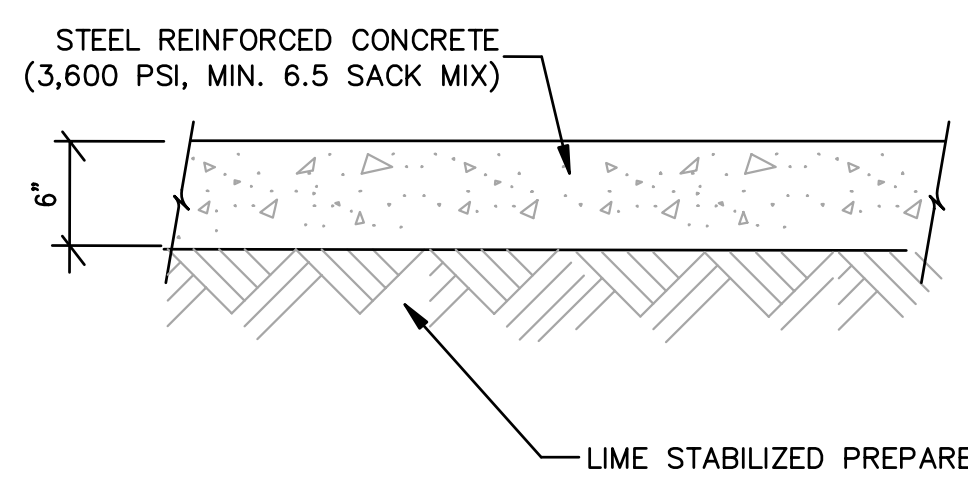
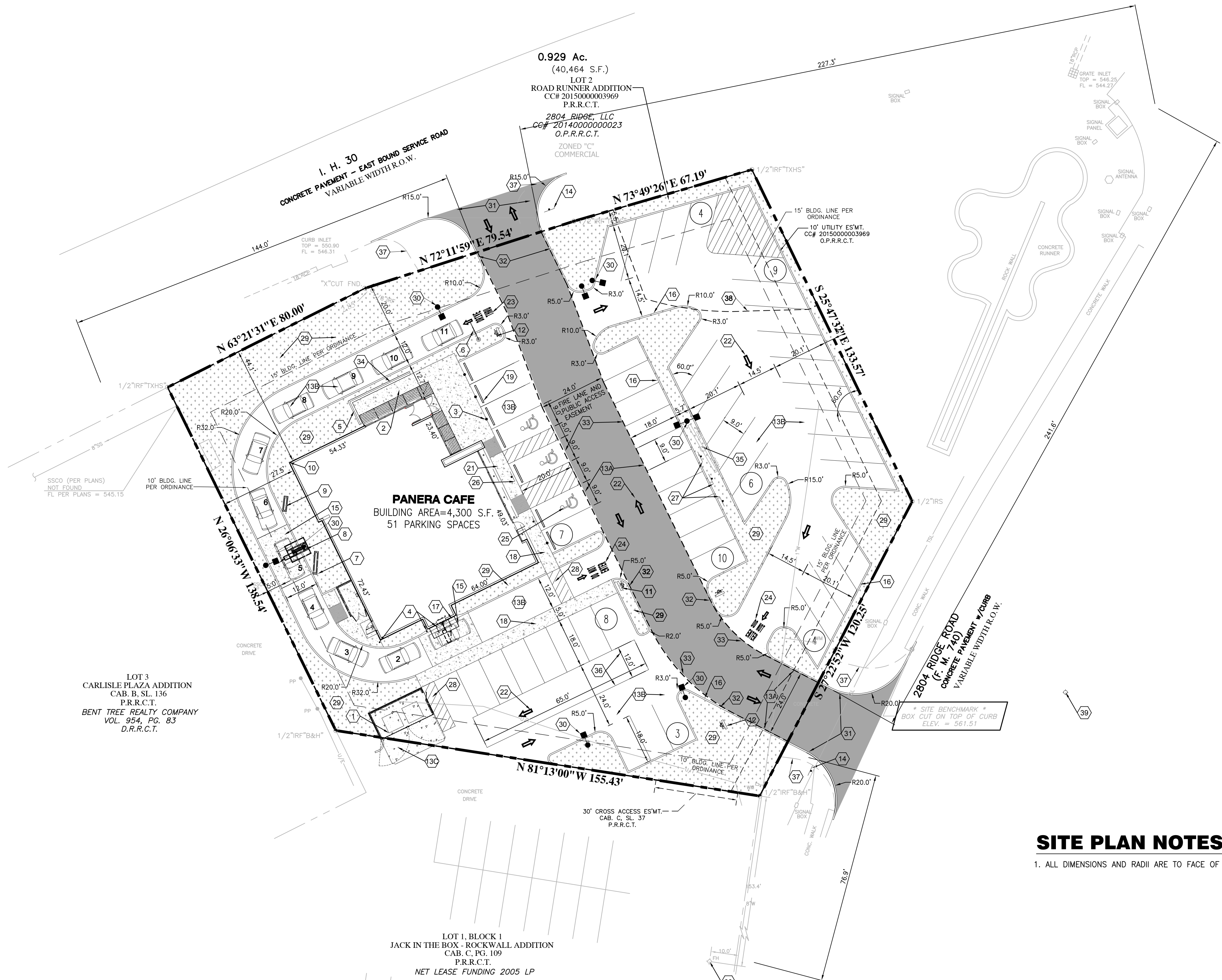


**KEYED NOTES:**

- 1 NEW TRASH ENCLOSURE. (PROVIDE DRAIN TO GREASE TRAP)
- 2 NEW PATIO AREA.
- 3 NEW 4" BOLLARD(S).
- 4 NEW 6" BOLLARD(S).
- 5 NEW PATIO HANDRAIL WITH INTEGRATED BOLLARDS.
- 6 NEW CLEARANCE BAR.
- 7 NEW MENU BOARD.
- 8 NEW MENU CANOPY.
- 9 NEW PREVIEW BOARD.
- 10 NEW BUILDING MOUNTED CAMERA.
- 11 NEW "DO NOT ENTER / THANK YOU" SIGN.
- 12 NEW "DRIVE-THRU" SIGN.
- 13A NEW HEAVY DUTY CONCRETE PAVEMENT.
- 13B NEW LIGHT DUTY CONCRETE PAVEMENT.
- 13C NEW REFUSE AREA CONCRETE PAVEMENT.
- 14 NEW "STOP" SIGN.
- 15 NEW CONCRETE PAD WITH SENSOR LOOP.
- 16 NEW 6" VERTICAL CONCRETE CURB (STANDARD SECTION).
- 17 NEW 6" VERTICAL CONCRETE CURB (WIDE SECTION).
- 18 NEW TURNED DOWN CONCRETE WALK.
- 19 NEW WHEEL STOPS (7 TOTAL).
- 20 NEW FLARED ACCESSIBLE RAMP WITH TRUNCATED DOMES IN SIDEWALK.
- 21 NEW PARALLEL ACCESSIBLE RAMP WITH TRUNCATED DOMES IN SIDEWALK.
- 22 NEW TRAFFIC FLOW ARROW.
- 23 NEW "DRIVE-THRU" STRIPING AND TRAFFIC FLOW ARROW.
- 24 NEW "DO NOT ENTER" STRIPING AND TRAFFIC FLOW ARROWS.
- 25 NEW ACCESSIBLE PARKING PAINTED SYMBOL AND STRIPING (3 TOTAL).
- 26 NEW ACCESSIBLE PARKING AND FINE SIGN(S) IN BOLLARD (3 TOTAL).
- 27 NEW RAPID PICK UP SIGNS.
- 28 NEW PAINTED AISLE.
- 29 NEW LANDSCAPE AREA.
- 30 NEW SITE LIGHTING.
- 31 NEW STANDARD DRIVE APPROACH PER CITY OF ROCKWALL STANDARDS.
- 32 NEW CURB TO BE PAINTED RED WITH CONTRASTING WHITE LETTERS READING "NO PARKING FIRE LANE" PER ROCKWALL FIRE PROTECTION STANDARDS.
- 33 NEW RED PAINTED STRIPE WITH CONTRASTING WHITE LETTERS READING "NO PARKING FIRE LANE" PER ROCKWALL FIRE PROTECTION STANDARDS.
- 34 SEGMENTAL RETAINING WALL.
- 35 EXISTING PYLON SIGN TO REMAIN AND BE REFACED.
- 36 NEW 12'X65' LOADING AREA.
- 37 EXISTING DRIVEWAY EXTENTS (TO BE ALTERED).
- 38 NEW DRAINAGE/DETENTION EASEMENT.
- 39 EXISTING FIRE HYDRANT.

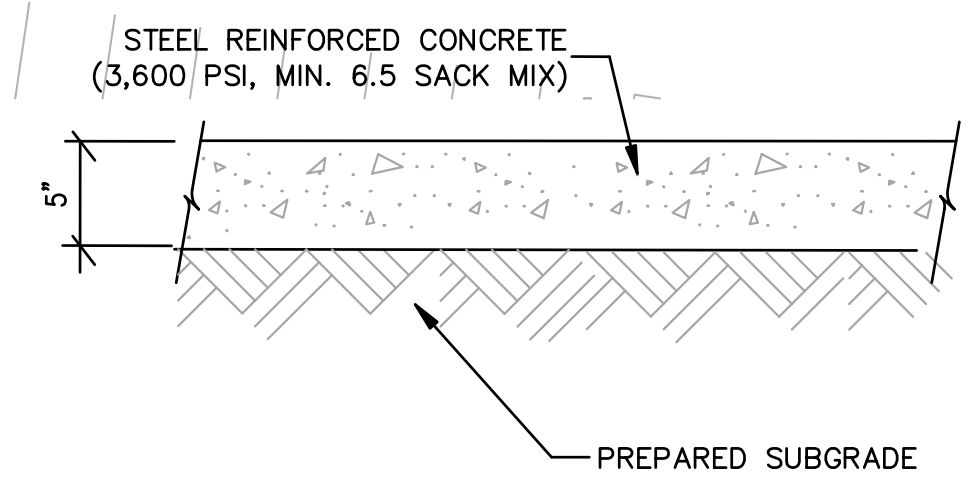
**SITE PLAN NOTES:**

1. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



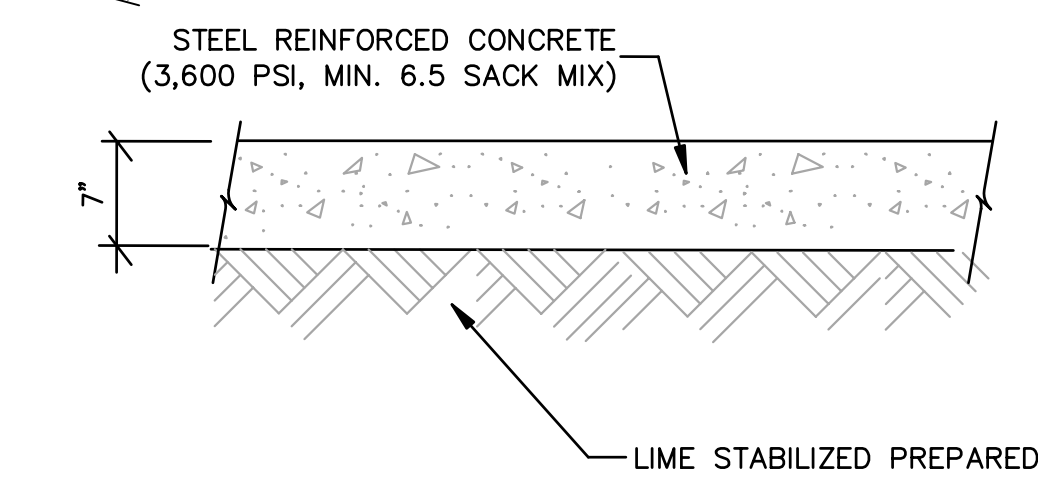
**NOTE:**  
PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.  
CONTRACTOR TO INSTALL CONCRETE PAVEMENT JOINTS PER THE AMERICAN CONCRETE INSTITUTES' GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS"

**1 HEAVY DUTY CONCRETE DETAIL**  
SCALE: N.T.S. REF. DWG. ???



**NOTE:**  
PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.  
CONTRACTOR TO INSTALL CONCRETE PAVEMENT JOINTS PER THE AMERICAN CONCRETE INSTITUTES' GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS"

**2 LIGHT DUTY CONCRETE DETAIL**  
SCALE: N.T.S. REF. DWG. ???



**NOTE:**  
PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.  
CONTRACTOR TO INSTALL CONCRETE PAVEMENT JOINTS PER THE AMERICAN CONCRETE INSTITUTES' GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS"

**3 REFUSE AREA CONCRETE DETAIL**  
SCALE: N.T.S. REF. DWG. ???



CALL 8-1-1 or 1-800-344-8377 (TEXAS ONE CALL) TO HAVE LOCATIONS MARKED IN THE FIELD (SUBSCRIBING UTILITIES REQUIRE 48 HOURS NOTICE PRIOR TO CONSTRUCTION).

CITY CASE #SP2016-009

NO.	REVISION DESCRIPTION	DATE
1	CITY COMMENTS	05/16/16
2	CITY COMMENTS	05/03/16

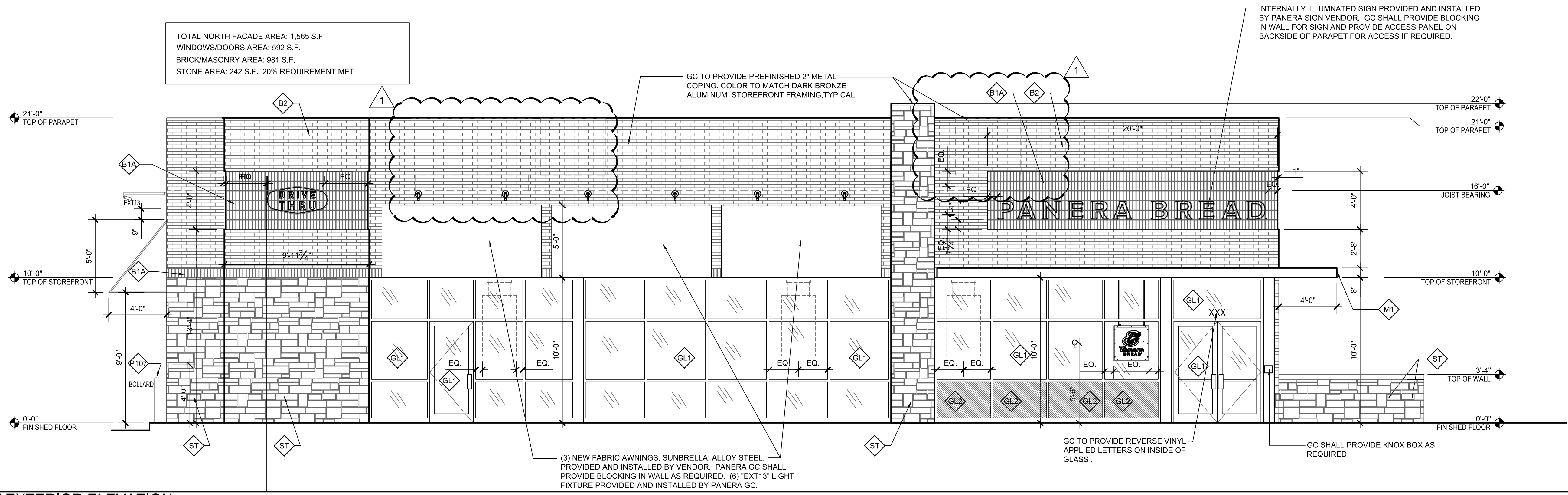
DEVELOPER/OWNER:  
**PANERA, LLC**  
3630 SOUTH GEVER ROAD, SUITE 100  
ST. LOUIS, MO 63127  
(314) 984-2646

DESIGNER:  
**COLE**  
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE  
401 S. 18th Street  
Suite 200  
St. Louis, MO 63103  
314.964.9887 / 767

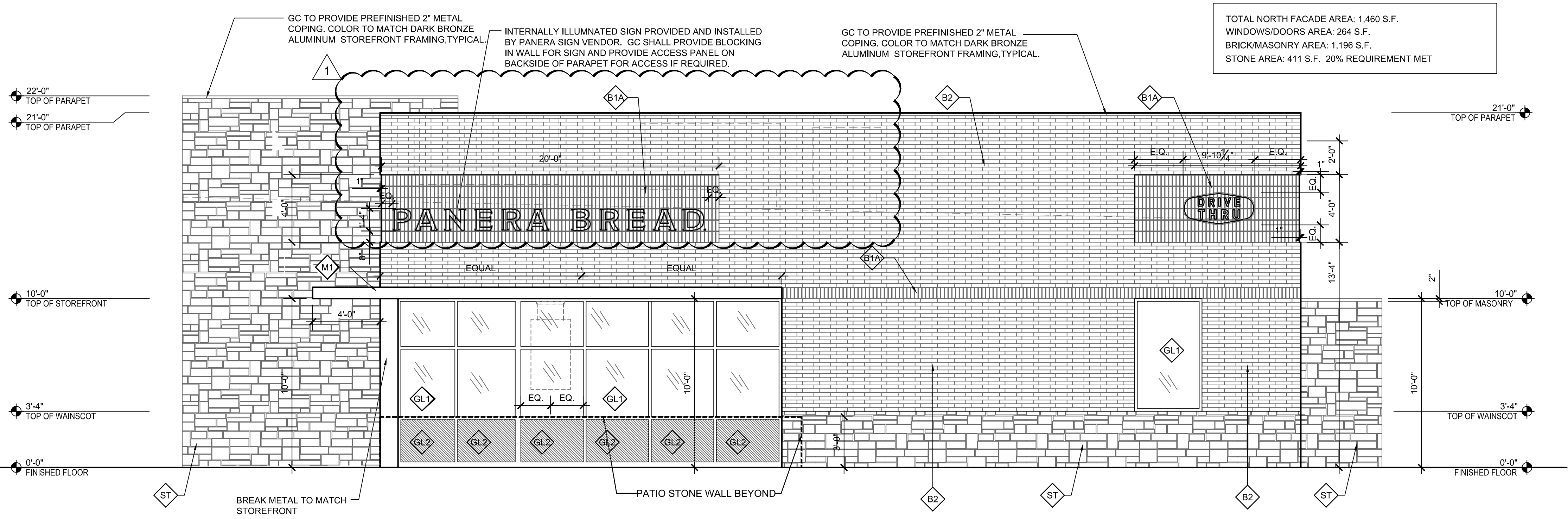
**Panera Café #1982**  
2804 RIDGE ROAD  
ROCKWALL, TX 75082

DESIGN/CALC BY: CAW  
DRAWN BY: CAW  
CHECKED BY: EWM  
DRAWING SCALE:  
DATE: 05/03/2016  
Job Number: 15-0157  
Sheet Number: C2.0

USER: Christine Wilson TAB: Site  
DATE: 05/03/2016 10:10:15 AM  
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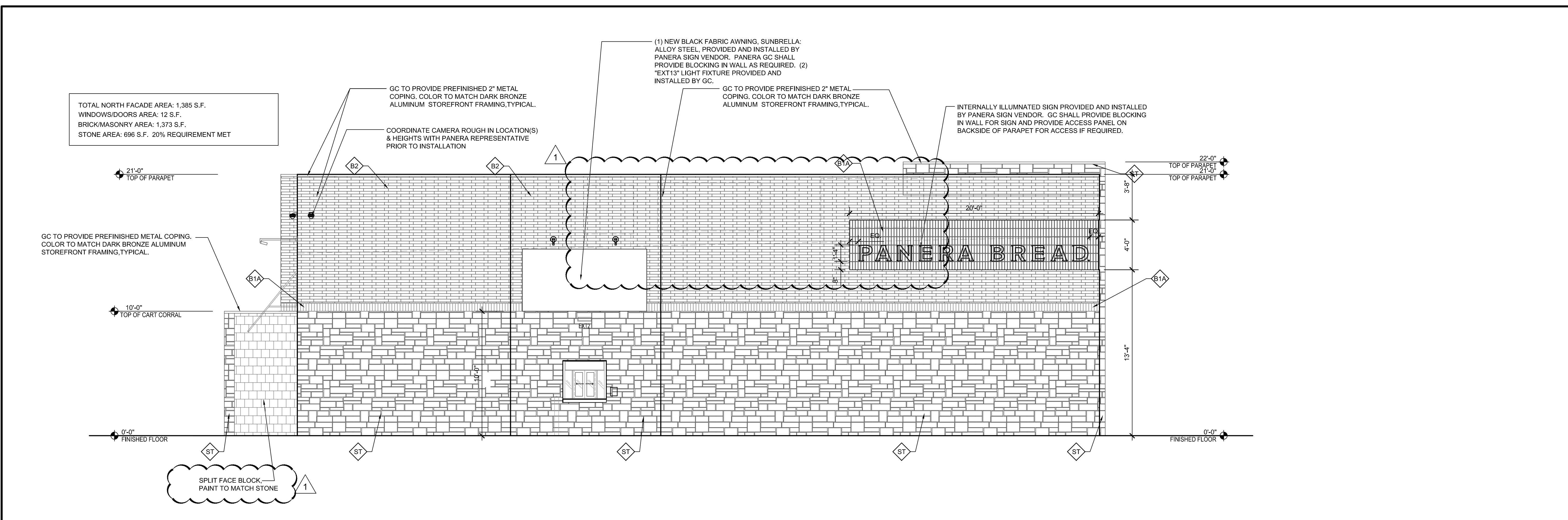
22 EAST EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



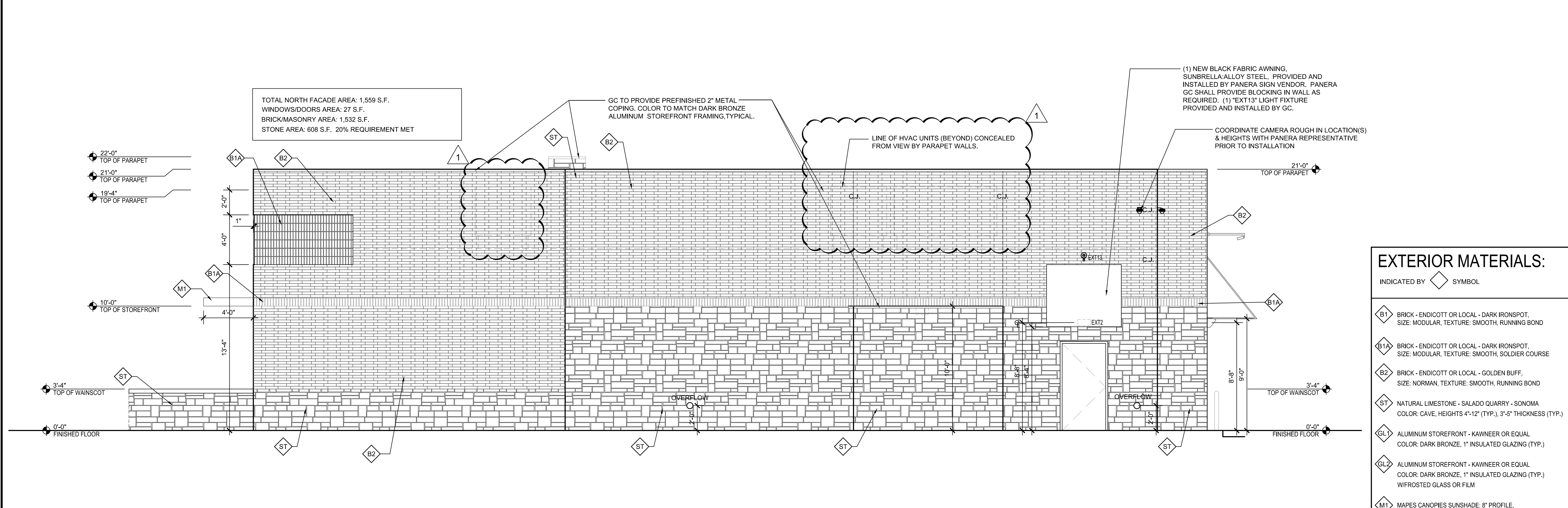
24 NORTH EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"


**EXTERIOR MATERIALS:**  
INDICATED BY SYMBOL








	BRICK - ENDICOTT OR LOCAL - DARK IRONSPOT. SIZE: MODULAR, TEXTURE: SMOOTH, RUNNING BOND
	BRICK - ENDICOTT OR LOCAL - DARK IRONSPOT, SIZE: MODULAR, TEXTURE: SMOOTH, SOLDIER COURSE
	BRICK - ENDICOTT OR LOCAL - GOLDEN BUFF, SIZE: NORMAN, TEXTURE: SMOOTH, RUNNING BOND
	NATURAL LIMESTONE - SALADO QUARRY - SONOMA COLOR: CAVE, HEIGHTS 4'-12" (TYP.), 3'-5" THICKNESS (TYP.)
	ALUMINUM STOREFRONT - KAWNEER OR EQUAL COLOR: DARK BRONZE, 1" INSULATED GLAZING (TYP.)
	ALUMINUM STOREFRONT - KAWNEER OR EQUAL COLOR: DARK BRONZE, 1" INSULATED GLAZING (TYP.) W/FROSTED GLASS OR FILM
	MAPES CANOPIES SUNSHADE: 8" PROFILE, PAINT TO MATCH STOREFRONT



22 SOUTH EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**EXTERIOR MATERIALS:**  
INDICATED BY  SYMBOL

 B1	BRICK - ENDICOTT OR LOCAL - DARK IRONSPOT. SIZE: MODULAR, TEXTURE: SMOOTH, RUNNING BOND
 B1A	BRICK - ENDICOTT OR LOCAL - DARK IRONSPOT, SIZE: MODULAR, TEXTURE: SMOOTH, SOLDIER COURSE
 B2	BRICK - ENDICOTT OR LOCAL - GOLDEN BUFF, SIZE: NORMAN, TEXTURE: SMOOTH, RUNNING BOND
 ST	NATURAL LIMESTONE - SALADO QUARRY - SONOMA COLOR: CAVE, HEIGHTS 4'-12" (TYP.), 3'-5" THICKNESS (TYP.)
 GL1	ALUMINUM STOREFRONT - KAWNEER OR EQUAL COLOR: DARK BRONZE, 1" INSULATED GLAZING (TYP.)
 GL2	ALUMINUM STOREFRONT - KAWNEER OR EQUAL COLOR: DARK BRONZE, 1" INSULATED GLAZING (TYP.) W/FROSTED GLASS OR FILM
 M1	MAPES CANOPIES SUNSHADE: 8" PROFILE, PAINT TO MATCH STOREFRONT

24 WEST EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



PANERA BREAD PANERA BREAD

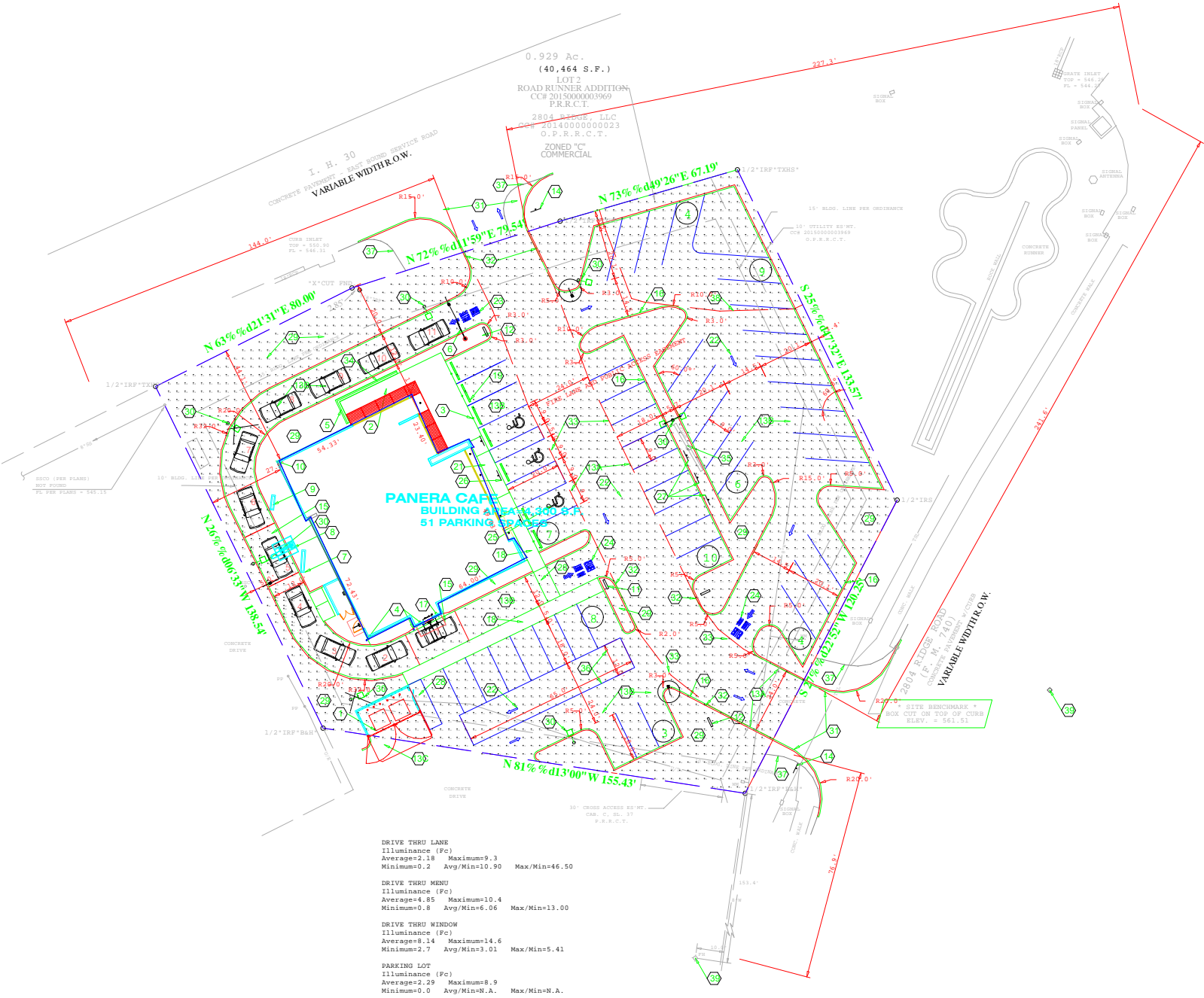
DRIVE THRU

Handicapped Parking Sign

Panera BREAD Drive Thru

DRIVE THRU

000-0100



DRIVE THRU LANE  
Illuminance (Fc)  
Average=2.18 Maximum=9.3  
Minimum=0.2 Avg/Min=10.90 Max/Min=46.50

DRIVE THRU MENU  
Illuminance (Fc)  
Average=4.85 Maximum=10.4  
Minimum=0.8 Avg/Min=6.06 Max/Min=13.00

DRIVE THRU WINDOW  
Illuminance (Fc)  
Average=8.14 Maximum=14.6  
Minimum=2.7 Avg/Min=3.01 Max/Min=5.41

PARKING LOT  
Illuminance (Fc)  
Average=2.29 Maximum=8.9  
Minimum=0.0 Avg/Min=N.A. Max/Min=N.A.

MOUNTING HEIGHT 20'  
ALL LIGHT SOURCES PROVIDED HAVE AT MINIMUM PARTIAL CUTOFF

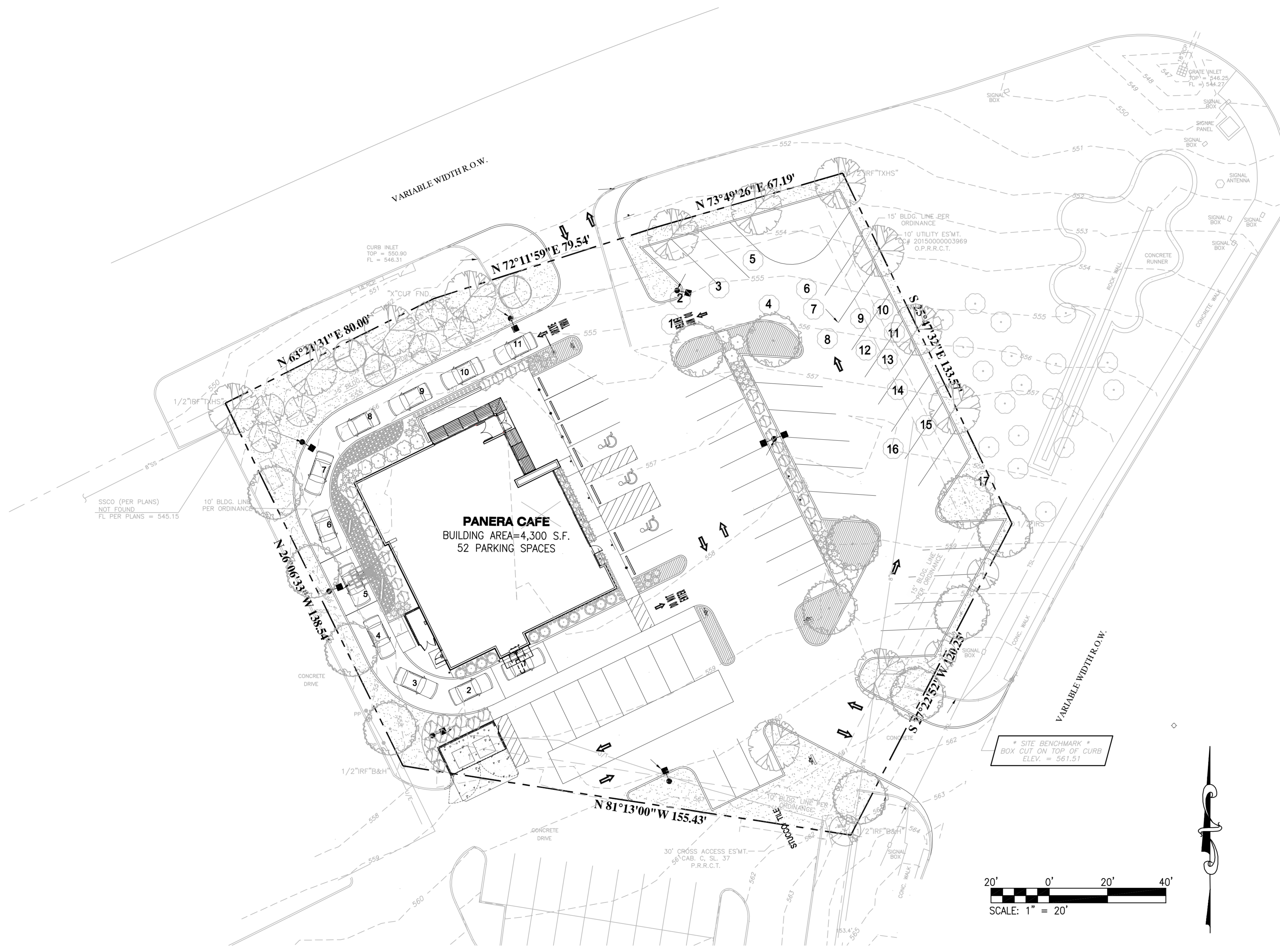
Luminaire Schedule			
Symbol	Qty	Label	Description
	1	Type S4	KCP-2-70LA-3270-NN
	2	S5	GL18-2-210LA-641A-NW-IS
	2	S2	GL18-4-210LA-641A-NW-IS
	1	Type S2	KCP-5-215LA-641A-NW



LOCATION MAP  
(NOT TO SCALE)

**PERTINENT DATA**

SITE ADDRESS	=	2804 RIDGE ROAD ROCKWALL, TX 75032
PROPERTY ID#	=	32128
SITE ACREAGE	=	0.93 ACRES/40,464 SF
BUILDING AREA	=	4,300 SF
IMPERVIOUS AREA	=	26,949 SF
PERVIOUS AREA	=	9,215 SF
DISTURBED LAND	=	0.93 ACRES/40,464 SF
EXISTING ZONING	=	C - COMMERCIAL IH-30 OV - I-30 OVERLAY DISTRICT SOV - SCENIC OVERLAY DISTRICT
PROPOSED ZONING	=	C - COMMERCIAL IH-30 OV - I-30 OVERLAY DISTRICT SOV - SCENIC OVERLAY DISTRICT
PROPOSED LAND USE	=	RESTAURANT 2,000 S.F. OR MORE WITH DRIVE-IN



**EXISTING TREE SUMMARY**

KEY	SPECIES	CONDITION	SIZE	REMAIN/REMOVE	REQUIRED CAL. INCH TO BE REPLACED
1	CEDAR	GOOD	10"	REMOVE	0"
2	CEDAR	GOOD	10"	REMOVE	0"
3	CEDAR	GOOD	10"	REMOVE	0"
4	CEDAR	GOOD	7"	REMOVE	0"
5	CEDAR	GOOD	9"	REMOVE	0"
6	CEDAR	GOOD	8"	REMOVE	0"
7	CEDAR	GOOD	7"	REMOVE	0"
8	CEDAR	GOOD	8"	REMOVE	0"
9	CEDAR	GOOD	6"	REMOVE	0"
10	CEDAR	GOOD	9"	REMOVE	0"
11	CEDAR	GOOD	7"	REMOVE	0"
12	CEDAR	GOOD	7"	REMOVE	0"
13	CEDAR	GOOD	6"	REMOVE	0"
14	CEDAR	GOOD	10"	REMOVE	0"
15	CEDAR	GOOD	11"	REMOVE	6"
16	PECAN	GOOD	10"	REMOVE	10"
17	CEDAR	GOOD	8"	REMOVE	0"

**TREE REPLACEMENT REQUIREMENTS SECTION 6:**

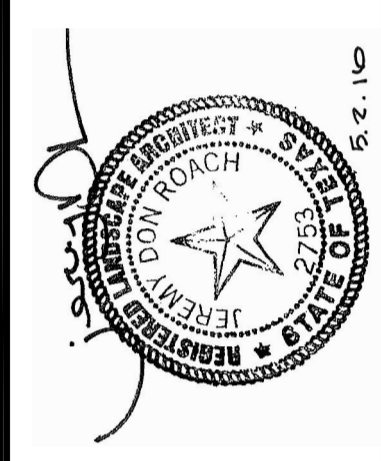
1. PROTECTED TREE(S) MEASURING FOUR INCHES THROUGH 29 INCHES DBH SHALL BE REPLACED WITH CALIPER INCHES EQUAL TO THE TOTAL DIAMETERS OF THE TREE(S) REMOVED.
2. HACKBERRY AND CEDAR TREES THAT ARE 11 INCHES DBH OR LARGER, SHALL BE REPLACED AT 50 PERCENT OF THE TOTAL CALIPER INCHES BEING REMOVED. IN ADDITION, HACKBERRY AND CEDAR TREES THAT ARE LESS THAN 11 INCHES DBH SHALL NOT BE CONSIDERED A PROTECTED TREE.
3. THERE ARE NO PROTECTED TREES LOCATED ON THE SITE.

USER: Joe Horroth TAB: Treescap  
 DATE: May 2, 2016 - 9:46:48 AM  
 DRAWING: S:\085\Job2015-0157\CAD\1\_C-Plan\PlanSheet\01\_Plan\_TREE\_PLAN\_15-0157.dwg

NO	DATE	REVISION DESCRIPTION
1	05/03/16	CITY COMMENTS

**DEVELOPER/OWNER:**  
**PANERA, LLC**  
**3630 SOUTH CRYER ROAD, SUITE 100**  
**ST. LOUIS, MO 63127**  
**(314) 984-2646**

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS REVIEWED THIS PLAN AND THE INSTRUMENTS NOTED THEREON AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS PLANNING AND ZONING ORDINANCES, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOTED THEREON. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE INFORMATION PROVIDED HEREON.



**Panera Café #1982**  
 2804 RIDGE ROAD  
 ROCKWALL, TX 75032



DESIGN/CALC BY: JCH  
 DRAWN BY: JCH  
 CHECKED BY: JDR  
 DRAWING SCALE: AS SHOWN  
 DATE: 05/03/2016

Job Number  
**15-0157**  
 Sheet Number  
**L2.0**