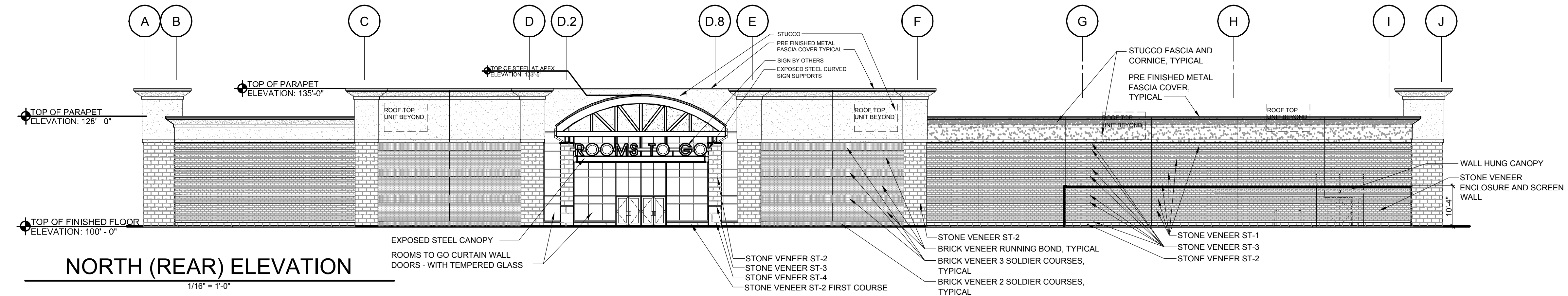


SOUTH (FRONT) ELEVATION

1/16" = 1'-0"



NORTH (REAR) ELEVATION

1/16" = 1'-0"

MATERIAL RATIOS

SOUTH (FRONT) ELEVATION

STONE	1060 SF	25%
STUCCO	2090 SF	49%
STEEL	1087 SF	26%
BRICK	0 SF	0%
SUB-TOTAL	4237 SF	100%

GLASS	6289 SF
TOTAL	10536 SF

NORTH (REAR) ELEVATION

STONE	4629 SF	48%
STUCCO	2998 SF	31%
STEEL	447 SF	5%
BRICK	1559 SF	16%
SUB-TOTAL	9633 SF	100%

GLASS	869 SF
TOTAL	1052 SF

EAST (RIGHT) ELEVATION

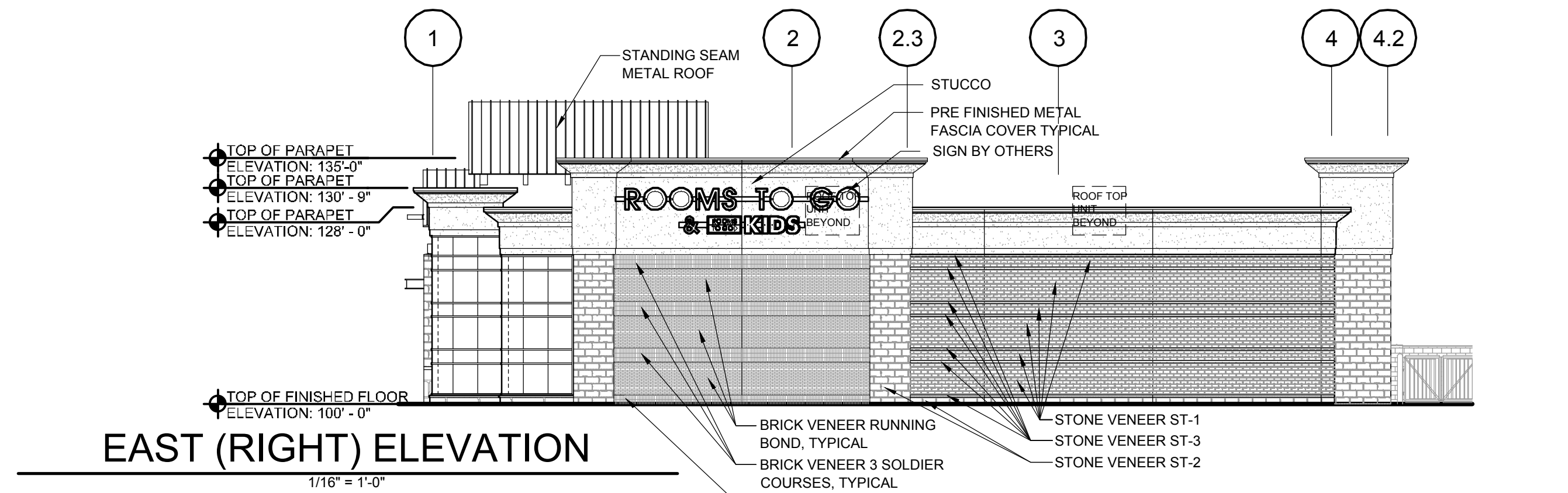
STONE	1735 SF	45%
STUCCO	1364 SF	35%
STEEL	0 SF	0%
BRICK	779 SF	20%
SUB-TOTAL	3878 SF	100%

GLASS	205 SF
TOTAL	3696 SF

WEST (LEFT) ELEVATION

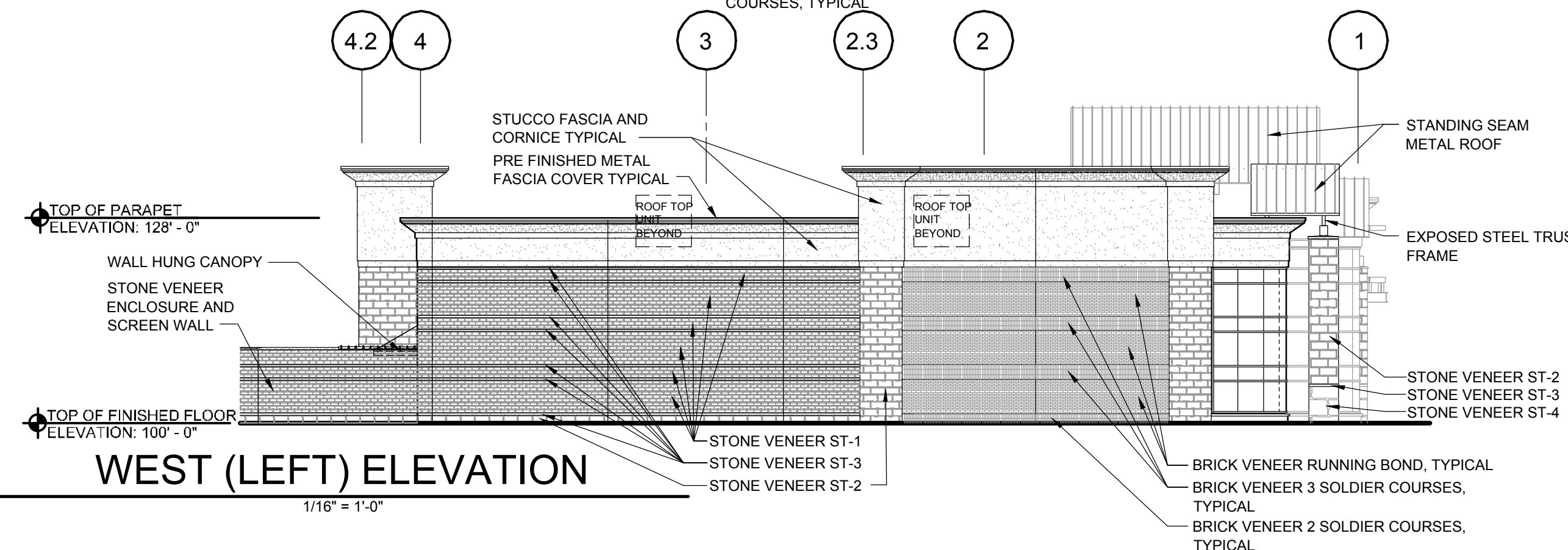
STONE	1938 SF	47%
STUCCO	1292 SF	32%
STEEL	87 SF	2%
BRICK	779 SF	19%
SUB-TOTAL	4121 SF	100%

GLASS	205 SF
TOTAL	4301 SF



EAST (RIGHT) ELEVATION

1/16" = 1'-0"



WEST (LEFT) ELEVATION

1/16" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
MATERIAL	FINISHES
LIMESTONE VENEER AT PILASTERS, KNEE WALLS, AND DUMPSTER SCREEN WALL	LUEDERS LIMESTONE QUARRIED AND FABRICATED BY MEZGER ENTERPRISES IN LAMPASAS, TX - NO SUBSTITUTIONS. CONTACT: STEVE WALKER (512) 525-6658. ST-1 > COLOR: ROUGHBACK, TYPE: CHOPPED LENGTH, COURSE SIZE = 6" (X18" TO 36" LENGTH), BED DEPTH: 3" TO 5". ST-2 > ROUGH/TEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 3 SIDES (TOP, BOTTOM, BACK) CHOPPED, LENGTH: COURSE SIZE = 12" (X18" TO 30" LENGTH), BED DEPTH: 3" TO 5". ST-3 > SMOOTH FACE - COLOR: BUFF, TYPE: SAWN 6 SIDES, LENGTH: COURSE SIZE = 4" (X18" TO 30" LENGTH), BED DEPTH: 4". ST-4 > ROUGH/TEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 3 SIDES (TOP, BOTTOM, BACK) CHOPPED, LENGTH: COURSE SIZE = 24" (X18" TO 30" LENGTH), BED DEPTH: 3" TO 5". ST-5 > HONED - COLOR: BUFF, SHAPE: AS DETAILED, LENGTH: 32" MINIMUM. MASONRY MORTAR TO BE 1 BAG (70 POUND) TYPE N WHITE MASONRY CEMENT BY LEHIGH CEMENT COMPANY + 6 OUNCES "TEXAS BUFF" COLORANT BY LAMBERT COMPANY + 18 SHOVELS OF MORTAR SAND BY CAPITOL AGGREGATES.
BRICK VENEER	MANUFACTURER: CHEROKEE BRICK COMPANY. SIZE: MODULAR, COLOR: AUTUMN SMOKE. PATTERN: RUNNING BOND. MORTAR: COSA LIMESTONE BEIGE. APPLY WATER REPELLENT (REFER SPECIFICATION 09900).
STANDING SEAM METAL ROOF AND FLASHING	FACTORY FINISHED, MANUFACTURER PAC-CLAD, COLOR: CHAMPAGNE
STUCCO FASCIA, CORNICE, AND CEILINGS AT MAIN ENTRIES	20/30 FLOAT FINISH, COLOR: MATCH WHITE
PRE FINISHED METAL SIDING	FACTORY FINISH IN STANDARD, MATCH PAC-CLAD CHAMPAGNE
EXPOSED STEEL TRUSSES AND CANOPY	SHOP PRIME IN INVERTED POSITION AND FIELD PAINT TO MATCH PAC-CLAD BONE WHITE
EXPOSED STEEL CURVED SIGN SUPPORTS	SHOP PRIME IN INVERTED POSITION AND FIELD PAINT TO MATCH PAC-CLAD BONE WHITE
PRE FINISHED METAL COPING AND FASCIA COVER	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO MATCH PAC-CLAD BONE WHITE
GUTTERS AND DOWNSPOUTS	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO MATCH PAC-CLAD CHAMPAGNE
CURTAINWALL MULLIONS AND ROOMS TO GO ENTRY DOORS	WHITE KYNAR FINISH ON EXTERIOR AND INTERIOR
KIDS ENTRY DOORS	KYNAR FINISH RED ON EXTERIOR AND WHITE ON INTERIOR
PREFINISHED METAL ROOF AT RECYCLE AREA	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAC-CLAD BONE WHITE
WALL HUNG CANOPY	ALL EXPOSED COMPONENTS FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAC-CLAD BONE WHITE

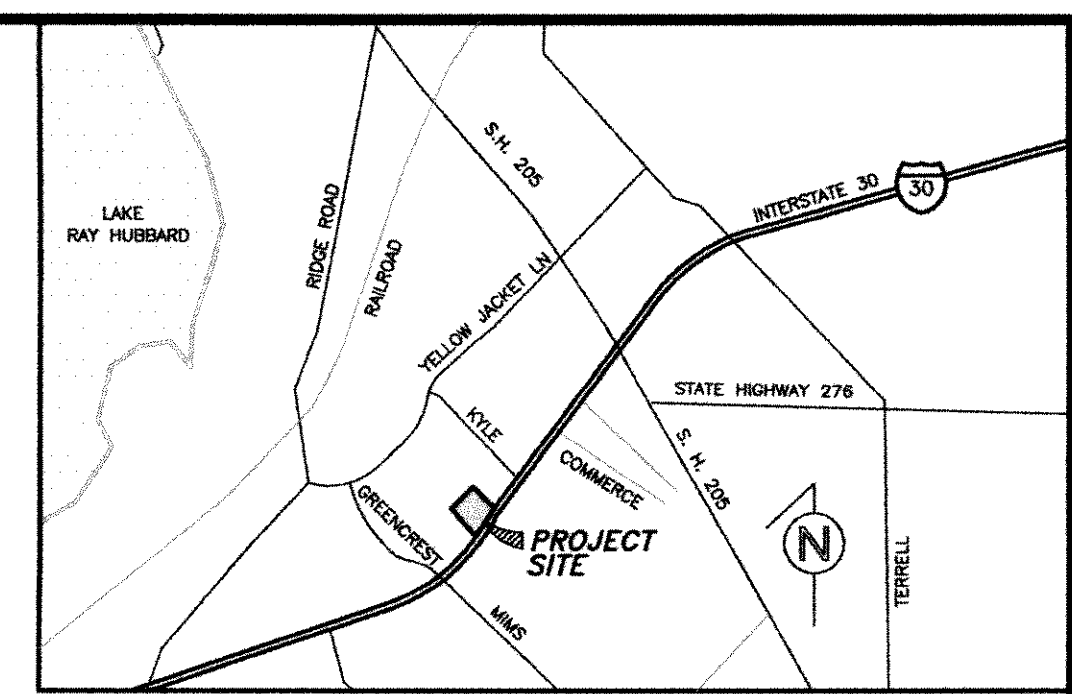
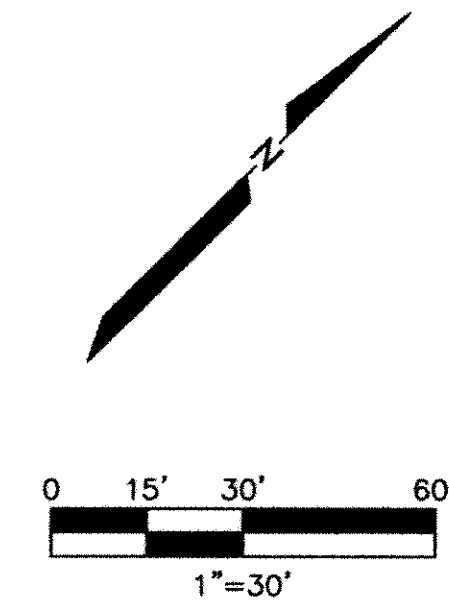
COLOR SCHEDULE	
COLOR TO MATCH BENJAMIN MOORE NUMBER	
COLOR	NUMBER
WHITE	960
RED	1315
YELLOW	336



ROCKWALL, TEXAS

2/19/2016





VICINITY MAP
NOT-TO-SCALE

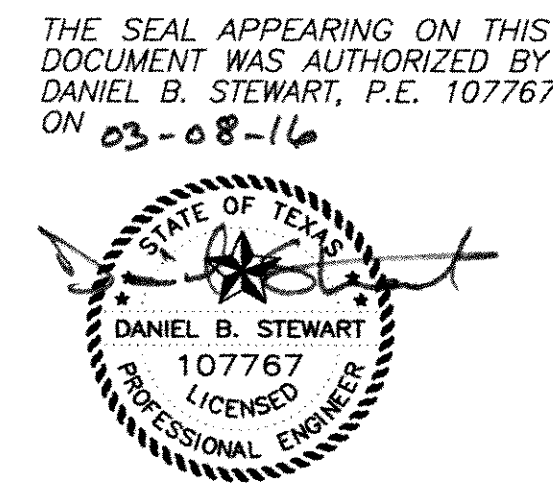
SITE DATA	
LOT AREA:	3.64 ACRES (158,645 SF)
LEGAL DESCRIPTION:	UNPLATTED
ZONING:	C-COMMERCIAL W/ I.H. 30 OVERLAY
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	GENERAL RETAIL
BUILDING AREA:	40,590 SQ. FT.
PARKING REQUIRED:	163 SPACES (6 HC)
PARKING PROVIDED:	164 SPACES (6 HC)
PARKING RATIO:	(1/248) (4.0/1,000)

LAYOUT & DIMENSION CONTROL GENERAL NOTES

- BOUNDARY SURVEY:** BOUNDARY SURVEY INFORMATION IS BASED ON THE BOUNDARY SURVEY PREPARED BY ADAMS SURVEYING COMPANY, DATED DECEMBER 22, 2015.
- PROPERTY LINES AND EASEMENTS:** REFER TO THE BOUNDARY SURVEY AND PLAT TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
- DIMENSION CONTROL:** ALL PAVING DIMENSIONS AND COORDINATES SHOWN ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
- CURB RADII:** ALL CURB RADII SHALL BE 2' AT FACE OF CURB, UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS:** THE CONTRACTOR SHALL REFER TO THE ARCHITECT PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
- BUILDING ORIENTATION:** THE BUILDING IS PARALLEL AND PERPENDICULAR TO THE EAST PROPERTY LINE - S 45°25'27" E.

CITY CASE NO. SP2016-003

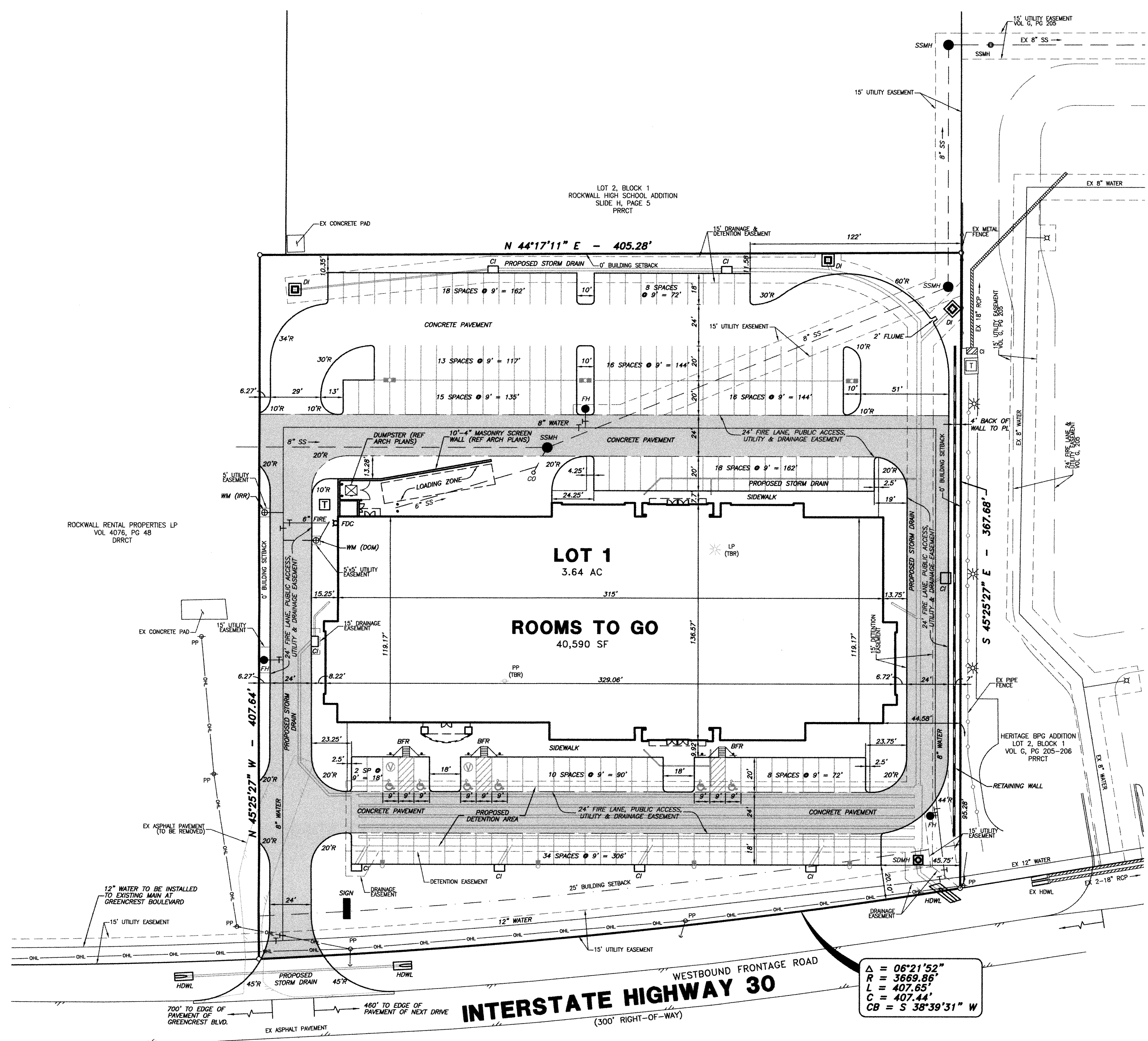
REV.	DATE	REMARKS				
SITE PLAN						
ROOMS TO GO						
N.E.Q. I.H. 30 & GREENCREST BOULEVARD						
THE CITY OF ROCKWALL, TEXAS						
CATES-CLARK						
14800 Quorum Drive, Suite 200 Dallas, Texas 75254 817-385-7272 TXPE F-3751						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CCA	CCA	02/22/16	1"=30'	ASC	112-009 SITE	C2.1

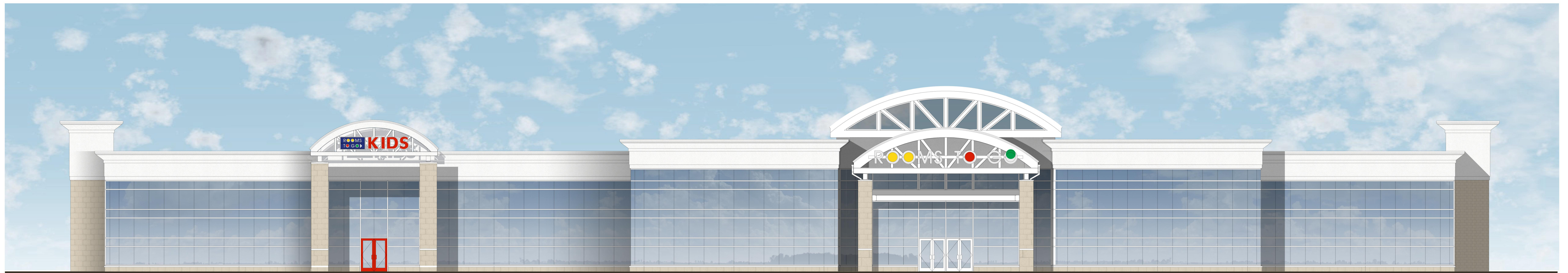


DEVELOPER
SEAMAN DEVELOPMENT CORPORATION
400 PERIMETER CENTER TERRACE, SUITE 800
ATLANTA, GEORGIA 30346
(878) 338-4566
CONTACT: JEFF FINKEL

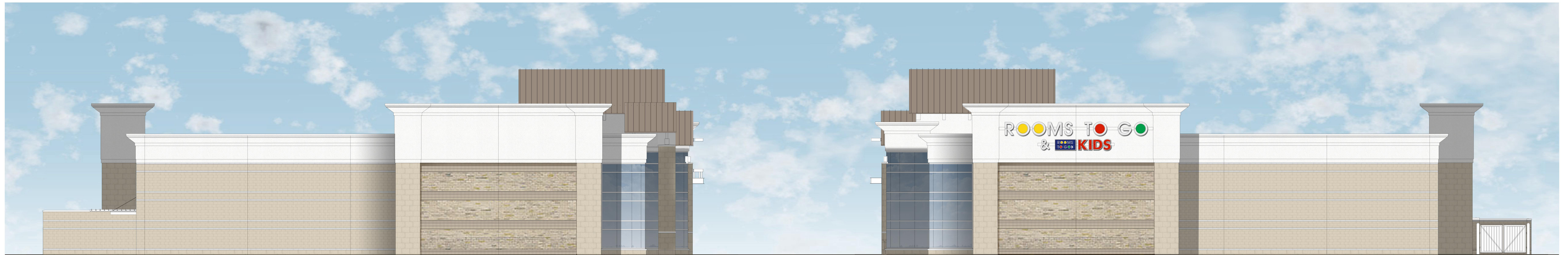
$$\begin{aligned} \Delta &= 06^{\circ}21'52'' \\ R &= 3669.86' \\ L &= 407.65' \\ C &= 407.44' \\ CB &= S 38^{\circ}39'31'' W \end{aligned}$$

WESTBOUND FRONTAGE ROAD
INTERSTATE HIGHWAY 30
(300' RIGHT-OF-WAY)





ELEVATION SOUTH (FRONT)



ELEVATION WEST (LEFT)

ELEVATION EAST (RIGHT)



ELEVATION NORTH (REAR)



ROCKWALL, TX
FEBRUARY 1ST, 2016





ROOMS TO GO

KIDS

ROOMS TO GO
KIDS

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ELECTRICAL CONTRACTOR SHALL DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

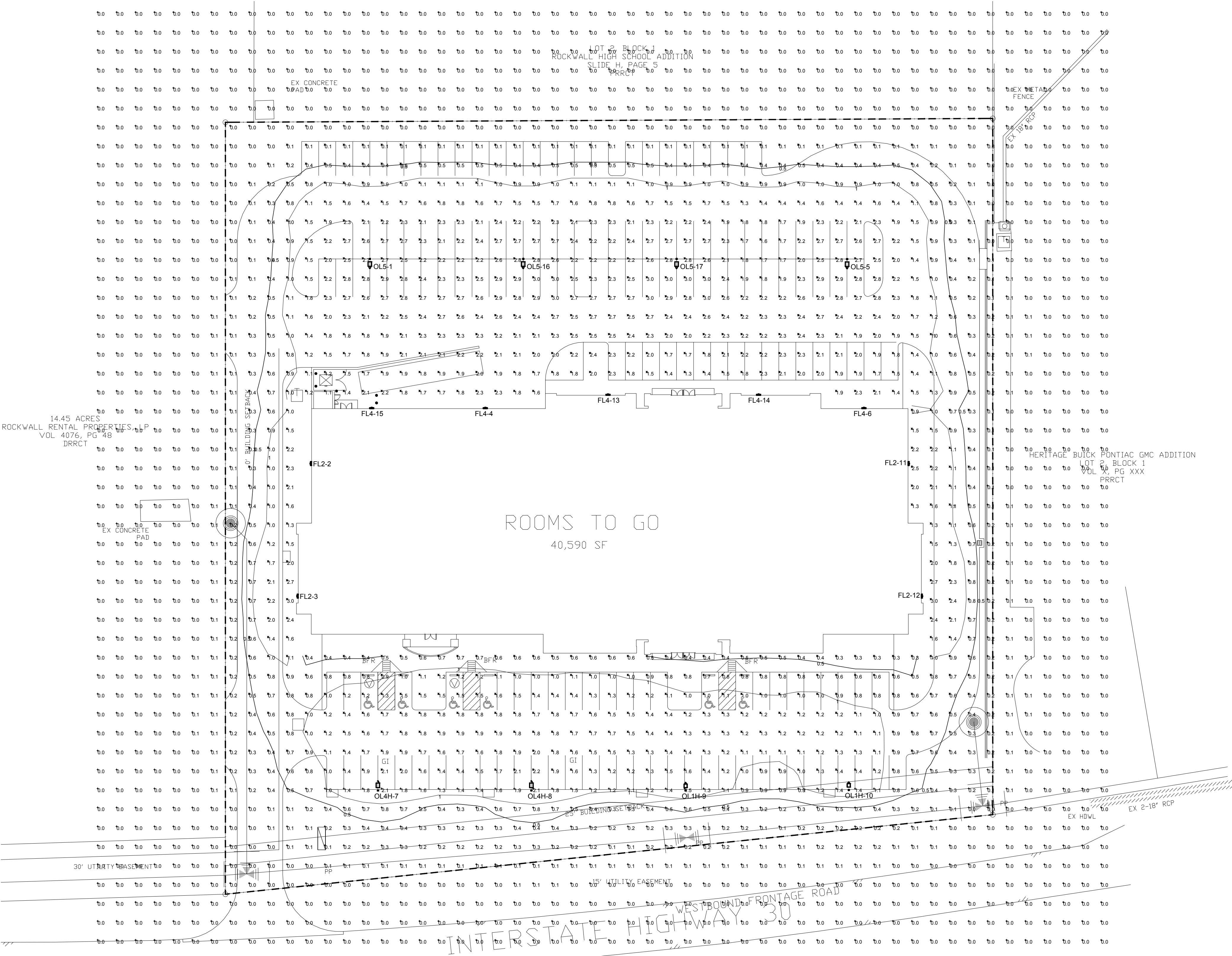
NOTES

1. SITE PHOTOMETRICS PERFORMED WITHOUT CONTRIBUTION OF EXISTING ADJACENT PARKING LOT LIGHTS.
2. REFER TO LUMINAIRE LOCATIONS FOR MOUNTING HEIGHT (MH).
3. ILLUMINATION CALCULATIONS PERFORMED ON A MAINTAINED BASIS WITH LLF=0.91 FOR LED LUMINAIRES AT FINISHED GRADE.
4. ALL LUMINAIRES USED FOR SITE LIGHTING SHALL BE FULL CUTOFF.
5. ALL LUMINAIRES SHOWN IN SCHEDULE ARE "LITHONIA". EQUAL FULL CUT OFF LUMINAIRES WITH SAME TYPE OF DISTRIBUTION, EFFICACY AND LIGHT SOURCE WILL BE CONSIDERED FOR APPROVAL.
6. ANY DEVIATION FROM THE LUMINAIRES SHOWN WILL REQUIRE A PHOTOMETRICS PLAN TO ENSURE THE LUMINAIRES MEET EXTERIOR LIGHTING REQUIREMENTS.
7. SITE LIGHTING POLES SHALL PRE-CAST CONCRETE POLES AS SHOWN.
8. ALL LUMINAIRES SHALL BE CONTROLLED BY PHOTOCELL ON, ASTRONOMICAL TIME CLOCK OFF, EXCEPT SECURITY LIGHTS CONTROLLED PHOTOCELL ON, PHOTOCELL OFF.
9. ALL POLE MOUNT LUMINAIRES SHALL BE DARK BRONZE IN COLOR. WALL MOUNT LUMINAIRES SHALL BE WHITE IN COLOR.

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
OL1H	OL1H	2	DSX1 LED 30C 1000 40K TFTM MVOLT HS	DSX1 LED with 30 LEDs @ 1000 mA, 4000K. TYPE FORWARD THROW MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	DSX1_LED_30 C_1000_40K_T FTM_MVOLT_ HS.ies	9047	0.91	105
OL4H	OL4H	2	DSX1 LED 60C 700 40K TFS MVOLT HS	DSX1 LED with 60 LEDs @ 700 mA, 4000K. TYPE FORWARD THROW MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	DSX1_LED_60 C_700_40K_TF TM_MVOLT_H S.ies	12867	0.91	131
OL5	OL5	4	DSX1 LED 60C 700 40K T5S MVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K. TYPE S SHORT OPTICS	LED	DSX1_LED_60 C_700_40K_T5 S_MVOLT.ies	17021	0.91	131
FL2	FL2	4	DSXW1 LED 20C 700 40K T2S MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T2S OPTIC, 4000K, @ 700mA.	LED	DSXW1_LED_ 20C_700_40K_ T2S_MVOLT.ies	4776	0.91	45.7
FL4	FL4	5	DSXW1 LED 20C 1000 40K T4M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1000mA.	LED	DSXW1_LED_ 20C_1000_40K_ T4M_MVOLT. ies	7420	0.91	73.2

LUMINAIRE LOCATIONS				
No.	Label	MH	Orientation	Tilt
1	OL5	30.0	180.0	0.0
2	FL2	18.0	-90.0	0.0
3	FL2	16.0	-90.0	0.0
4	FL4	18.0	0.0	0.0
5	OL5	30.0	180.0	0.0
6	FL4	18.0	0.0	0.0
7	OL4H	30.0	0.0	0.0
8	OL4H	30.0	0.0	0.0
9	OL1H	30.0	0.0	0.0
10	OL1H	30.0	0.0	0.0
11	FL2	18.0	90.0	0.0
12	FL2	16.0	90.0	0.0
13	FL4	18.0	0.0	0.0
14	FL4	18.0	0.0	0.0
15	FL4	18.0	0.0	0.0
16	OL5	30.0	180.0	0.0
17	OL5	30.0	180.0	0.0

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Area	+	0.6 fc	3.0 fc	0.0 fc	N/A	N/A
RTG Parking	X	1.4 fc	3.0 fc	0.1 fc	30.0:1	14.0:1



NOTE: REFER TO SHEET ES1 FOR MORE INFORMATION

REVISIONS:	
NO. #	DATE
ISSUED:	02/01/16
OWNER:	
PERMIT:	
BID:	02/25/16
CASCO	
FOR COMMENTS:	

ROOMS TO GO
INTERSTATE HIGHWAY 30
ROCKWALL, TX

PROFESSIONAL OF RECORD
PHONE: 314-821-1100

SITE LIGHTING
PHOTOMETRICS

DRAWN BY
zt
CHECKED BY
zt
PROJECT NUMBER
915536

SHEET NUMBER
ES2

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

PLANT LIST

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	10	BC	Bald Cypress	<i>Taxodium distichum</i>	4" cal.	container grown, 15' ht. 5' spread min.
	6	LO	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	container grown, 15' ht. 5' spread min.
	13	LO	Live Oak	<i>Quercus virginiana</i>	4" cal.	container grown, 15' ht. 5' spread min.
	4	TY	Tree Yaupon Holly	<i>Ilex vomitoria</i>	6' ht.	B&B, 3 cane, tree form, no cross caning
	9	CM1	Crepe Myrtle 'Catawba'	<i>Lagerstroemia indica 'Catawba'</i>	6' ht.	container grown, 3-5 cane, no cross caning
	12	CM2	Crepe Myrtle 'Hop'	<i>Lagerstroemia indica 'Hop'</i>	5' ht.	container grown, 3-5 cane, no cross caning

SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	113	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burfordii nana'</i>	5 gal.	container, full plant, 36" o.c.
	56	IH	Indian Hawthorne 'Clara'	<i>Raphiolepis indica 'Clara'</i>	5 gal.	container, full plant, 24" o.c.
	24	KNR	Double Knockout Rose	<i>Rosa sp. 'Double Knockout'</i>	5 gal.	container, full plant, 36" o.c.
	56	DYH	Dwarf Yaupon Holly 'Stokes'	<i>Ilex vomitoria nana 'Stokes'</i>	5 gal.	container, full plant, 24" o.c.
	8	SKY	Skyrocket Juniper	<i>Juniperus sp. 'skyrocket'</i>	5' ht.	container, full to base
	16	NRS	Nellie R. Stevens Holly	<i>Ilex sp. 'Nellie R. Stevens'</i>	10 gal.	container, full to base

GROUNDCOVERS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	1995	WC	Wintercreeper	<i>Euonymus fortunei coloratus</i>	4" pots	container, (3) 12" runners min. 12" o.c.
	182	LG	Giant Lirioden	<i>Lirioden gigantea</i>	4" pots	container, full top of container, 12" o.c.
	200	SC	Common Bermudagrass	<i>Cynodon dactylon</i>	roll sod	solid sod, refer to notes
			Seasonal Color			container, full plant, 12" o.c.

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE TABULATIONS

SITE REQUIREMENTS (site area 158,645 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
23,796.75 s.f. (15%)	24,236 s.f. (15.2%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
11,898.37 s.f. (50%)	12,274 s.f.

STREET REQUIREMENTS: IH 30 OVERLAY
Requirements: (3) canopy tree 4" cal. and (4) accent trees, 4" ht. per 100 l.f. of frontage

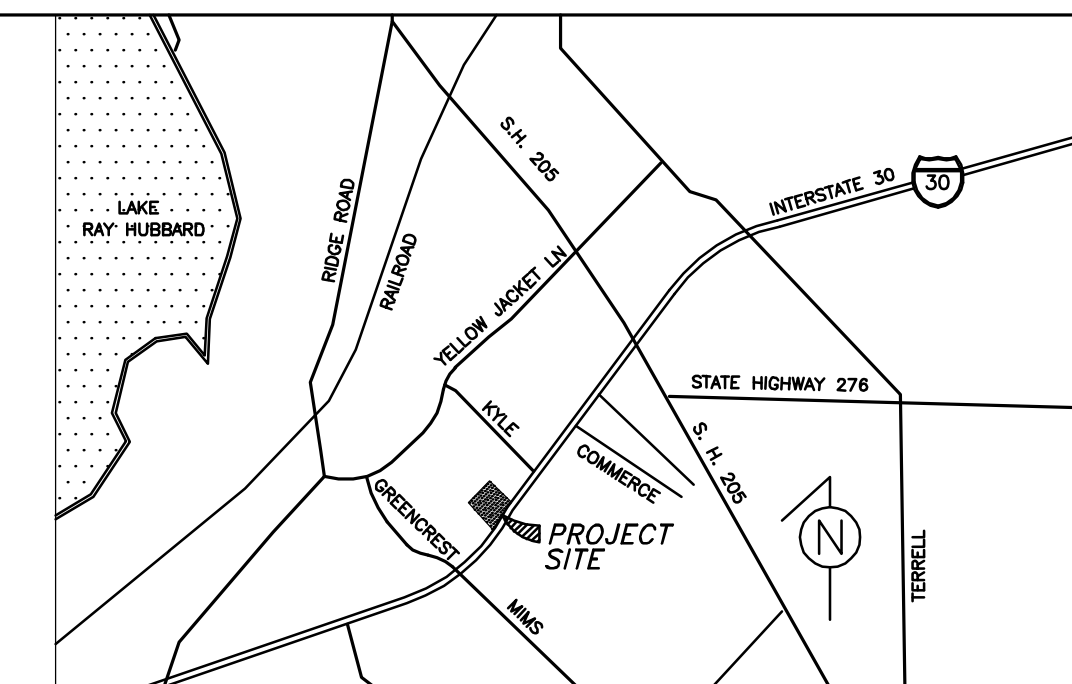
Required	Provided
(12) trees, 4" cal.	(12) trees, 4" cal.
(16) trees, 4" ht.	(16) trees, 6" ht.

PARKING LOT (182 spaces; 61,000 s.f.)
Requirements: 5% of total parking lot area and (1) tree, 4" cal. per 10 REQUIRED parking spaces (162 REQUIRED)

Required	Provided
(16) trees, 3" cal.	(16) trees, 4" cal.
3,050 s.f. (5%)	6,748 s.f. 11.0%

ALL TREES TO BE LOCATED 5' FROM WATER, SEWER AND STORM SEWER LINES

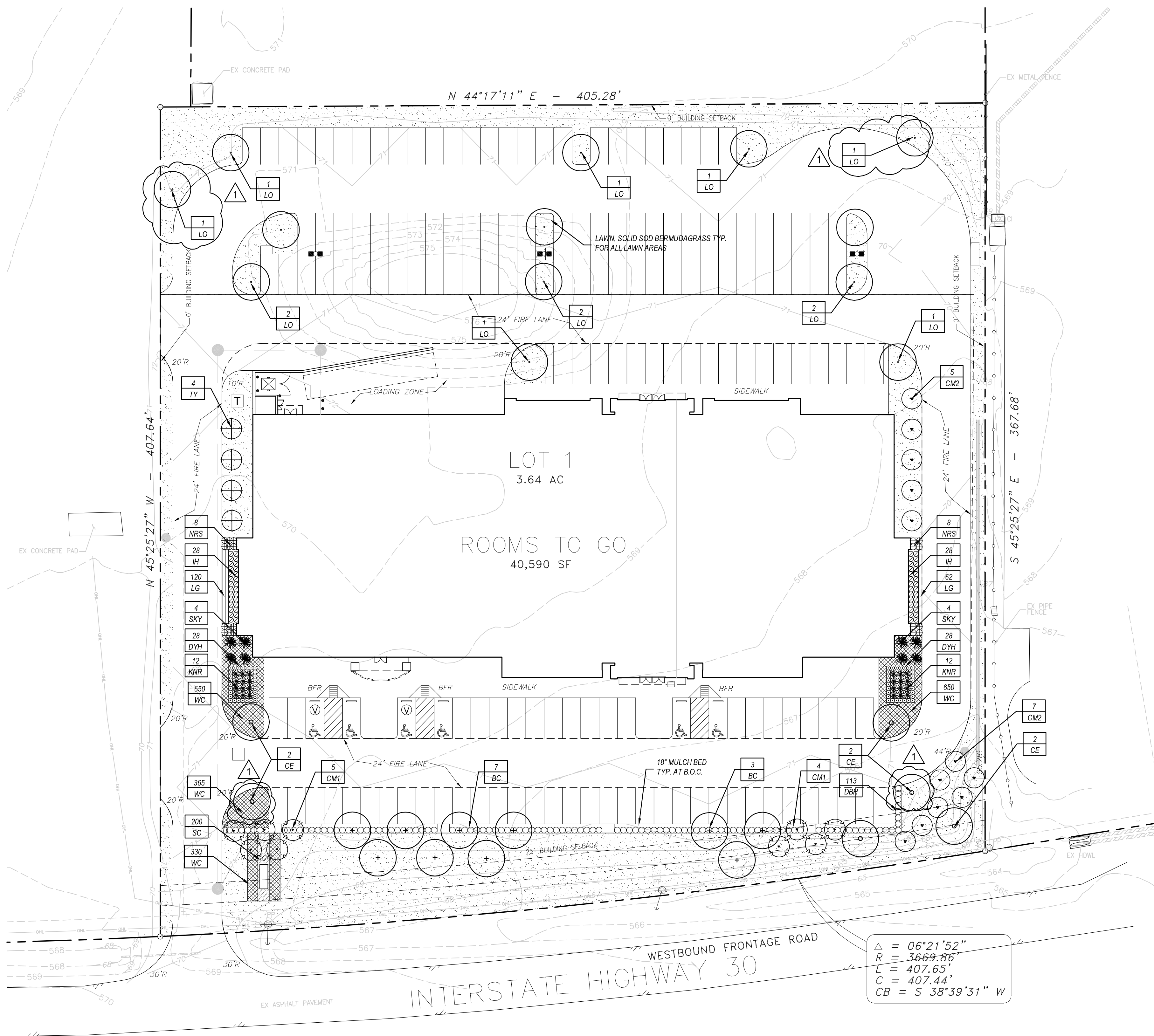
ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL HEAD-IN PARKING



VICINITY MAP
NOT-TO-SCALE

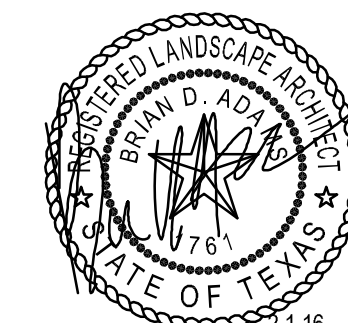
SITE DATA

LOT AREA:	3.64 ACRES (158,645 SF)
ZONING:	C-COMMERCIAL W/I.H. 30 OVERLAY
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	GENERAL RETAIL
BUILDING AREA:	40,590 SQ. FT.
PARKING REQUIRED:	163 SPACES (6 HC)
PARKING PROVIDED:	182 SPACES (6 HC)
PARKING RATIO:	(1/224) (4.4/1,000)

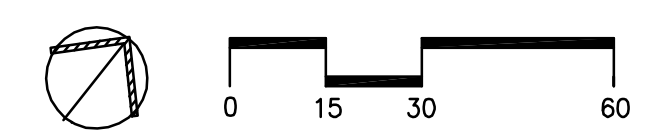


$\Delta = 06^{\circ}21'52''$
 $R = 3669.86'$
 $L = 407.65'$
 $C = 407.44'$
 $CB = S 38^{\circ}39'31'' W$

OWNER/DEVELOPER
SEAMAN DEVELOPMENT CORPORATION
400 PERIMETER CENTER TERRACE, SUITE 800
ATLANTA, GEORGIA 30346
(678) 338-4566
CONTACT: JEFF FINKEL



01 LANDSCAPE PLAN
SCALE: 1"=30'-0"



REV.	DATE	CITY COMMENTS	REMARKS
1	2.1.16		

LANDSCAPE PLAN
ROOMS TO GO
N.E.Q. I.H. 30 & GREENCREST BOULEVARD
THE CITY OF ROCKWALL, TEXAS

14800 Quorum Drive, Suite 200
Dallas, Texas 75254
972-355-9272
TBPE F-3751

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BDA	BDA	01/15/16	1"=30'	ASC	112-009 SITE	L1.1

smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0983
Fax 214.871.0545
Email smr@smr4a.com

SP2016-0