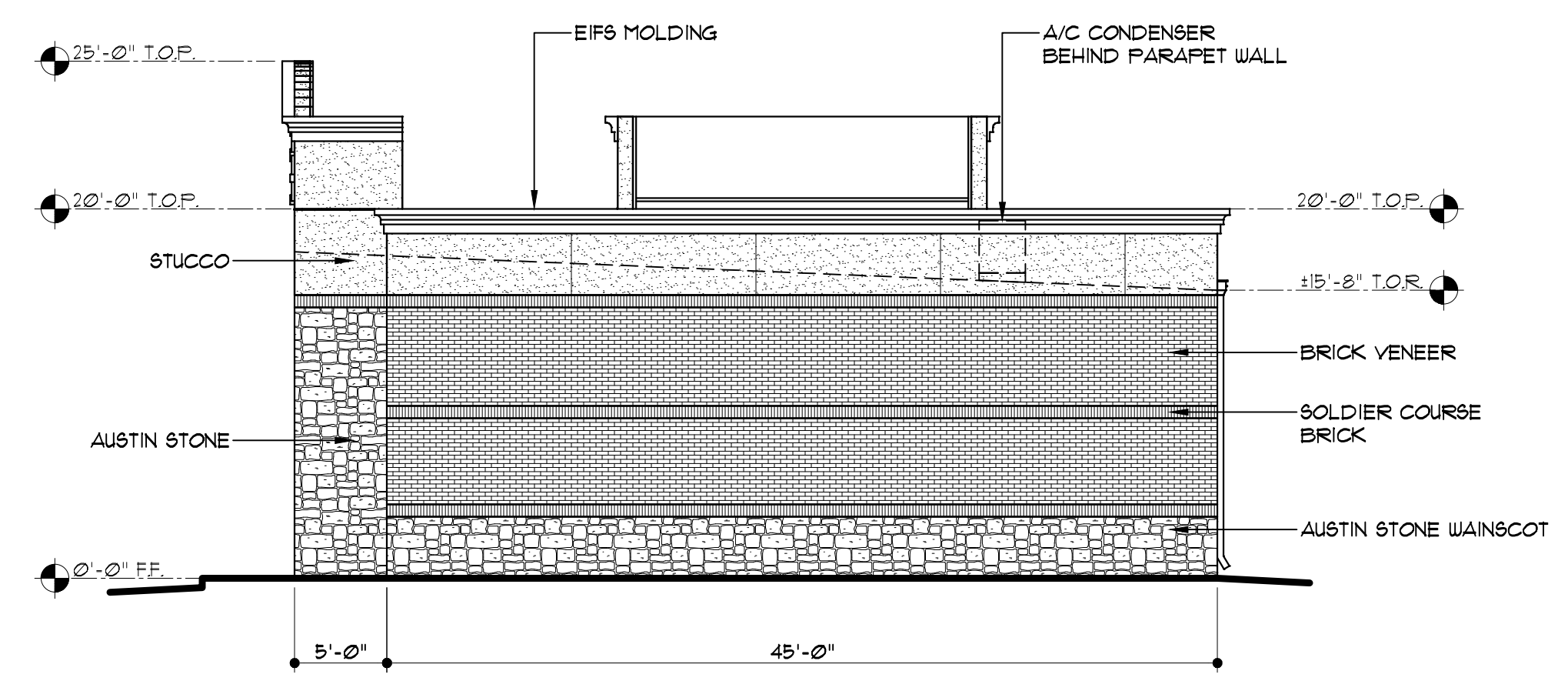


1 NORTH ELEVATION - BLDG. B  
1/8" = 1'-0"

MATERIAL COVERAGE - SOUTH ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	4530	
DOORS & WINDOWS (DED.)	1343	
ACCOUNTABLE AREA	3187	100%
MASONRY (STONE)	73	2%
MASONRY (CMU)	391	12%
MASONRY (BRICK)	1507	47%
MASONRY (STUCCO)	848	27%
EIFS MOLDING	368	14%



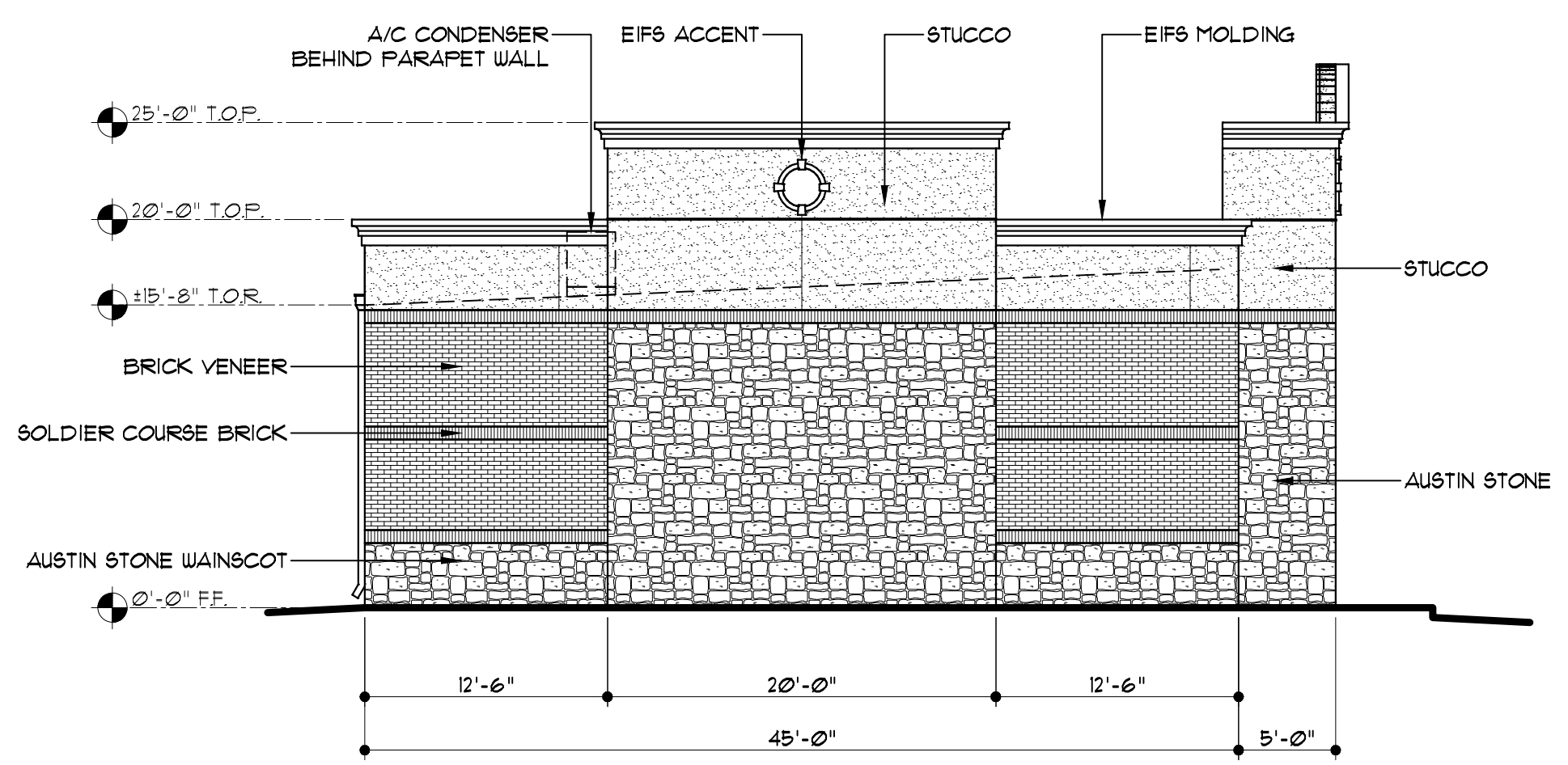
2 SOUTH ELEVATION - BLDG. B  
1/8" = 1'-0"



3 WEST ELEVATION - BLDG. B  
1/8" = 1'-0"

MATERIAL COVERAGE - WEST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	1025	
DOORS & WINDOWS (DED.)	0	
ACCOUNTABLE AREA	1025	100%
MASONRY (STONE)	223	22%
MASONRY (BRICK)	523	52%
MASONRY (STUCCO)	198	19%
EIFS MOLDING	75	7%

MATERIAL COVERAGE - EAST ELEVATION		
ITEM	AREA SF.	PERCENT.
ELEVATION AREA	1125	
DOORS & WINDOWS (DED.)	0	
ACCOUNTABLE AREA	1125	100%
MASONRY (STONE)	557	50%
MASONRY (BRICK)	195	17%
MASONRY (STUCCO)	298	26%
EIFS MOLDING	75	7%



4 EAST ELEVATION - BLDG. B  
1/8" = 1'-0"

NO.	REVISION	NO.	REVISION



4700Kemble St.  
Fort Worth, TX 76103  
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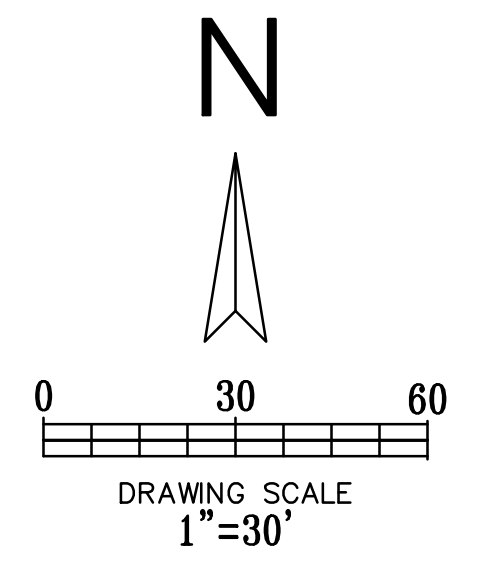
PROPOSED NEW OFFICE/WAREHOUSE FACILITY FOR:  
**PLANTINUM CONSTRUCTION**  
1450 S TL TOWNSEND DR.  
ROCKWALL, TEXAS

Date	06-20-2016	ELEVATIONS BUILDING B
Scale	As Noted	
Drawn	JLL	
Job	15037	
		Sheet: <b>A2.2</b>

CASE #SP2016-014

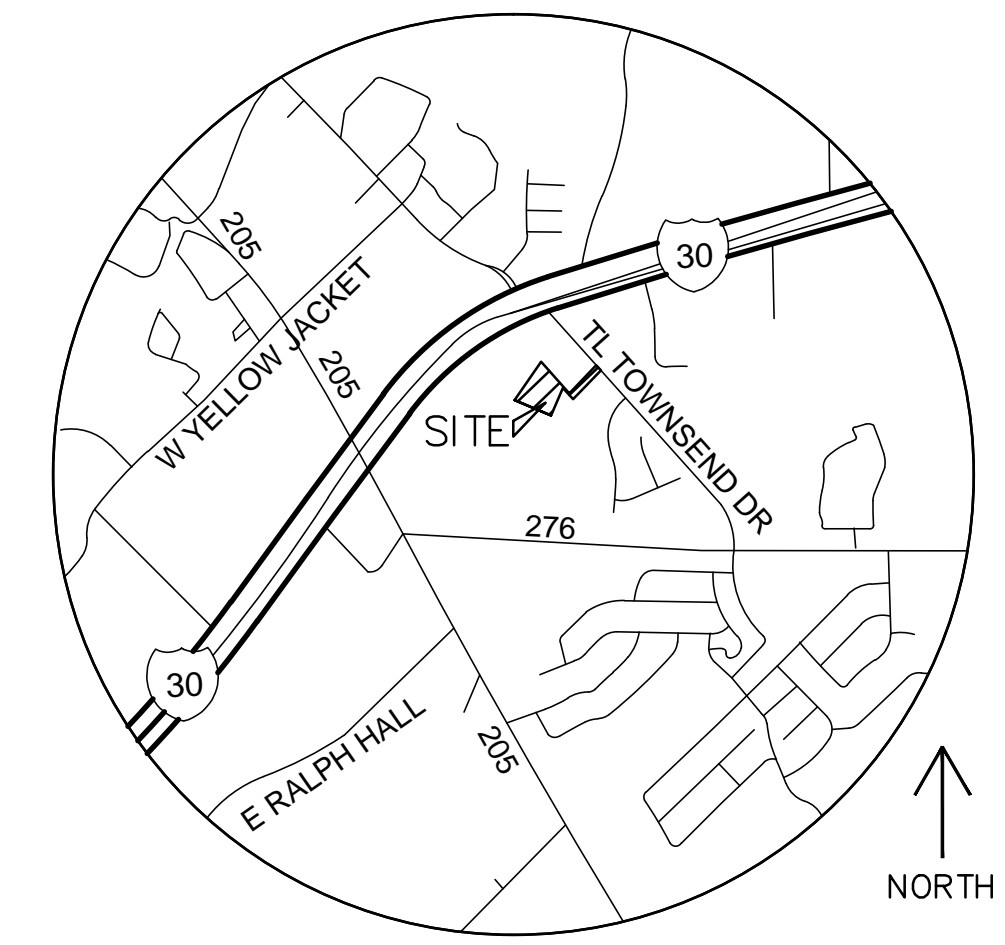
FOR REVIEW, NOT FOR CONSTRUCTION  
**THIS DOCUMENT IS FOR SITE INFORMATION ONLY. IT IS RELEASED UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 06/15/16.**

**SITE PLAN**  
OFFICE PARK ON TOWNSEND DRIVE  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS



- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - BFR — PROPOSED BARRIER FREE RAMP
  - Ⓢ — PARKING SPACES IN A ROW
  - LS — PROPOSED LANDSCAPING
  - [Pattern] 4" PROPOSED SIDEWALK 3,600 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS. (MINIMUM 6.5 SACK MIX)
  - [Pattern] 6"-8" PROPOSED PAVEMENT 4,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS. (MINIMUM 6.5 SACK MIX) FIRELANES SHALL BE A MINIMUM OF 7" THICK.
  - [Pattern] — PROPOSED FIRE LANE

- SITE NOTES:**
- THE PROPOSED BUILDING WILL BE FIRE SPRINKLERED.
  - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
  - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  - THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE SITE FOR CONSTRUCTION.
  - DETENTION HAS BEEN PROVIDED AS REQUIRED, PER THE CITY OF ROCKWALL'S ENGINEERING DEPARTMENT.
  - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS SITE PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE 2015 INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
  - THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.



**VICINITY MAP**  
NTS

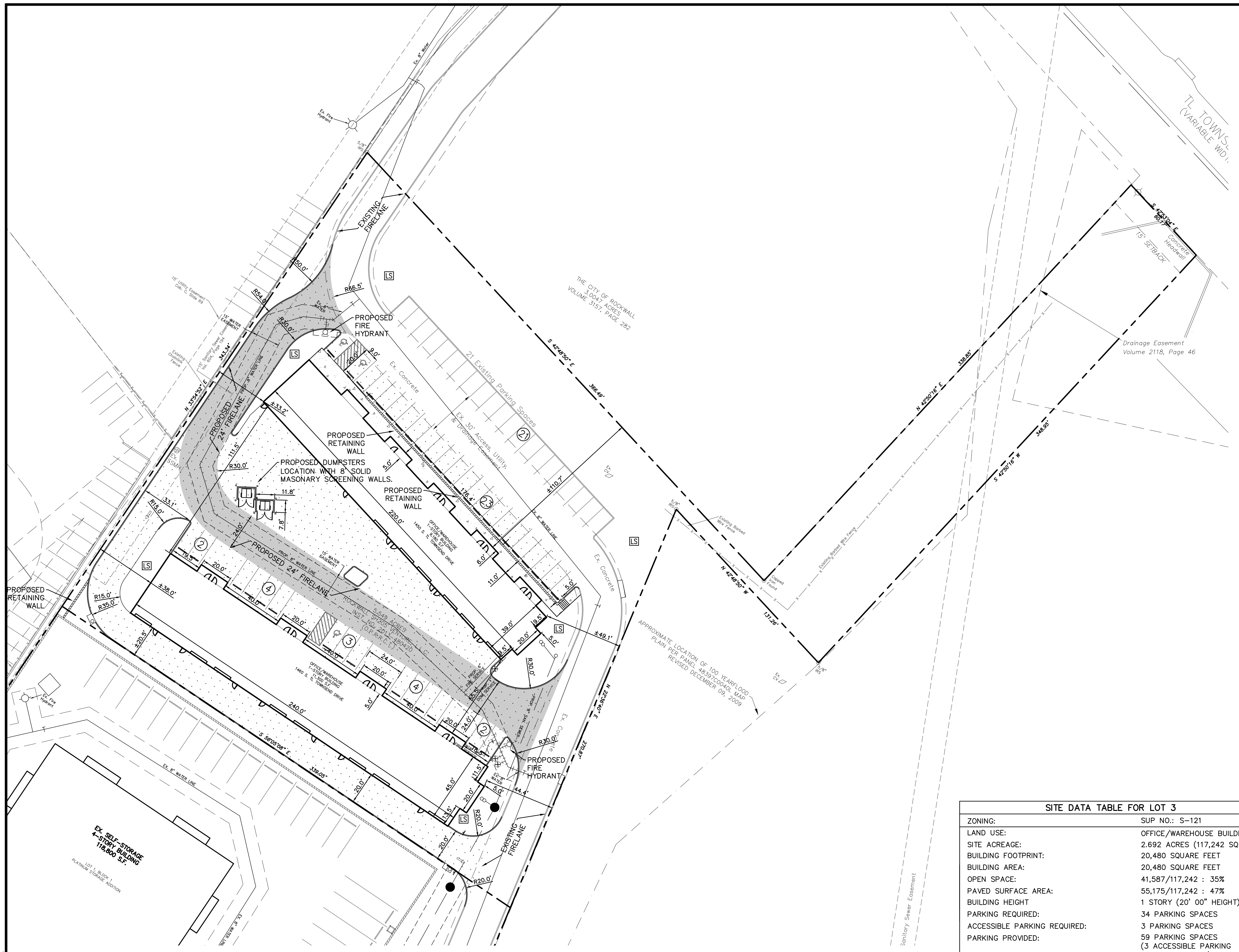
**BENCHMARK**  
NE CORNER OF THE CONCRETE CURB INLET LOCATED ON THE NE CORNER OF "COSTCO" WAREHOUSE ALONG THE EASTERN DRIVE.  
ELEVATION= 539.71  
NORTHERN CORNER OF EXISTING CURB INLET ALONG TOWNSEND ROAD, APPROXIMATELY 630 FEET SOUTH EAST OF THE INTERSECTION OF THE I30 EB SERVICE ROAD AND TOWNSEND ROAD.  
ELEVATION= 537.64  
CITY OF ROCKWALL CONTROL MONUMENT #19  
ELEVATION= 600.68

**SITE DATA TABLE FOR LOT 3**

ZONING:	SUP NO.: S-121
LAND USE:	OFFICE/WAREHOUSE BUILDINGS
SITE ACREAGE:	2.692 ACRES (117,242 SQ FT)
BUILDING FOOTPRINT:	20,480 SQUARE FEET
BUILDING AREA:	20,480 SQUARE FEET
OPEN SPACE:	41,587/117,242 : 35%
PAVED SURFACE AREA:	55,175/117,242 : 47%
BUILDING HEIGHT:	1 STORY (20' 00" HEIGHT)
PARKING REQUIRED:	34 PARKING SPACES
ACCESSIBLE PARKING REQUIRED:	3 PARKING SPACES
PARKING PROVIDED:	59 PARKING SPACES (3 ACCESSIBLE PARKING SPACES INCLUDED)

**REVISIONS**

REV NO.	DATE	DESCRIPTION



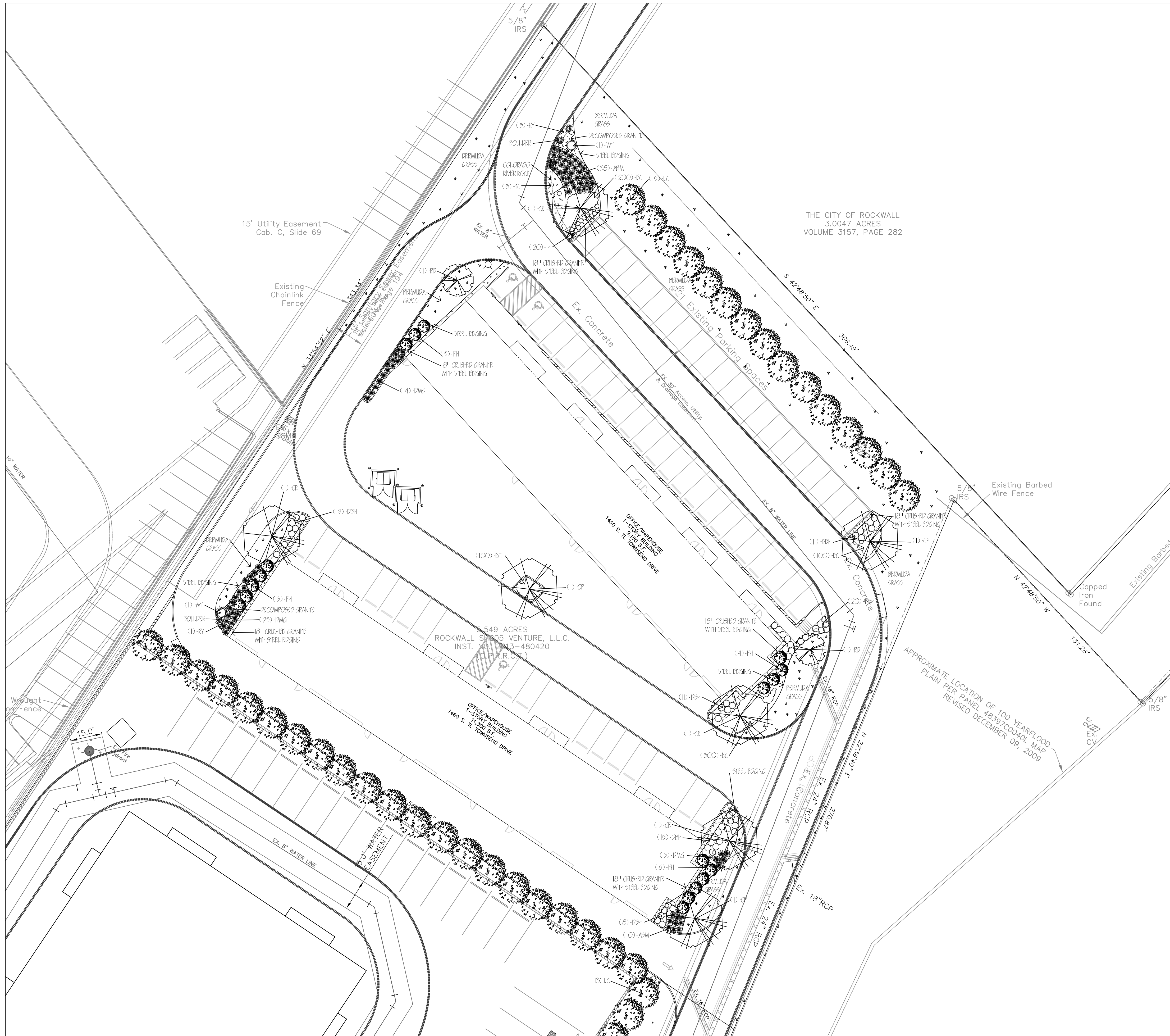
**!!! CAUTION !!!**  
**UNDERGROUND UTILITIES**  
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.  
**CALL: TEXAS ONE CALL • 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.**

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**ENGINEER:**  
CUMULUS DESIGN, INC.  
P.O. BOX 2119  
EULESS, TEXAS 76039  
PH: 214-235-0367  
CONTACT: PAUL CRAGUN  
EMAIL: PAUL@CUMULUSDESIGN.NET

**OWNER:**  
RON WALK  
1834 S FM 551  
FATE, TX 75189

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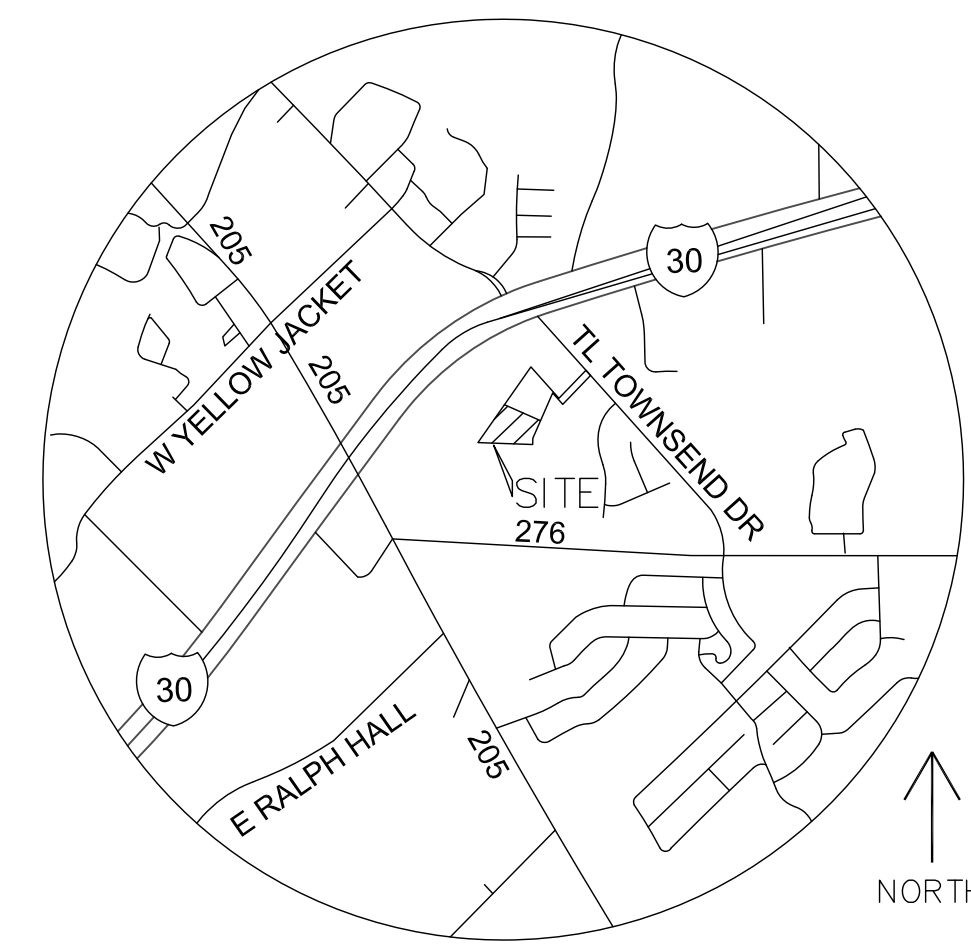


PLANT MATERIAL LIST

TREES			
KEY	QUANTITY	DESCRIPTION	SIZE
CE	4	ULMUS CRASSIFOLIA	3" CAL. MIN. 4' SPREAD, MIN. 10 FT.
CP	3	CEDEAR ELM	3" CAL. MIN. 4' SPREAD, MIN. 10 FT.
LC	15	PISTACHIA CHINENSE	30 GAL., 5 FT. HT., 3 FT. SPREAD
RB	2	CUPRESSOCYPARIS LEYLANDII	2" CAL., 8 FT., 3' SPREAD
		LEYLAND CYPRESS	2" CAL., 8 FT., 3' SPREAD
		CERCIS CANADENSIS VAR. TEXENSIS	2" CAL., 8 FT., 3' SPREAD
		TEXAS REDBUD	2" CAL., 8 FT., 3' SPREAD
SHRUBS			SIZE
DBH	84	ILEX BURFORDII 'NANA'	5 GAL., MIN. 24" HT., 24" O.C.
IH	20	DF. BURFORD HOLLY	5 GAL., MIN. 24" HT., 24" O.C.
FH	18	RAPHIOLIS INDICA 'PINK LADY'	30 GAL., MIN. 5' HT., 3' SPREAD, FULL TO GD.
WT	2	INDIAN HAWTHORN	5 GAL., MIN. 15" HT., 5 GAL. MIN. 15" HT., 5 GAL. MIN. 15" HT.,
RY	4	ILEX X ATTENUATA 'FOSTERI'	5 GAL., MIN. 15" HT., 5 GAL. MIN. 15" HT.,
		FOSTER HOLLY	5 GAL., MIN. 15" HT., 5 GAL. MIN. 15" HT.,
		AGAVE OVATIFOLIA	5 GAL., MIN. 15" HT., 5 GAL. MIN. 15" HT.,
		WHALES TONGUE	5 GAL., MIN. 15" HT., 5 GAL. MIN. 15" HT.,
		HESPERALOE PARVIFOLIA	5 GAL., MIN. 15" HT., 5 GAL. MIN. 15" HT.,
		RED YUCCA	5 GAL., MIN. 15" HT., 5 GAL. MIN. 15" HT.,
GROUND COVER			SIZE
EC	700	EUONYMUS COLORATUS FORTUNEI	4" POT, FULL PLANT 10" O.C.
		PURPLE WINTERCREPPER	4" POT, FULL PLANT 10" O.C.
BLOOMING COLOR			SIZE
TC	3	MALVAEUS ARBOREUS V. DRUMMONDII	1 GAL., FULL PLANT 16" O.C.
		TURKS CAP	1 GAL., FULL PLANT 16" O.C.
ORNAMENTAL GRASSES			SIZE
ABM	48	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GAL., FULL PLANT 15" O.C.
DMS	42	AUTUMN BLUSH MUHLY	1 GAL., FULL PLANT 15" O.C.
		MISCANTHUS SINENSIS 'ADAGIO'	1 GAL., FULL PLANT 16" O.C.
		DF. MAIDEN GRASS	1 GAL., FULL PLANT 16" O.C.

LANDSCAPE ORDINANCE FOR CITY OF ROCKWALL

REQUIREMENTS	PROVIDED
MINIMUM SQUARE FOOTAGE REQUIREMENTS FOR LANDSCAPING SHALL BE PROVIDED AND MINIMUM IN THE ZONING DISTRICTS SET FORTH AS FOLLOWS: COMMERCIAL = 15% @ 107,242 SF. = 17,586 SF. REQUIRED	59,758 SF. LANDSCAPE AREA PROVIDED
ANY PARKING LOT WITH MORE THAN 2 ROWS SHALL HAVE A MINIMUM OF 5% OR 200 SF. WHICHEVER IS GREATER IN THE INTERIOR OF THE PARKING LOT IN LANDSCAPING, SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL LANDSCAPING. = 17,586 SF. @ 5% = 879 SF.	1,644 SF. LANDSCAPE AREA PROVIDED
PARKING AND MANEUVERING SPACE EXCEEDS 20,000 SF., ONE TREE FOR EVERY 10 PARKING SPACES. 95,119 SF. @ 59 SPACES = 6 TREES	(6) TREES PROVIDED
NO PARKING SPACE SHALL BE FURTHER THAN 80 FEET FROM AT LEAST ONE TREE.	ALL PARKING SPACES ARE WITHIN 80 FT. OF AT LEAST ONE TREE.
TREES MUST BE PLANTED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.	TREES ARE LOCATED AT LEAST FIVE FEET FROM WATER, SEWER AND STORM SEWER LINES.
NO LESS THAN 50% OF THE TOTAL LANDSCAPE REQUIREMENT SHALL BE LOCATED IN FRONT OF THE BUILDING LANDSCAPE REQUIREMENTS = 17,586 SF. @ 50% = 8,793 SF.	LANDSCAPE PROVIDED = 12,250 SF.
ONE ROW OF LEYLAND CYPRESS TO BE INSTALLED ALONG NORTHERN PROPERTY LINE IN ACCORDANCE WITH SUP #5-121	(15) LEYLAND CYPRESS PROVIDED
IRREGATION TO BE AN UNDERGROUND AUTOMATIC SYSTEM	AUTOMATIC SYSTEM PROVIDED



01 LANDSCAPE PLAN  
SCALE: 1" = 20'-0"  
TRUE NORTH

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- NOTES:
1. OUTDOOR LIGHTING CIRCUITS SHALL BE PROVIDED WITH PROGRAMMABLE TIME CLOCK AND PHOTOCELL CONTROLLERS PER INTERNATIONAL ENERGY CONSERVATION CODE.
  2. NUMBERS AND CONTOURS SHOWN ON PLAN ARE FOOT-CANDLE UNITS.
  3. ELECTRICAL CONTRACTOR SHALL VERIFY ILLUMINATION LEVELS AFTER INSTALLATION AND SHALL ADJUST LUMINAIRES AS NECESSARY.

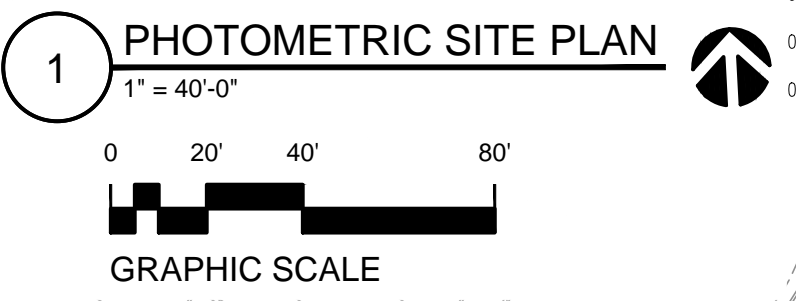
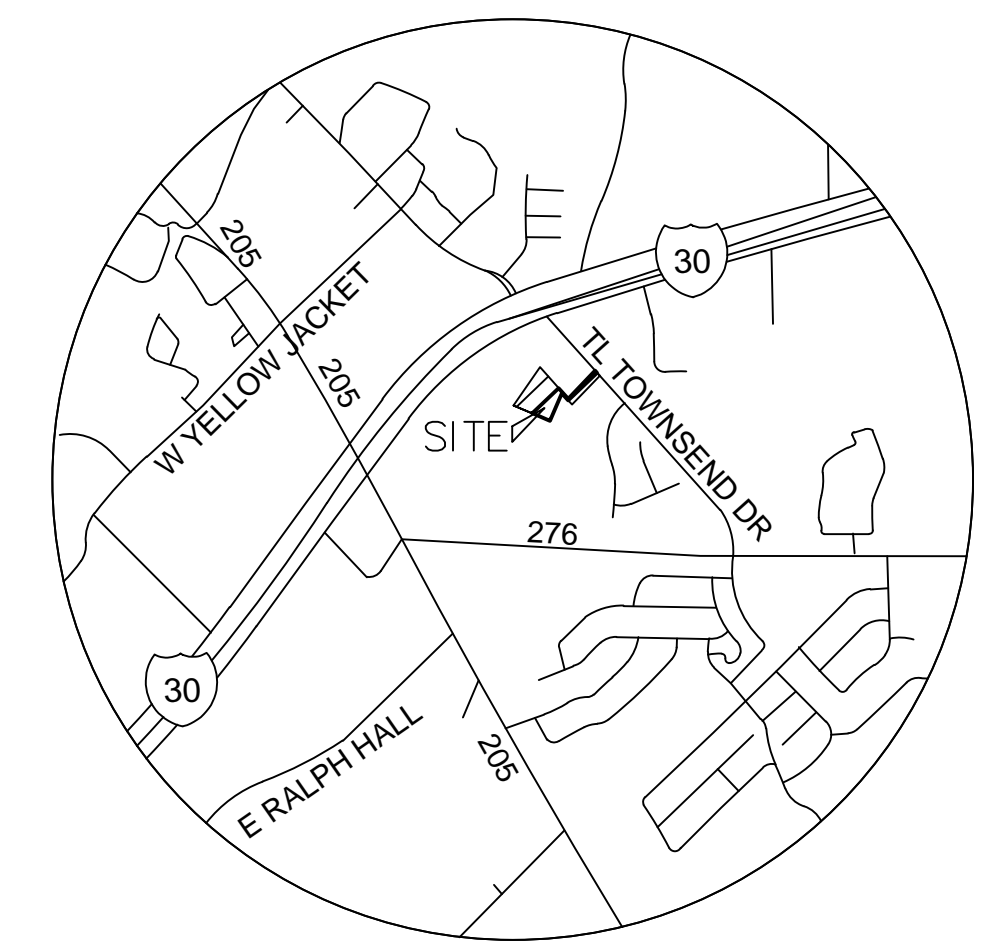
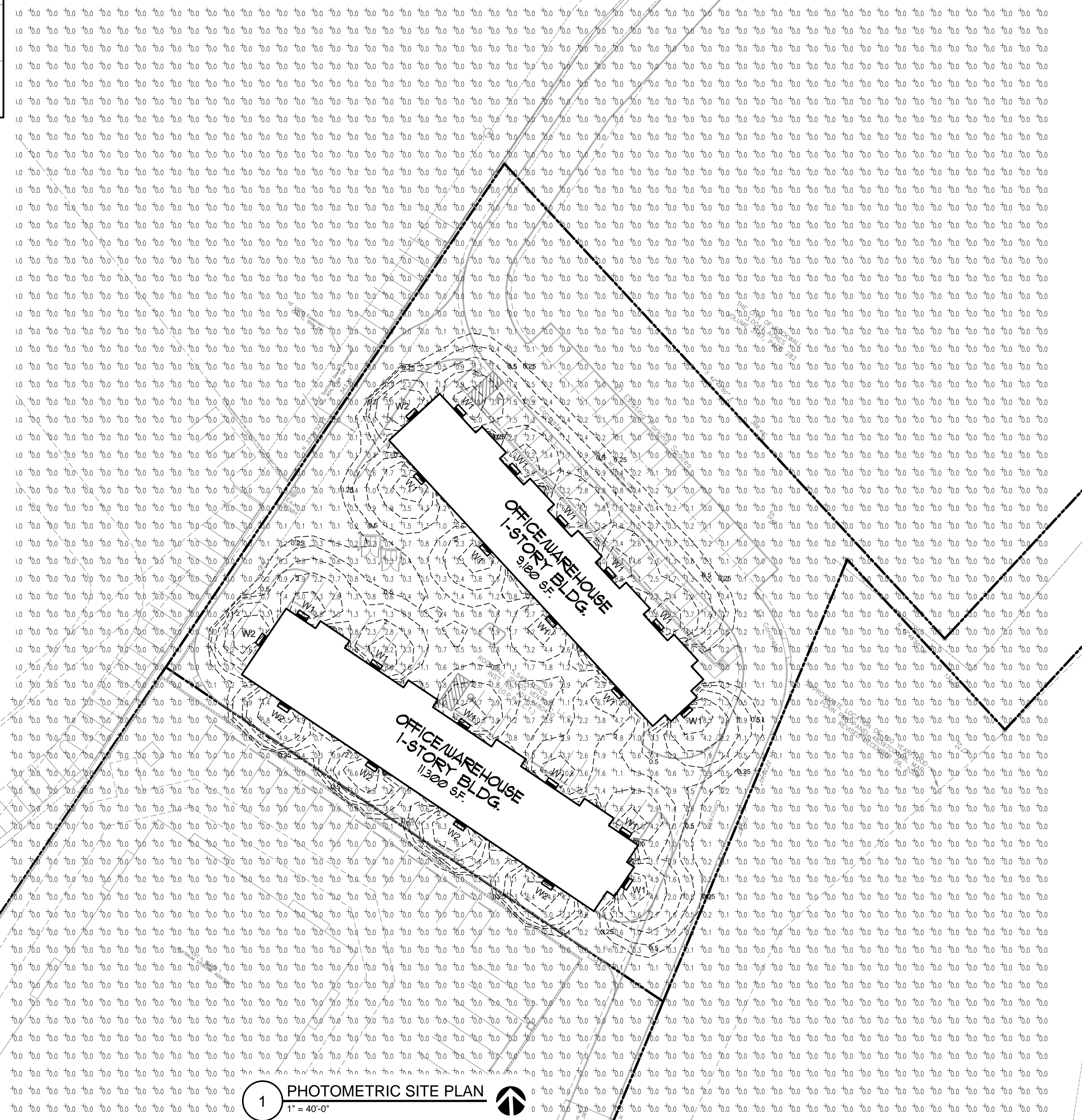
OUTDOOR LIGHTING SCHEDULE						
SYMBOL	LABEL	QTY	MANUF. CAT #	DESCRIPTION	LAMP	HEIGHT
	W1	16	'RAB LIGHTING' ALED4T50 (TYPE IV)	WALL PACK METAL HOUSING, CLEAR FLAT GLASS LENS, CUTOFF TYPE.	SIX WHITE MULTI-CHIP LED'S, 52 WATT, 100 - 277 MULTI-VOLT	HORZ. 12'-0"
	W2	6	'RAB LIGHTING' ALED4T50 (TYPE IV)	WALL PACK METAL HOUSING, CLEAR FLAT GLASS LENS, CUTOFF TYPE.	SIX WHITE MULTI-CHIP LED'S, 52 WATT, 100 - 277 MULTI-VOLT	15' DOWN 12'-0"

OUTDOOR ILLUMINATION SUMMARY	
TOTAL LUMINAIRES	22
TOTAL KW LOAD	1.1
# POINTS	2,703
AVERAGE F.C.	0.4
MAXIMUM F.C.	12.3



LUMINAIRE TYPE 'W1'

SITE DATA TABLE FOR LOT 3	
ZONING:	SUP NO.: S-121
LAND USE:	OFFICE/WAREHOUSE BUILDINGS
SITE ACREAGE:	2.692 ACRES (117,242 SQ FT)
BUILDING FOOTPRINT:	20,480 SQUARE FEET
BUILDING AREA:	20,480 SQUARE FEET
OPEN SPACE:	41,587/117,242 : 35%
PAVED SURFACE AREA:	55,175/117,242 : 47%
BUILDING HEIGHT:	1 STORY (20' 00" HEIGHT)
PARKING REQUIRED:	34 PARKING SPACES
ACCESSIBLE PARKING REQUIRED:	3 PARKING SPACES
PARKING PROVIDED:	59 PARKING SPACES (3 ACCESSIBLE PARKING SPACES INCLUDED)



1 PHOTOMETRIC SITE PLAN  
1" = 40'-0"

NO.	REVISION

PROPOSED NEW FACILITY:  
**OFFICE/WAREHOUSE**  
TOWNSEND ROAD  
ROCKWALL, TEXAS 75087

4700Kemble St.  
Ft. Worth, TX 76103  
TEL: 817-386-5365  
FAX: 817-386-5365  
WWW.JLEBDYSYS.COM




PHOTOMETRIC SITE PLAN

Date	06-20-2016
Scale	As Noted
Drawn	JLL
Job	15037
Sheet	

PS1

CASE #SP2016-014

**ALED4T50**



Specification grade area lights available in IES Type IV distributions. Suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. Mounts to 4" square steel poles at 20-35'. Patent pending management system. 5 Year Warranty.

Color: Bronze Weight: 32.0 lbs

<b>Project:</b> PLATINUM CONSTRUCTION	<b>Type:</b> OFFICE/WAREHOUSE
<b>Prepared By:</b> JL BUILDING SYSTEMS, LLC	<b>Date:</b> 06-20-2016

<b>Driver Info</b>	<b>LED Info</b>
Type: Constant Current	Watts: 50W
120V: 0.46A	Color Temp: 5000K
208V: 0.27A	Color Accuracy: 67 CRI
240V: 0.23A	L70 Lifespan: 100000
277V: 0.20A	Lumens: 5,196
Input Watts: 52W	Efficacy: 100 LPW
Efficiency: 96%	

**Technical Specifications**

**Listings**  
UL Listing:  
Suitable for wet locations as a downlight.

**IESNA LM-79 & IESNA LM-80 Testing:**  
RAB LED fixtures have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

**Dark Sky Approved:**  
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

**DLC Listed:**  
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.  
DLC Product Code: P0000178Y

**LED Characteristics**

**Lifespan:**  
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

**LEDs:**  
Multi-chip, high-output, long-life LEDs

**Color Consistency:**  
7-step MacAdam Ellipse binning to achieve consistent future-to-future color.

**Color Stability:**  
LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

**Color Uniformity:**  
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

**Construction**  
**IES Classification:**  
The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

**Effective Projected Area:**  
EPA = 0.75

**IP Rating:**  
Ingress Protection rating of IP66 for dust and water.

**Ambient Temperature:**  
Suitable for use in 40°C ambient temperatures.

**Cold Weather Starting:**  
The minimum starting temperature is -40°F/-40°C.

**Thermal Management:**  
Superior patent pending thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments.

**Housing:**  
Die cast aluminum housing, lens frame and mounting arm.

**Mounting:**  
Heavy-duty mounting arm with "O" ring seal & stainless steel screws.

**Reflector:**  
Specular vacuum-metallized polycarbonate

**Gaskets:**  
High temperature silicone gaskets

**Finish:**  
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

**Green Technology:**  
Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

**Electrical**

**Driver:**  
Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

**THD:**  
6.9% at 120V, 7.8% at 277V

**Surge Protection:**  
6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.

**Other**


**Equivalency:**  
ALED™ 50W replaces 200W metal halide

**California Title 24:**  
See ALED4T50/PC, ALED3T50/PCS or ALED3T50/PCT for a 2013 California Title 24 compliant model.

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com  
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Page 1 of 2

**ALED4T50**



**Technical Specifications (continued)**

**Other**  
The ALED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

**Patents:**  
The ALED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

**Warranty:**  
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish.

**Country of Origin:**  
Designed by RAB in New Jersey and assembled in the USA by RAB's IREW Local 3 workers.

**Buy American Act Compliant:**  
This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

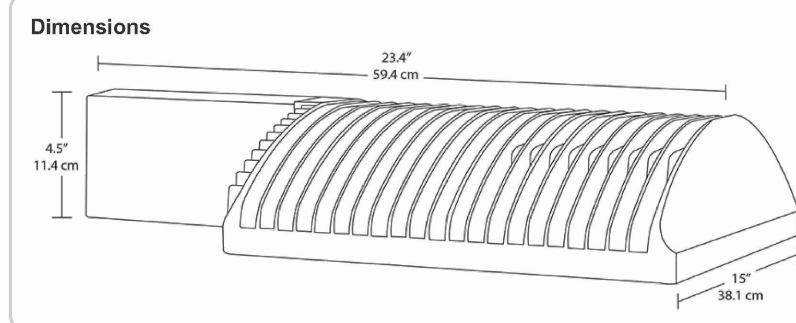
**Recovery Act (ARRA) Compliant:**  
This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods - Buy American Act - Construction Materials (October 2010).

**Trade Agreements Act Compliant:**  
This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

**GSA Schedule:**  
Suitable in accordance with FAR Subpart 25.4.

**Optical**  
**BUG Rating:**  
B0 U0 G2

**Dimensions**



**Features**  
66% energy cost savings vs. HID  
100,000-hour LED lifespan  
Type IV distribution  
5-year warranty

**Ordering Matrix**

Family	Distribution	Watts	Mount	Color Temp	Finish	Voltage	Photocell	Dimming	Sensor	Bi-Level
ALED	4T	50		5000K		PC2				
2T = Type II	50 = Arm	= 5000K	= = 120	= No Photocell	= No	/WS2 = Multi-Level Motion Sensor (Only available for	= No Bi-			
3T = Type III	50W	(Cool)	Bronze	277V	IPC = 120V	Dimming	120-277V with /D10 for 50W)	= Level		
4T = Type IV	Splitter	Y = 3000K	W = 480V	Button	ID16 =	Dimmable		= Bi-		
		(Warm)	White	480V	IPC2 = 277V	Button		= Level		
		N = 4000K	RG =		IPC3 = 120V	Swivel				
		(Neutral)	Gray		IPC2 = 277V	Swivel				
					IPC1 = 120-277V	Twistlock				
					IPC4 = 480V	Swivel				
					IPC14 = 480V	Twistlock				

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com  
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NO. REVISION

PROPOSED NEW FACILITY:  
**OFFICE/WAREHOUSE**  
TOWNSEND ROAD  
ROCKWALL, TEXAS 75087

4700Kemble St.  
Fort Worth, TX 76103  
TEL: 817-386-5265  
FAX: 817-386-5265  
WWW.JLBUILDINGS.COM



OUTDOOR LIGHTING SPECIFICATIONS

Date 06-20-2016  
Scale As Noted  
Drawn JLL  
Job 15037  
Sheet

CASE #SP2016-014

PS2