



GPD GROUP  
Incorporated Corporation  
520 SOUTH MAIN STREET,  
SUITE 2531  
AKRON, OHIO 44311  
330.572.2100 Fax: 330.572.2701

ISSUE/REVISION RECORD

Table with 2 columns: DATE, DESCRIPTION. Row 1: 10/09/15 PRELIMINARY PACKAGE



RACETRAC PETROLEUM, INC.  
SUITE 100  
3225 CUMBERLAND BOULEVARD  
ATLANTA, GEORGIA 30339  
(770) 431-7600

PROJECT NAME

ROCKWALL

ROCKWALL  
TEXAS 75087  
RIDGE ROAD AT YELLOW  
JACKET

RACETRAC PROJ. NUMBER

#1090

PROTOTYPE SERIES

5.5 BR-LH-MO(-) 15R01

PLAN MODIFICATION NOTICE

SPB NO. 000 DATE XX.XX.XX

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THIS ISSUE REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL

PROJECT NUMBER  
2015157.03

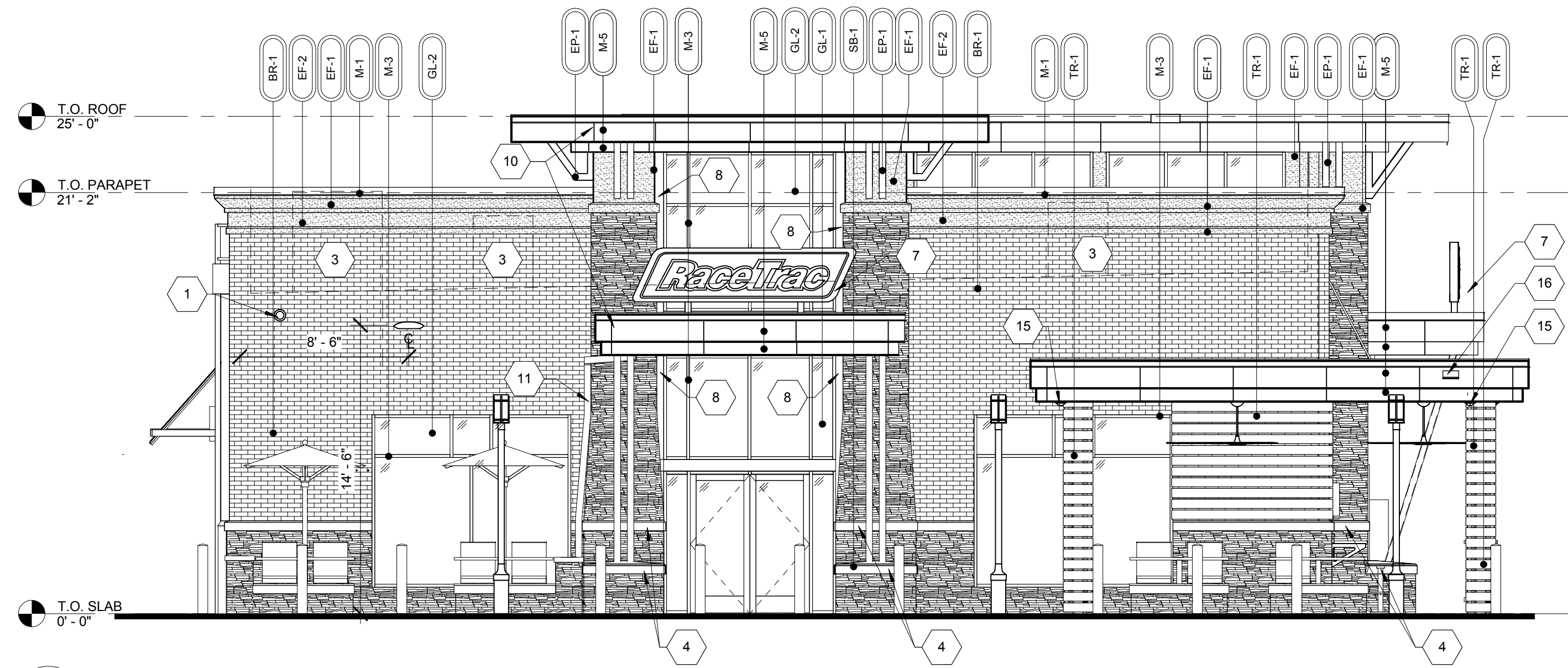
SHEET TITLE

EXTERIOR  
ELEVATIONS

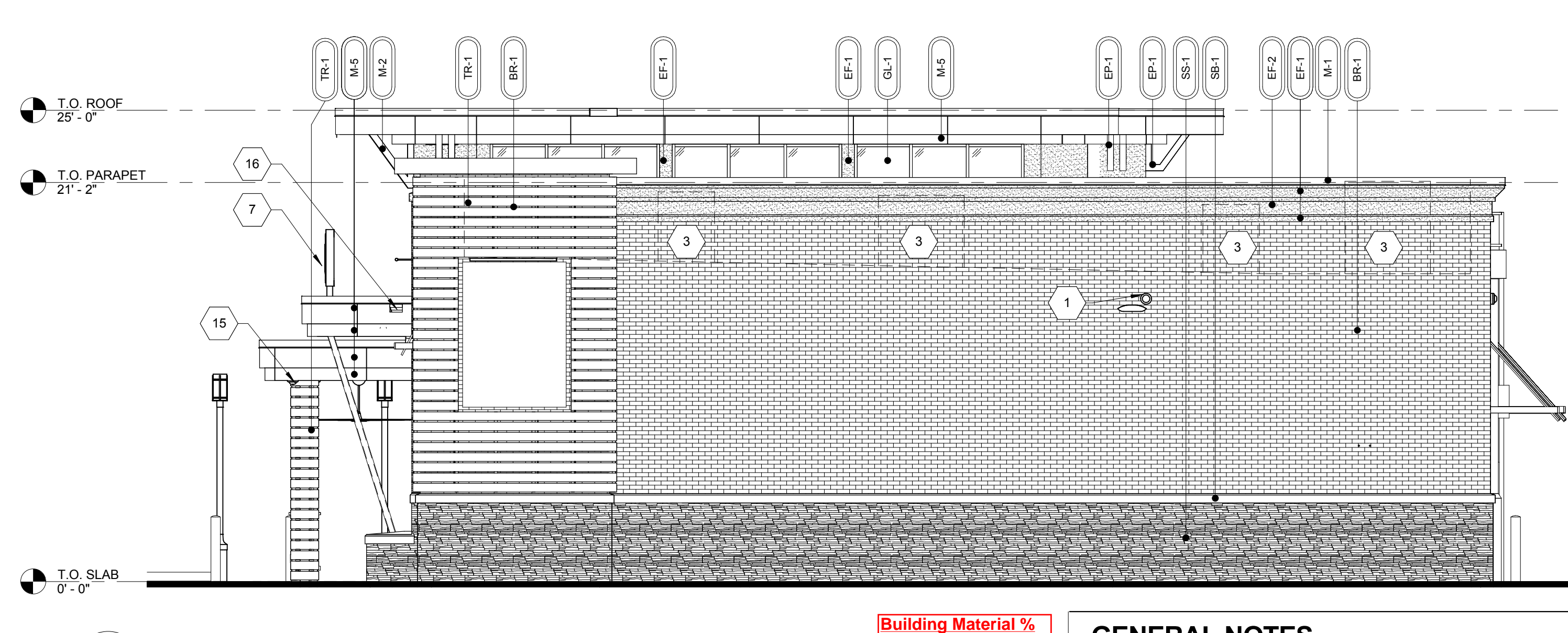
SHEET NUMBER

A300

NOT FOR CONSTRUCTION



4 LEFT ELEVATION  
3/16" = 1'-0"



3 RIGHT ELEVATION  
3/16" = 1'-0"

Building Material %  
Stone - 19.25%  
Brick - 45.5%  
EIFS - 7.75%  
Glazing - 14.75%  
Metal - 6.5%  
Trex - 6.25%

Overall Roof Area  
Main Building - 5845.7 SF  
Right Tower - 23 SF  
Covered Seating - 373.8 SF  
Side Entry Roof - 128.3 SF  
Front Entry Roof - 156 SF  
Total SF = 6,526.8 SF

GENERAL NOTES

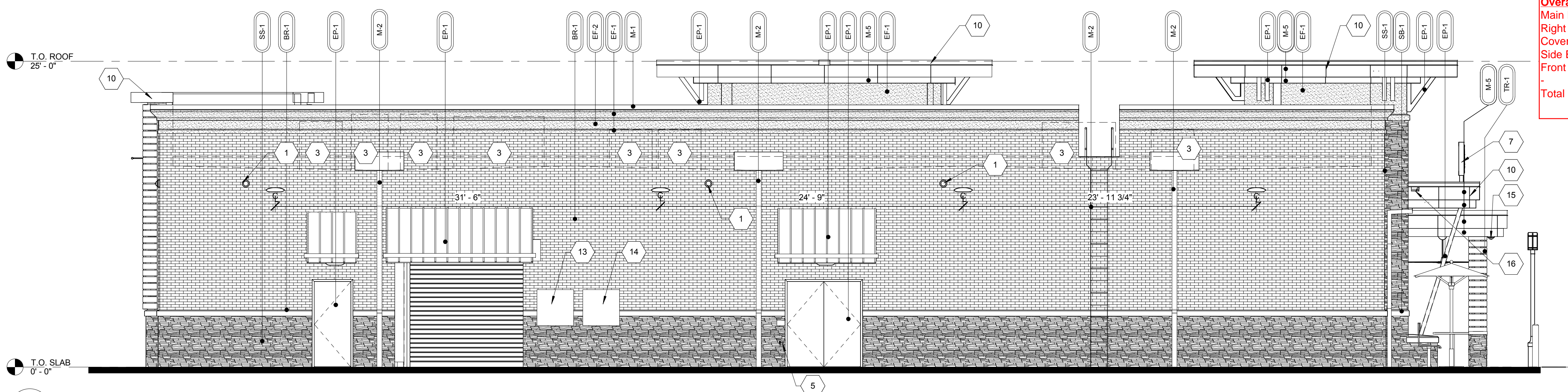
- 1. CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- 2. PROVIDE CONTROL JOINTS (CJ) AS LOCATED ON EXTERIOR ELEVATIONS. SPECIFICATION FOR JOINT SEALANT SHALL BE 'ADOBE TAY' SL-2 BY TREMCO.
- 3. MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C.
- 4. REFER TO LIGHTING PLANS FOR LIGHTING FIXTURE LOCATION AND SCHEDULE.
- 5. REFER TO STRUCTURAL DRAWINGS FOR JOIST AND BEAM BEARING AND FOR FOUNDATIONS.
- 6. REFER TO REFLECTED CEILING PLANS FOR COMPLETE DIMENSIONS OF ACM JOINT LOCATIONS.

ELEVATION KEY NOTES

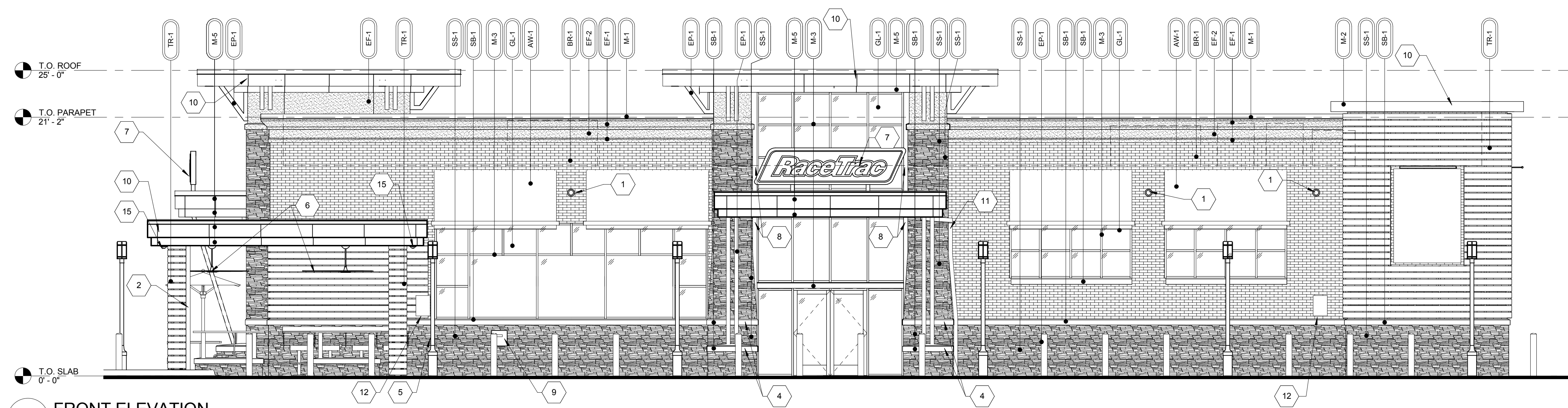
- 1 WALL MOUNTED SECURITY CAMERA
- 2 3" SQUARE DOWNSPOUT. REFER TO CIVIL DRAWINGS FOR CONNECTIONS.
- 3 MECHANICAL EQUIPMENT BEYOND
- 4 REFER TO DETAILS FOR CAST STONE SHAPES.
- 5 HOSE BIBB. REFER TO PLUMBING DRAWINGS.
- 6 CEILING FAN. REFER TO SPECIFICATIONS.
- 7 ILLUMINATED SIGN PANEL. BY OWNER MOUNTED ON MINIMUM 3" STEEL TUBES OR HSS TUBES. PAINT EP-1.
- 8 BRONZE BREAK METAL WRAP AT WINDOW JAMB. TYPICAL.
- 9 PACKAGE PASSER. REFER TO EQUIPEMENT PLAN.
- 10 ACM PANEL REVEAL LINE. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS.
- 11 3" SQUARE METAL DOWNSPOUT ATTACHED TO WALL WITH BRACKETS. DOWNSPOUT IS TO RUN TO CORNER BEFORE VERTICAL RUN. REFER TO CIVIL FOR CONNECTIONS.
- 12 EMERGENCY FUEL SHUT OFF SWITCH.
- 13 LOCATION OF ELECTRICAL SERVICE C/T AND METER.
- 14 GENERATOR TAP BOX - SEE ELECTRICAL FOR LOCATION.
- 15 SECURITY CAMERA MOUNTED ON UNDERSIDE OF OUTDOOR SEATING AREA ROOF.
- 16 OVERFLOW SPILL SCUPPER.
- 17 ROOF ACCESS DOOR.

EXTERIOR MATERIAL SCHEDULE

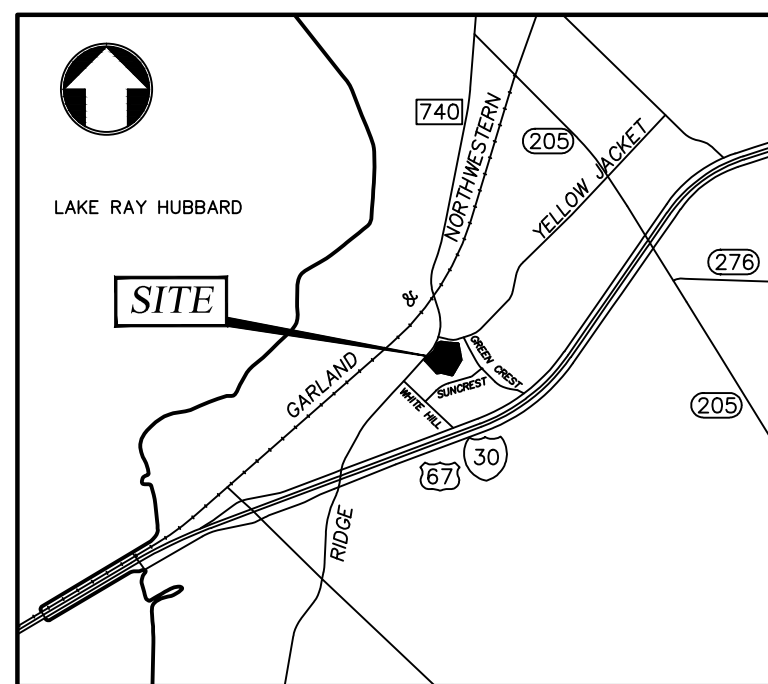
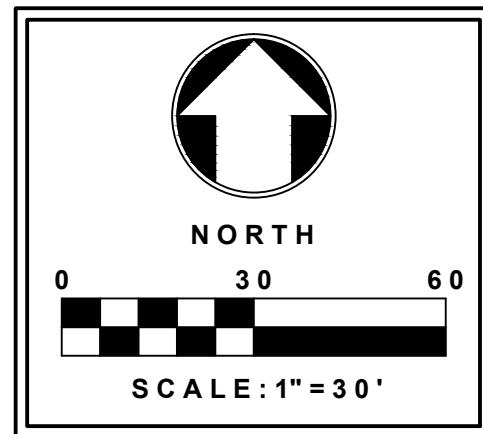
Table with 3 columns: Material Code, Material Name, and Notes. Includes entries for AWNING, BRICK, EIFS, GLAZING, METAL, PAINT, ROOFING, STACKED STONE, STONE BAND, and TREX.



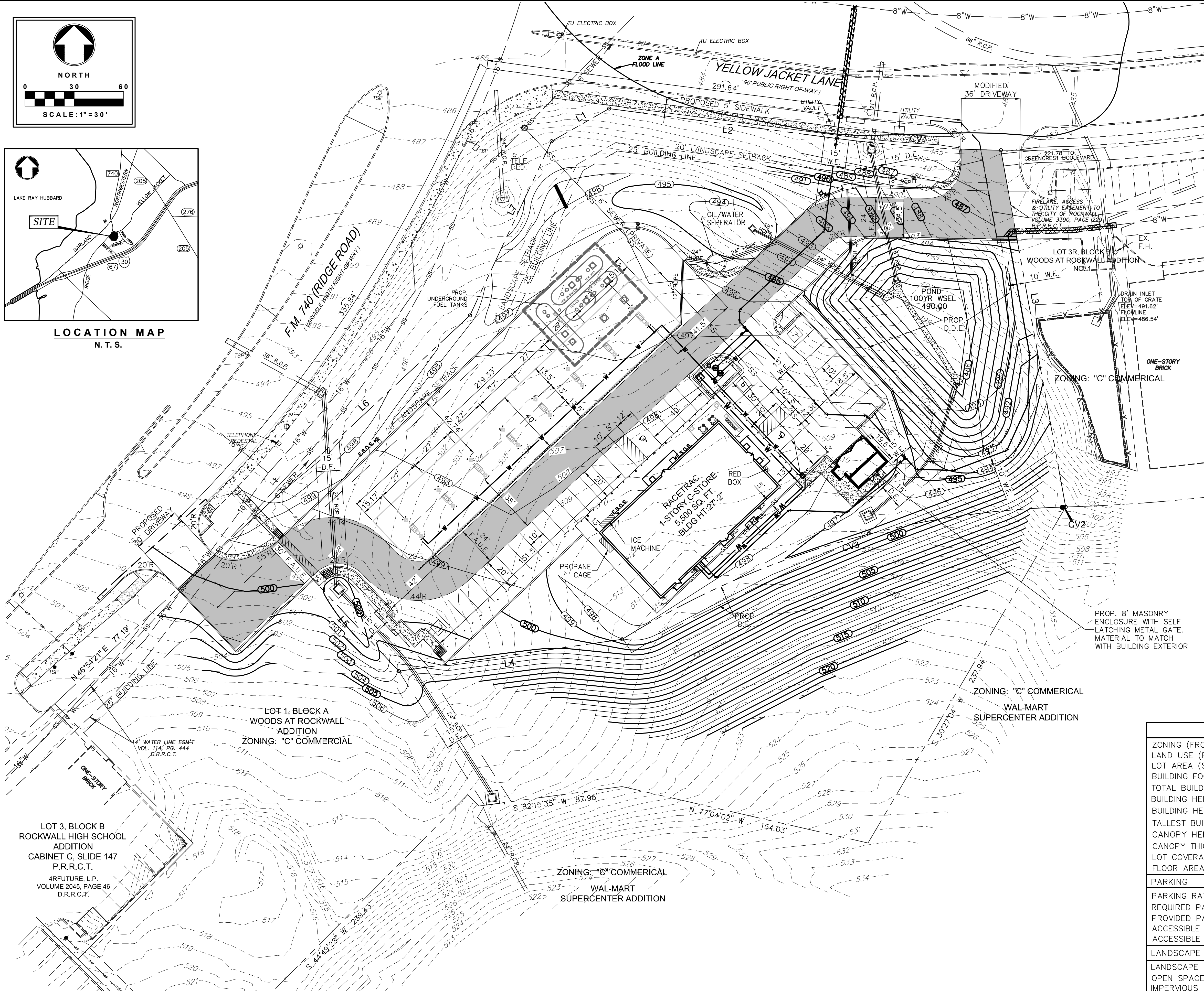
2 REAR ELEVATION  
3/16" = 1'-0"



1 FRONT ELEVATION  
3/16" = 1'-0"



**LOCATION MAP**  
N. T. S.



LEGEND	
EXISTING BOUNDARY	---
PROPOSED BOUNDARY	---
EXISTING WATER MAIN	— W —
EXISTING SANITARY SEWER	— SS —
EXISTING SEWER MANHOLE	SS
EXISTING FIRE HYDRANT	⊗
EXISTING ELECTRIC	— OP —
EXISTING TELEPHONE	— UGT —
EXISTING TRAFFIC SIGNAL POLE	TSP □
EXISTING TELEPHONE MANHOLE	○
EXISTING POWER POLE	●
EXISTING STORM SEWER	---
EXISTING CURB	---
EXISTING SIDEWALK	---
EX.EASEMENTS TO BE ABANDON	---
PROPOSED CURB	---
PROPOSED SAW-CUT	---
PROPOSED 8" WATER MAIN	— 8"W —
PROPOSED WATER (PRIVATE)	---
PROPOSED SEWER (PRIVATE)	— SS —
PROPOSED ON-SITE LIGHT POLE	⊙
PROPOSED HANDICAP SIGN	+
PROPOSED HANDICAP LOGO	⊕
PROPOSED WATER METER	⊙
PROPOSED FIRE DEPT. CONNECTION	+
PROPOSED FIRE HYDRANT	⊗
PROPOSED ID SIGN	⊙
PROPOSED TRASH CAN	⊙
PROPOSED BOLLARD	⊙
PROPOSED SIDEWALK	---
PROPOSED VENTS	⊙
PROPOSED STORM SEWER	---
PROPOSED OIL WATER SEPERATOR	⊙
PROPOSED TRENCH DRAIN	---
PROPOSED EASEMENT	---
PROPOSED GREASE TRAP	⊙
PROPOSED CONC. FLUME	---

SITE DATA SUMMARY TABLE	
ZONING (FROM ZONING MAP)	"C" COMMERCIAL
LAND USE (FROM ZONING ORDINANCE)	CONVENIENCE STORE W/GAS PUMPS
LOT AREA (SQUARE FEET & ACRES)	107,210 S.F. or 2.46 ACRES
BUILDING FOOTPRINT AREA (SQUARE FEET)	5,500 S.F.
TOTAL BUILDING AREA (SQUARE FEET)	5,500 S.F.
BUILDING HEIGHT (# STORIES)	1 STORY
BUILDING HEIGHT (FEET-DISTANCE TO TALLEST BUILDING ELEMENT)	27'-2" (TOP OF PITCHED ROOF)
CANOPY HEIGHT	22 FEET
CANOPY THICKNESS	4 FEET
LOT COVERAGE (PERCENT)	5.13% [5,500 / 107,210]
FLOOR AREA RATIO ( RATIO)	0.05:1 [5,500 / 107,210]
PARKING	
PARKING RATIO (FROM ZONING ORDINANCE)	RETAIL USE (1/250 S.F.)
REQUIRED PARKING (# SPACES)	22 SPACES [5,500 / 250]
PROVIDED PARKING (# SPACES)	34
ACCESSIBLE PARKING REQUIRED (# SPACES)	1 SPACES
ACCESSIBLE PARKING PROVIDED (# SPACES)	2 SPACES
LANDSCAPE AREA	
LANDSCAPE AREA PROVIDED	47,309 S.F. (44%)
OPEN SPACE PROVIDED	47,309 S.F. (44%)
IMPERVIOUS AREA	59,901 S.F. (56%)

BOUNDARY LINE DATA TABLE				
L1	N 60°26'48" W	40.41'		
L2	S 82°31'30" E	140.14'		
L3	S 10°17'28" E	221.40'		
L4	S 81°52'09" W	137.61'		
L5	N 43°04'09" W	128.96'		
L6	N 46°54'21" E	180.00'		
L7	N 25°05'54" E	117.39'		

- SITE NOTES**
- ALL SIGNS WILL REQUIRE SEPARATE SIGN PERMIT. NO SIGN ALLOWED IN AN EASEMENT.
  - BUILDING TO BE CONSTRUCTED WITH SPRINKLER SYSTEM.
  - ALL PROPOSED OFF-SITE UTILITIES WILL BE CONSTRUCTED AS NEEDED PER SCHEDULE OF DEVELOPMENT OF ADJACENT PROPERTY.
  - NO OVERHANG OF CANOPY IN ANY EASEMENTS OR FIRELANE.

**DEVELOPER**  
RACE-TRAC  
3225 CUMBERLAND BLVD.,  
SUITE 100  
ATLANTA, GA 30339  
CONTACT: KEVIN WILES  
TEL: (214) 385-8470

**APPLICANT/ENGINEER**  
THE DIMENSION GROUP  
TDR FIRM # F-8396  
10755 SANDHILL ROAD  
DALLAS, TEXAS 75238  
CONTACT: CARLOS SALINAS  
TEL: (214) 343-9400  
FAX: (214) 341-9060

**SURVEYOR**  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: GARY E. JOHNSON, R.P.L.S.  
TEL: (214) 340-9700

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

BOUNDARY LINE CURVE DATA TABLE				
CV	DELTA	RADIUS	LENGTH	BEARING
C1	06°48'23"	845.00'	100.38'	100.32' S85°55'43" E
C2	00°07'47"	772.78'	1.75'	S88°23'25" W
C3	30°19'13"	536.81'	284.07'	280.77' S73°17'35" W

**SITE PLAN**  
**WOODS AT ROCKWALL ADDITION**  
**LOT 1R & 2R, BLOCK A**  
**IN THE CITY OF ROCKWALL,**  
**ROCKWALL COUNTY, TEXAS**  
**CASE No. SP2015-018**

DATE	01/02/14
SCALE	AS SHOWN
DRAWN BY	CS
DRAWING NAME	05-12128-SITE PLAN-C1.1-CP
SHEET NO.	C-1.1
VERSION	

PLANNING SUBMITTAL	3	NO
2ND ENGINEERING CITY SUBMITTAL	2	NO
1ST ENGINEERING CITY SUBMITTAL	1	NO

**PRELIMINARY**  
THIS PLAN SHEET IS ISSUED FOR INFORMATION ONLY AND IS NOT FOR BIDDING, CONSTRUCTION OR PERMIT PURPOSES.

THESE PLANS ARE THE PROPERTY OF RACETRAC PETROLEUM, INC. AND WILL BE RETURNED TO RACETRAC PETROLEUM, INC. UPON COMPLETION OF THE PROJECT. NO PART OF THESE PLANS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.

PREPARED BY:  
MARC O. BENTLEY, P.E.  
NO. 64860 ON 02/25/12

Registration # F-8396

10755 SANDHILL ROAD  
DALLAS, TEXAS 75238  
CONTACT: CARLOS SALINAS  
(214) 343-9400



Symbol	Label	Qty	Catalog Number	Description	File	Lumens	LLF	Watts
□	A	32	CAN-304-SL-RS-06- D-UL-700 PETROLEUM SPARKLE 304 SERIES CANOPY (700mA)	60 LED 700mA PETROLEUM SPARKLE 304 SERIES CANOPY (700mA)	CAN-304-SL- -06-D-UL- 700-60K-IES	Absolute	0.90	130.3
○	B	26	A2/B1-05	WITH WHITE TRIM AND RECESSED WHITE PLASTIC LENS	LR6.ies	647	0.90	11.5
○	C	9	PROV-T3-32LED- 700MA	PROVIDENCE LED DIE- CAST ALUMINUM HOUSING, EMITTER DECK CONSISTING OF LEDS, PRISMS, HEATSINKS AND CARRIER PLATE.	PROV-T3- 32LED-3K- 700-IES	Absolute	0.90	75.6
□	D	4	ARE-EHO-2MB-AA- 12-D-UL-1000-Q (1000mA)	CONFIGURED FROM 40 LED TYPE II MEDIUM 700mA LEDWAY WITH BACKLIGHT SHIELD	ARE-EHO- 2MB-12-D- UL-1000-40K- CONFIGURED- IES	Absolute	0.90	426
□	E	3	ARE-EHO-4MB-AA- 12-D-UL-1000-Q (1000mA)	CONFIGURED FROM 40 LED TYPE IV MEDIUM 700mA LEDWAY WITH BACKLIGHT SHIELD	ARE-EHO- 4MB-12-D- UL-1000-40K- CONFIGURED- IES	Absolute	0.90	426
□	F	7	SEC-EDG-4MB-WM- 06-D-UL-700 (700mA)	60 LED TYPE IV MEDIUM 700mA EDGE SECURITY	SEC-EDG-4M- -06-D-UL- 700-40K-IES	Absolute	0.90	133
□	G	3	SEC-EDG-2SB-WM- 04-D-12-350 (350mA)	CONFIGURED FROM 40 LED TYPE II SHORT 700mA LEDWAY WITH BACKLIGHT SHIELD	SEC-EDG-2SB- -04-D-12- 350-40K- CONFIGURED- IES	Absolute	0.90	45

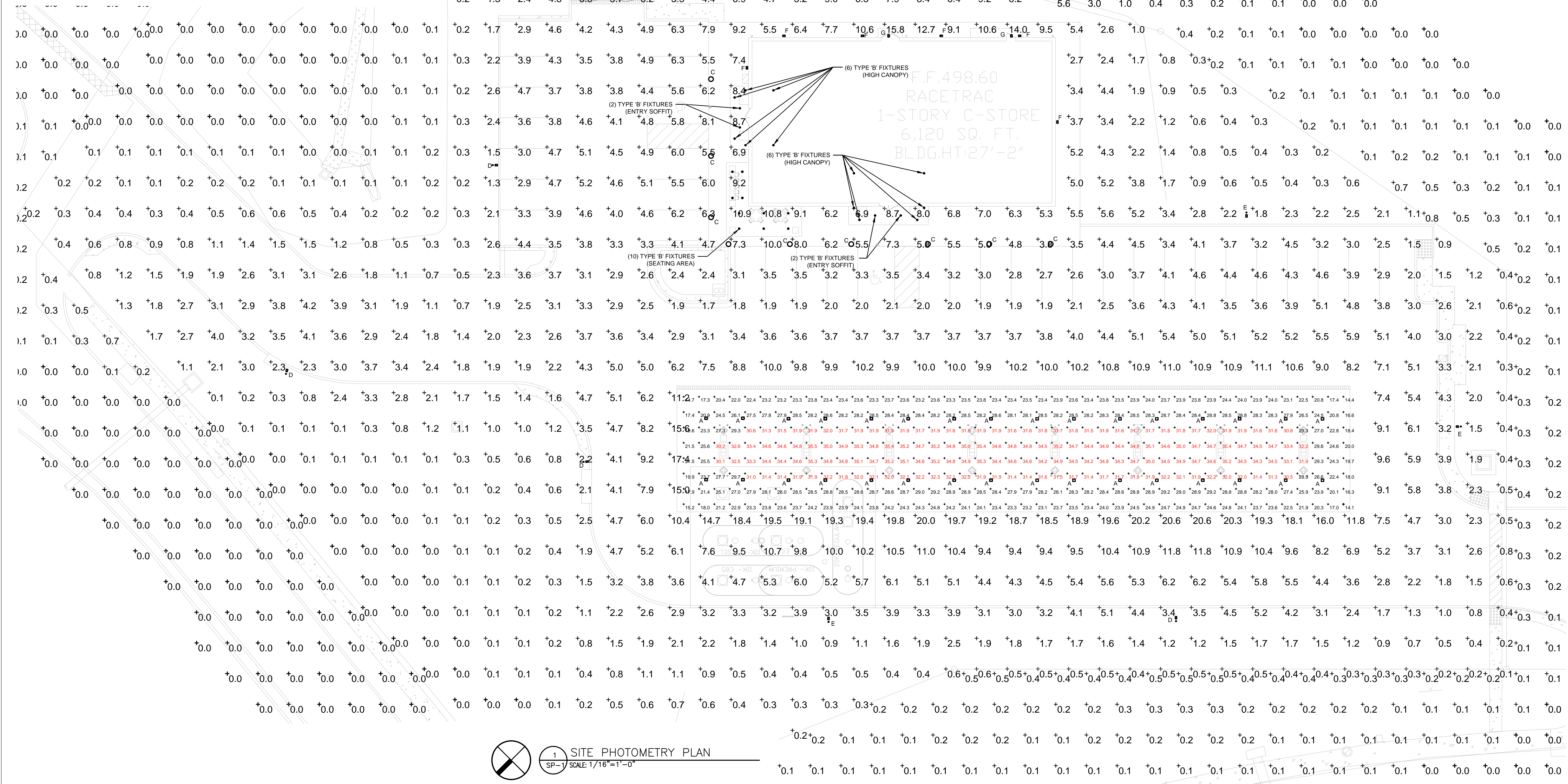
Under canopy lighting is required to fully recessed into the canopy and is not to exceed 35-FC.

Provide cut sheets for ALL exterior lighting fixtures (i.e Wall Packs, under canopy, etc.)

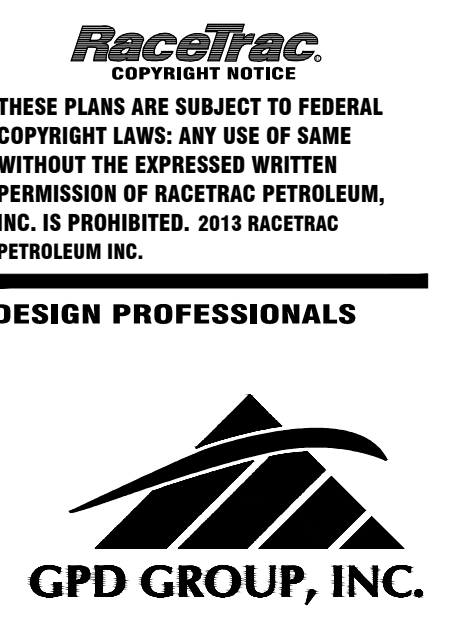
There are area's beyond the property line that exceed 0.2-FC. Make adjustments and forward corrected plan.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BEYOND PROPERTY LINE	+	0.1 fc	5.6 fc	0.0 fc	N/A	N/A
CANOPY	+	28.5 fc	35.5 fc	14.1 fc	2.51	2.01
SITE	+	3.1 fc	20.6 fc	0.0 fc	N/A	N/A

- GENERAL NOTES**
- ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL CUTOFF.
  - MOUNT AREA LUMINAIRE TYPES 'D' AND 'E' AT 28'-0" AFG (INCLUDING POLE BASE)
  - FILE NUMBERS PROVIDED FOR PHOTOMETRY REFERENCE ONLY. CATALOG NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.
  - COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS
    - AREA LIGHTING - 5700K
    - BUILDING MOUNTED - 5700K
    - DECORATIVE POLE - 5000K
    - CANOPY - 6000K
    - CANOPY DOWNLIGHTS - 4000K



**SITE PHOTOMETRY PLAN**  
SP-1 SCALE: 1/16"=1'-0"



**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
10/13/15	PRELIMINARY PACKAGE

**Racetrac**  
RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD  
SUITE 100  
ATLANTA, GEORGIA 30339  
(770) 431-7600

**PROJECT NAME**  
**ROCKWALL**

**ROCKWALL TEXAS**  
2205 RIDGE ROAD

**RACETRAC STORE NUMBER**  
**#1090**

**PROTOTYPE SERIES**  
**5.5 E-RH-SV(-) 1R01**

**PLAN MODIFICATION NOTICE**  
SPB NO. 000 DATE xx/xx/xx  
STANDARD PLAN BULLETINS (SPB) MODIFY THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

**PROFESSIONAL SEAL**

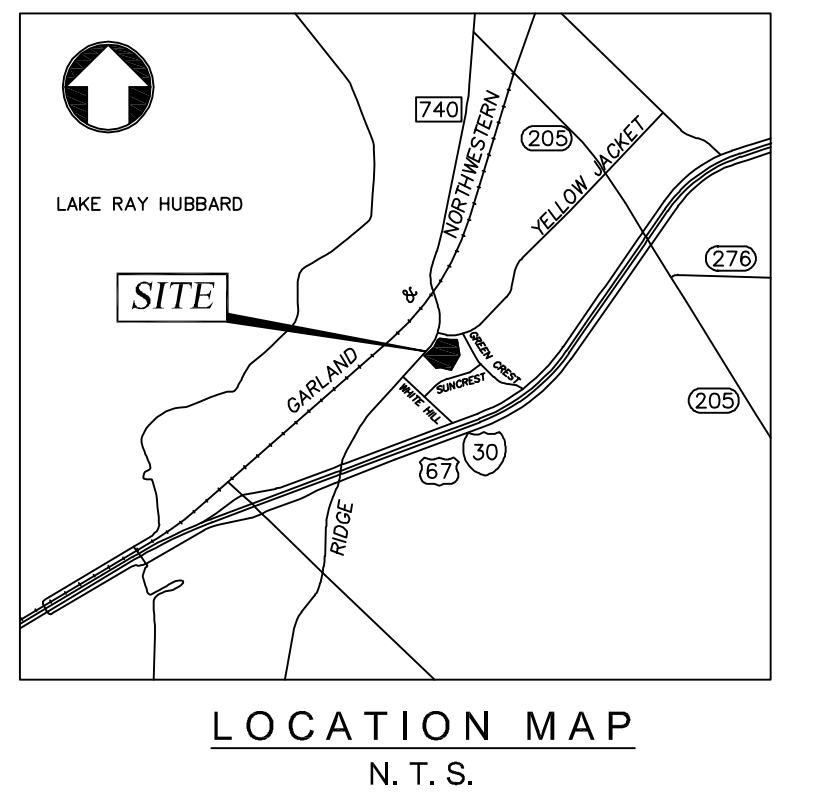
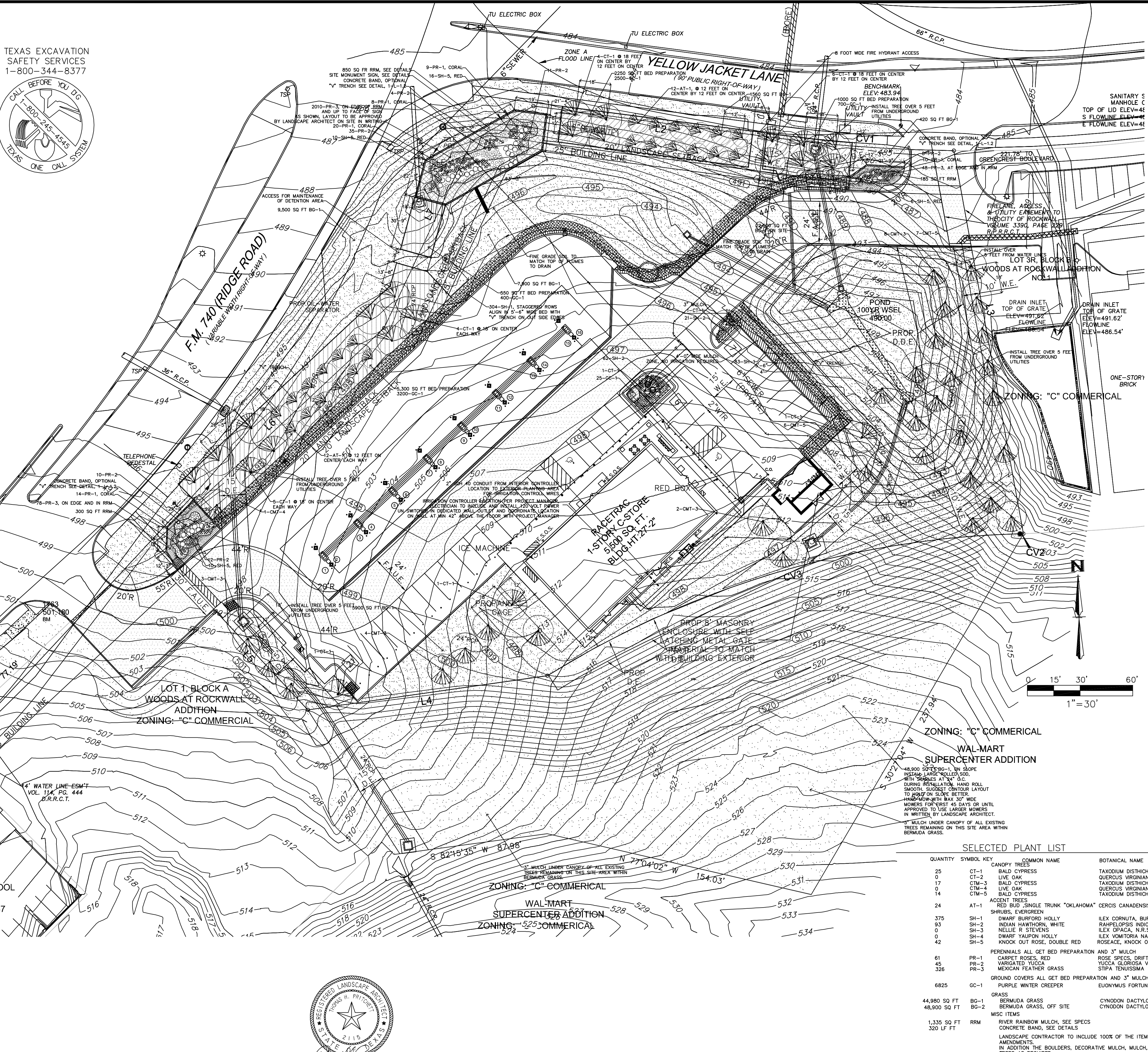
**PROJECT NUMBER**  
2015157.03

**SHEET TITLE**  
**SITE PHOTOMETRY PLAN**

**SHEET NUMBER**  
**SP-1**

NOT FOR CONSTRUCTION

- LANDSCAPE NOTES**
- Contractor responsible for locating and protecting all underground utilities prior to digging.
  - Contractor responsible for protecting existing trees from damage during construction as shown on plan.
  - General Contractor to install 6" minimum depth of clean, friable topsoil on all planting beds and low areas prior to fine grading. See Topsoil specification Sheet L-1.3.
  - All shrub beds (existing and new) to be mulched with a 4-inch minimum layer of hardwood mulch (brown) as defined in the landscape specifications on Sheet L-1.3.
  - All annual and perennial beds to be filled to a minimum depth of 18 inches and amended with 4 inches of organic material. Mulch planted annual and perennial beds with 2-inch depth of mini nuggets. RaceTrac will reject all others.
  - Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove all rocks and debris larger than 1 inch in diameter prior to planting shrubs or laying sod. Landscape contractor to provide fine grading. See grading specification Sheet L-1.3.
  - Any existing grass disturbed during construction to be fully removed, re-graded and replaced. All tire marks and indentations to be repaired. No exceptions.
  - Landscape Contractor to coordinate with Landscape Architect (L.A.) to have L.A. select (tag) and photograph all plant material prior to shipment of material to site. Photographs to be submitted to L.A. and RaceTrac Project Manager for approval or rejection. Photographs shall show scale and container size of plant material. All trees to be photographed individually or hand-selected by L.A. Shrubs and other plants to be photographed in grouping with one photograph of single plant submitted also, see submittal specification on Sheet L-1.3.
  - Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod as directed by L.A. Provide results to L.A. and RaceTrac Project Manager.
  - Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately rolled, and watered thoroughly immediately after planting. Edge of sod adjacent to mulch beds to be shaved cut as detailed on Sheet L-1.2. All sod to be delivered in largest rolls available. There shall be no gaps between sod joints.
  - All changes to design or plant substitutions are to be authorized in writing by the Landscape Architect and RaceTrac Construction Project Manager.
  - Planting Mix to be provided as specified in the landscape specifications on Sheet L-1.3.
  - All landscaping shall be installed in conformance with ANSI Z60.1 The American Standard for Nursery Stock and the accepted standards of the American Association of Nurserymen.
  - The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the RaceTrac. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism.
  - Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth, as determined by the Landscape Architect, shall be replaced by the Landscape Contractor at no cost to RaceTrac.
  - General Contractor to mow all parking islands 6" - 10" with clean-screened topsoil.
  - Prior to installation, the Landscape Contractor shall inspect the subsurface general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by General Contractor and observe the site conditions under which the work is to be done. Notify General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Architect, Landscape Contractor and RaceTrac Construction Manager.
  - Stake all evergreen and deciduous trees.
  - Remove all stakes and guying from all trees after one year from planting.
  - Water all plant material that are newly planted thoroughly twice in first 24 hours and apply mulch immediately.
  - Site to be 100% irrigated in all planting beds and grass area by an automatic underground irrigation system. See Irrigation Plan Sheets L-2.1, L-2.2, L-2.3.
  - All tree protection devices to be installed by General Contractor prior to the start of land disturbance, and maintained until final landscaping.
  - All tree protection areas to be protected from sedimentation.
  - All tree protection fencing to be inspected daily, and repaired or replaced as instructed by L.A.
  - Landscape Contractor shall provide a 1 year maintenance period under separate contract providing acceptance by the Landscape Architect and RaceTrac Construction Manager. Maintenance contract to be assigned through RaceTrac maintenance Department.



**CITY OF ROCKWALL LANDSCAPE STANDARDS**

SITE DESIGN CRITERIA	REQUIRED	PROVIDED
A. SCREENING OF SITE LOADING DOCKS	NONE	NONE
B. ACCEPTABLE LANDSCAPE PLANT MATERIAL MINIMUM 4" CALIPER OR GREATER ON ALL REQUIRED TREES	YES	YES
C. PROTECTION OF ALL LANDSCAPE AREAS BY CONCRETE CURBS OR CURB STOPS	YES	YES
D. IRRIGATION REQUIREMENT. ALL REQUIRED NEW LANDSCAPE AREAS TO BE IRRIGATED WITH UNDER GROUND IRRIGATION SYSTEM	YES	YES
E. RIGHT OF WAY STREET LANDSCAPE BUFFER AREAS BETWEEN 4.0 AND ROAD WAY SURFACES TO BE SEEDED.	YES	YES
H. STREET LANDSCAPE BUFFER REQUIRED IN 20 FOOT WIDE BUFFER (3) CANOPY AND (4) CANOPY TREE PER 100 FEET. RIDGE ROAD YELLOW JACKET ROAD 280.00 FT	9 CANOPY TREE 12 ACCENT TREE	9 CANOPY TREE 12 ACCENT TREE
I. PARKING LOT LANDSCAPING. MINIMUM 5% OF THE PARKING LOT SHALL BE SPACES SHALL BE WITHIN 50 FEET OF A LARGE TREE. ACCENT PARKING LOT TREES	YES	YES
J. SCREENING OF DUMPSTER AND WALLED BEHIND WALL WITH GATES. REQUIRED	YES	YES
K. REQUIRED LANDSCAPE AREA ON SITE. THE REQUIRED AREA FOR LOT 1R AND LOT 2R USE COMMERCIAL USES. SITE IS APPROX. SITE AREA = 102,215 SQ. FT.	16,082 SQ FT	28,868 SQ FT. 27%
L. PARKING LOTS SHALL PROVIDE 1 TREE PER 1000 SQ. FEET. (45) PARKING SPACES. TREES ALLOCATED PER AREA.	5 TREE	5 TREE

**LANDSCAPE IRRIGATION WARRANTIES**

- LANDSCAPE CONTRACTOR SHALL WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM TIME OF FINAL ACCEPTANCE AND PAYMENT OF THE CONTRACT.
- IRRIGATION SYSTEM SHALL BE WARRANTED FOR ONE YEAR PARTS AND LABOR FOR 50% ITEMS.

**ROOT BARRIERS AT UTILITIES AND PAVING EDGES**

- NO TREE SHALL BE PLANTED WITHIN 5 FEET OF ALL UTILITIES.
- ROOT BARRIERS ARE REQUIRED ON ALL TREES WITHIN UTILITY EASEMENTS AND AT EDGE OF PAVING WITHIN 5 FEET. PROVIDE ON ALL TREES SHOWN, UNLESS NOTED.
- DEEP ROOT BARRIERS: 1-800-458-7668, INSTALL 18-48-2" DEEP SPECIFICATIONS AT LOTS 1R AND 2R. PROVIDE WITHIN 60 DAYS OF PAVING OR UTILITY. INCLUDE 4" WIDE TRENCH OF 3/4" DRAIN GRAVEL ON OUTSIDE OF BARRIER, 24" DEEP BARRIER TO EXTEND 1' ABOVE GRADE.

**CITY OF ROCKWALL MAINTENANCE NOTE:**

MAINTENANCE: THE CURRENT OWNER AND SUBSEQUENT OWNERS OF THE LANDSCAPED PROPERTY, OR MANAGER OR AGENT OF THE OWNER, SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL THE LANDSCAPED AREAS AND MATERIALS. REQUIRED BUFFER YARD MAINTENANCE DURING CONSTRUCTION SHALL BE MAINTAINED AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES. REPAIRS TO ANY DAMAGE TO ANY LANDSCAPED AREAS SHALL BE REPAIRED WITHIN 30 DAYS OF NOTIFICATION, OR BY THE NEXT PLANTING SEASON, WHICH EVER COMES FIRST. PROPERTY/INDUSTRY ASSOCIATION MAY ASSUME RESPONSIBILITY FOR MAINTENANCE OF COMMON AREAS.

**IRRIGATION AFFIDAVIT**

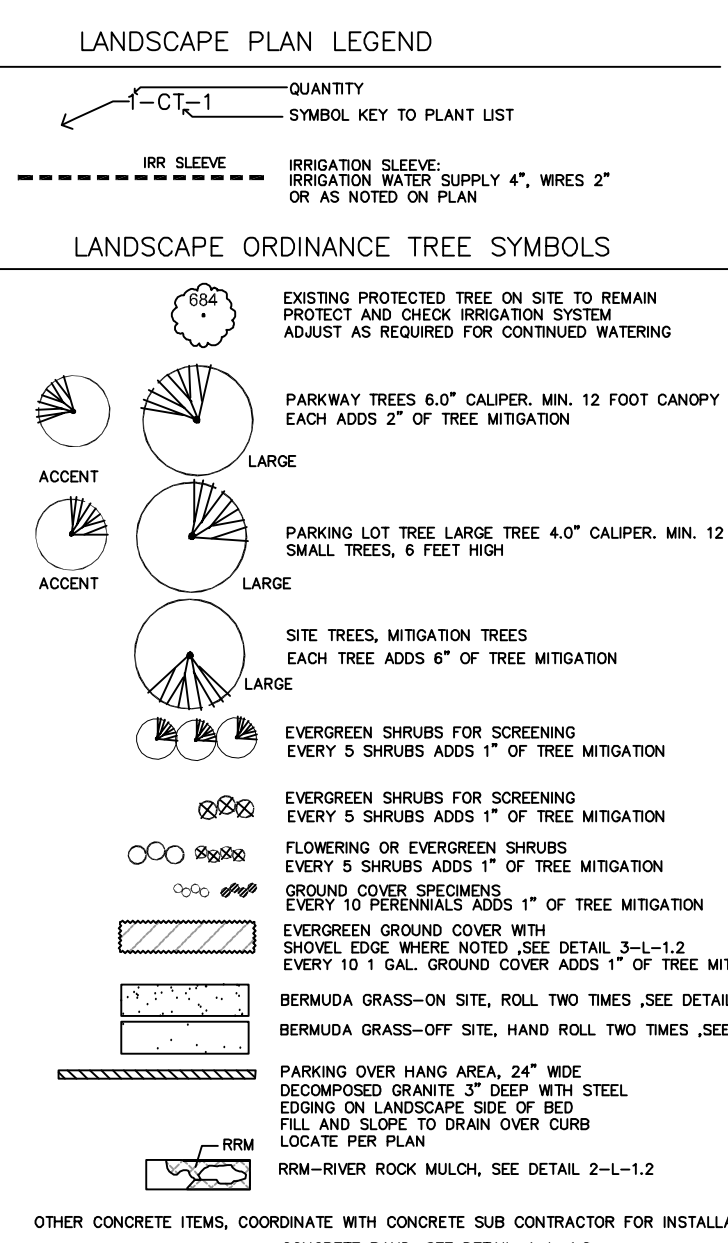
ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATIVE (ET) WEATHER SENSORS AND CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED LICENSED IRRIGATOR.

**SELECTED PLANT LIST**

QUANTITY	SYMBOL KEY	COMMON NAME	BOTANICAL NAME	SIZE
25	CT-1	BALD CYPRESS	TAXODIUM DISTICHOM	SINGLE TRUNK, 200 GAL, 6-6.5" CAL, 16-18 FT CANOPY HEIGHT
0	CT-2	LIVE OAK	QUERCUS VIRGINIANA	SINGLE TRUNK, 200 GAL, 6-6.5" CAL, 16-18 FT CANOPY HEIGHT
17	CTM-3	BALD CYPRESS	TAXODIUM DISTICHOM	SINGLE TRUNK, 200 GAL, 6-6.5" CAL, 16-18 FT CANOPY HEIGHT
0	CTM-4	LIVE OAK	QUERCUS VIRGINIANA	SINGLE TRUNK, 200 GAL, 6-6.5" CAL, 16-18 FT CANOPY HEIGHT
14	CTM-5	BALD CYPRESS	TAXODIUM DISTICHOM	SINGLE TRUNK, 100 GAL, 4-4.5" CAL, 12-14 FT CANOPY HEIGHT
24	AT-1	RED BUD SINGLE TRUNK "OKLAHOMA" SHRUBS, EVERGREEN	CERCIS CANADENSIS, RED LEAF	100 GAL, 4.0-4.5" CAL, 10-12 HIGH, SINGLE TRUNK TREES, CLEAR 6 FEET
375	SH-1	DWARF BURFORD HOLLY	ILEX CORNUTA, BURFORDI	5 GAL, 36" HIGH, FULL HEAD, PLANT 1" HIGH AND MULCH, PRUNE LEVEL
93	SH-2	INDIAN HAWTHORN, WHITE	RAMPALOPSIS INDICA	5 GAL, 16-24" HIGH, FULL HEAD, PLANT 1" HIGH AND MULCH
0	SH-3	NELLIE R STEVENS	ILEX OPACA, N.R. STEVENS	45 GAL, 50-60" HIGH AT TIME OF PLANTING, FULL TO GROUND
0	SH-4	DWARF YALPON HOLLY	ILEX VOMITORIA NANA	5 GAL, 16" HIGH, FULL HEAD, PLANT 1" HIGH AND MULCH
42	SH-5	KNOCK OUT ROSE, DOUBLE RED	ROSEAE, KNOCK OUT SPECIES, RED	5 GAL, 16" HIGH, FULL HEAD, PLANT 1" HIGH AND MULCH
61	PR-1	PERENNIALS ALL GET BED PREPARATION AND 3" MULCH		
45	PR-2	CARPET ROSES, RED	ROSE SPECIES, DRIFT ROSE, RED	3 GAL, FULL LOW, DOUBLE FLOWER
326	PR-3	VARGATED YUCCA	YUCCA GEORGIANA (VARGATED)	1 GAL NO SUBSTITUTIONS.
		MEXICAN FEATHER GRASS	STIPA TENISSIANA	1 GAL NO SUBSTITUTIONS.
6825	GC-1	PURPLE WINTER CREEPER	EUNYMUS FORTUNE COLORATA	1 GAL WITH 3" MULCH.
		GRASS		
44,980 SQ FT	BO-1	BERMUDA GRASS	CYNODON DACTYLON	SOLID SOO, ROLLED SAME DAY AS INSTALLED
48,900 SQ FT	BO-2	BERMUDA GRASS, OFF SITE	CYNODON DACTYLON	SOLID SOO, ROLLED SAME DAY AS INSTALLED
		MISC ITEMS		
1,335 SQ FT	RRM	RIVER RAINBOW MULCH, SEE SPECS		
320 LF FT		CONCRETE BAND, SEE DETAILS		

**MITIGATION NOTES** SEE TREE PRESERVATION PLAN T-1 AND MITIGATION TREE CHART T-1.2

- TREE MITIGATION ON THIS PROJECT IS PROVIDED BY THE FOLLOWING.
  - INCREASING THE SIZE OF REQUIRED CANOPY TREES FROM 4" TO 6" CALIPER, PROVIDING 2" OF MITIGATION EACH.



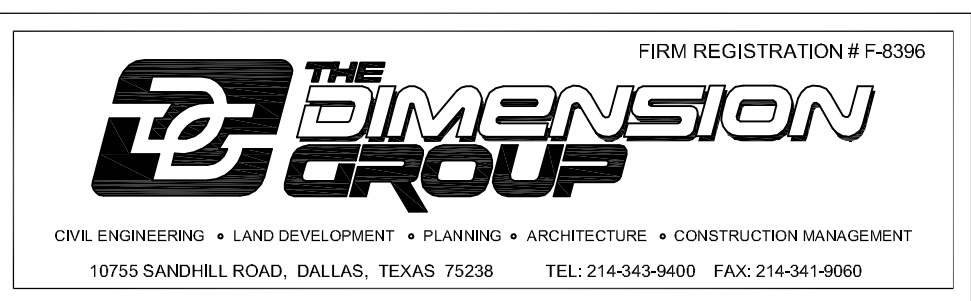
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY R. PRITCHETT, R.L.A. NO. 2115 ON 12/02/2015

**LANDSCAPE ARCHITECT**  
T.H. PRITCHETT ASSOCIATES  
1218 CAMINO LAGO  
IRVING, TEXAS 75039  
214-697-2580  
WWW.LANDDESIGNPLAN.COM  
tom@landdesignplan.com

**DEVELOPER**  
RACE TRAC  
CUMBERLAND BLVD.,  
SUITE 100  
ATLANTA, GA 30339  
CONTACT: DREW  
CUNNINGHAM  
TEL: X

**APPLICANT/ENGINEER**  
THE DIMENSION GROUP  
TBPE FIRM # F-8396  
10755 SANDHILL ROAD  
DALLAS, TEXAS 75238  
CONTACT: CARLOS SALINAS  
TEL: (214) 343-9400  
FAX: (214) 341-9060

**SURVEYOR**  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: GARY E. JOHNSON, R.P.L.S.  
TEL: (214) 340-9700



**LANDSCAPE PLAN**  
WOODS AT ROCKWALL ADDITION  
LOT 1R & 2R, ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
CASE NO. SP-2015-018

**PRELIMINARY**  
THIS PLAN SHEET IS ISSUED FOR INTERIM REVIEW ONLY AND IS NOT FOR BIDDING, CONTRACTS, OR PERMIT PURPOSES.

**RACETRAC**  
RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

**LANDSCAPE PLAN**  
RACETRAC MARKET  
2205 RIDGE ROAD  
ROCKWALL, TEXAS

**PLANNING SUBMITTAL**  
2ND ENGINEERING CITY SUBMITTAL  
1ST ENGINEERING CITY SUBMITTAL

DATE: 12/02/15  
SCALE: AS SHOWN  
DRAWN-BY: THP  
SHEET NO. L-1  
VERSION

Registration # F-8396  
10755 SANDHILL ROAD  
DALLAS, TEXAS 75238  
CONTACT: MARC BENTLEY, P.E.  
(214) 343-9400  
MARC BENTLEY, P.E.  
NO. 64860 ON 02/29/12

RACE TRAC - 2205 RIDGE ROAD, ROCKWALL, TEXAS - TDG JOB NO. 12128

**TREE PRESERVATION PROCEDURES FERTILIZATION**

TREES WILL BE FERTILIZED PRIOR TO ANY CONSTRUCTION ACTIVITY. MATERIALS AND METHODS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO APPLICATION. WATER EVERY OTHER DAY FOR TWO WEEKS PRIOR TO DIGGING AND BAILING OR SPACING. THE GENERAL CONTRACTOR SHALL SELECT A FERTILIZATION CONTRACTOR AND INSURE COORDINATION WITH THE LANDSCAPE ARCHITECT WITHIN 7 DAYS AFTER FERTILIZATION IS PERFORMED. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF THE WORK.

ALL CLASS 1 TREES WITHIN (OR ADJACENT TO) THE LIMITS OF CONSTRUCTION WHICH ARE REQUIRED TO BE PRESERVED (ON THE PLANS) SHALL BE FERTILIZED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND AGAIN AFTER COMPLETION OF ALL CONSTRUCTION.

ALL TREES TO BE FERTILIZED SHALL BE WITHIN THE CRITICAL ROOT ZONE OF A TREE AS DEFINED ON THE CITY APPROVED PLANS. TREES ARE TO BE FERTILIZED VIA SOIL INJECTION METHOD (MINIMUM 100 PSI) TO THE CRITICAL ROOT ZONE. FERTILIZATION IS EQUIVALENT TO RECOMMENDED RATES. CONSTRUCTION THAT WILL BE COMPLETED IN LESS THAN 90 DAYS SHOULD USE MATERIALS AT 1/2 RECOMMENDED RATES. ALTERNATIVE ORGANIC FERTILIZER MATERIALS ARE ACCEPTABLE WHEN APPROVED BY LANDSCAPE ARCHITECT.

TEXAS EXCAVATION SAFETY SERVICES  
1-800-344-8377



**TREE PRESERVATION PROCEDURES**

8.1 GENERALLY, IF REQUIRED BY SECTION 8.1 ABOVE, THE FOLLOWING PROCEDURE SHALL APPLY TO PROTECT ANY PROTECTED TREE FOR WHICH A PERMIT IS REQUIRED.

8.2 CONSTRUCTION PLAN REQUIREMENTS: ALL CONSTRUCTION PLANS SHALL INCLUDE THE REQUIREMENTS SHOWN ON THIS PLAN.

8.3 PROHIBITED ACTIVITIES: ALL CONSTRUCTION ACTIVITIES AND ALL CONSTRUCTION ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE SUBJECT TO THE REQUIREMENTS OF THIS ORDINANCE.

8.4 MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR CONSTRUCTION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

8.5 EQUIPMENT CLEANING AND/OR DISPOSAL: NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS DEPOSITED OR ALLOWED TO FLOW OVERLAND WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.

8.6 TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A STRUCTURAL NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE. FENCING ATTACHED TO A TREE SHALL BE PARALLEL TO AND CONTIGUOUS WITH THE TREE. NO VEHICLES, TRACTORS, NO TRUCKS AND/OR CONSTRUCTION EQUIPMENT, TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF CLEANING UNDERGROUND ESTABLISHING OPERATIONS AND INCLUDING BUT NOT LIMITED TO: CLEANING, MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE OR REQUIRED MAINTENANCE OPERATIONS.

8.7 GRADE CHANGES: NO GRADE CHANGES SHALL BE ALLOWED WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.

8.8 CONSTRUCTION METHODS: CONSTRUCTION METHODS ARE APPROVED BY THE LANDSCAPE ARCHITECT.

8.9 PROTECTIVE FENCING: PRIOR TO CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN PROTECTIVE FENCING ON A CONSTRUCTION SITE. PROTECTIVE FENCING WHICH DESCRIBES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE PROTECTED TREE SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

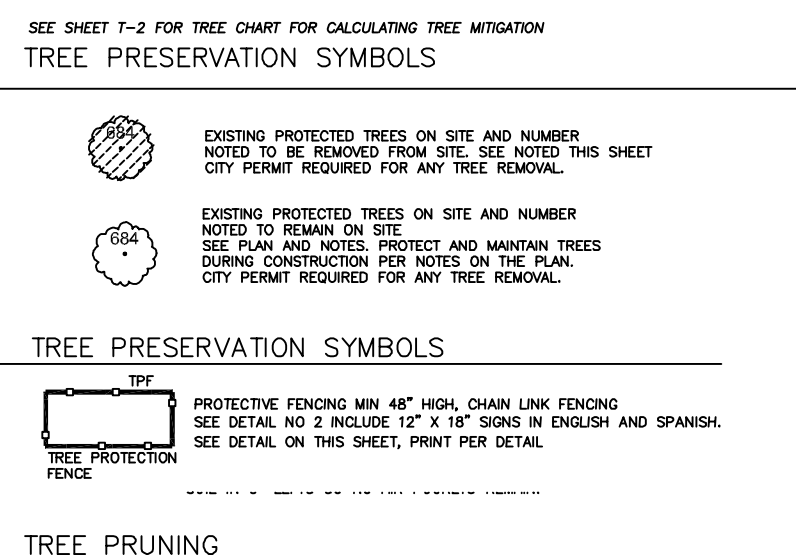
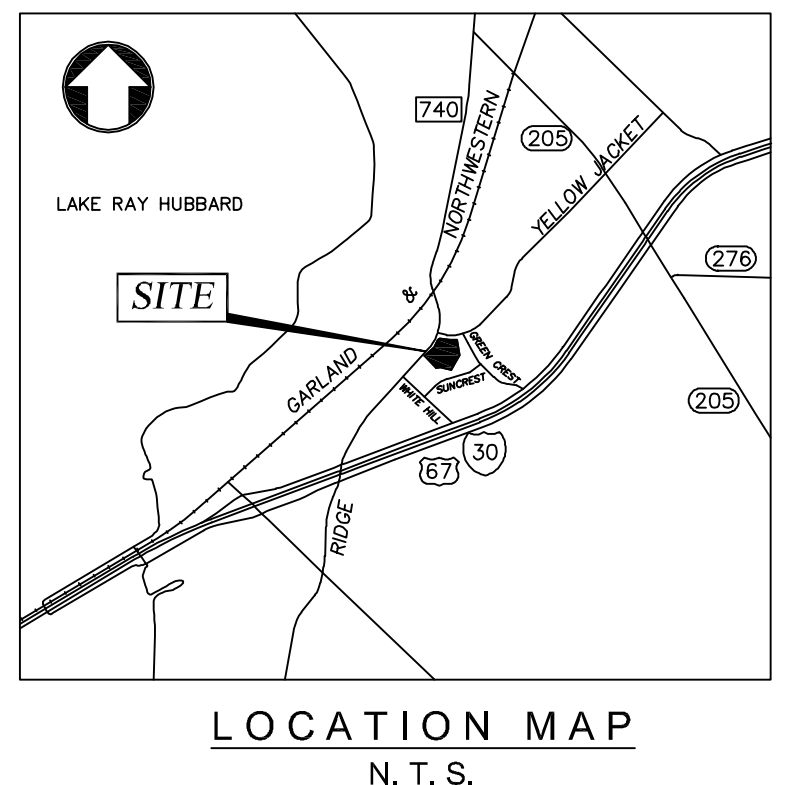
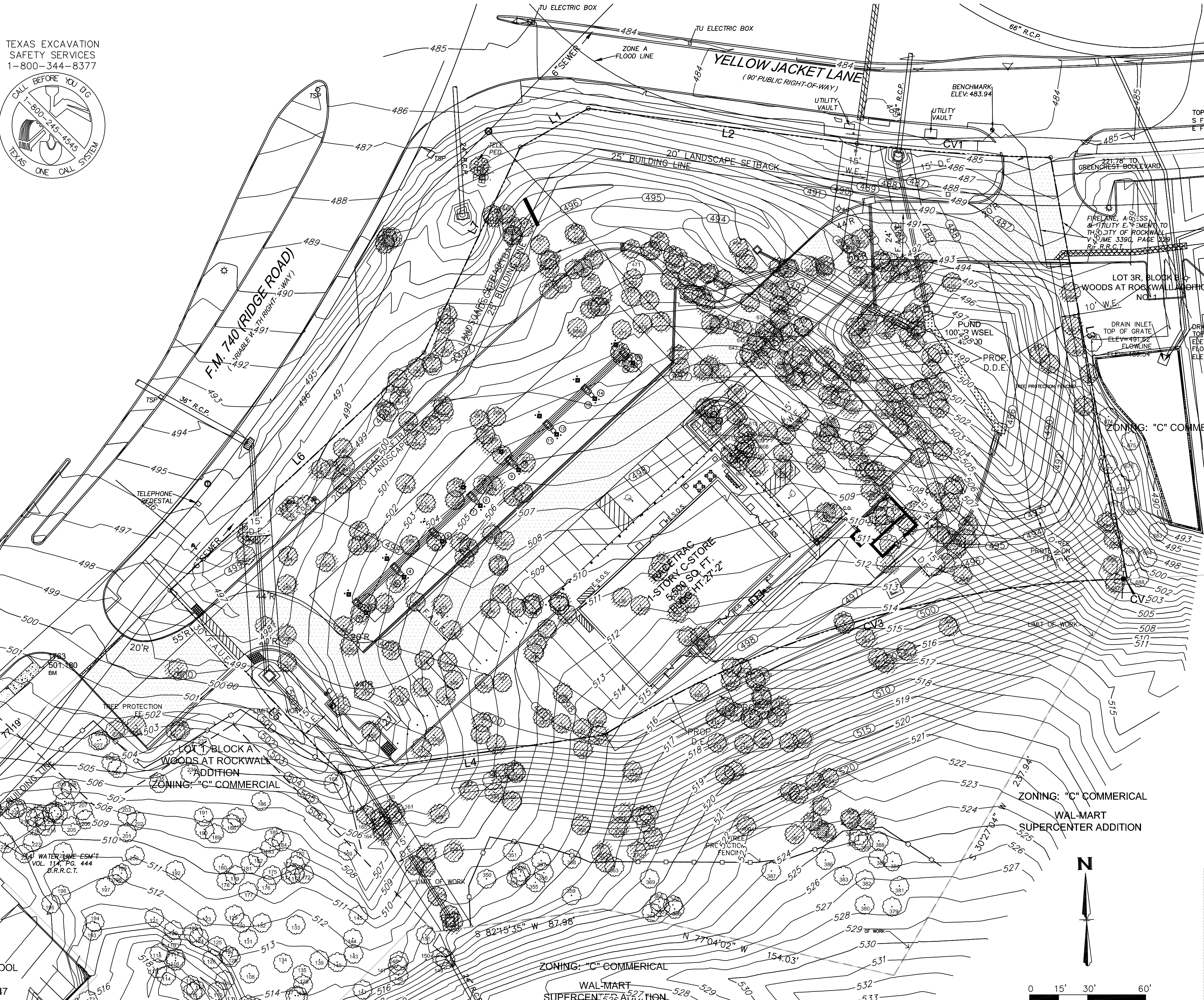
8.10 BARRIERS: PROTECTIVE FENCING WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION AND THE LANDSCAPE ARCHITECT HAS DETERMINED THE BARRIERS TO BE IN PLACE TO PREVENT DAMAGE BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY ENCLOSING THE ENTIRE CRITICAL ROOT ZONE OF THE TREE WITH A 4' TALL FENCING SYSTEM WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE BARK OF THE TREE AGAINST INCIDENTS CAUSED BY LARGE COMMERCIAL EQUIPMENT.

8.11 CONSTRUCTION METHODS: CONSTRUCTION METHODS UNDER PROTECTED TREES SHALL BE REQUIRED IN THOSE CIRCUMSTANCES WHERE IT IS NOT POSSIBLE TO TRENCH AROUND THE CRITICAL ROOT ZONE OF THE PROTECTED TREE. THIS INCLUDES THE LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AT A MINIMUM AND SHALL BE A MINIMUM 18" DIA. HOLES FOR BEST PRACTICES SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF THE PROTECTED TREE. ALL CHANGES IN SITUATION IN WHICH THE LANDSCAPE ARCHITECT APPROVES, THE FENCE CHANGES WITHIN THE CRITICAL ROOT ZONE OF PROTECTED TREES. THE PROCEEDURES IN THIS SECTION SHALL BE FOLLOWED.

8.12 TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. TRENCHING OPERATIONS SHALL BE LIMITED TO THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE SHALL BE PROTECTED BY A MINIMUM 18" DIA. HOLES FOR BEST PRACTICES SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF THE PROTECTED TREE. ALL CHANGES IN SITUATION IN WHICH THE LANDSCAPE ARCHITECT APPROVES, THE FENCE CHANGES WITHIN THE CRITICAL ROOT ZONE OF PROTECTED TREES. THE PROCEEDURES IN THIS SECTION SHALL BE FOLLOWED.

8.13 TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. TRENCHING OPERATIONS SHALL BE LIMITED TO THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE SHALL BE PROTECTED BY A MINIMUM 18" DIA. HOLES FOR BEST PRACTICES SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF THE PROTECTED TREE. ALL CHANGES IN SITUATION IN WHICH THE LANDSCAPE ARCHITECT APPROVES, THE FENCE CHANGES WITHIN THE CRITICAL ROOT ZONE OF PROTECTED TREES. THE PROCEEDURES IN THIS SECTION SHALL BE FOLLOWED.

8.14 TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. TRENCHING OPERATIONS SHALL BE LIMITED TO THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE SHALL BE PROTECTED BY A MINIMUM 18" DIA. HOLES FOR BEST PRACTICES SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF THE PROTECTED TREE. ALL CHANGES IN SITUATION IN WHICH THE LANDSCAPE ARCHITECT APPROVES, THE FENCE CHANGES WITHIN THE CRITICAL ROOT ZONE OF PROTECTED TREES. THE PROCEEDURES IN THIS SECTION SHALL BE FOLLOWED.



**TREE PRUNING**

1. REQUIRED TREE PRUNING TO ALLOW ROOM TO CONSTRUCT THE SITE WORK IS REQUIRED.

2. TREE WORK IS TO BE COMPLETED BY A PROFESSIONAL TREE TRIMMER WITH OVER 10 YEARS OF EXPERIENCE AND WORKING WITH AN ARBORIST WILL REMOVE ALL REQUIRED LIMBS.

3. TRIMMING OF THE CROWN IS TO BE ONE OF THE LAST PRUNING ALLOWED ON THE TREE DURING CONSTRUCTION. THE LOWER LIMBS OFF SHADE TO THE ROOTS AND BARK AND FURTHER WHICH REDUCES RESISTANCE TO DISEASE AND INSECT PESTS.

4. LANDSCAPE ARCHITECT MAY DIRECT LANDSCAPE CONTRACTOR TO REMOVE FURTHER LIMBS DURING PLANTING AND IRRIGATION PERIODS.

5. TRIMMING ALL WORK IS TO BE REVEALED FOR BEST PERIOD OF SEASON DURING THE YEAR.

GENERAL CONTRACTOR SHALL IN LARGE THIS SIGN, 3" X 18", PRINTING ENOUGH SIGNS TO ACHIEVE TO THE TREE PROTECTION FENCING EVERY 20 FEET. LAMINATE SIGNS AND PUNCH HOLES AND ZIP TO THE FENCING AS ABOVE.

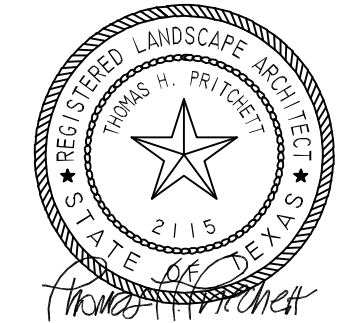
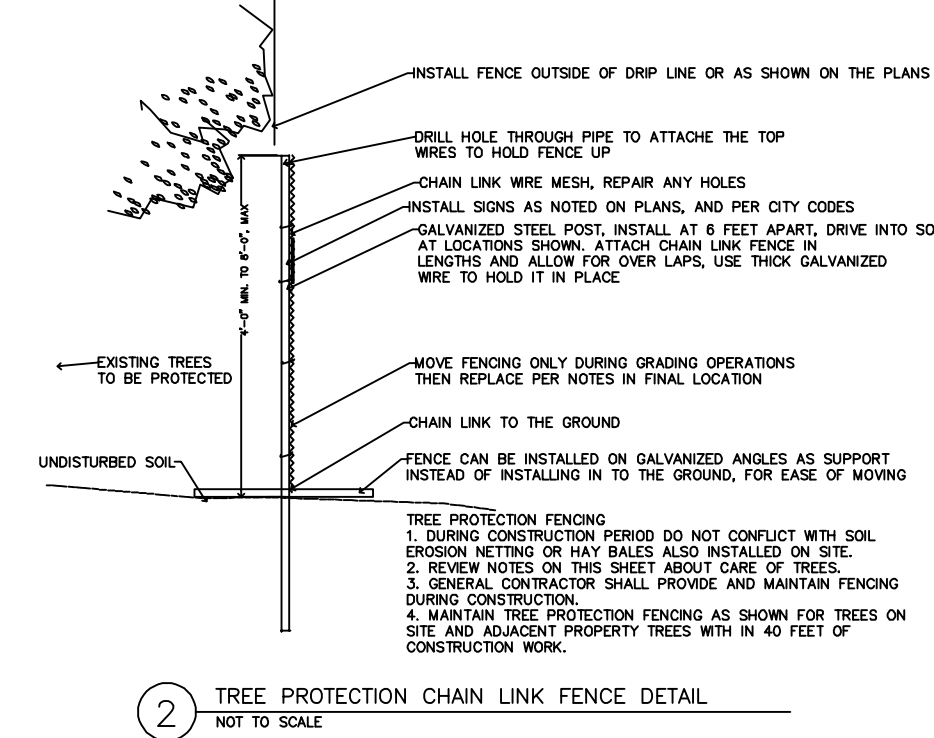
**TREE PROTECTION SIGN**

**CAUTION TREE PRESERVATION**

**CONTRACTOR MUST INSTALL AND MAINTAIN CONSTRUCTION FENCING**

DO NOT TRIM OR REMOVE TREES WITH OUT A PERMIT	POR FAVOR DE NO CORTAR ARBLOES SIN PERMISO
DO NOT PARK VEHICLES OR PLACE BUILDING MATERIALS IN CRITICAL ROOT ZONE	POR FAVORE NO ESTACIONAR VEHICULOS Y MATERIALES EN ZONA CRITICA DE RAIZ
DO NOT CLEAN EQUIPMENT OR DISPOSE OF LIQUIDS UNDER TREES	POR FAVOR NO LIMPIAR EQUIPO NI TIRAR LIQUIDOS ABAJO DE LOS ARBLOES
DO NOT MAKE GRADE CHANGES, CUT OR FILL IN CRITICAL ROOT ZONE	POR FAVOR NO CAMBIAR GRADOS, CORTAR O LLENAR EN ZONA CRITICA DE RAIZ

© REFERENCED TO PRINT AND USE OF THIS SIGN DETAIL IS PROVIDED BY T.H. PRITCHETT ASSOCIATES LANDSCAPE ARCHITECTS



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, L.A. NO. 2115 ON 12/02/2015

LANDSCAPE ARCHITECT  
T.H. PRITCHETT ASSOCIATES  
1218 CAMINO LAGO  
IRVING, TEXAS 75039  
214-697-2580  
WWW.LANDESIGNPLAN.COM  
tom@landesignplan.com

DEVELOPER  
RACE TRAC  
3225 CUMBERLAND BLVD.,  
SUITE 100  
ATLANTA, GA 30339  
CONTACT: DREW CUNNINGHAM  
TEL: X

APPLICANT/ENGINEER  
THE DIMENSION GROUP  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: CARLOS SALINAS  
TEL: (214) 343-9400  
FAX: (214) 341-9060

SURVEYOR  
TEXAS HERITAGE SURVEYING LLC.  
10610 METRIC DRIVE  
SUITE 124  
DALLAS, TEXAS 75243  
CONTACT: GARY E. JOHNSON, R.P.L.S.  
TEL: (214) 340-9700

**THE DIMENSION GROUP**

CIVIL ENGINEERING • LAND DEVELOPMENT • PLANNING • ARCHITECTURE • CONSTRUCTION MANAGEMENT

10755 SANDHILL ROAD, DALLAS, TEXAS 75238 TEL: 214-343-9400 FAX: 214-341-9060

FIRM REGISTRATION # F-8396

**TREE PRESERVATION PLAN**  
WOODS AT ROCKWALL ADDITION  
LOT 1R & 2R, BLOCK A  
IN THE CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
CASE NO. SP-2015-018

DATE	12/02/2015
SCALE	AS SHOWN
DRAWN-BY	THP
DRAWING NAME	T-1
SHEET NO.	VERSION

PRELIMINARY  
THIS PLAN SHEET IS ISSUED FOR INTERIM REVIEW ONLY AND IS NOT FOR BIDDING AND IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS: ANY USE OF SAME WITHOUT THE PERMISSION OF THE EXPRESSED WRITEN INC. IS PROHIBITED.

RACETRAC PETROLEUM, INC.  
3225 CUMBERLAND BOULEVARD SUITE 100  
ATLANTA, GA 30339  
(770) 431-7600

PLANNING SUBMITTAL  
ENGINEERING CITY SUBMITTAL  
1ST ENGINEERING CITY SUBMITTAL

Registration # F-8396  
NO. 02/29/12  
PREPARED BY:  
MARC O. BENTLEY, P.E.  
NO. 64980 ON 02/29/12

12/02/15  
03/24/14  
01/02/14  
DATE

RACETRAC - 2205 RIDGE ROAD, ROCKWALL, TEXAS - TDG JOB No. 12128