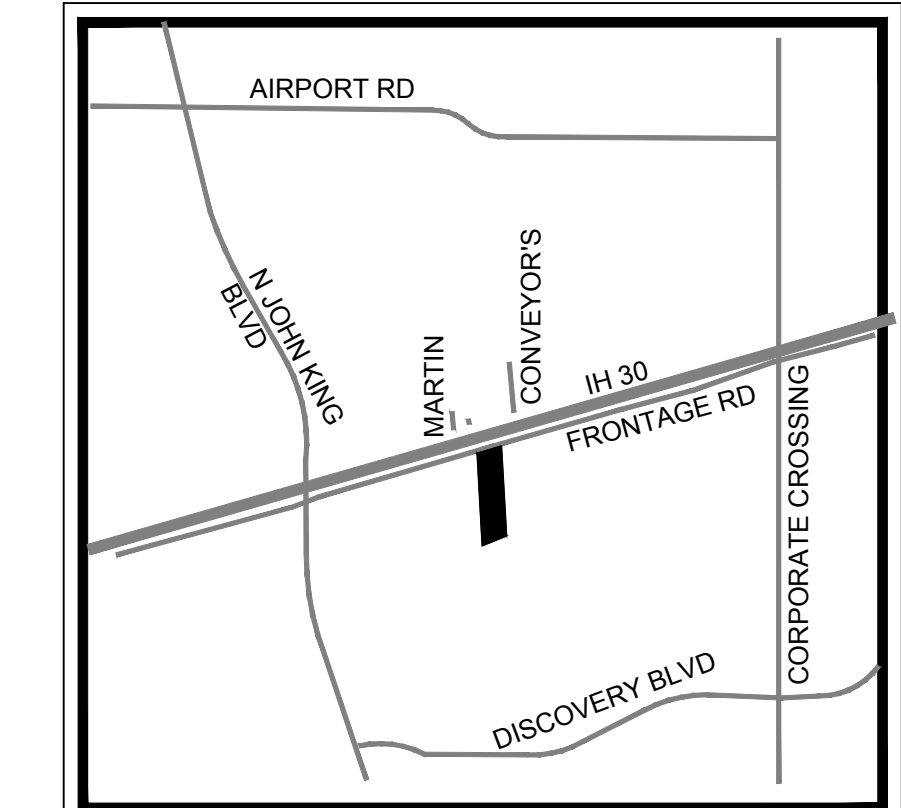
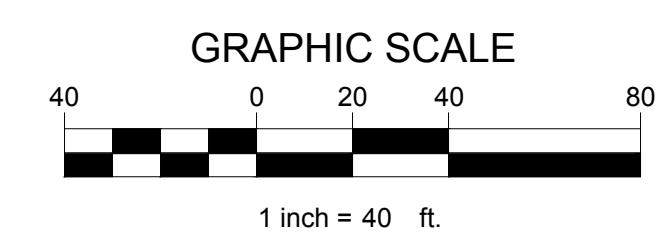
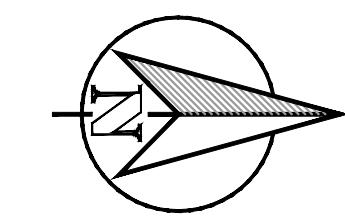


PARKING TABLE	
PARKING REQUIREMENTS	2 SPACES / EACH SERVICE BAY
PARKING REQUIRED	16 SPACES (1 ADA) 8 SERVICE BAYS
PARKING PROVIDED	16 SPACES (5 ADA)

SITE DATA TABLE	
SITE AREA	3.29 ACRES (143,447.42 SF)
ZONING	LIGHT INDUSTRIAL
PROPOSED USE	AUTO REPAIR GARAGE, MAJOR
BUILDING SIZE	18,475 SF
LOT COVERAGE	12.9 %
FLOOR TO AREA RATIO	0.13 : 1
BUILDING HEIGHT	1 STORY

- NOTES:
1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL. WHERE SECURITY GATES ARE INSTALLED ACROSS FIRE LANE, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION.
 2. THE SECURITY GATES AND THE EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.



VICINITY MAP
N.T.S.

LEGEND	
[Symbol]	5" STANDARD DUTY CONCRETE
[Symbol]	FIRE LANE (6" CONCRETE)
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	FULL DEPTH SAWCUT
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE
[Symbol]	PARKING COUNT

CONSTRUCTION SCHEDULE	
①	SAW CUT
②	HANDICAP SYMBOL
③	PAVEMENT STRIPING
④	HANDICAP SIGN
⑤	4" PARKING STALL
⑥	SIDEWALK
⑦	PROPOSED DUMPSTER AREA AND ENCLOSURE
⑧	HANDICAP RAMPS
⑨	CURB STOP

TEXAS REGISTRATION #14190
CLAY MOORE ENGINEERING
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TEXAS 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 ENGINEER: CLAY CRIST
 P.E. No 109800 Date 5/13/2016

SERVICE KING
1780 E. INTERSTATE 30
ROCKWALL, TEXAS 75087
SP2016-006

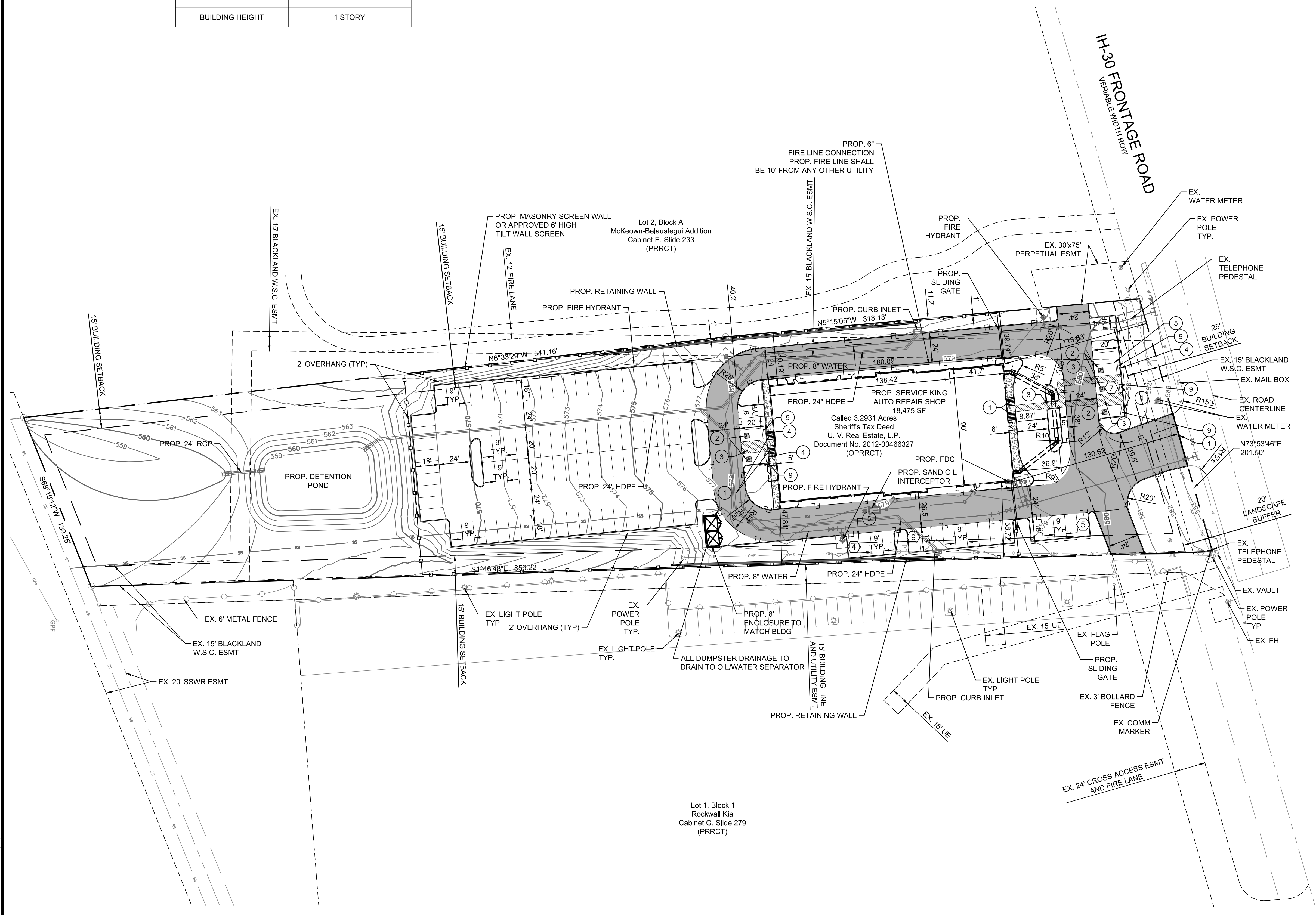
NO.	DATE	REVISION	BY

SITE PLAN

DESIGN:	BJK
DRAWN:	NMA
CHECKED:	CLC
DATE:	5/13/2016

SHEET
SP-1

File No. 2015-147

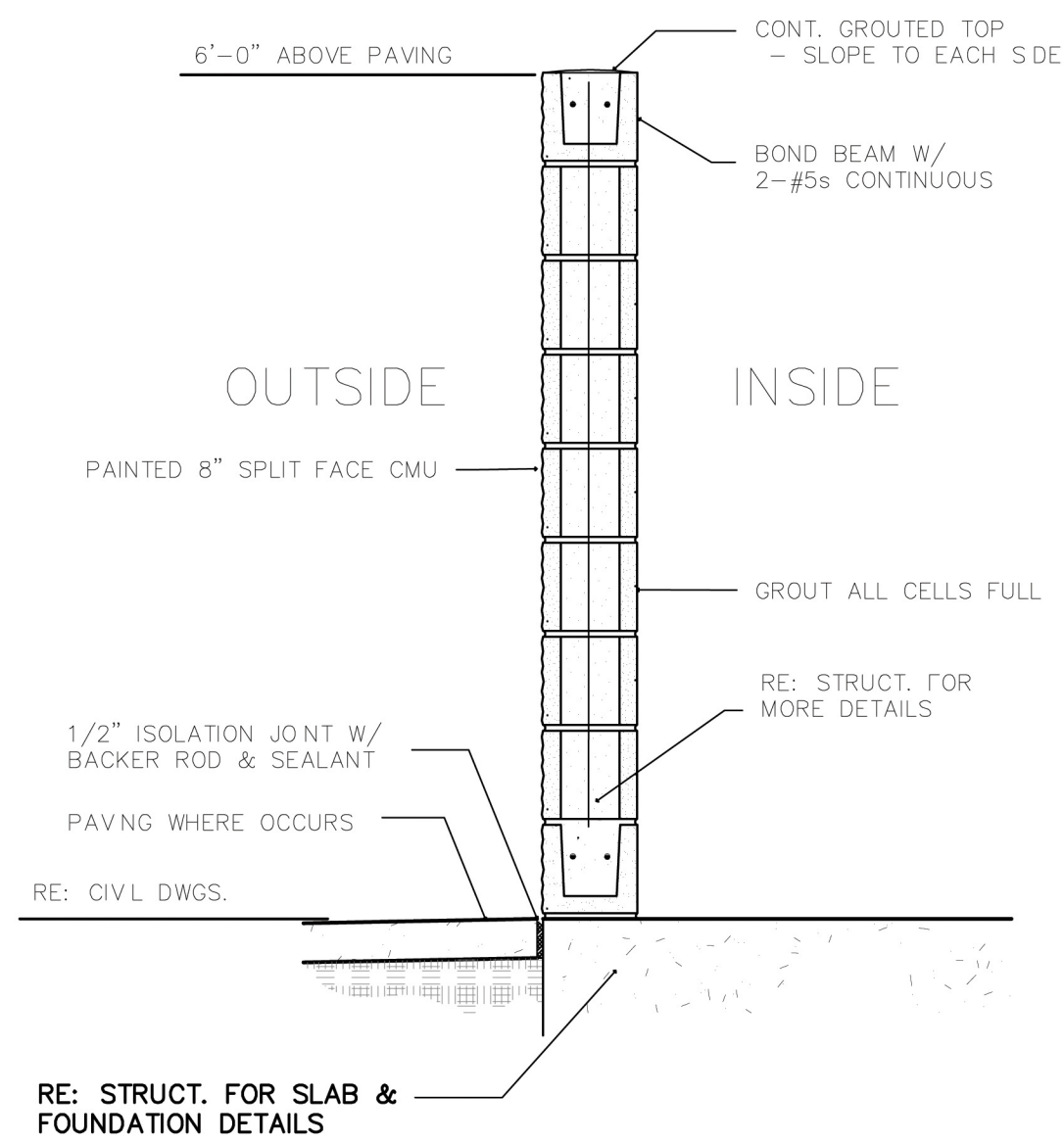


PLOTTED BY: DREW DONOSKY
 PLOT DATE: 5/13/2016 11:00 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2015-147 SERVICE KING ROCKWALL\CADD\SHEETS\SP-1 SITE PLANDWG
 LAST SAVED: 5/11/2016 11:30 AM

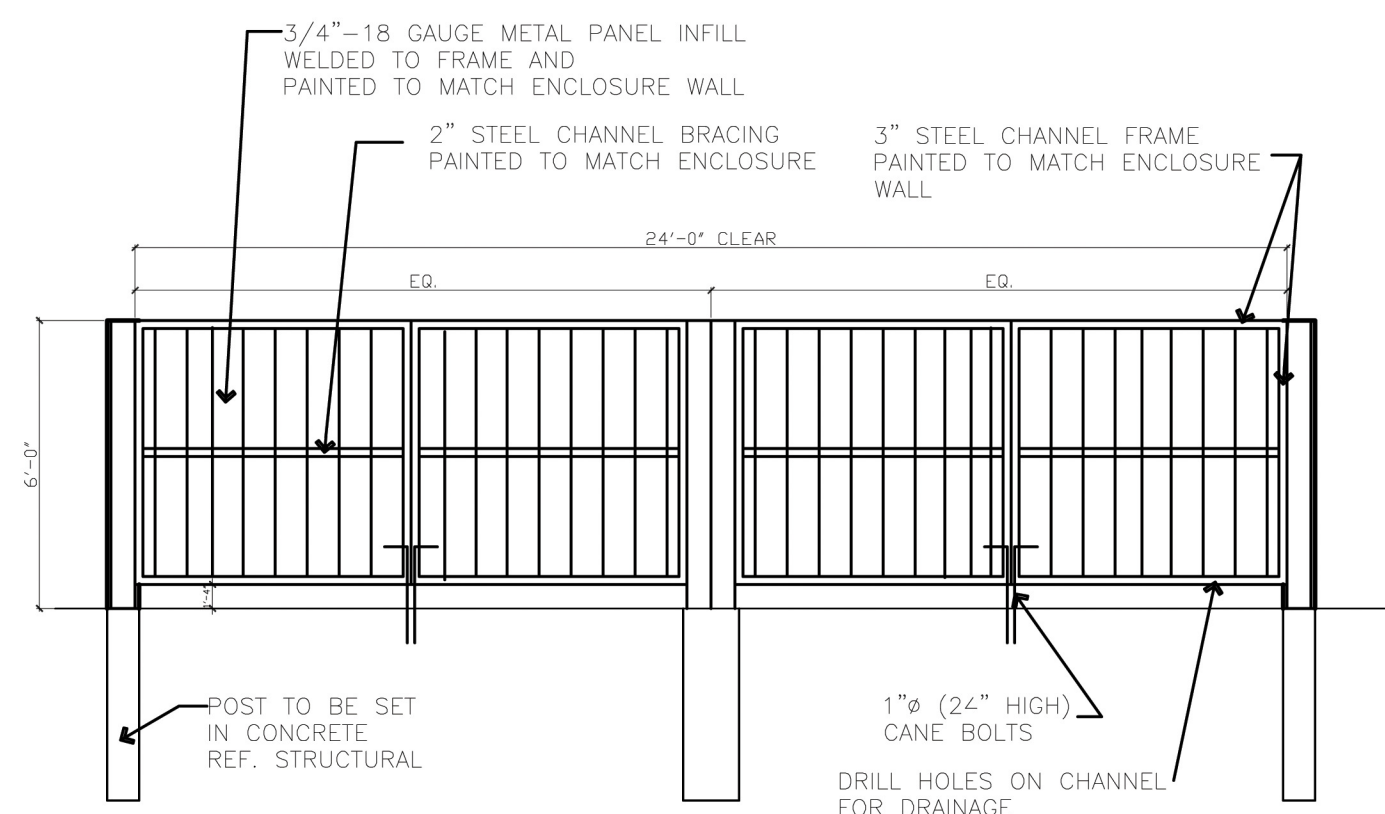
SERVICE KING 1780 E I-30 ROCKWALL, TX 75087	
LEGAL DESCRIPTION AND OR ADDRESS: SHERIFF'S TAX DEED U.V. REAL ESTATE, L.P. DOCUMENT NO. 2012-00466327 3.293 AC	
OWNER: U.V. REAL ESTATE L.P. 8131 LYNDON B JOHNSON FREEWAY SUITE 770 DALLAS, TEXAS 75251	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER SP2016-006	

Lot 1, Block 1
 Rockwall Kia
 Cabinet G, Slide 279
 (PRRCT)

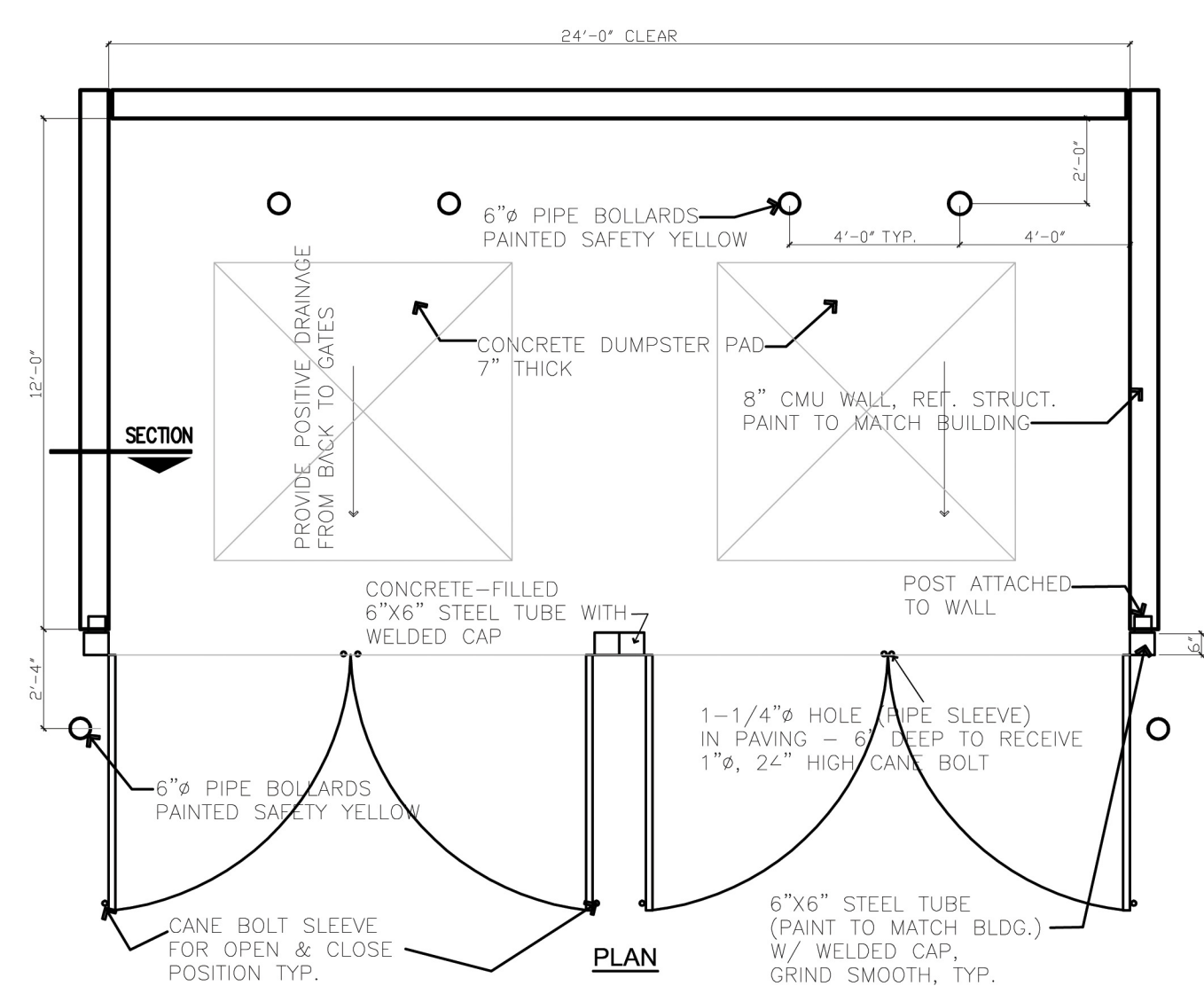
Lot 2, Block A
 McKeown-Belaustegui Addition
 Cabinet E, Slide 233
 (PRRCT)



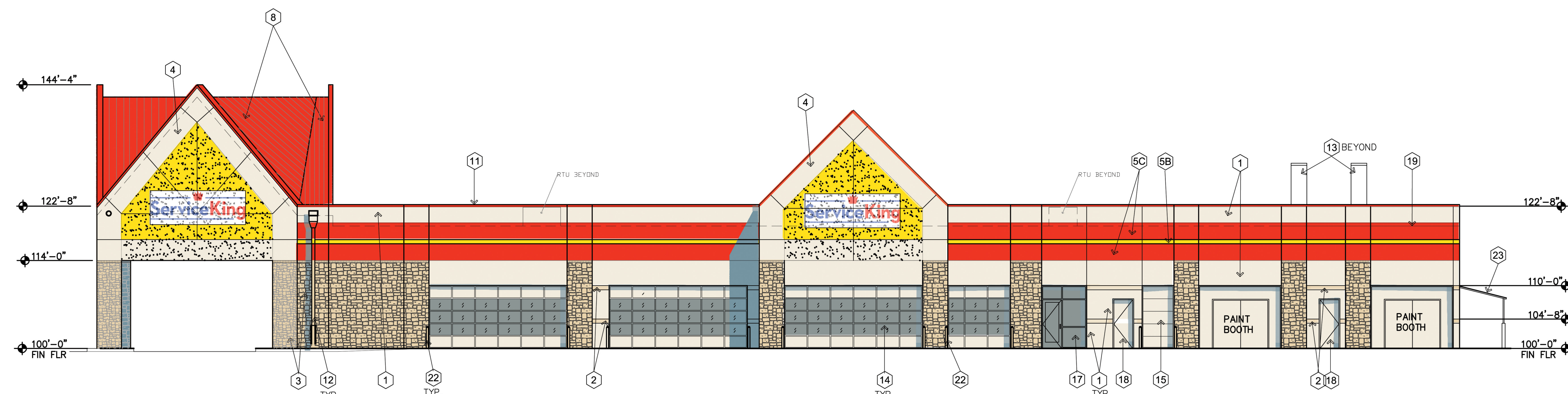
3 DUMPSTER WALL SECTION
SCALE: 3/4"=1'-0"



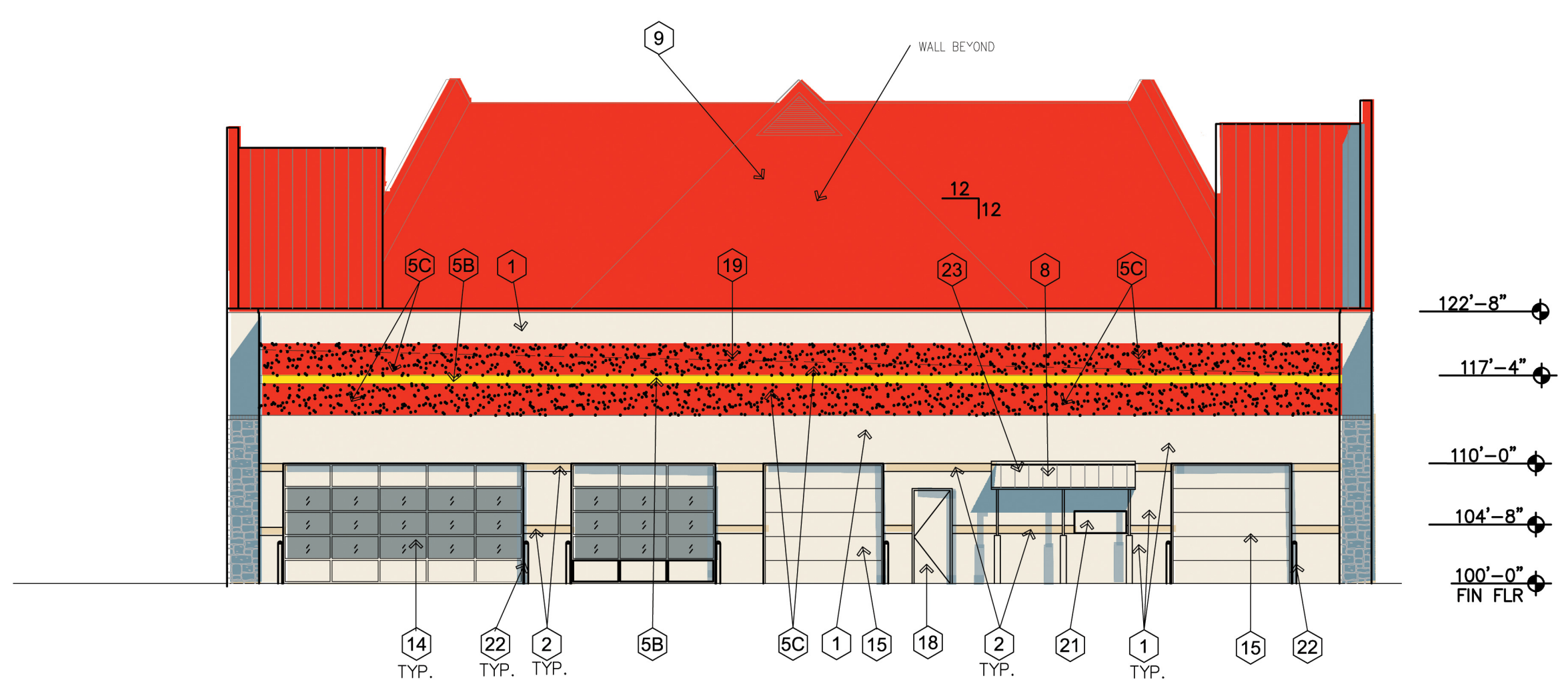
ELEVATION
SELF LATCHING GATES



4 DUMPSTER ENCLOSURE DETAIL
SCALE: 1/4"=1'-0"



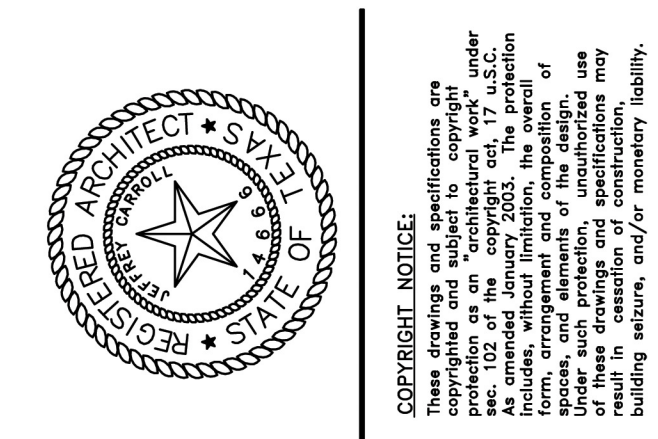
2 EAST ELEVATION
SCALE: 3/32" = 1'-0"
100% CMU BLOCK MASONRY
22% STONE
27% STUCCO
51% CMU BLOCK



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"
100% CMU BLOCK MASONRY

EXTERIOR ELEVATION KEYNOTES	
1	SPLIT FACE CMU, INTEGRAL COLOR
2	CMU BURNISHED FACE, INTEGRAL COLOR
3	STONE
4	7/8" 3 PART STUCCO WALL FINISH
5A	NOT USED
5B	PAINTED COLOR #2 YELLOW COLOR
5C	PAINTED COLOR #3 RED COLOR
6	PLASTER CONTROL/EXPANSION JOINT
7	EXPANSION JOINT BETWEEN CMU BLOCK AND PLASTER WALL FINISH
8	PREFINISHED STANDING SEAM METAL ROOF
9	PREFINISHED METAL SIDING
10	NOT USED
11	PREFINISHED METAL COPING
12	ROOF SCUPPER & DOWNSPOUT-(PAINTED)
13	PAINT BOOTH VENT STACK
14	OVERHEAD GLASS DOOR & TRACK
15	OVERHEAD SECTIONAL METAL DOOR
16	7/8" 3 PART STUCCO WALL FINISH PAINTED #2 YELLOW COLOR
17	STOREFRONT WINDOW & DOOR COLOR: CLEAR ANODIZED ALUMINUM
18	EXTERIOR HOLLOW METAL DOOR & FRAME. PAINTED REF. DTL. 7-8/A402
19	ROOF LINE BEYOND
20	FIRE RISER W/ FIRE DEPARTMENT CONNECTION
21	ELECTRICAL RISER, RE: ELEC. DRAWINGS
22	3'-6" HIGH 4" DIA. PIPE BOLLARD

ISSUE: MAY 10, 2016



SERVICE KING COLLISION REPAIR CENTER
1780 East Interstate 30
Rockwall, Texas

SERVICE KING COLLISION REPAIR
2600 N. CENTRAL EXPWY.
SUITE 400
RICHARDSON, TEXAS
75080

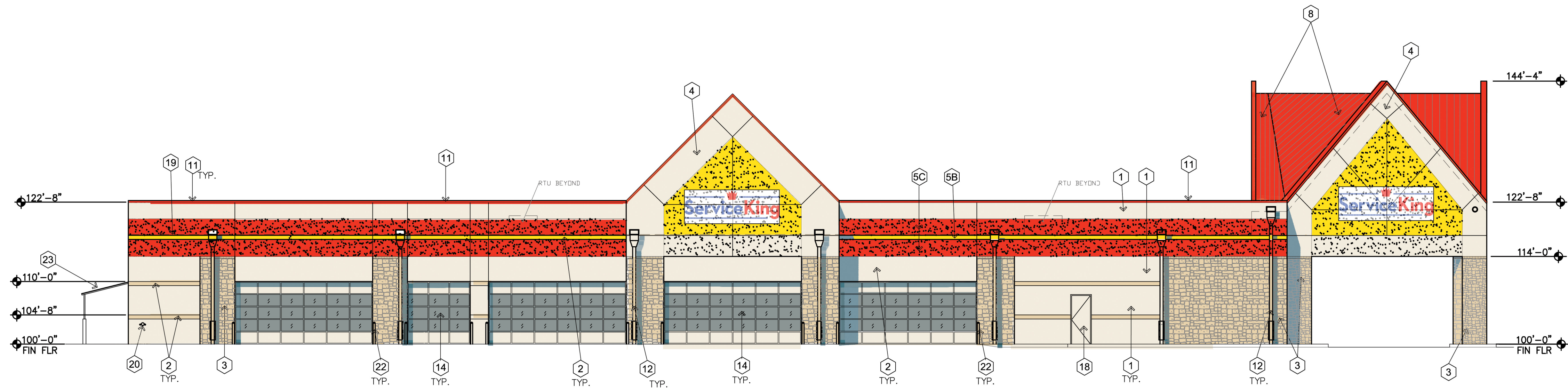


EXTERIOR ELEVATIONS & DETAILS

DATE: 05.01.2016 SHEET NO: **A502**
PROJECT NO: 2016001
DRAWN BY: GW
CHECKED BY: JC

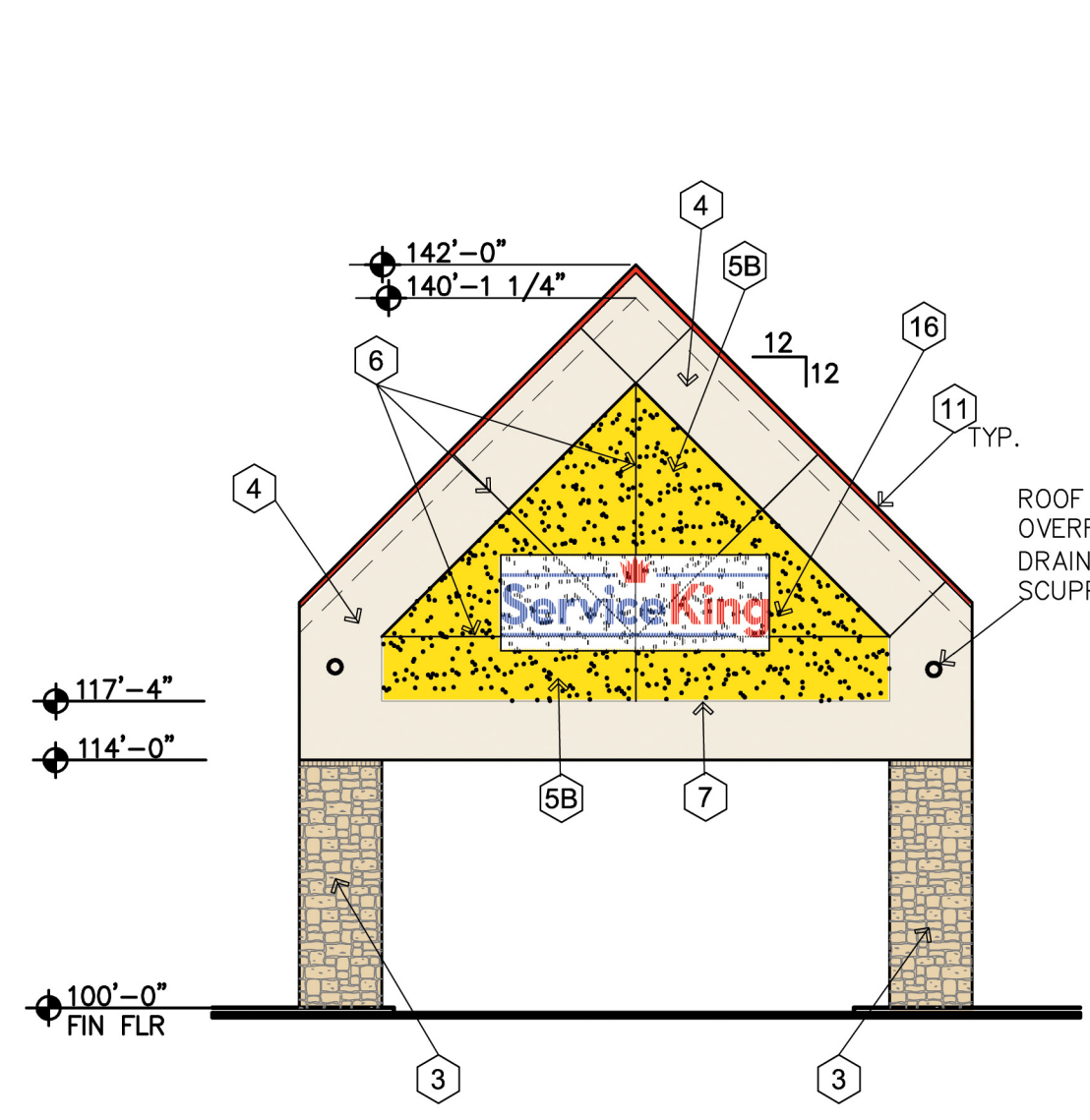


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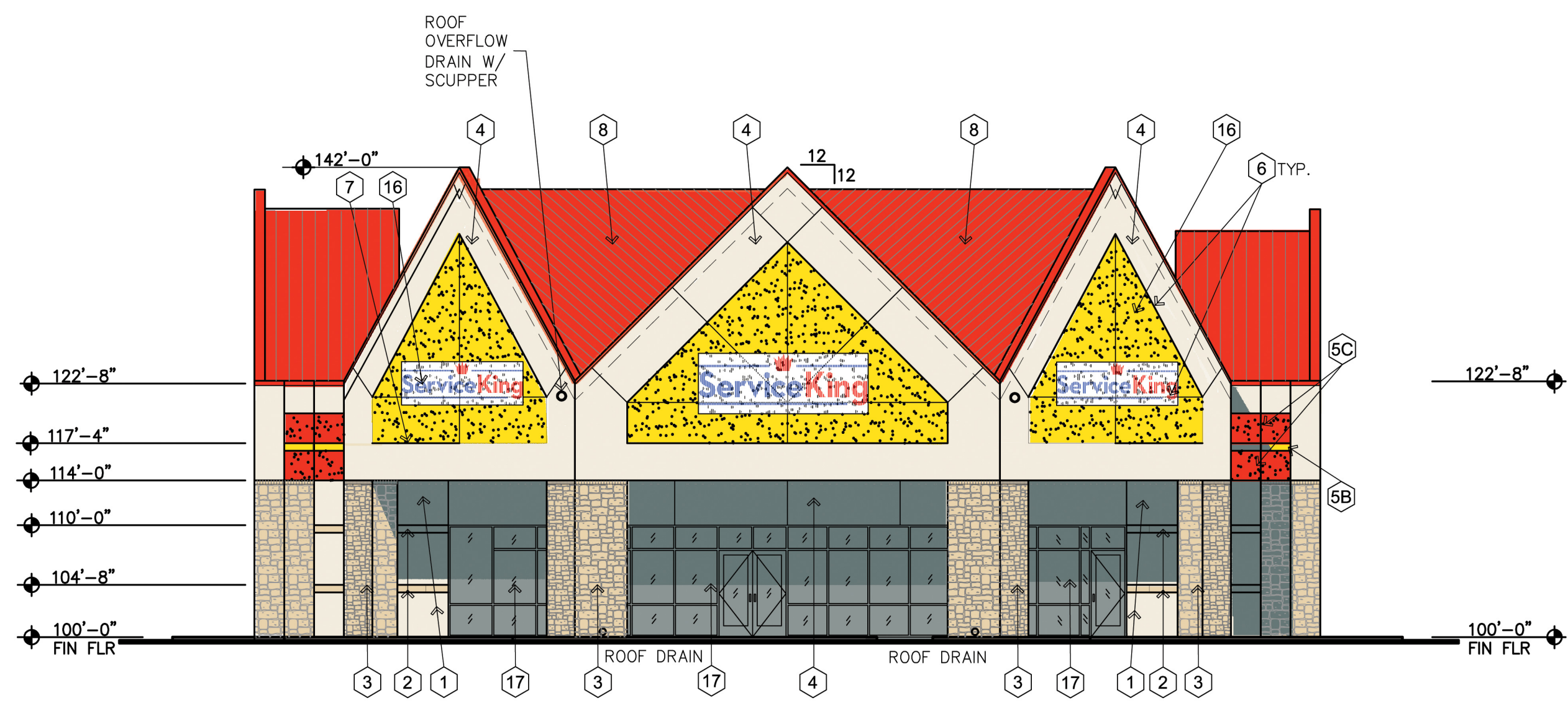


2 WEST ELEVATION

SCALE: 3/32" = 1'-0"
 100% CMU BLOCK MASONRY
 20% STONE
 27% STUCCO
 53% CMU BLOCK



1A TRUE SIDE ELEVATION @ COVERED ENTRY
 SCALE: 3/32" = 1'-0"



1 SOUTH (FRONT) ELEVATION

SCALE: 3/32" = 1'-0"
 100% MASONRY
 20% STONE
 58% STUCCO
 22% CMU BLOCK

EXTERIOR ELEVATION KEYNOTES	
1	SPLIT FACE CMU, INTEGRAL COLOR
2	CMU BURNISHED FACE, INTEGRAL COLOR
3	STONE
4	7/8" 3 PART STUCCO WALL FINISH
5A	NOT USED
5B	PAINTED COLOR #2 YELLOW COLOR
5C	PAINTED COLOR #3 RED COLOR
6	PLASTER CONTROL/EXPANSION JOINT
7	EXPANSION JOINT BETWEEN STONE AND PLASTER WALL FINISH
8	PREFINISHED STANDING SEAM METAL ROOF
9	PREFINISHED METAL SIDING
10	ROOF ACCESS LADDER, PAINTED
11	PREFINISHED METAL COPING
12	ROOF SCUPPER & DOWNSPOUT--(PAINTED)
13	PAINT BOOTH VENT STACK
14	OVERHEAD GLASS DOOR & TRACK
15	OVERHEAD SECTIONAL METAL DOOR
16	7/8" 3 PART STUCCO WALL FINISH PAINTED #2 YELLOW COLOR
17	STOREFRONT WINDOW & DOOR COLOR: CLEAR ANODIZED ALUMINUM
18	EXTERIOR HOLLOW METAL DOOR & FRAME, PAINTED REF. DTL. 7-8 A402
19	ROOF LINE BEYOND
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21	ELECTRICAL RISER, RE: ELEC. DRAWINGS
22	3'-6" HIGH 4" DIA. PIPE BOLLARD

SERVICE KING COLLISION REPAIR CENTER
 1780 East Interstate 30
 Rockwall, Texas

SERVICE KING COLLISION REPAIR
 2600 N. CENTRAL EXPWY.
 SUITE 400
 RICHARDSON, TEXAS
 75080



EXTERIOR ELEVATIONS & DETAILS

DATE: 05.01.2016 SHEET NO:
 PROJECT NO: 2016001 **A501**
 DRAWN BY: GW
 CHECKED BY: JC

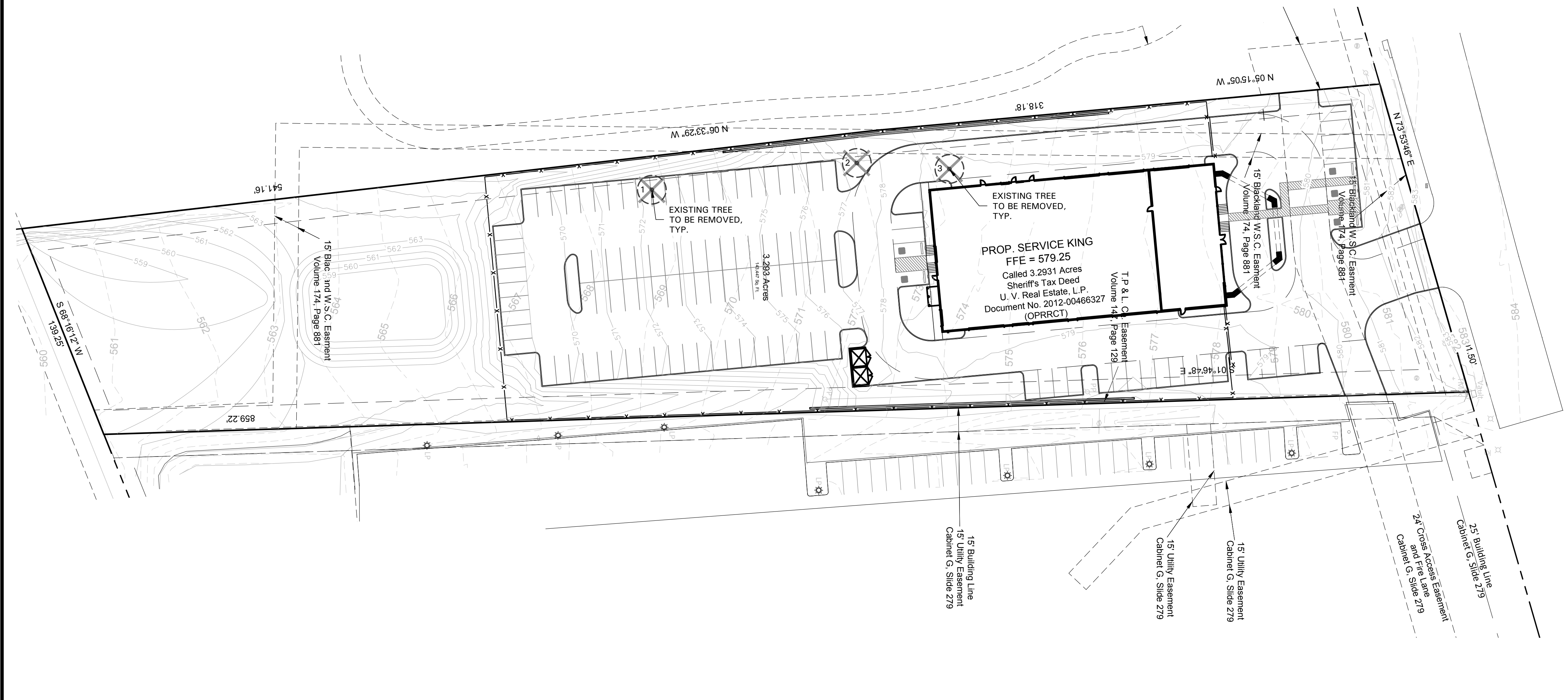
No.	DATE	REVISION	BY

TREE PRESERVATION PLAN




DESIGN:	KAH
DRAWN:	MUA
CHECKED:	KAH
DATE:	03/08/2016

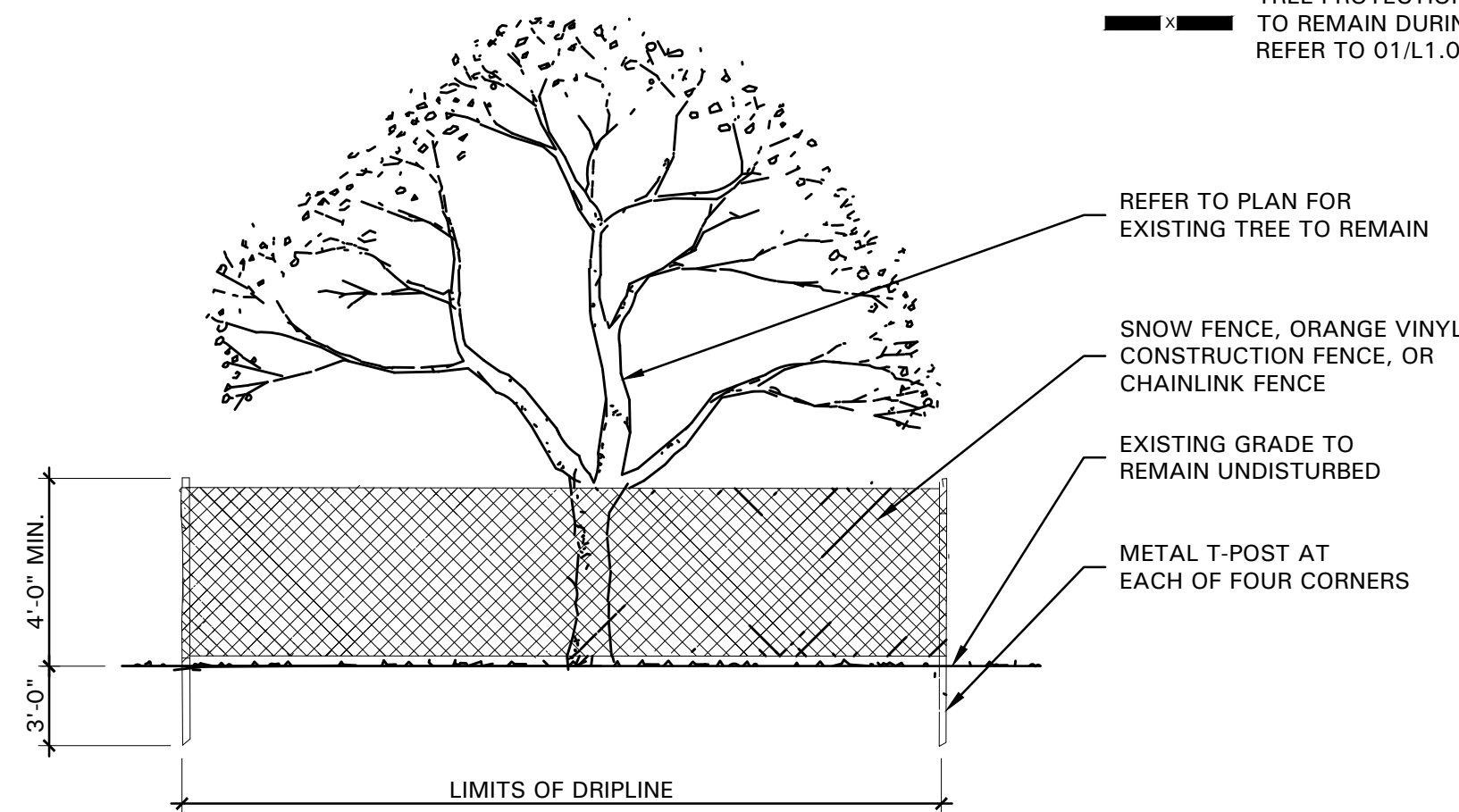
TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPOSED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



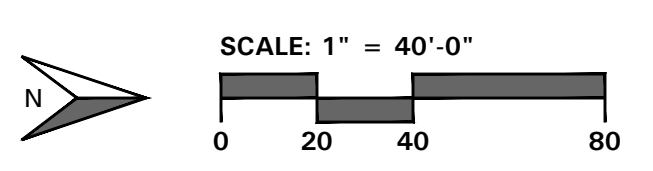
EXISTING TREE LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED
-  TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.01



01 TREE PROTECTIVE FENCING
 NOT TO SCALE

TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1	12	WILLOW	TO BE REMOVED	
2	5.5	CEDAR	TO BE REMOVED	
3	3	CEDAR	TO BE REMOVED	
Total Caliper Inches on Site				20.5
Total Caliper Inches Removed				20.5



• 4245 North Central Expy
 • Suite 501
 • Dallas, Texas 75205
 • 214.865.7192 office

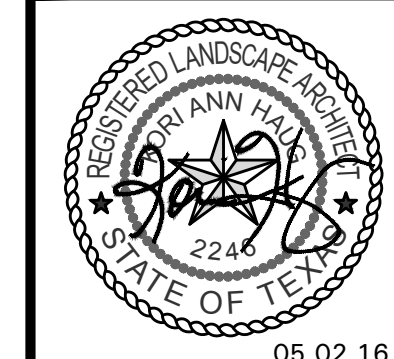
SERVICE KING ROCKWALL

LEGAL DESCRIPTION AND OR ADDRESS:
 SHERIFF'S TAX DEED
 U.V. REAL ESTATE, LP.
 DOCUMENT NO. 2012-00466327
 3.293 AC

OWNER:
 U.V. REAL ESTATE L.P.
 8131 LYNDON B JOHNSON FREEWAY
 SUITE 770
 DALLAS, TEXAS 75251

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PH: 817.281.0572

CASE NUMBER:
 SP2016-006



SERVICE KING
I.H. 30
ROCKWALL, TEXAS

LANDSCAPE PLAN

DESIGN:	KAH
DRAWN:	MUA
CHECKED:	KAH
DATE:	03/08/2016
SHEET	
L2.01	
File No.	2015-147

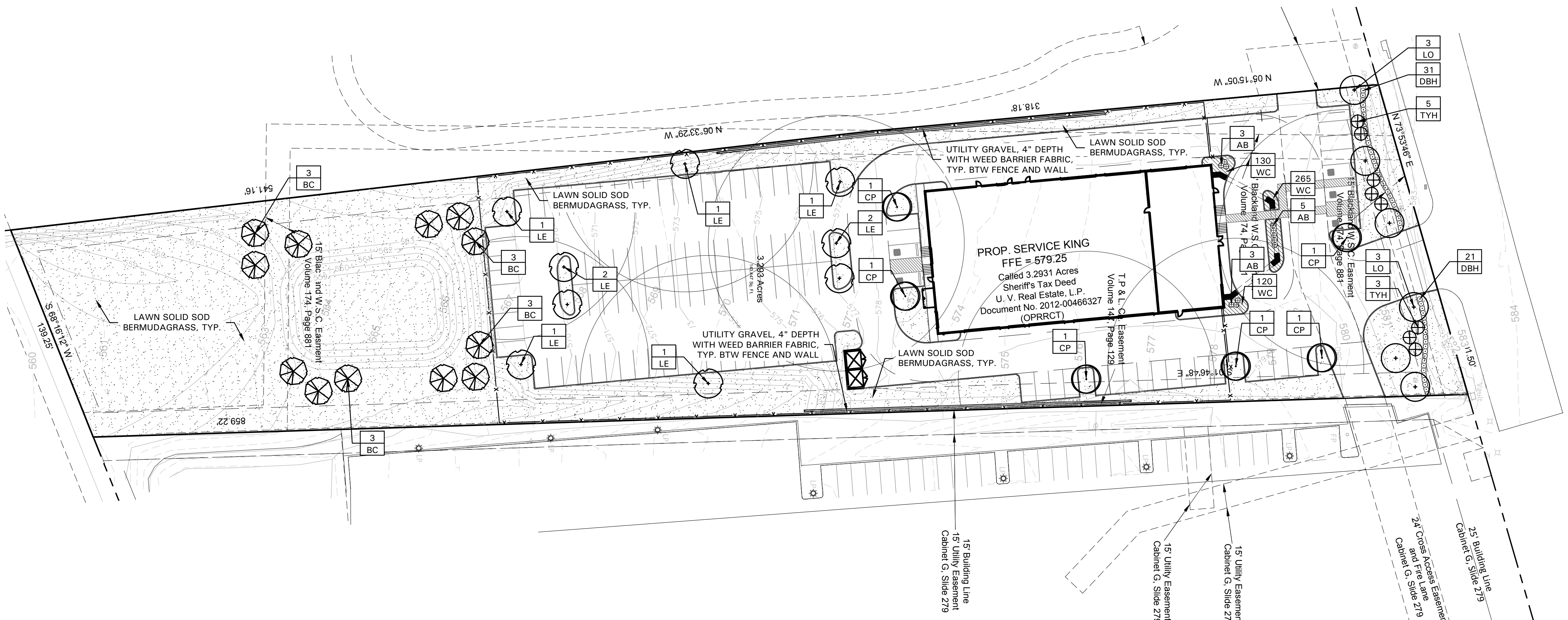
LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

NO TREES WITHIN 5'-0" OF ANY UTILITIES



LANDSCAPE TABULATIONS
 THE CITY OF ROCKWALL, TEXAS

SITE LANDSCAPING - LIGHT INDUSTRIAL

1. 10% of the total site shall be landscaped.

Total site = 143,447 s.f.

Required	Provided
14,345 s.f. (10%)	63,990 s.f. (45%)

STREET LANDSCAPING

- 20' wide landscape buffer with three (3) canopy trees, 4" min., and four (4) accent trees, 4' ht. min., per 100 l.f. of frontage.
- 20' wide landscape buffer shall include a berm and/or shrubbery, 30" ht. min., along the entire length of the subject's property along the IH-30 right-of-way.

INTERSTATE 30 FRONTAGE ROAD - 201 I.F.

Required	Provided
(6) trees, 4" cal.	(6) trees, 4" cal.
(8) accent trees, 4' ht.	(8) accent trees, 6' ht.
30" ht. screen	36" ht. screen

PARKING LOT LANDSCAPING

- 5% of the interior parking lot shall be landscape.
- If parking area exceeds 20,000 s.f., one (1) large canopy tree for every ten (10) required parking spaces.

Total interior parking lot area = 39,607 s.f.
 Total parking spaces = 117 spaces

Required	Provided
1,980 s.f. (5%)	3,699 s.f. (9%)
(12) trees, 3" cal.	(13) trees, 3" cal.

DETENTION BASINS

- One (1) large tree per 750 s.f. of dry land area.

DETENTION POND - 8,765 s.f.

Required	Provided
(12) trees, 3" cal.	(12) trees, 3" cal.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

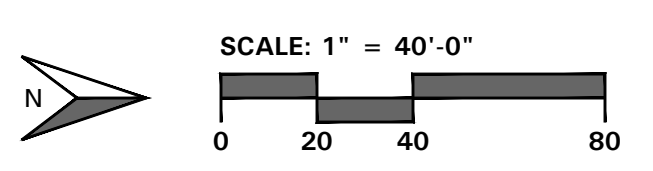
SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
BC	<i>Taxodium distichum</i>	Bald Cypress	12	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	6	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
LE	<i>Ulmus parvifolia 'Sempervirens'</i>	Lacebark Elm	9	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	6	4" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
TYH	<i>Ilex vomitoria</i>	Tree Yaupon Holly	8	6' ht.	container grown, tree form, 3-5 trunk, no cross canes, 4' spread, matching
SHRUBS/GROUND COVER					
AB	<i>Abelia grandiflora 'Edward Goucher'</i>	Dwarf Abelia 'Edward Goucher'	11	5 gal.	container full, 24" spread, 36" o.c.
DBH	<i>Ilex cornuta 'Burfordii Nana'</i>	Dwarf Burford Holly	52	5 gal.	container full, 24" spread, 36" o.c.
WC	<i>Euoynmus fortunei 'Coloratus'</i>	Wintercreeper	515	4" pots	container (3) 12" runners min., 12" o.c. refer to notes
	<i>Cynodon dactylon</i>	Common Bermudagrass			

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
 PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
 ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



• 4245 North Central Expy
 • Suite 501
 • Dallas, Texas 75205
 • 214.865.7192 office

SERVICE KING ROCKWALL

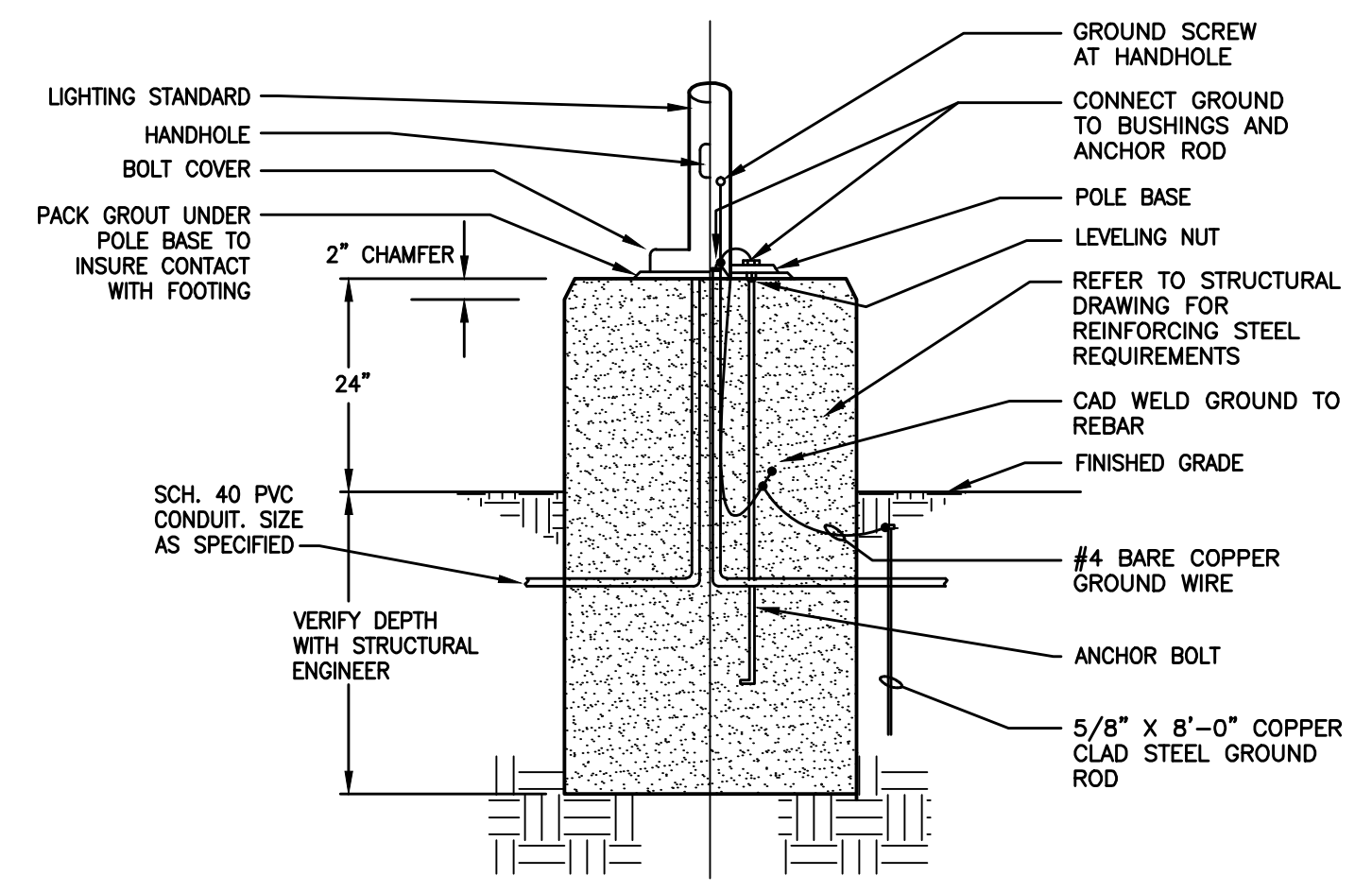
LEGAL DESCRIPTION AND OR ADDRESS:
 SHERIFF'S TAX DEED
 U.V. REAL ESTATE, LP.
 DOCUMENT NO. 2012-00466327
 3.293 AC

OWNER:
 U.V. REAL ESTATE L.P.
 8131 LYNDON B JOHNSON FREEWAY
 SUITE 770
 DALLAS, TEXAS 75251

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PH: 817.281.0572

CASE NUMBER
 SP2016-006

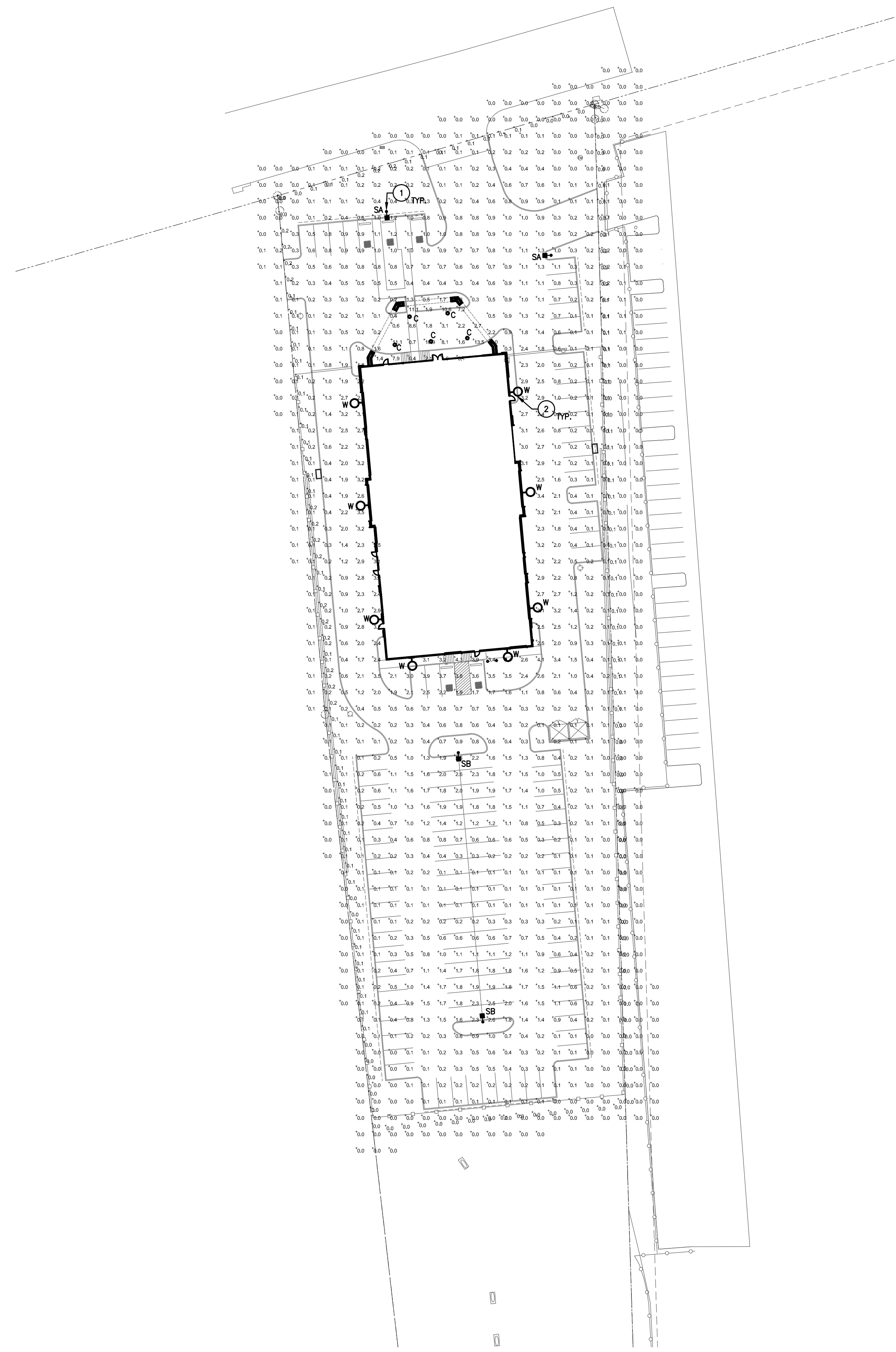
LIGHTING FIXTURE SCHEDULE		
FIXTURE I.D.	LAMPS	FIXTURE DESCRIPTION
C	LED (31.6W)	LED OPEN DOWNLIGHT WITH 8" APERTURE, CLEAR TRIM, SPECULAR FINISH, 4000K, 2000 LUMENS, MEDIUM DISTRIBUTION, 0-10V DIMMING BALLAST. 120V. GOTHAM #EVO-30/20-8AR-MD-LS-120-EZ10
SA	LED (134W)	LED POLE MOUNTED FIXTURE WITH 700mA DRIVER, 4000K, TYPE III DISTRIBUTION, DARK BRONZE FINISH, AND ON 20' POLE. 120V. LITHONIA #CSX1-60C-700-40K-T3M-MVOLT-SPA-DBXKD
SB	LED (268W)	LED POLE MOUNTED FIXTURE WITH 700mA DRIVER, 4000K, TYPE IV DISTRIBUTION, DARK BRONZE FINISH, AND ON 20' POLE. 120V. LITHONIA #CSX2-120C-700-40K-T4M-MVOLT-SPA-DBXKD
W	LED (69W)	LED WALL MOUNTED FIXTURE WITH 700mA DRIVER, 4000K, TYPE III MEDIUM DISTRIBUTION, AND DARK BRONZE FINISH. 120V. LITHONIA #CSX2-LED-30C-700-40K-T3M-MVOLT-DBXKD



2 PARKING LOT POLE BASE DETAIL
 SCALE: NONE

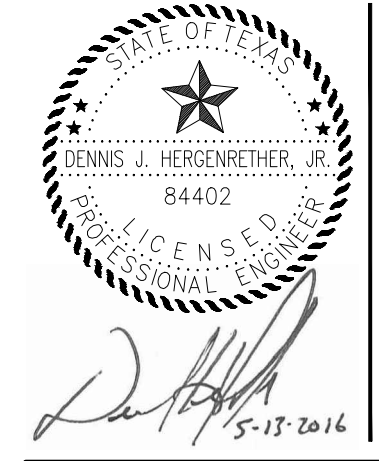
- LIGHTING NOTES INDICATED BY SYMBOL "Ⓢ"
- 1 POLE MOUNTED FIXTURES SHOWN AT 22'-0" ABOVE GRADE FOR CALCULATION PURPOSES. REFER TO DETAIL 2 THIS SHEET FOR POLE BASE DETAIL.
 - 2 WALL MOUNTED FIXTURES SHOWN AT 16'-0" ABOVE GRADE FOR CALCULATION PURPOSES. VERIFY FINAL MOUNTING HEIGHT WITH ARCHITECT AND COORDINATE WITH ARCHITECTURAL ELEVATIONS.

STATISTICS			
Description	Symbol	Avg	Max
Property Line	+	0.1 fc	0.2 fc
Site	+	0.6 fc	4.3 fc
Under Canopy	+	4.8 fc	13.5 fc



1 SITE PLAN - PHOTOMETRIC
 SCALE: 1"=40'-0"

ISSUE:



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**SITE PLAN -
 PHOTOMETRIC**

DATE: 05.19.2016 SHEET NO:
 PROJECT NO: 2016001 **E1**
 DRAWN BY: DJH
 CHECKED BY: DJH