

7.03 ACRES  
JAMES DAVID DEVOLL  
VOL. 1967, PG. 79  
R.P.R.R.C.T.

N 0°25'54"E 199.94'

1/2 IRF

1/2 IRF

20' FEC ELEC. ESMT  
VOL. 1742, PG. 162  
VOL. 1123, PG. 186

OH ELEC. LINE

ADDITION

EXISTING BUILDING  
2498 F.M. 3549

LOT 1 BLOCK A  
ROCKWALL LAKESIDE CHURCH OF CHRIST ADDITION  
CABINET F. SIDE 72, O.P.R.R.C.T.

CONTROLLING BEARING LINE  
S 89°14'03"E 370.27'

7.03 ACRES  
JAMES DAVID DEVOLL  
VOL. 1967, PG. 79  
R.P.R.R.C.T.

N 89°14'03"W 370.31'

EXISTING DRIVEWAY

11'-10 3/4"

18'-0" TYP.

CONCRETE DRIVEWAY

1.70 ACRES  
PART OF 10.733 ACRES  
CAL GARY  
VOL. 957, PG. 88  
R.P.R.R.C.T.

50' NORTH TEXAS MUNICIPAL WATER DISTRICT ESMT  
VOLUME 4560, PG. 183

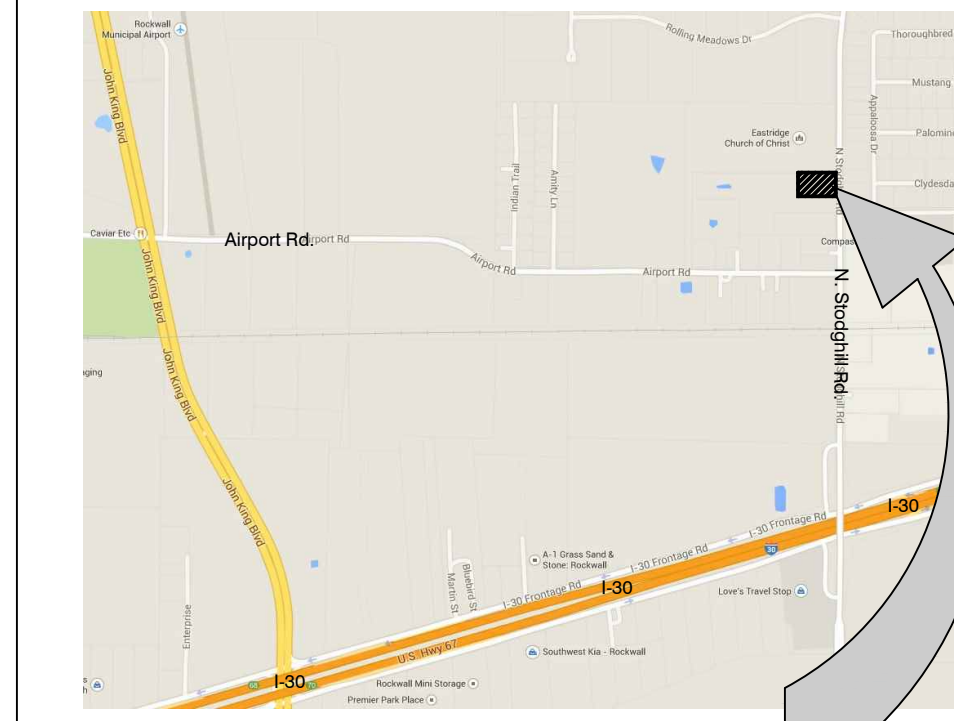
20' SWBT ESMT VOL. 112, PG. 210  
15' BLACKLAND W.S.C. ESMT. VOL. 2118, P. 70

S 0°25'13"W 199.94'

F.M. 3549

POINT OF BEGINNING

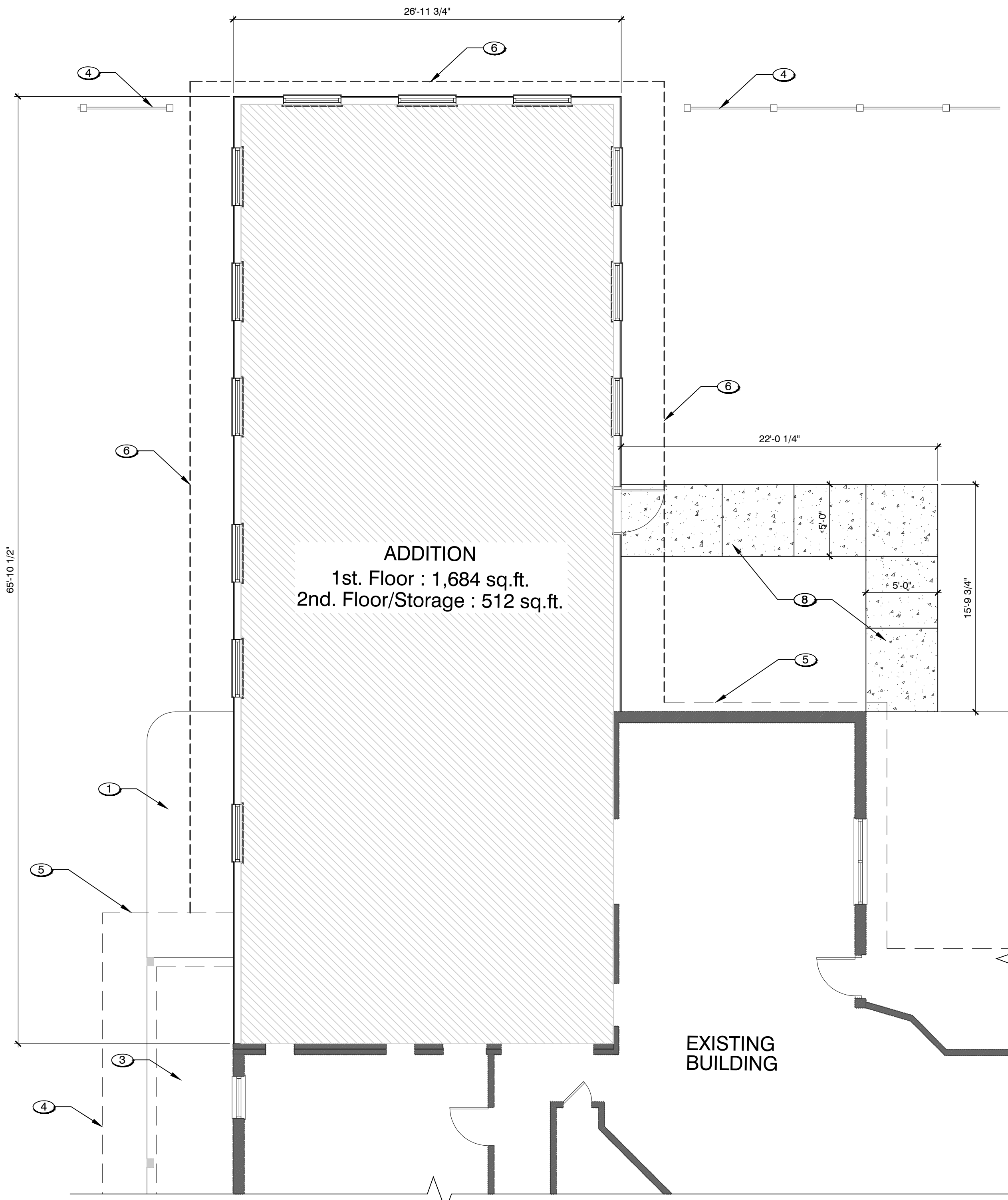
VICINITY MAP



OFFICE ADDITION

KEYNOTES

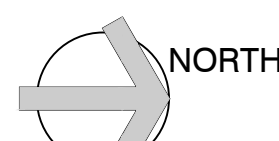
- 1 EXISTING PAVING, CURB & GUTTER AS SHOWN
- 2 EXISTING LANDSCAPING AS SHOWN
- 3 EXISTING CONC. WALKWAY AS SHOWN
- 4 EXISTING FENCE. REMOVE PORTION OF FENCE WHERE REQUIRED.
- 5 LINE OF EXISTING ROOF OVERHEAD
- 6 LINE OF NEW ROOF OVERHEAD
- 7 EXISTING SPACE FOR PARKING; STRIPING NOT EXISTING.
- 8 NEW CONC. SIDEWALK



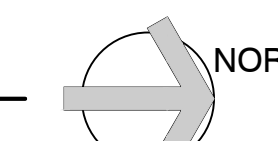
ADDITION  
1st. Floor : 1,684 sq.ft.  
2nd. Floor/Storage : 512 sq.ft.

EXISTING BUILDING

01 Site Plan  
SCALE: 1/20

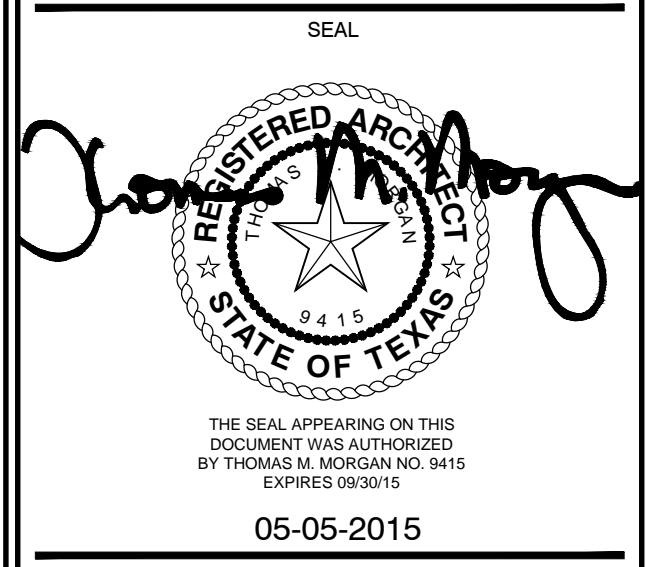


01 Enlarged Site Plan  
SCALE: 3/16" = 1'-0"



CIVITARESE | MORGAN  
921 N. RIVERFRONT BLVD. SUITE 700  
DALLAS, TEXAS 75207  
TEL: 214-613.0680

ARCHITECT/ENGINEER



ARCHITECTURAL PROJECT NO.: 052-01  
DRAWN BY:  
CHECKED BY:

EASTRIDGE CHURCH  
OFFICE ADDITION  
588 STODGHILL ROAD  
ROCKWALL, TX 75087

NO.	REVISIONS:	DATE:

OWNER REVIEW ISSUE DATE: 05-04-2015  
LANDLORD REVIEW ISSUE DATE: 05-04-2015  
BID ISSUE DATE: XX-XX-XXXX  
SITE PLAN REVIEW ISSUE DATE: 05-05-2015  
BUILDING REVIEW ISSUE DATE: XX-XX-XXXX  
CONSTRUCTION ISSUE DATE: XX-XX-XXXX

DRAWING TITLE:  
SITE PLAN

DRAWING NUMBER:  
A1.0

ISSUED FOR PERMIT 05-05-2015

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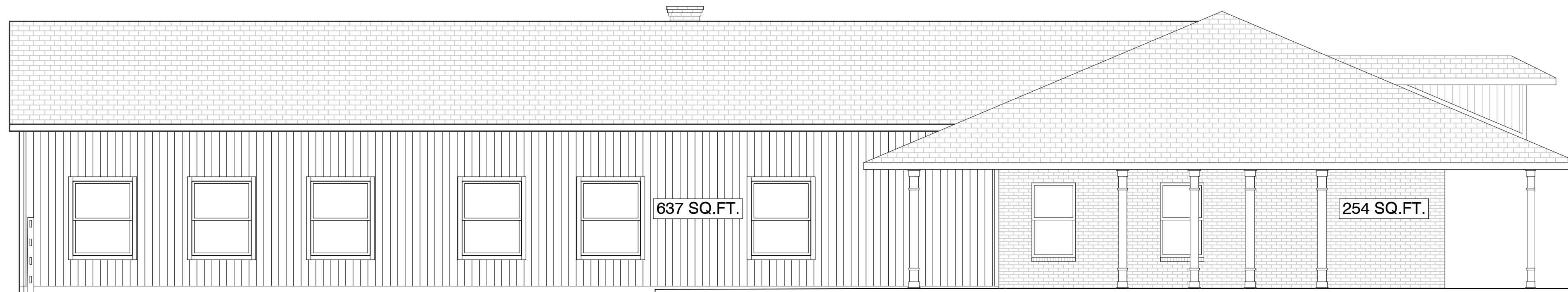


**01 West Elevation**  
SCALE: 3/16" = 1'-0"

Existing finish-Brick: 827 sq.ft.  
New finish-Hardie panels: 341 sq.ft.

**MATERIAL CALCULATIONS**

EXISTING BUILDING:	
WEST ELEVATION BRICK	827 SQ.FT.
SOUTH ELEVATION BRICK	259 SQ.FT.
NORTH ELEVATION BRICK	372 SQ. FT.
EAST ELEVATION BRICK	596 SQ. FT.
TOTAL EXISTING BRICK	2,054 SQ. FT.
NEW ADDITION:	
WEST ELEVATION HARDIE PANEL	341 SQ.FT.
SOUTH ELEVATION HARDIE PANEL	637 SQ. FT.
NORTH ELEVATION HARDIE PANEL	433 SQ. FT.
EAST ELEVATION HARDIE PANEL	0 SQ. FT.
TOTAL HARDIE PANEL	1,411 SQ. FT.
TOTAL MASONRY AREA	
PERCENTAGE EXISTING BRICK	59 %
PERCENTAGE HARDIE PANEL	41 %
ALLOWABLE PERCENTAGE HARDIE PANEL	45%



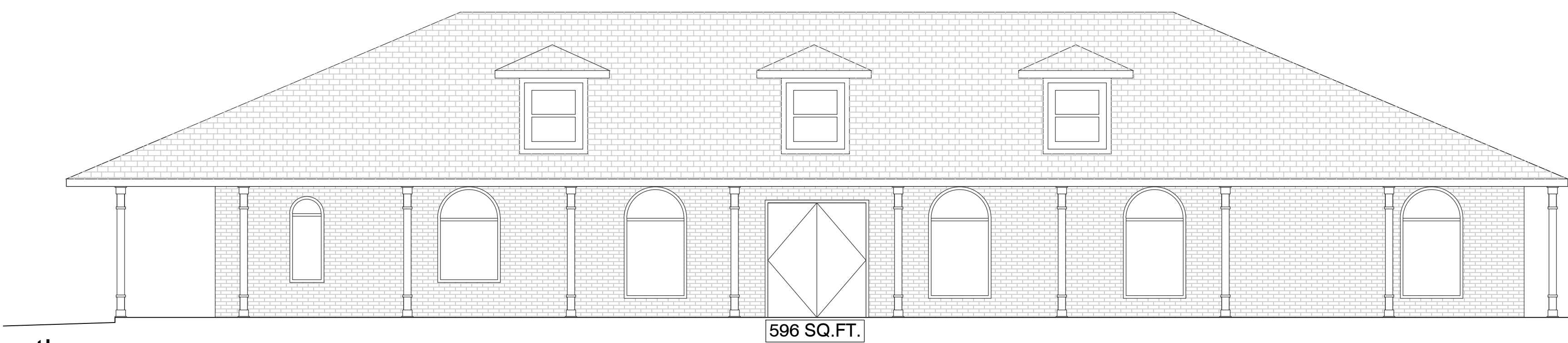
**02 South Elevation**  
SCALE: 3/16" = 1'-0"

Existing finish-Brick: 259 sq.ft.  
New finish-Hardie panels: 637 sq.ft.



**03 North Elevation**  
SCALE: 3/16" = 1'-0"

Existing finish-Brick: 372 sq.ft.  
New finish-Hardie panels: 433 sq.ft.



**04 East Elevation**  
SCALE: 3/16" = 1'-0"

Existing finish-Brick: 596 sq.ft.  
New finish-Hardie panels: 0 sq.ft.  
Elevation adjacent to public right-of-way



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SEAL



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THOMAS M. MORGAN NO. 3415 EXPIRES 09/30/15

05-05-2015

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DRAWN BY:

CHECKED BY:

**EASTRIDGE CHURCH  
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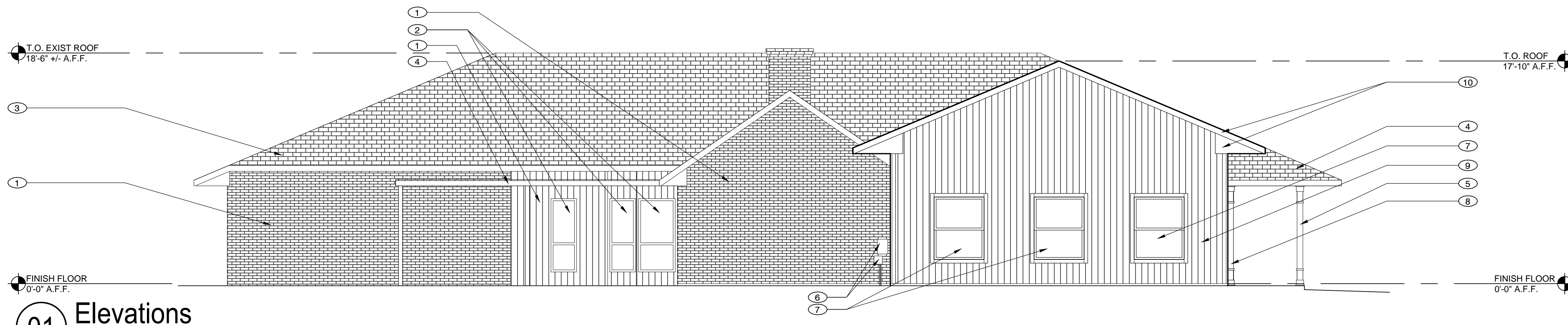
**MATERIAL  
CALCULATIONS**

DRAWING NUMBER:

**A3.1**

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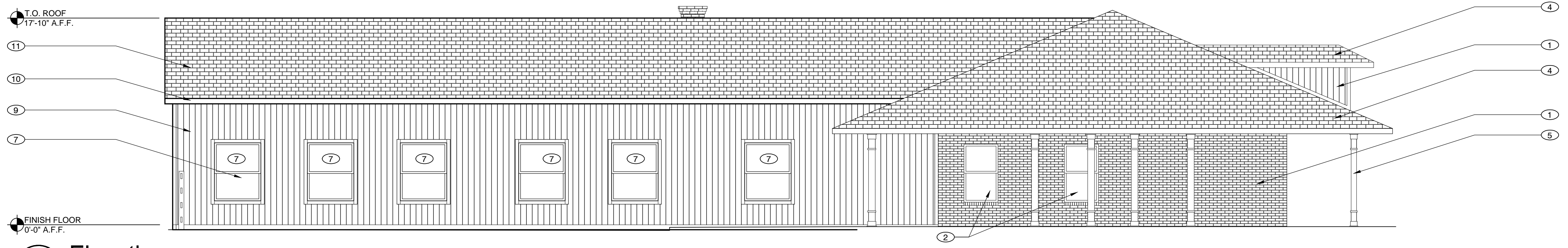
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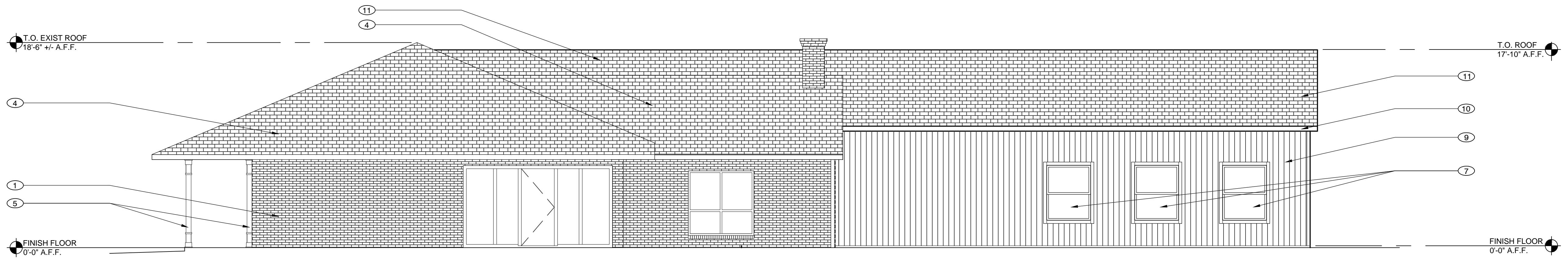
**(X) KEYNOTES**

- 1 EXISTING EXTERIOR FINISH TO REMAIN.
- 2 EXISTING WINDOW TO REMAIN.
- 3 EXISTING ROOF TO REMAIN.
- 4 EXISTING CAR PORT TO REMAIN.
- 5 EXISTING COLUMN TO REMAIN.
- 6 EXISTING ELECTRICAL TO REMAIN. RELOCATE IF REQUIRED.
- 7 WINDOW; REF. WINDOW SCHEDULE ON SHEET A2.0
- 8 COLUMN TO MATCH EXISTING
- 9 HARDI PLANK PANELING
- 10 HARDI PLANK TRIM
- 11 ROOFING TO MATCH EXISTING

**01 Elevations**  
SCALE: 3/16" = 1'-0"

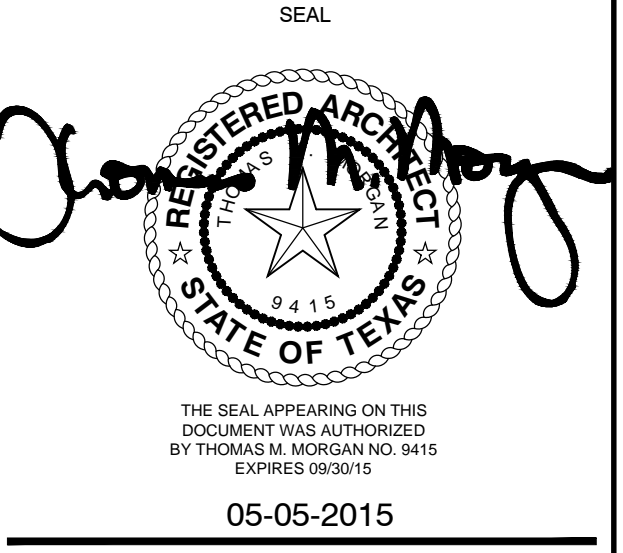


**02 Elevations**  
SCALE: 3/16" = 1'-0"



**03 Elevations**  
SCALE: 3/16" = 1'-0"

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DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

DRAWING NUMBER:  
**A3.0**

ISSUED FOR PERMIT 05-05-2015